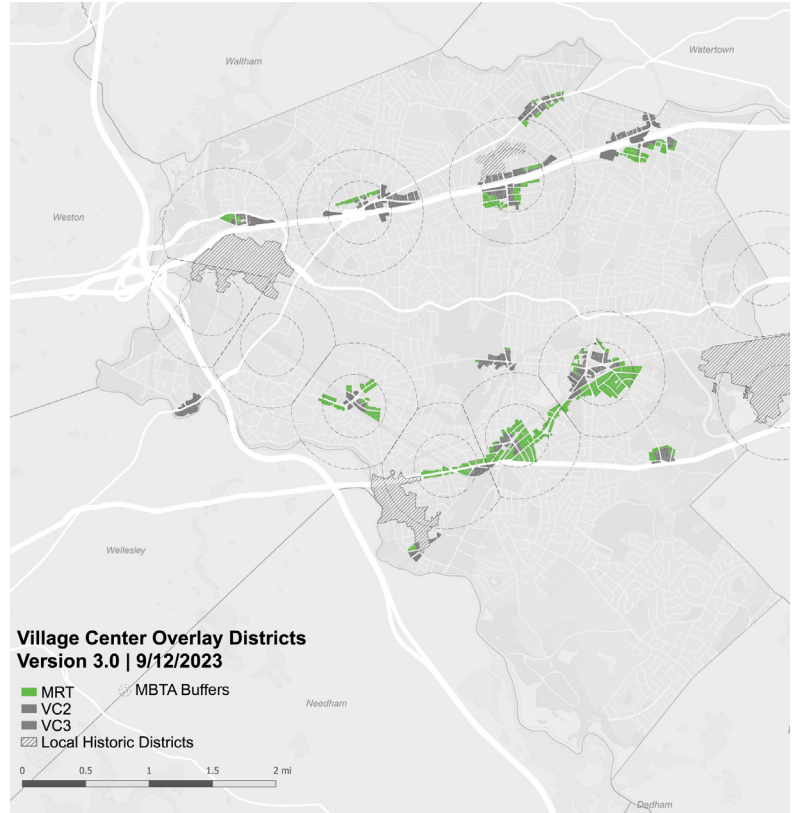


Multi Residence Transit (MRT)

Dimensional Standards - Village Center Overlay District (VCOD)



Existing 4-unit building in Newtonville.



MRT zoning, highlighted in green, represents less than 2% of the City.

Requirements for New Buildings and Conversion of Existing Buildings in MRT

Special Permit	Lots greater than 30,000 sf
Site Plan Review	Lots between 20,000-29,999 sf
Height, max. (pitched)	2.5 stories, 40'
Height, max. flat)	2.0 stories, 24'
Building Footprint, max. (new building)	1,500 sf
Building Footprint, max. (conversion)	Existing footprint + 50% addition
# of units, min. / max. (new building)	3 / 4
# of units, min. / max. (conversion)	3 / 6
Setback: Front, min.	20' or average
Setback: Side, min.	10'
Setback: Rear, min.	15'
Allowable Uses	Multi-family

Note: There are additional design standards for MRT zoning

The MRT district facilitates new small-scale multi-family housing similar in size to the surrounding residential neighborhoods and the preservation of existing homes through conversion to multiple apartments or condos. This district acts as a transition between the mixed-use cores of village centers and surrounding residential neighborhoods.