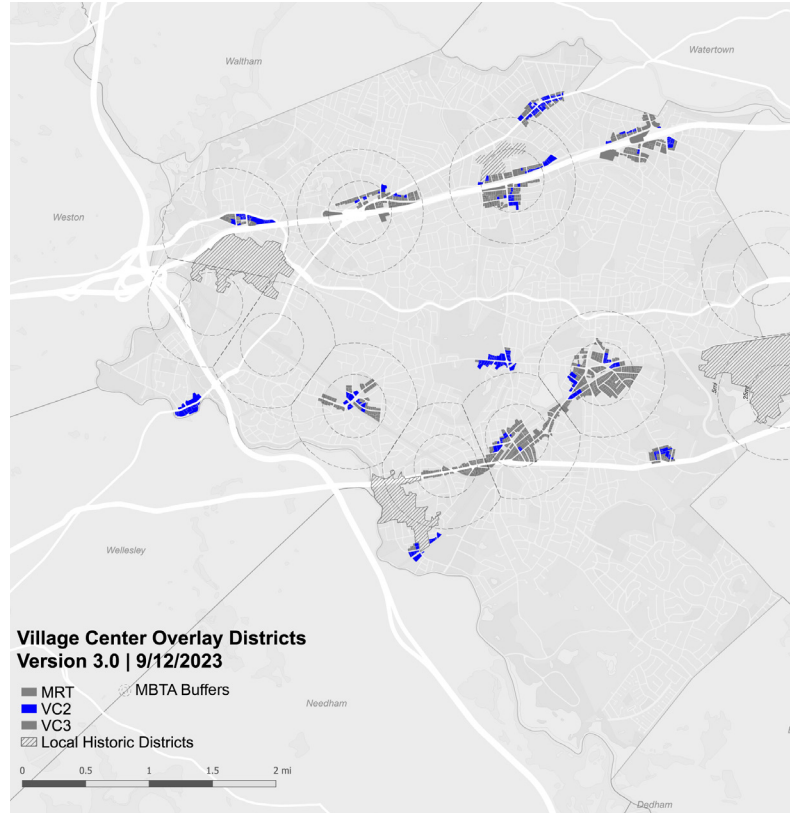


# Village Center 2 (VC2)

## Dimensional Standards - Village Center Overlay District (VCOD)



Hypothetical VC2 building.



VC2 zoning, highlighted in blue, represents less than 1% of the City.

### Requirements for New Buildings in VC2

<b>Special Permit</b>	Lots greater than 30,000 sf
<b>Site Plan Review</b>	Lots between 20,000-29,999 sf
<b>Height, max. (mixed-use)*</b>	3.5 stories, 56' (flat) 58' (pitched)
<b>Building Footprint, max.</b>	10,000 sf
<b>Facade Length, min.</b>	75%, or lot width within side setbacks minus 15'
<b>Setback: Front, min.</b>	0' (12' minimum sidewalk required)
<b>Setback: Side, min.</b>	0', unless abutting an R-District, then 20'
<b>Setback: Rear, min.</b>	5', unless abutting an R-District, then 20'
<b>Allowable Uses</b>	Multi-family, Retail, Office

\* Max height assumes a mixed-use building with residential units on  
 Note: There are additional design standards for VC2 zoning

### The VC2 district facilitates mixed-use and residential buildings of moderate scale.

This district serves as the core of some village centers and as a transition district for other, larger village centers. Buildings are typically set close to the sidewalk to create a defined street “wall” that makes pedestrian activity more enjoyable and creates a sense of place. Ground story active uses address the needs of residents and employees in the immediate neighborhood as well as the larger Newton community.