



Newton Wellesley Hospital Special Permit Hearing

#141-23

May 16, 2023

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Introductions



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Introduction:

Ellen Moloney
President and COO



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Description of Proposal

- The project will involve *interior construction only*
- There will be no changes to the building footprint or the site plan



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5E Shell space is within the structure that contains the Emergency Dept



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Project Benefits

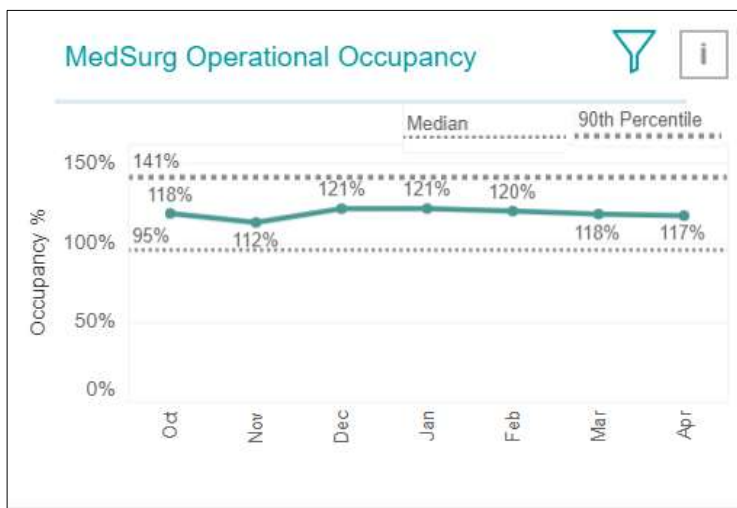
- The project is critical to the hospital and surrounding communities' projected need for more inpatient beds that has escalated since the Covid-19 pandemic
- Many of these beds will serve:
 - Increasing volume of ED patients
 - An increasing number of inpatients
- As demonstrated by VHB's study, there is adequate parking to serve the new beds and no material traffic impacts



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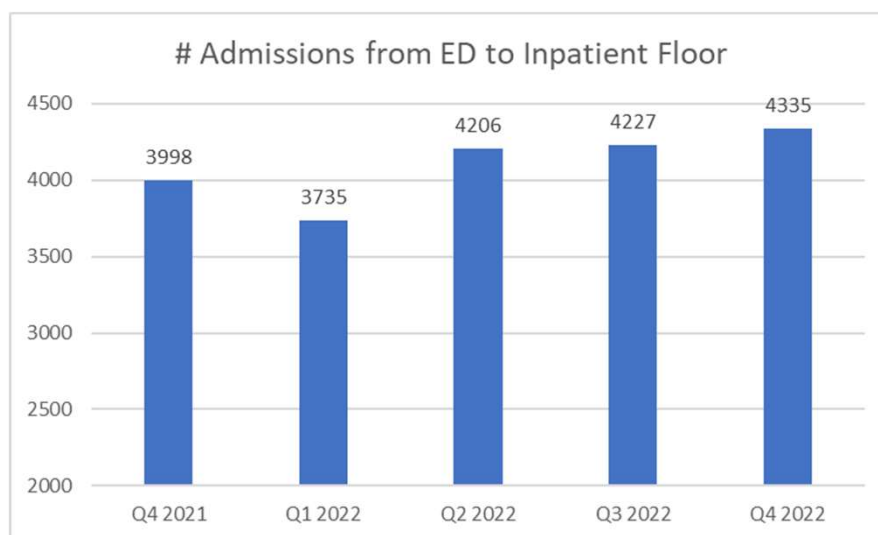
Post-Covid Inpatient Capacity has exceeded 100%



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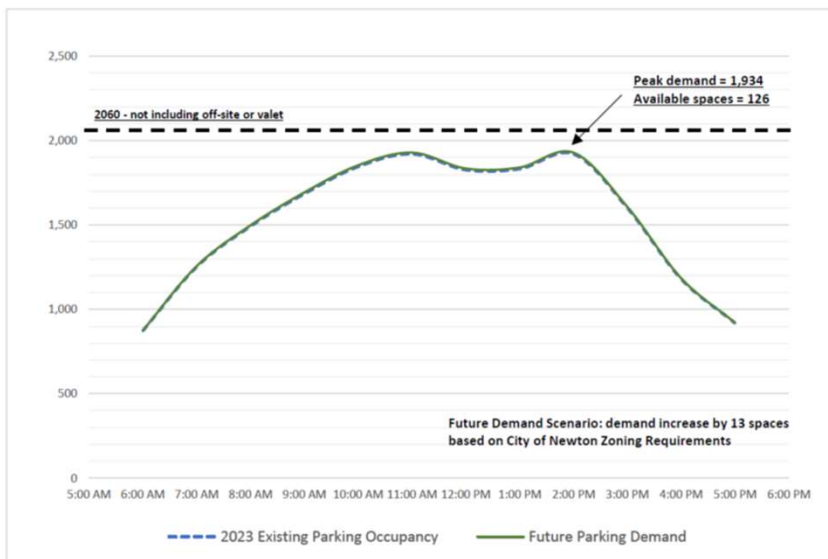
Number of patients being admitted to the hospital from the ED is increasing



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Parking: Remain 126 spaces below capacity



Special Permit Criteria:




General:

- The public convenience and welfare will be served
- Construction will not be substantially more detrimental to the neighborhood than the current building and uses



Specific Criteria	
1. The Site is appropriate for the use.	No change in use.
2. The use will not adversely affect the neighborhood.	No adverse impacts – construction wholly within the existing building.
3. No nuisance or hazard to vehicles or pedestrians.	Ample parking and safe means of ingress and egress. No traffic impacts.
4. Access is appropriate.	No change.
5. The Project will contribute significantly to the efficient use of and conservation of natural resources and energy.	Not applicable. No addition of square feet of floor area; utilization of existing space.


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Conclusion

Mass General Brigham Newton-Wellesley Hospital requests a special permit to be issued in order to continue caring for the Newton and surrounding communities.

Thank you

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