

Department of Planning and Development



PETITION #24-22

22 KIRKSTALL ROAD

SPECIAL PERMIT/SITE PLAN
APPROVAL TO ALLOW MORE
THAN 700 SQUARE FEET OF
GARAGE AREA AND TO WAIVE
THE DORMER PROVISIONS



JANUARY 11, 2021

Requested Relief



Special Permits per §7.3.3 of the NZO to:

- allow more than 700 square feet of garage space. (§3.4.4.E.1)
- allow a dormer creating a continual wall plane. (§1.5.4.G.2.a)
- allow a dormer exceeding 50% of the length of the exterior wall of the story next below. (1.5.4.G.2.b)

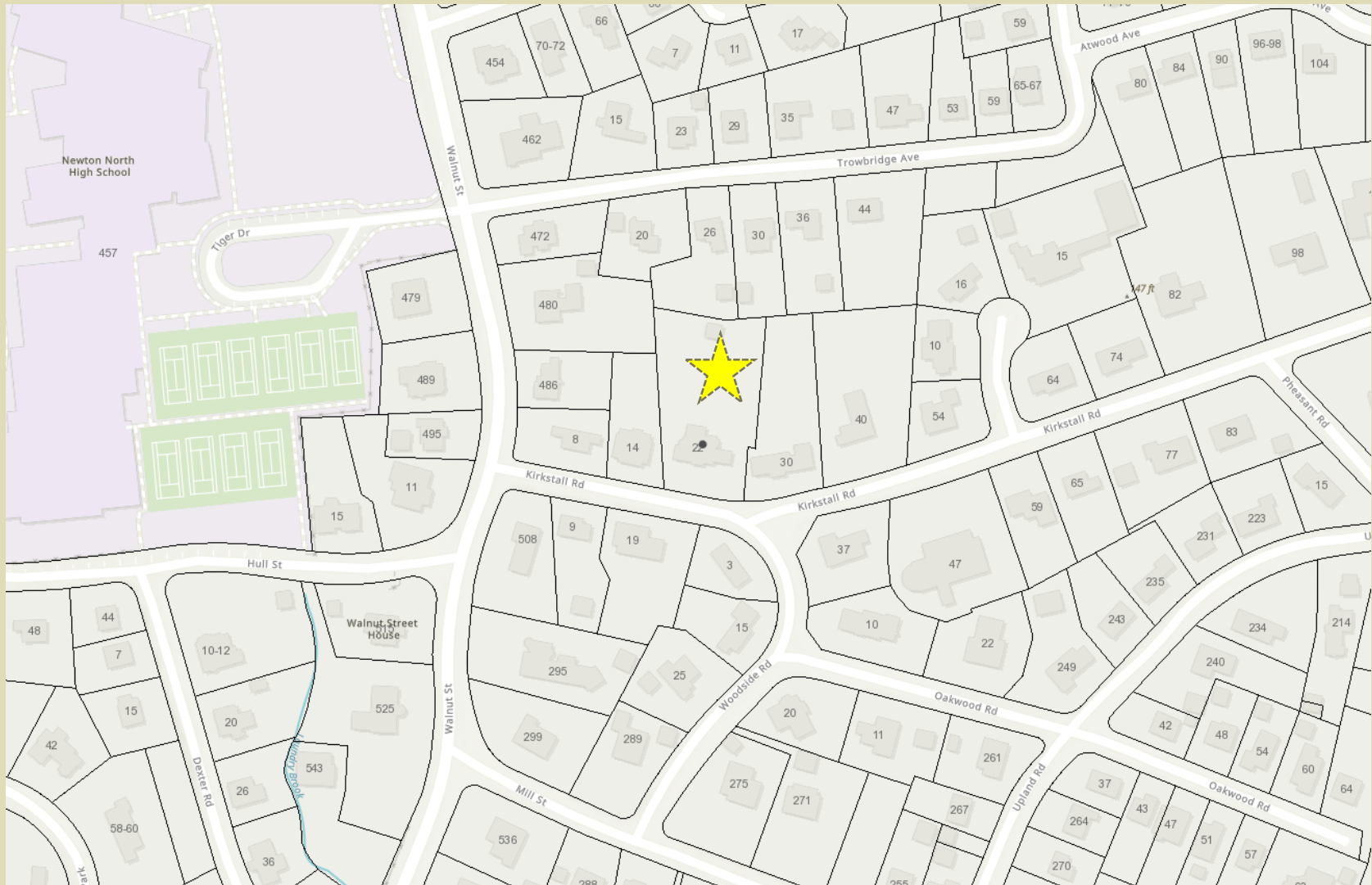
Criteria to Consider



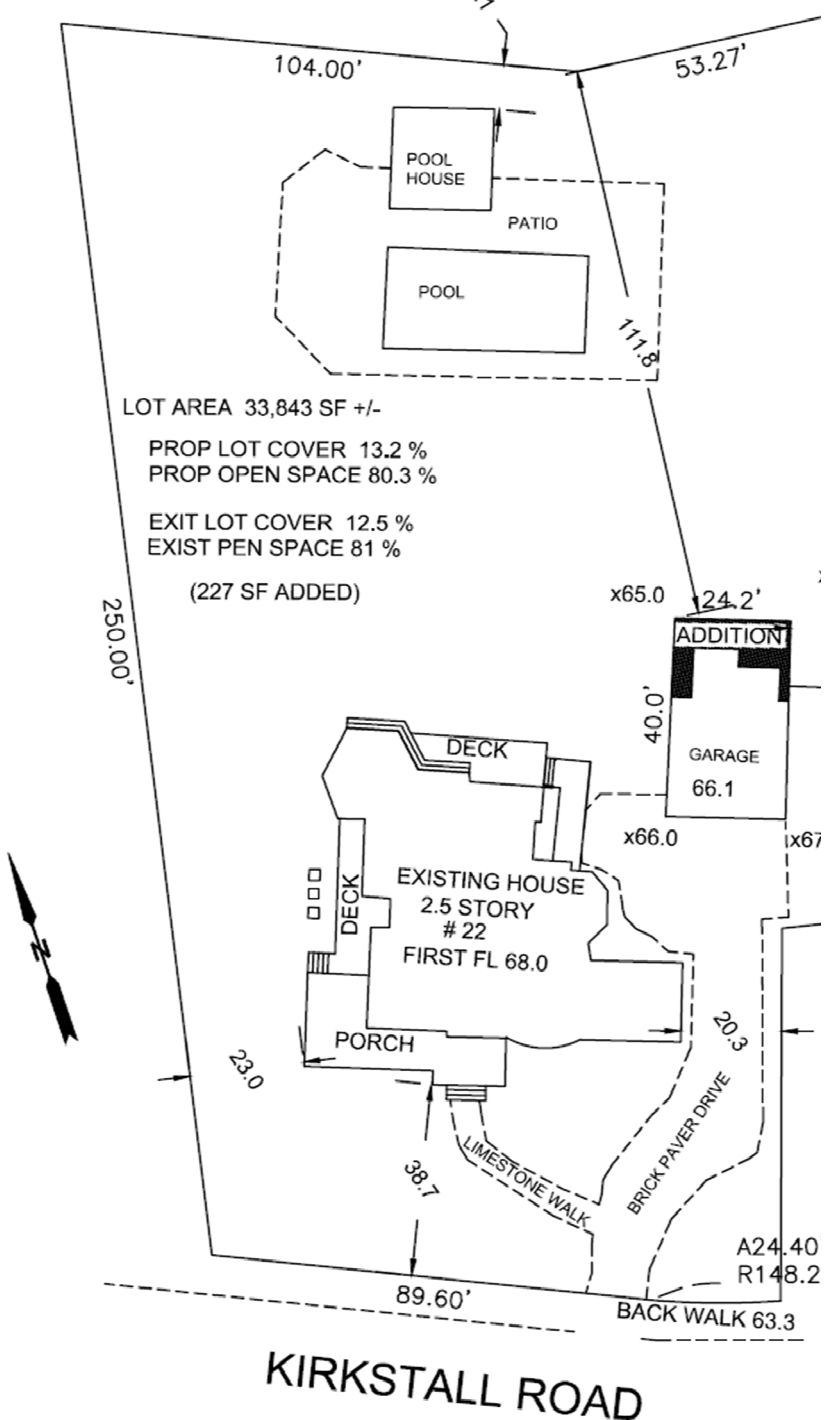
When reviewing this request, the Council should consider whether:

- The specific site is an appropriate location for a garage exceeding 700 square feet of ground-floor area and for dormers which create an uninterrupted wall plane, and which exceed 50 percent of the length of the exterior wall of the story next below. (§7.3.3.C.1)
- The proposed garage exceeding 700 square feet of ground-floor area and dormers which create an uninterrupted wall plane, and which exceed 50 percent of the length of the exterior wall of the story next below will adversely impact the neighborhood. (§7.3.3.C.2)
- The proposed garage exceeding 700 square feet of ground-floor area and for dormers which create an uninterrupted wall plane, and which exceed 50 percent of the length of the exterior wall of the story next below will create a nuisance or serious hazard to vehicles or pedestrians. (§7.3.3.C.3)
- Access to the site over streets is appropriate for the types and numbers of vehicles involved. (§7.3.3.C.4)

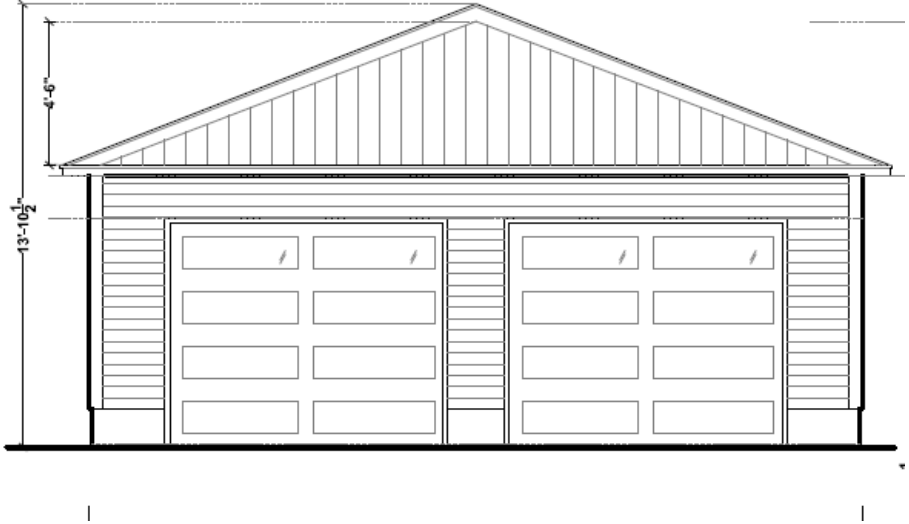
Aerial/GIS Map



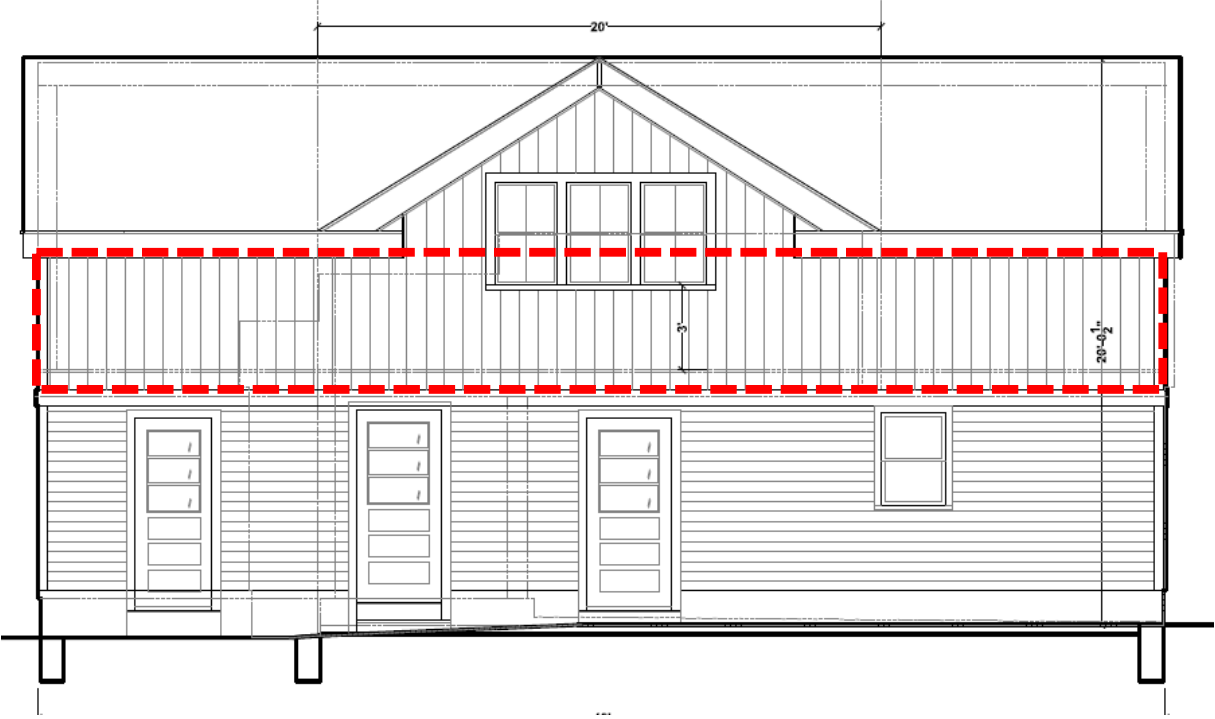
Site Plan



Existing and Proposed Front Elevations



Proposed Right Elevation



Findings



1. The specific site is an appropriate location for a garage exceeding 700 square feet of ground floor area and for dormers which create an uninterrupted wall plane, and which exceed 50 percent of the length of the exterior wall of the story next below because the proposed garage will comply with principal building setback requirements and will be limited to 1.5 stories. (§7.3.3.C.1)
2. The proposed garage exceeding 700 square feet of ground floor area and dormers which create an uninterrupted wall plane, and which exceed 50 percent of the length of the exterior wall of the story next below will not adversely impact the neighborhood because the existing location will be maintained. (§7.3.3.C.2)
3. The proposed garage exceeding 700 square feet of ground floor area and for dormers which create an uninterrupted wall plane, and which exceed 50 percent of the length of the exterior wall of the story next below will not create a nuisance or serious hazard to vehicles or pedestrians because there are changes to the curb cut or driveway. (§7.3.3.C.3)
4. Access to the site over streets is appropriate for the types and numbers of vehicles involved. (§7.3.3.C.4)

Conditions



1. Standard Plan Reference Condition
2. Standard Building Permit Condition
3. Standard Occupancy Certificate Condition