

DOWLING RESIDENCE

22 MILO ST. UNIT 2,
NEWTON, MA 02465



SHEET INDEX

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#25-22

REBEL
BUILDERS

DRAWINGS PREPARED BY

REBEL BUILDERS LLC
997 CHESTNUT ST #5
NEWTON UPPER FALLS
MA - 02464

PROJECT

DOWLING RESIDENCE
22 MILO ST. UNIT 2,
NEWTON, MA 02465

DATE

11/01/2021

PHASE

SPECIAL PERMIT

APPLICANT

JESSICA DOWLING
22 MILO ST. UNIT 2,
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CONSULTANTS

NOTES

Scale at drawings and symbols varies per
item.

SHEET TITLE

SYMBOLS &
ANNOTATIONS

SHEET NUMBER

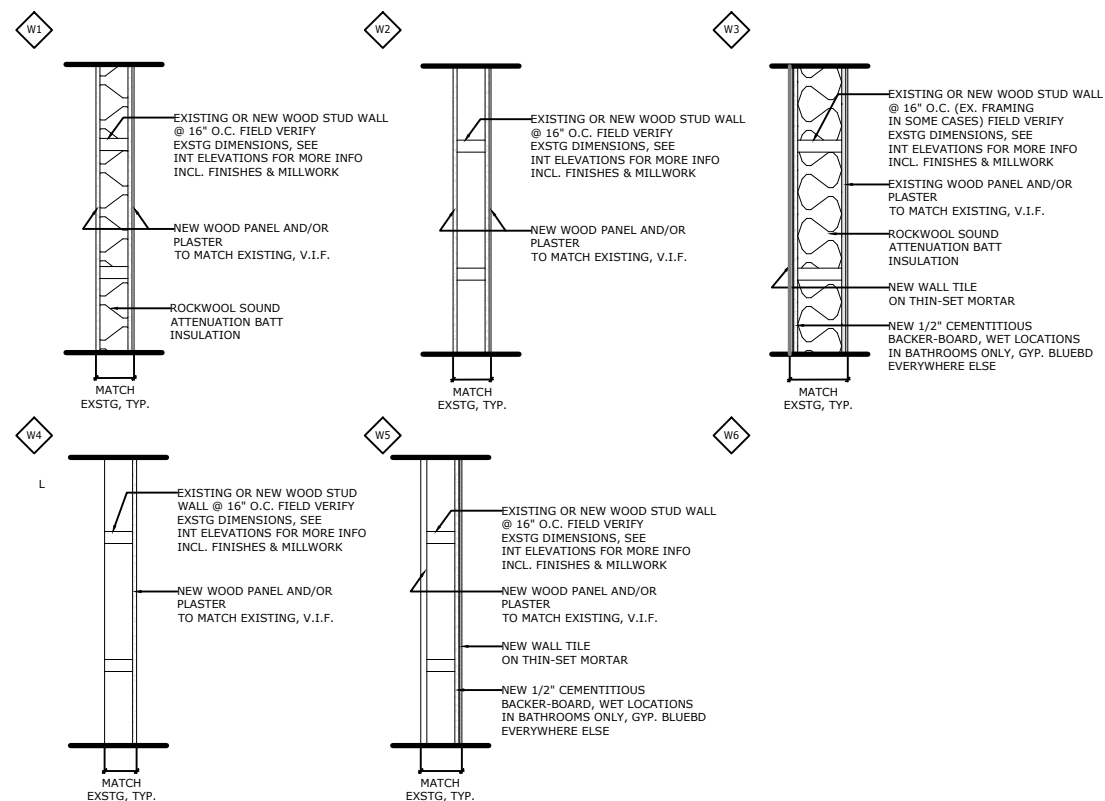
G-001

PAGE

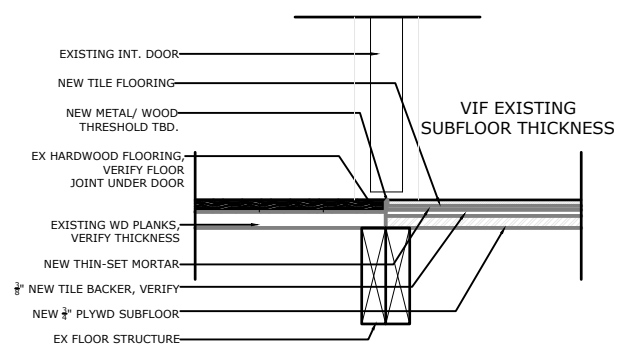
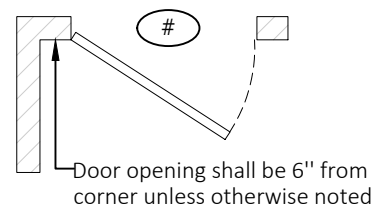
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GRAPHIC STANDARDS

Typical Wall Types



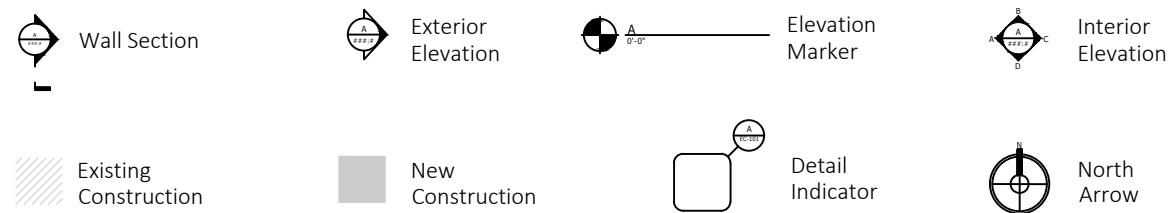
Door location & Thresholds



ABBREVIATIONS & SYMBOLS

ABBR.	DESCRIPTION	ABBR.	DESCRIPTION	ABBR.	DESCRIPTION
Approx.	Approximate	Horiz.	Horizontal	Reinf.	Reinforced
Avg.	Average	Ht.	Height	EP	Electric Panel
Brng.	Bearing	Htg.	Heating	S.F.	Square Foot
CH	Ceiling Height	HVAC	Heating, ventilation & air conditioning	T.&G.	Tongue and Groove
CMU	Concrete masonry unit	HW	Hot Water	W	Wire
Conc.	Concrete	In.	Inch	WH	Window Height
Cont.	Continuous	Int.	Interior	SH	Sill Height
DW	Dish Washer	Inst.	Installation	%	Percentage
Ea.	Each	Insul.	Insulation	@	At
Ext.	Exterior	LED	Light emitting diode	&	And
Flr.	Floor	Max.	Maximum	"	Inch
Fdn.	Foundation	MDF	Medium-density fiberboard	'	Foot
Ft.	Foot	Min.	Minimum	⊥	Centerline
Furn.	Furniture	O.C.	On center	#	Number
Hdr.	Header	Pvmt.	Pavement	Ply.	Plywood

PLANS AND DETAILS SYMBOLS & CALLOUTS



TAGS

- # Window Tag
- # Door Tag
- # Finish Tag
- (A#) Selection Tag

HVAC

- [Symbol] A/C Register Wall
- [Symbol] A/C Register Ceiling
- [Symbol] A/C Register Floor
- [Symbol] Exhaust Fan/Light
- BBH Baseboard Heater

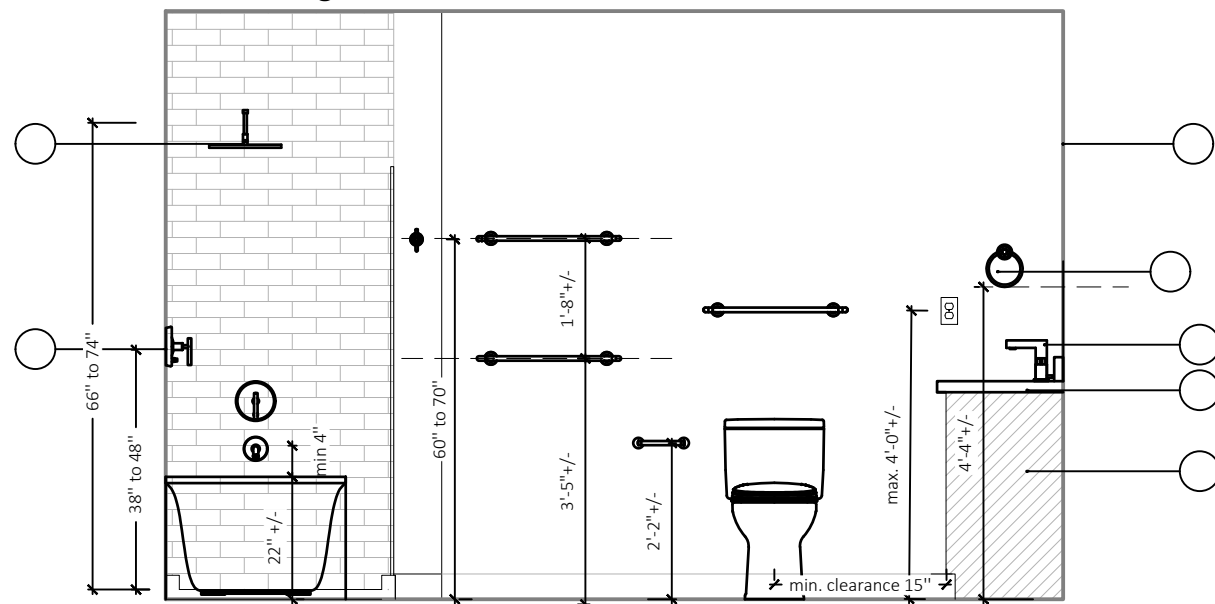
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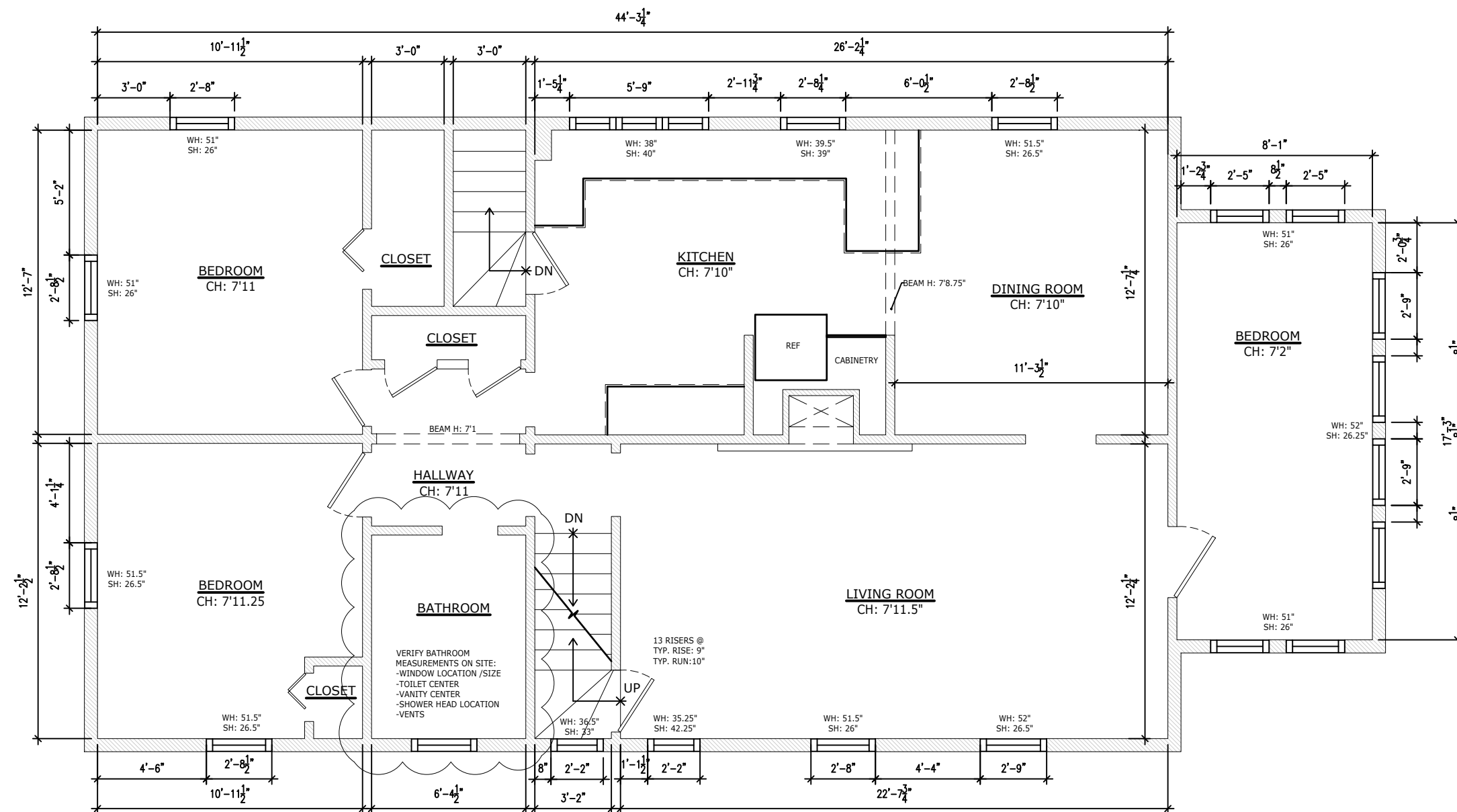
- [Symbol] 240v outlet
- [Symbol] Single receptacle outlet
- [Symbol] Four-Plex receptacle outlet
- [Symbol] Double receptacle outlet
- [Symbol] Pendant Light
- [Symbol] Recessed ceiling light
- [Symbol] Sconce light/ Wall light
- S Switch
- S₃ Three-way Switch
- Sd Switch/Dimmer

ELECTRICAL

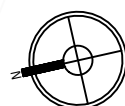
- [Symbol] Thermostat
- [Symbol] Smoke +CO₂ Combo
- [Symbol] Smoke Detector
- [Symbol] CO₂ Detector
- [Symbol] Computer Data/ LAN
- [Symbol] Blank Outlet
- [Symbol] Telephone Jack
- C Cable/ TV
- E Existing Service
- [Symbol] Flood light

Bathroom fixtures height





1 EXISTING SECOND FLOOR PLAN
 3/16" = 1'-0"



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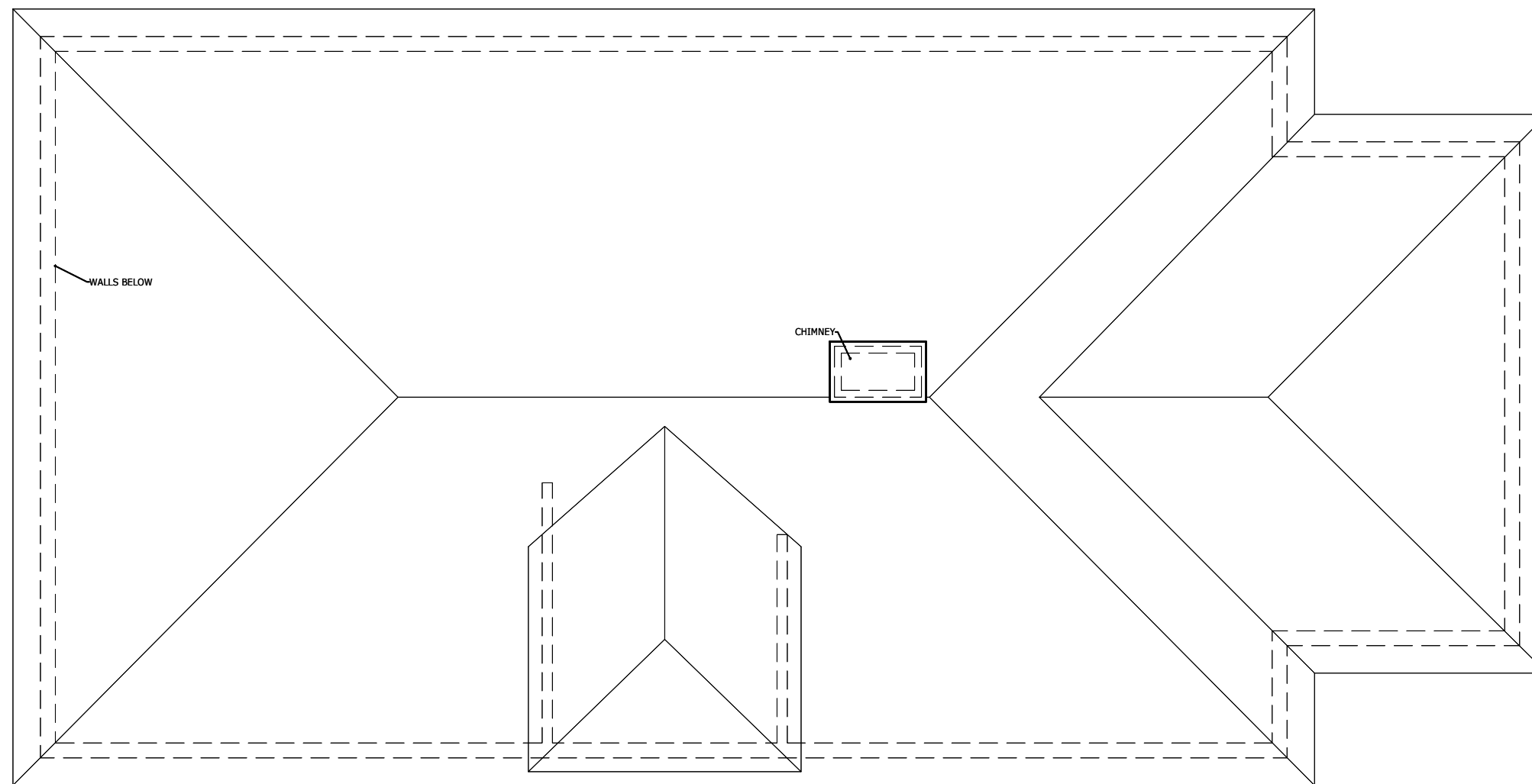
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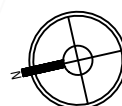
SHEET TITLE
 EXISTING CONDITIONS:
 ROOF PLAN

SHEET NUMBER
RA-103

PAGE
4



1 EXISTING ROOF PLAN
 3/16" = 1'-0"



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SHEET TITLE

EXISTING CONDITIONS:
 WEST ELEVATION

SHEET NUMBER

RA-201

PAGE

5



ATTIC CEILING (TOP OF RAFTER)
 +/- 30'-3"

ATTIC
 +/- 22'-11.25"

2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

1 EXISTING WEST ELEVATION
 3/16" = 1'-0"

BASEMENT
 - 3'-0"

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SHEET TITLE

EXISTING CONDITIONS:
 EAST ELEVATION

SHEET NUMBER

RA-202

PAGE

6



ATTIC CEILING (TOP OF RAFTER)
 +/- 30'-3"

ATTIC
 +/-22'-11.25"

2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

BASEMENT
 - 3'-6"

1 EXISTING EAST ELEVATION
 3/16" = 1'-0"

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SHEET TITLE

EXISTING CONDITIONS:
 SOUTH ELEVATION

SHEET NUMBER

RA-203

PAGE

7

ATTIC CEILING (TOP OF RAFTER)
 +/- 30'-3"

ATTIC
 +/- 22'-11.25"

2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

BASEMENT
 - 3'-6"

1 EXISTING SOUTH ELEVATION
 3/16" = 1'-0"



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EXISTING CONDITIONS:
 NORTH ELEVATION

SHEET NUMBER

RA-204

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ATTIC CEILING (TOP OF RAFTER)
 +/- 30'-3"

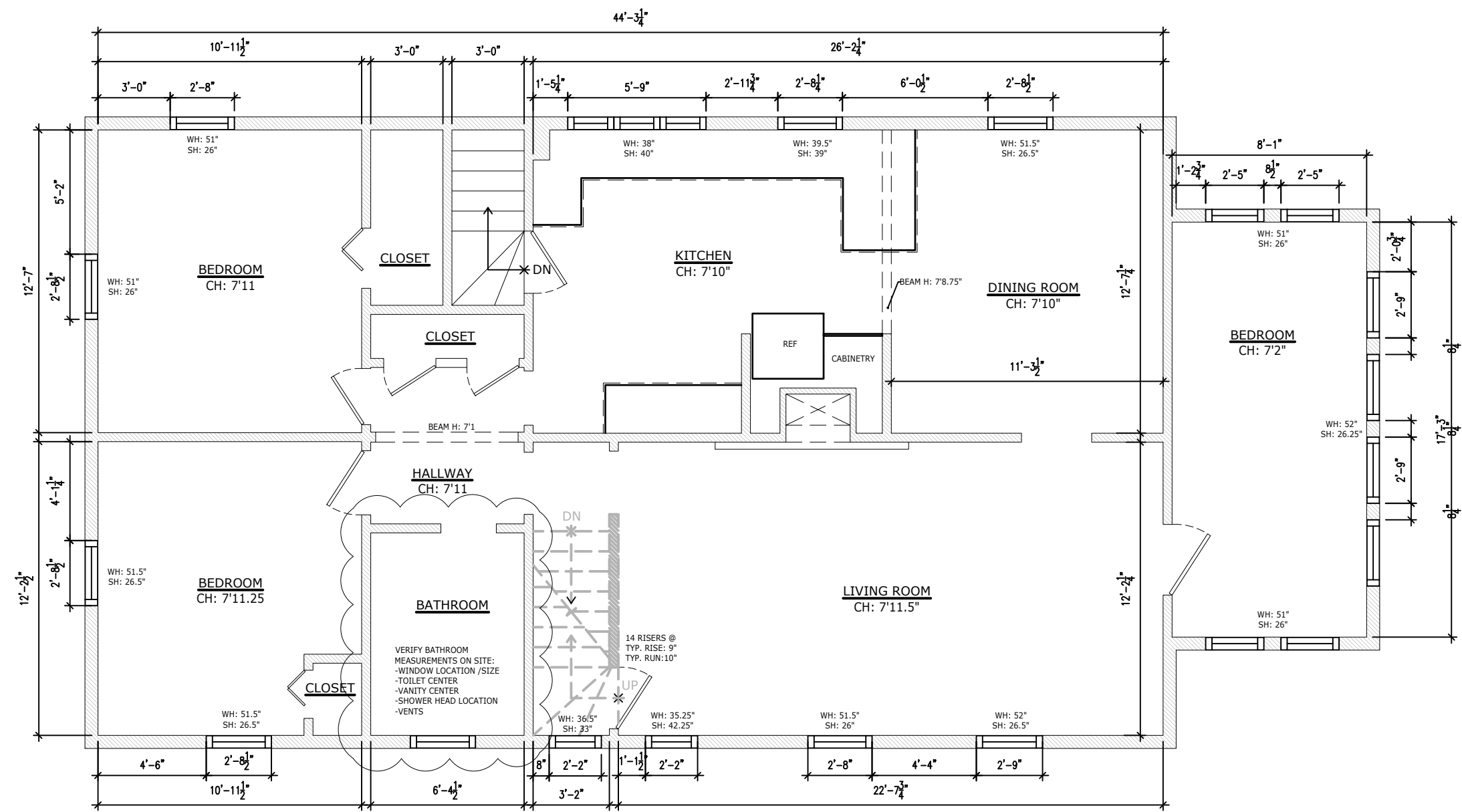
ATTIC
 +/-22'-11.25"

2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

1 EXISTING NORTH ELEVATION
 3/16" = 1'-0"

BASEMENT
 -3'-6"

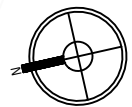


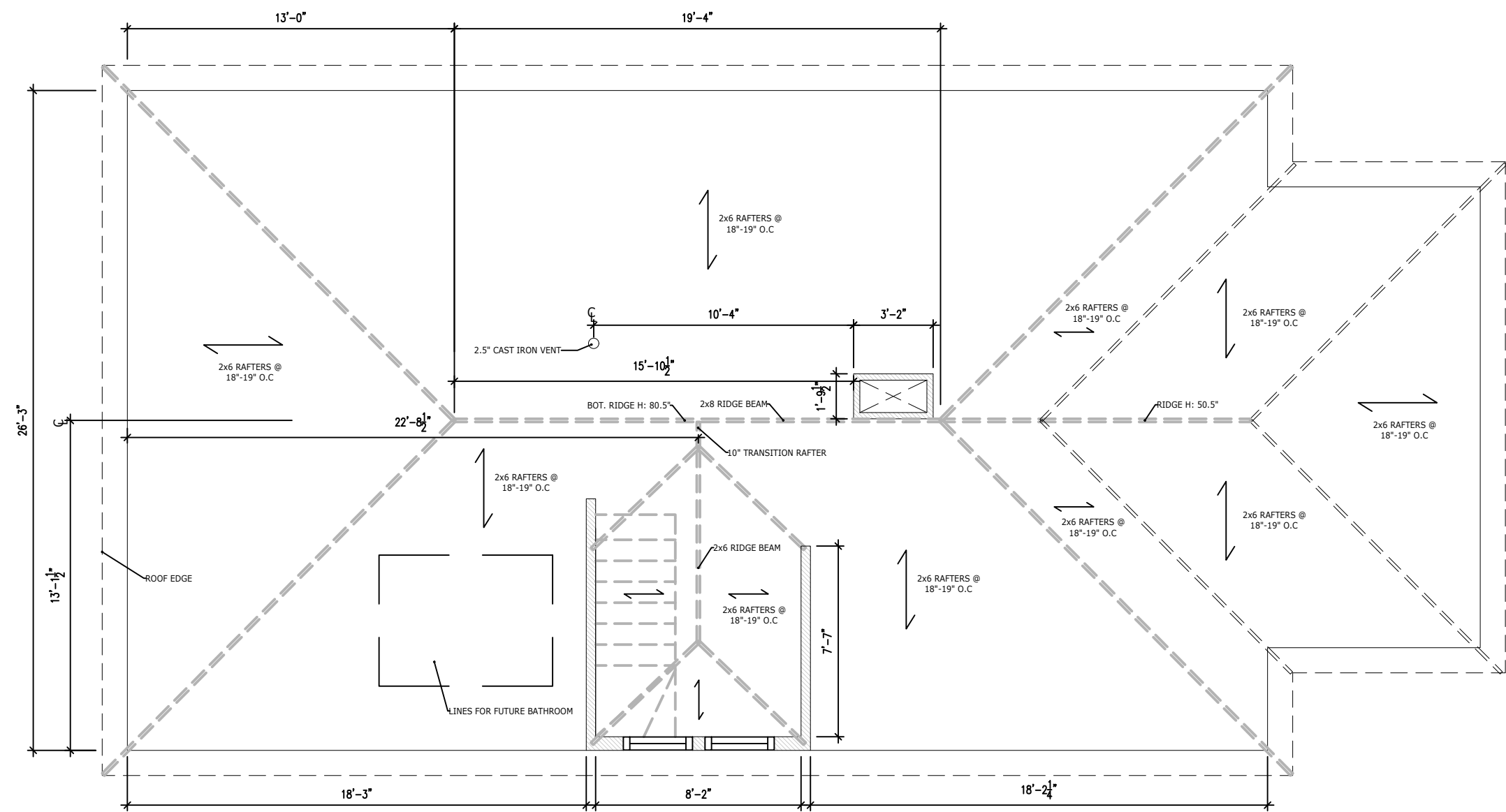
1 PROPOSED SECOND FLOOR DEMO PLAN
 3/16" = 1'-0"

SCOPE NOTES:

By Rebel:

1. Demo (1) Selected Doors
2. Demo selected Walls
3. Demo Stairs of the attic and railings
4. Remove trim work and adjust openings



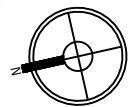


1 PROPOSED ATTIC DEMO PLAN
 3/16" = 1'-0"

SCOPE NOTES:

By Rebel:

1. Demo all the roof structure except the gable by the right side of the house
2. Remove all the insulation from the attic
3. Demo (2) Windows @ the attic



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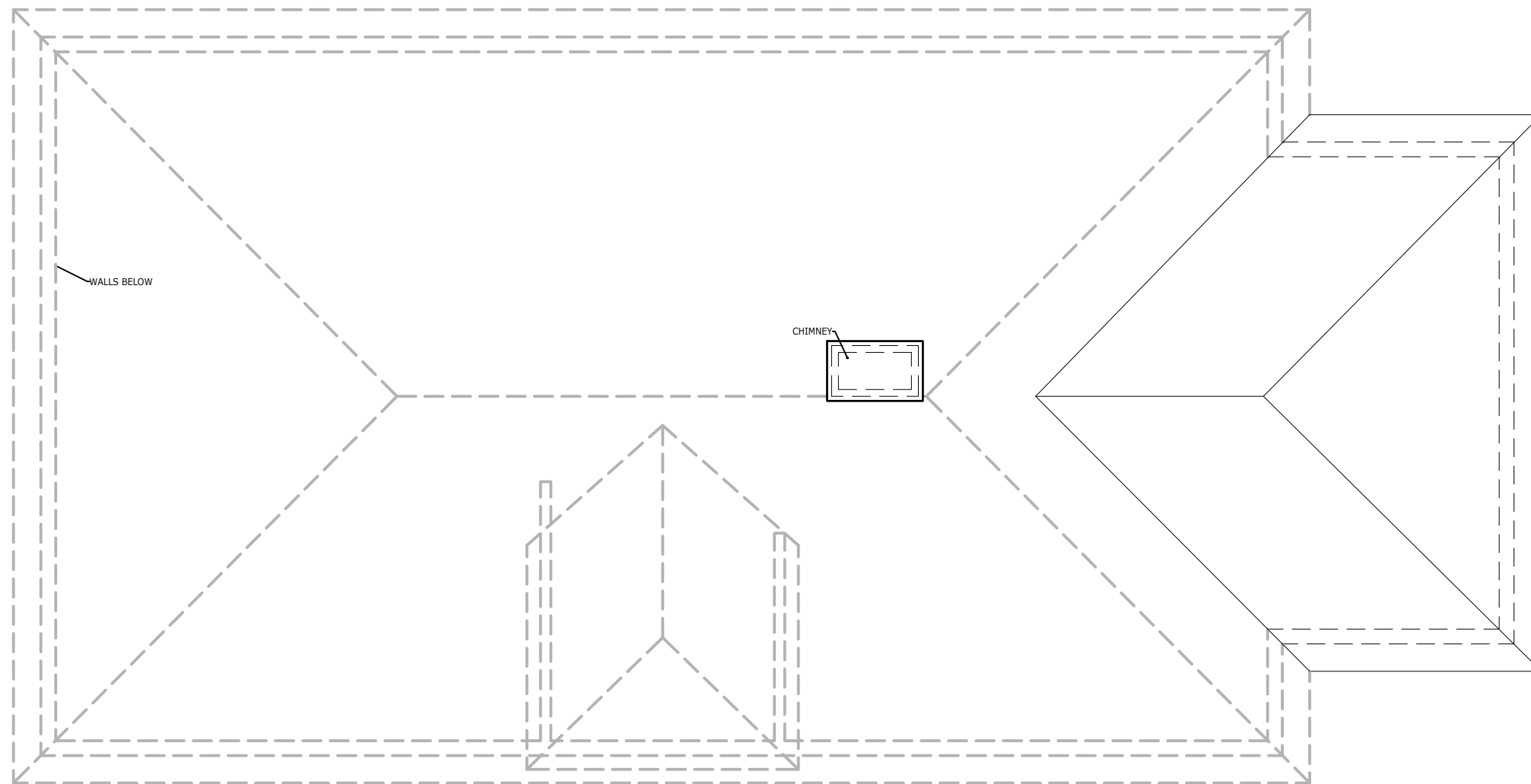
PROPOSED:
 ROOF DEMO PLAN

SHEET NUMBER

AD-103

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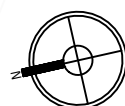


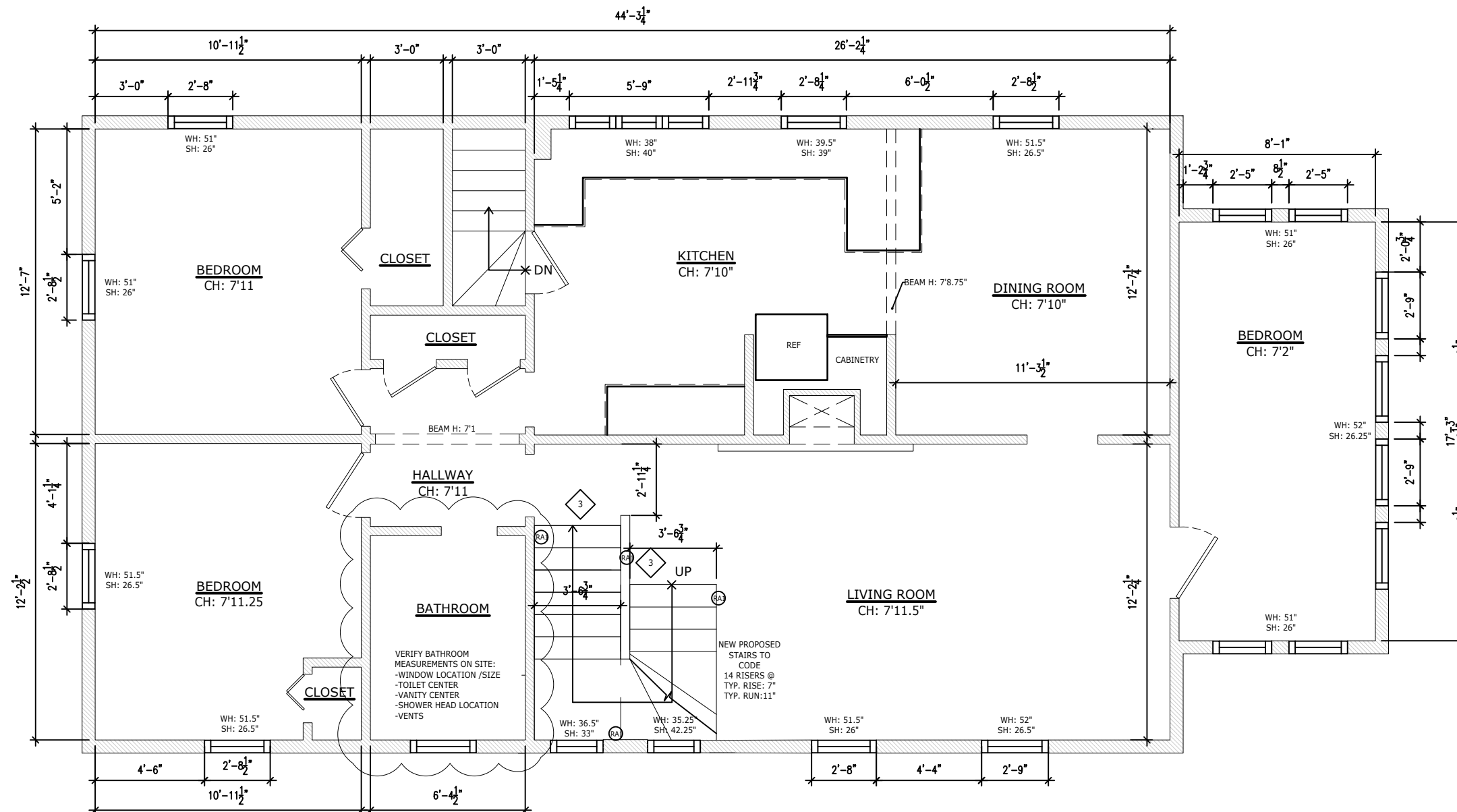
1 PROPOSED ROOF DEMO PLAN
 3/16" = 1'-0"

SCOPE NOTES:

By Rebel:

1. Demo all the roof structure except the gable by the right side of the house
2. Demo all the roof shingles and insulation except the right side of the house
3. Demo vents and gutters of selected areas





1 PROPOSED SECOND FLOOR PLAN
 3/16" = 1'-0"

CARPENTER SCOPE NOTES:

1. Frame new stairs @ attic
2. Provide and Install new railings and treads
3. Insulate Stairs where needed

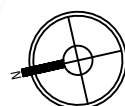
NOTE: REPLACE AND PATCH EXTERIOR SIDING WHERE NEEDED

PAINTER SCOPE NOTES:

1. patch, Sand and Paint Walls where work is done and disturbed areas

MILLWORK NOTES:

1. Install new baseboard and trim work on stairs and disturbed areas. (Reference with Demo and existing plans)
2. New flooring and treads on stairs
3. Stain and refinish Hardwood Floor in disturbed areas to match existing



NOTES

- ③ FEATHER IN AND PATCH DISTURBED HW FLOOR
- ② NEW HARDWOOD FLOOR
- RA1 NEW STAIR RAILINGS AND HANDRAILS

SHEET TITLE

PROPOSED: SECOND FLOOR PLAN

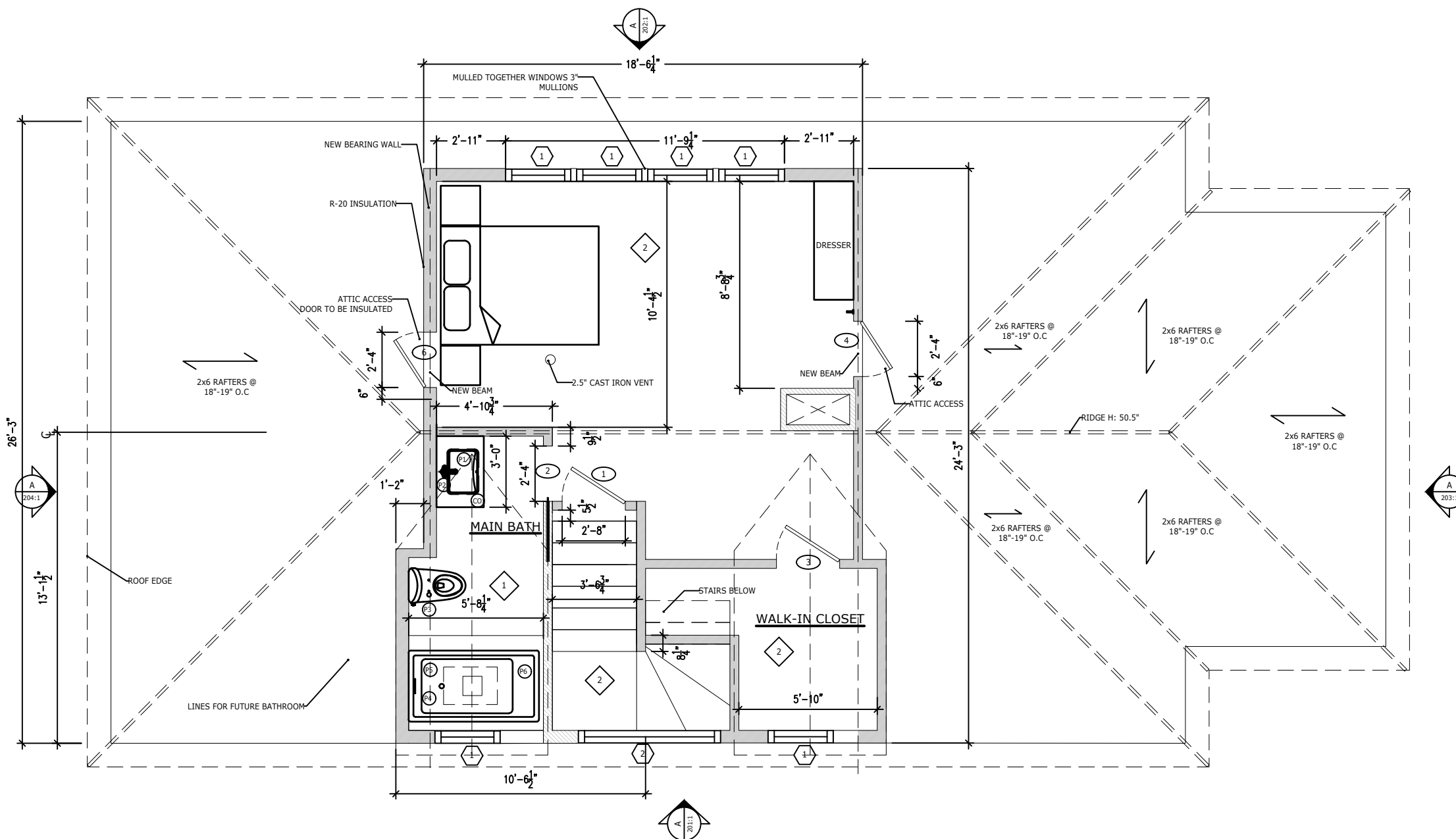
SHEET NUMBER

A-101

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12

- 1 NEW TILE FLOOR
- 2 NEW HARDWOOD FLOOR
- RA NEW STAIR RAILINGS AND HANDRAILS
- 1 NEW WINDOW
- 2 NEW WINDOW
- 1 NEW BEDROOM DOOR
- 2 NEW BATH POCKET DOOR
- 3 NEW CLOSET DOOR
- 4 NEW ATTIC ACCESS DOOR
- 5 NEW DOUBLE SLIDING DOOR
- 6 NEW ACCESS PANEL DOOR
- P1 NEW SINK
- P2 NEW BATH FAUCET
- P3 NEW TOILET
- P4 NEW BATHTUB
- P5 NEW SHOWER HEAD
- P6 NEW HANDSHOWER
- CO VANITY COUNTERTOP
- CB VANITY



1 PROPOSED ATTIC PLAN
3/16" = 1'-0"

CARPENTER SCOPE NOTES:

1. FRAME (2) NEW OPENINGS AND INSTALL (2) NEW HINGED DOORS @ BEDROOM ENTRY AND CLOSET
2. FRAME (2) NEW OPENINGS AND INSTALL (2) ACCESS PANELS @ BEDROOM AND CLOSET
3. FRAME (1) NEW OPENING AND INSTALL (2) SLIDING DOORS @ BEDROOM CLOSET
4. FRAME (1) NEW OPENING AND (1) NEW POCKET DOOR @ BATHROOM
5. FRAME AND INSULATE NEW WALLS
6. DRYWALL AND PLASTER NEW WALLS
7. CREATE (5) NEW EXTERIOR OPENINGS AND INSTALL (5) NEW WINDOWS @ ATTIC
8. CREATE (2) HEADERS FOR CLOSET OPENING AND NEW BIG EXTERIOR WINDOWS
9. PROVIDE BLOCKING FOR NEW CABINETS, FIXTURES AND SHELVES MAIN SUITE BATHROOM AND CLOSET AREA
10. CREATE NEW EXTERIOR ENCLOSURE WITH AZEK PANEL OR HARDIE BOARD PANEL ACCORDING TO ITS BEST APPLICABILITY
11. FRAME NEW ATTIC CEILING, INSULATE AND DRYWALL NEW FINISHED ATTIC CEILING

PLUMBER SCOPE NOTES:

1. PLUMB AND INSTALL (1) NEW BATHROOM SINK, (1) FAUCET, (1) SHOWER HEAD, (1) HANDSHOWER, (1) BATHTUB AND ACCESSORIES @ NEW SUITE BATH.

TILE INSTALLER SCOPE NOTES:

1. TILE THE SHOWER AREA
2. NEW TILE FLOOR @ BATHROOM
- OPTION
3. INSTALL RADIANT HEAT UNDER TILE FLOOR

MILLWORK NOTES:

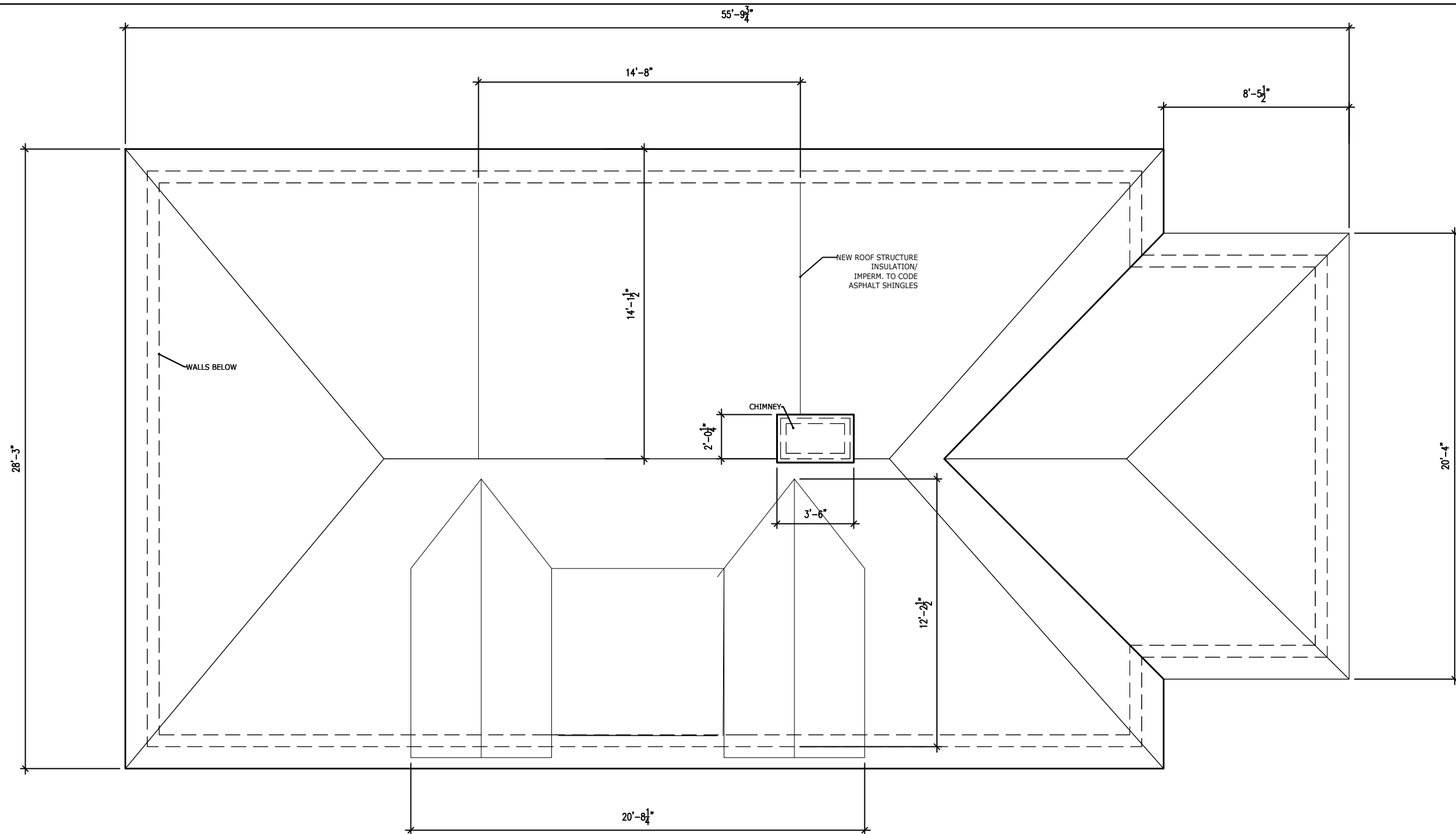
1. INSTALL NEW BASEBOARD AT NEW BATHROOM, NEW BEDROOM, NEW CLOSET AREAS, NEW STAIRS AND AREAS DISTURBED BY THE JOB.
2. INSTALL (6) DOOR TRIMS. INSTALL (5) WINDOW TRIMS
3. INSTALL PANELING ON THE WALL WHERE THE BED WILL BE
4. WALL PAPER INSTALLATION ABOVE WALL PANELING
5. NEW HARDWOOD FLOOR ON STAIRS LANDING AND TREADS
6. NEW HARDWOOD FLOOR ON NEW BEDROOM AND CLOSET AREAS
7. REPLACE, STAIN AND REFINISHED HARDWOOD FLOOR IN DISTURBED AREAS

PAINTER SCOPE NOTES:

1. PAINT WALLS THROUGHOUT THE FINISHED AREA OF THE ATTIC AND PATCH DISTURBED AREAS ON THE SECOND FLOOR.
2. PAINT ALL TRIM, DOORS AND STAIR RAILINGS
3. WALL PAPER ON BEDROOM WALL BY THE BED

CABINETRY:

1. INSTALL NEW VANITY CABINETS, MEDICINE CABINETS AND FURNITURE FOR CLOSET AND BEDROOM



1 PROPOSED ROOF PLAN
 3/16" = 1'-0"

CARPENTER SCOPE NOTES:

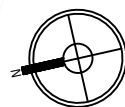
1. FRAME NEW ROOF STRUCTURE
2. FRAME NEW ATTIC WALLS
3. INSTALL NEW ASPHALT SHINGLES
4. INSTALL NEW GUTTERS
5. INSTALL NEW AZEK TRIM
6. INSTALL NEW AZEK VENT
7. INSTALL NEW SIDING AT ATTIC
8. MAKE ROOF IMPERMEABLE
9. INSULATE ROOF, STRUCTURES AND NEW ATTIC WALL
10. INSULATE PLUMBING PIPING
11. PROVIDE BLOCKING FOR NEW CABINETS, FIXTURES AND SHELVES MAIN SUITE BATHROOM AND CLOSET AREA
12. CREATE NEW EXTERIOR ENCLOSURE WITH AZEK PANEL OR HARDIE BOARD PANEL ACCORDING TO ITS BEST APPLICABILITY
13. FRAME NEW ATTIC CEILING, INSULATE AND DRYWALL NEW FINISHED ATTIC CEILING

MANSORY SCOPE NOTES:

1. EXTEND AND REPOINT THE CHIMNEY

PAINTER SCOPE NOTES:

1. PAINT THE CHIMNEY
2. PAINT THE EXTERIOR FACADE OF THE ATTIC FLOOR AND NEW AZEK TRIM AND PANELING



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SHEET TITLE
 PROPOSED:
 ROOF PLAN

SHEET NUMBER
A-103

PAGE
14

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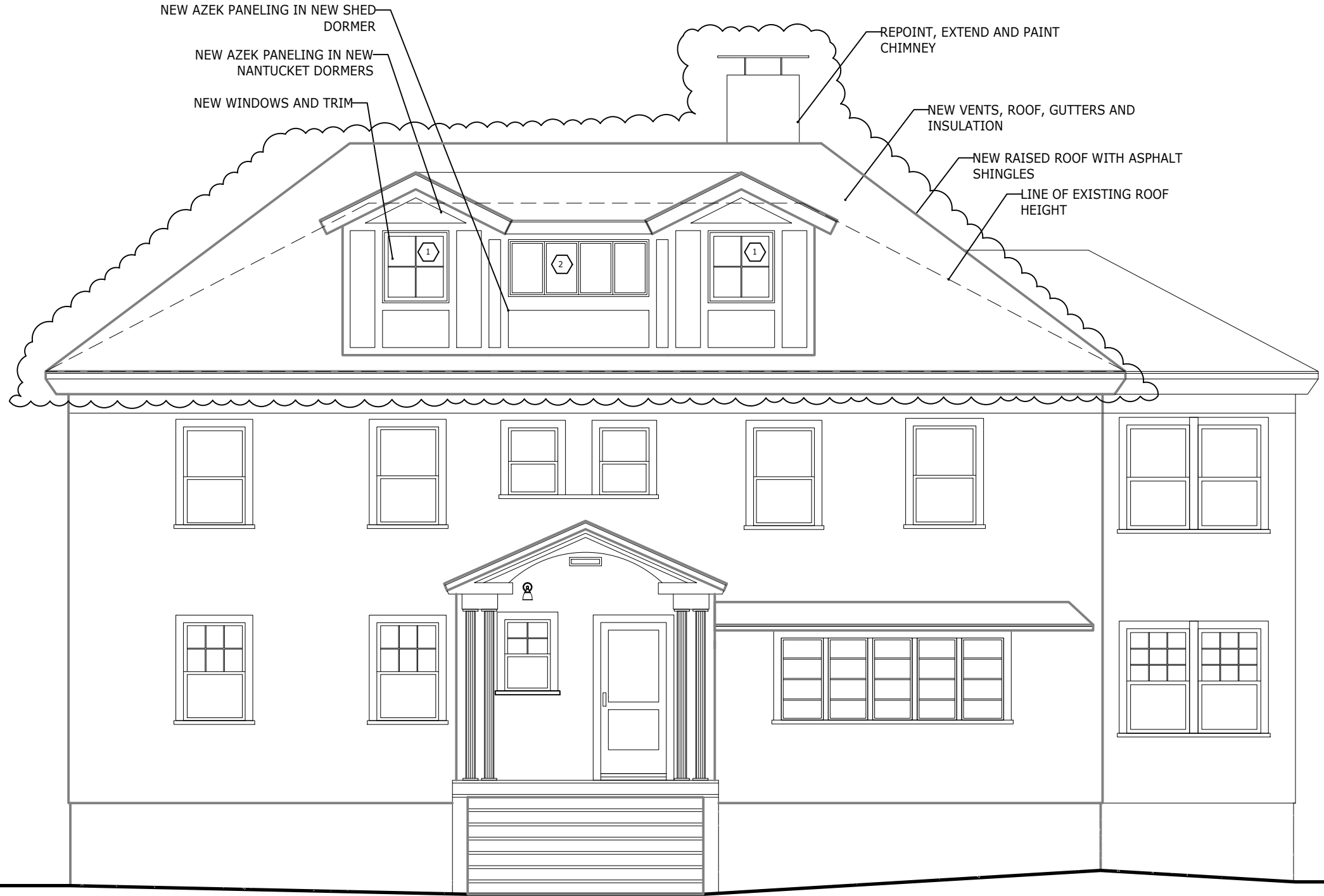
PROPOSED:
 WEST ELEVATION

SHEET NUMBER

A-201

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15



PROPOSED RIDGE HEIGHT
 +/- 33'-0"

EXISTING RIDGE HEIGHT
 +/- 30'-3"

ATTIC
 +/- 22'-11.25"

2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

BASEMENT
 -3'-6"

1 PROPOSED WEST ELEVATION
 3/16" = 1'-0"

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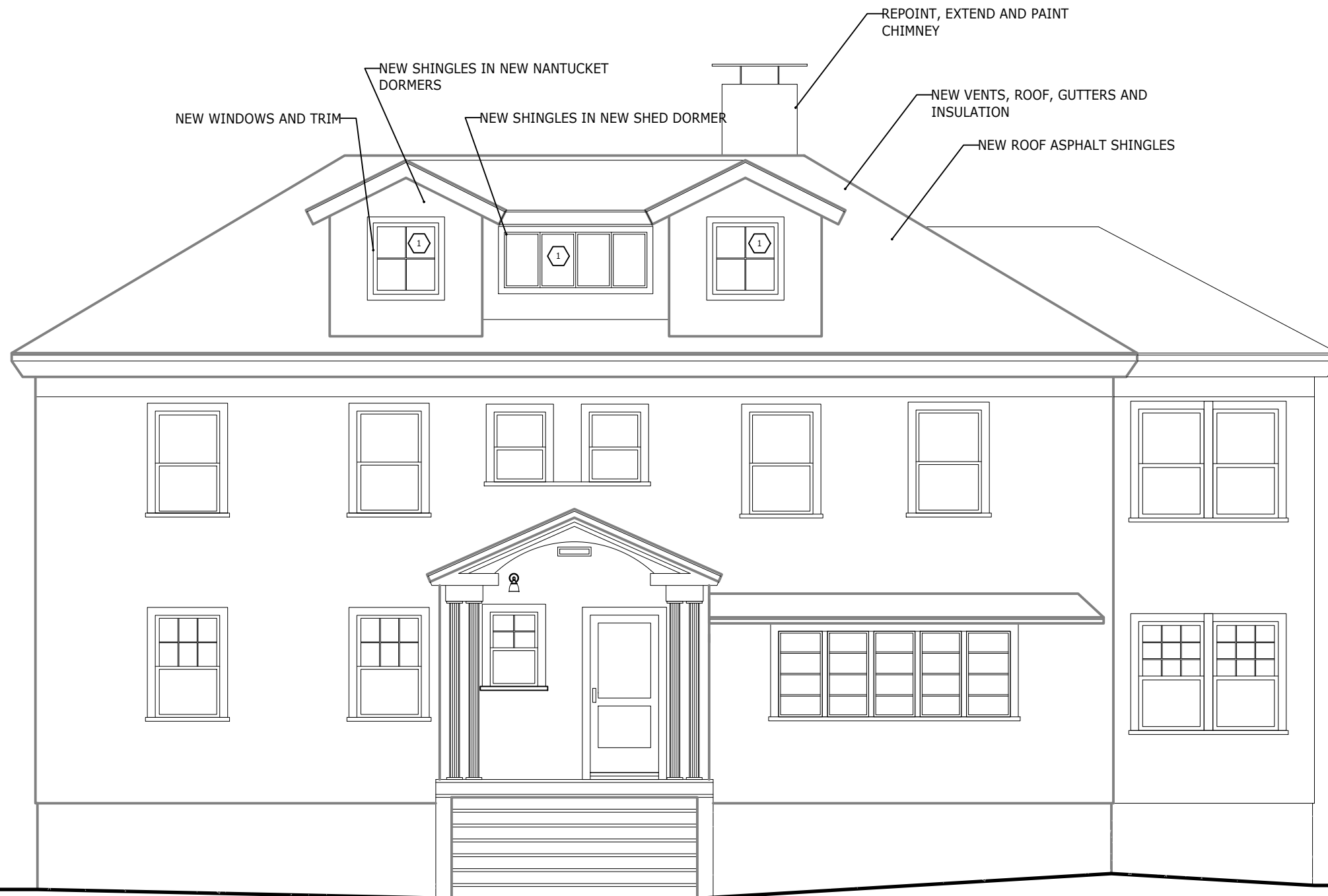
PROPOSED:
 WEST ELEVATION SHINGLES
 OPTION

SHEET NUMBER

A-201

PAGE

15



ATTIC CEILING (TOP OF RAFTER)
 +/- 30'-3"

ATTIC
 +/- 22'-11.25"

2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

BASEMENT
 - 3'-6"

1 PROPOSED WEST ELEVATION: SHINGLES OPTION
 3/16" = 1'-0"

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SHEET TITLE

PROPOSED:
 EAST ELEVATION

SHEET NUMBER

A-202

PAGE

16

PROPOSED RIDGE HEIGHT
 +/- 33'-0"

EXISTING RIDGE HEIGHT
 +/- 30'-3"

ATTIC
 +/- 22'-11.25"

2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

BASEMENT
 -3'-6"



1 PROPOSED EAST ELEVATION
 3/16" = 1'-0"

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SOUTH ELEVATION

SHEET NUMBER

A-203

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PROPOSED RIDGE HEIGHT
+/- 33'-0"

EXISTING RIDGE HEIGHT
+/- 30'-3"

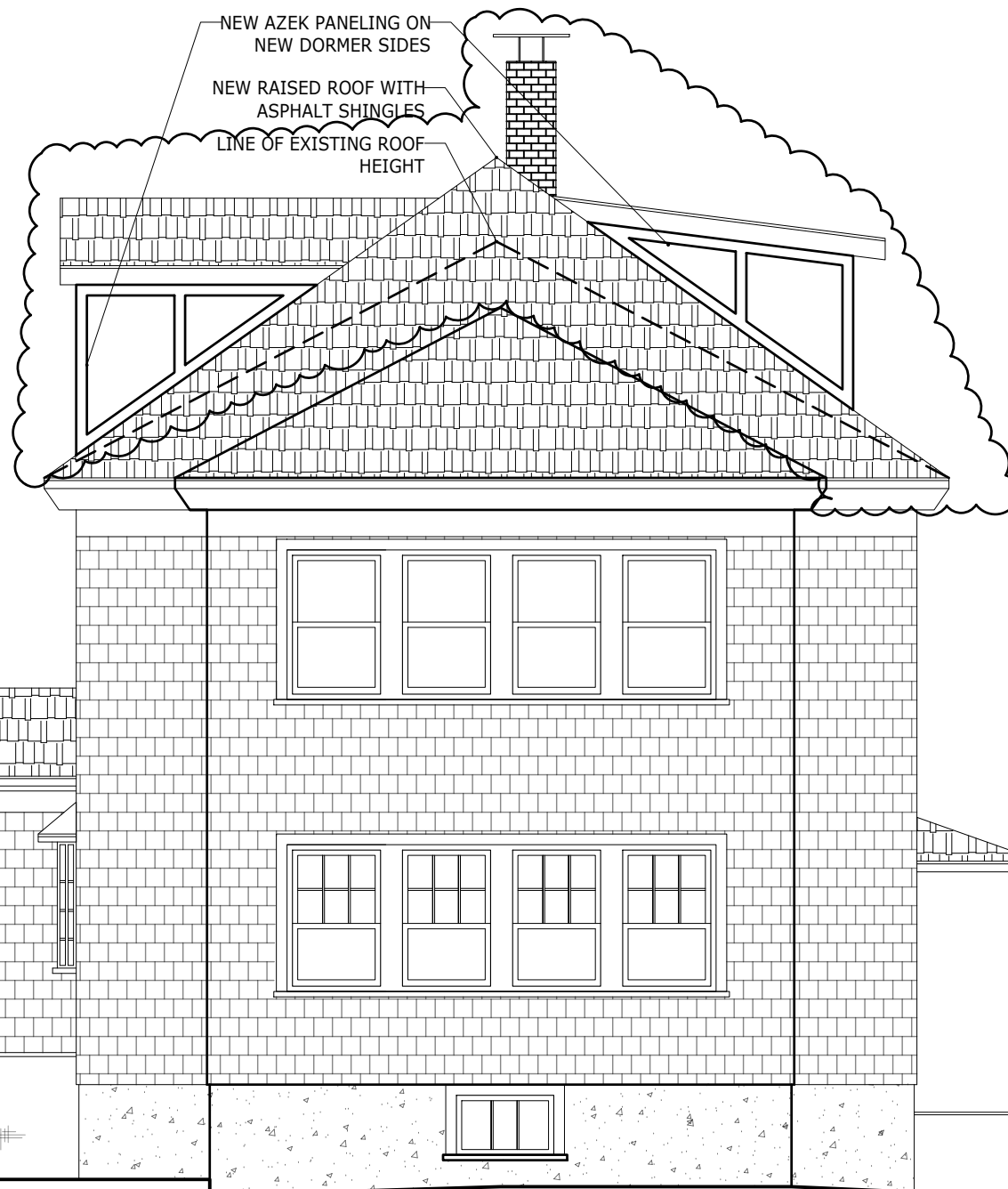
ATTIC
+/- 22'-11.25"

2ND FLOOR
14'-0"

1ST FLOOR
5'-0"

BASEMENT
-3'-6"

1 PROPOSED SOUTH ELEVATION
3/16" = 1'-0"



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NEWTON UPPER FALLS
MA - 02464

PROJECT

DOWLING RESIDENCE
22 MILO ST. UNIT 2,
NEWTON, MA 02465

DATE

11/01/2021

PHASE

SPECIAL PERMIT

APPLICANT

JESSICA DOWLING
22 MILO ST. UNIT 2,
NEWTON, MA 02465

CONSULTANTS

NOTES

Scale at drawings and symbols varies per
item.

SHEET TITLE

PROPOSED:
NORTH ELEVATION

SHEET NUMBER

A-204

PAGE

18

PROPOSED RIDGE HEIGHT
+/- 33'-0"

EXISTING RIDGE HEIGHT
+/- 30'-3"

ATTIC
+/- 22'-11.25"

2ND FLOOR
14'-0"

1ST FLOOR
5'-0"

BASEMENT
- 3'-6"



1 PROPOSED NORTH ELEVATION
3/16" = 1'-0"

DRAWINGS PREPARED BY
 REBEL BUILDERS LLC
 997 CHESTNUT ST #5
 NEWTON UPPER FALLS
 MA - 02464

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SHEET TITLE

PROPOSED:
 SECTION A

SHEET NUMBER

A-301

PAGE

19

PROPOSED RIDGE HEIGHT
 +/- 33'-0"

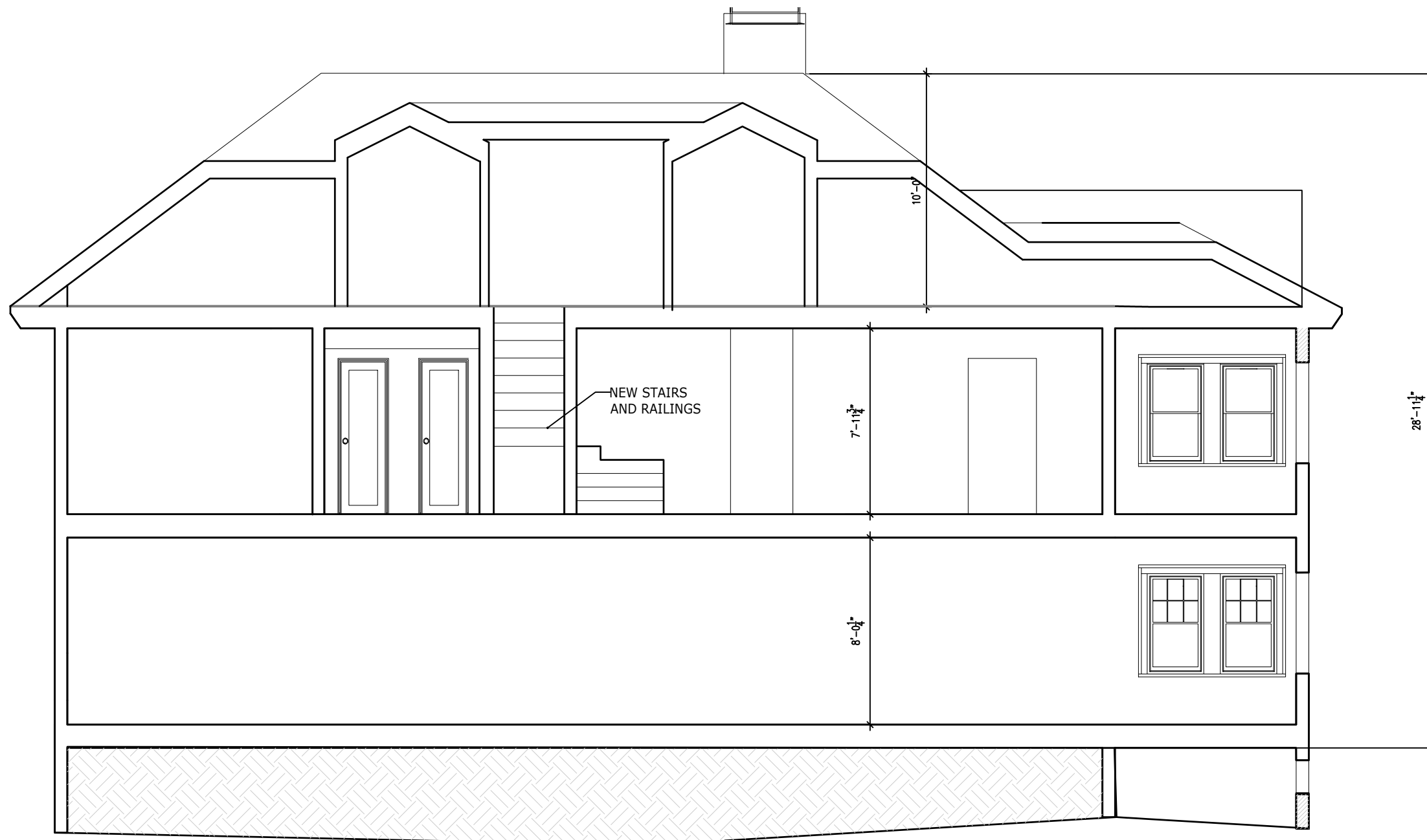
EXISTING RIDGE HEIGHT
 +/- 30'-3"

ATTIC
 +/-22'-11.25"

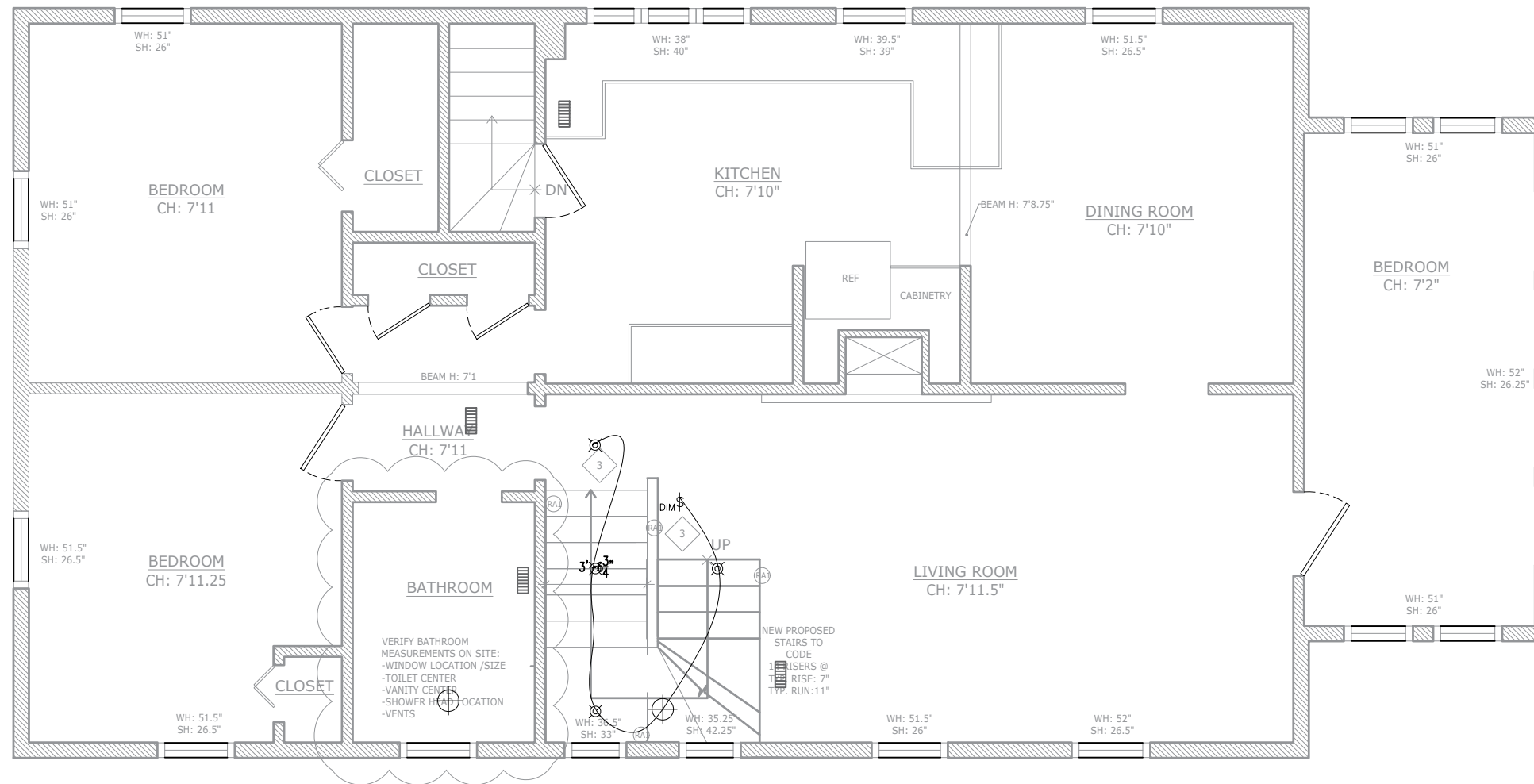
2ND FLOOR
 14'-0"

1ST FLOOR
 5'-0"

BASEMENT
 - 3'-6"



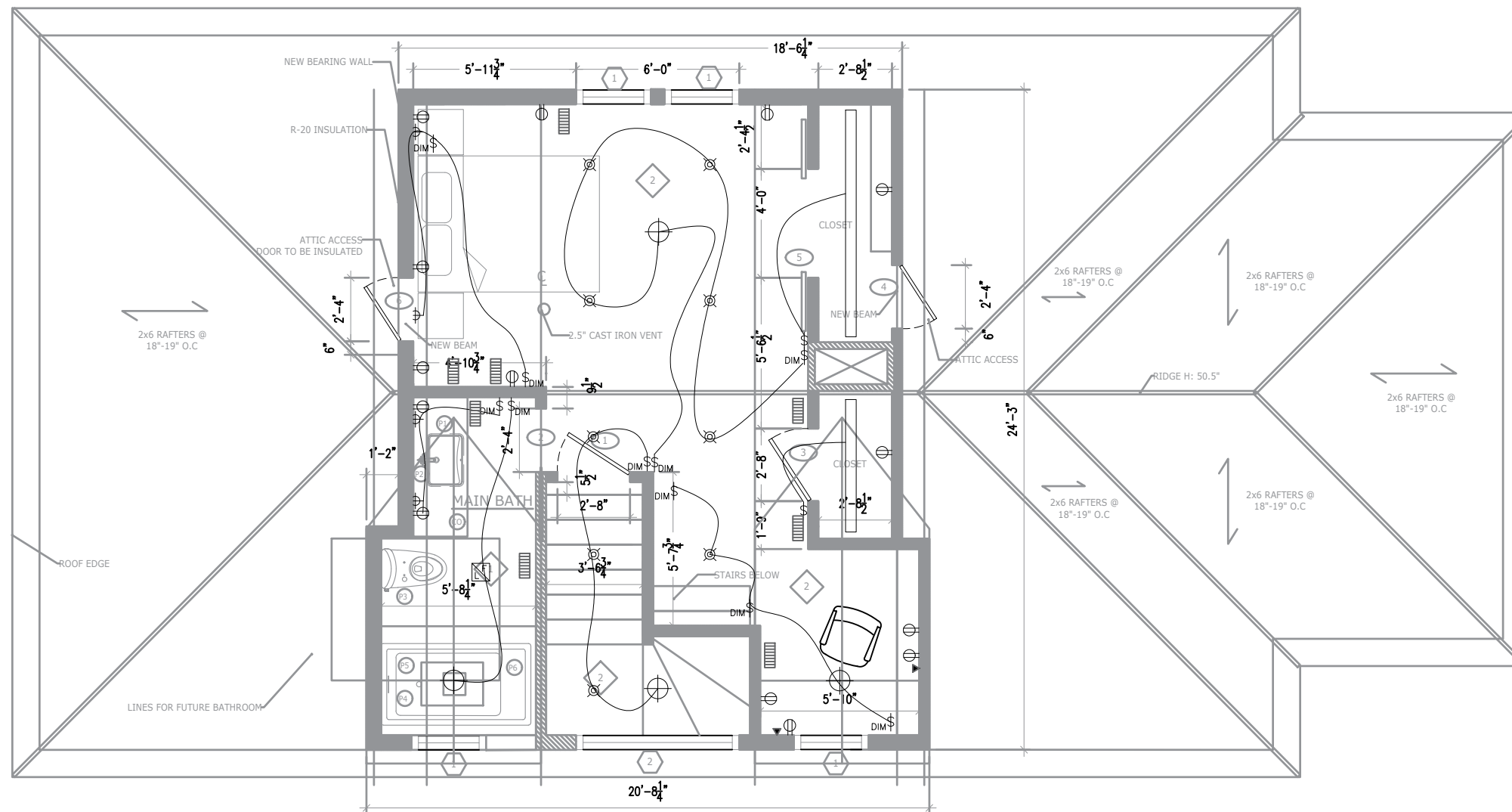
1 PROPOSED SECTION A
 3/16" = 1'-0"



1 PROPOSED RCP SECOND FLOOR PLAN
 3/16" = 1'-0"

RCP SCOPE NOTES:

1. Add a (1) 3 way dimmer switch @ Living Room that will serve the stairs fixtures to the attic.



1 PROPOSED RCP ATTIC FLOOR PLAN
 3/16" = 1'-0"

RCP SCOPE NOTES:

1. Add a (2) 3 way dimmer switches @ Bathroom
2. Add (2) GFCI Outlets @ Bathroom
3. Add (1) Fan/ Light Switch Combo @ Bathroom
4. Add (2) Sconces @ Bathroom
5. Add (1) Light Pendant @ Bathroom
6. Price floor radiant heat @ Bathroom as optional
7. Add (1) Pendant Light @ Stairs
8. Add (2) Recessed Lights @ Stairs
9. Add (1) Dimmer Switch @ Stairs

10. Add (3) 3 way dimmer switches @ Office Nook
11. Add (4) outlets @ Office Nook
12. Add (1) flush mount light @ Office Nook
13. Add (1) recessed light @ Office Nook
14. Add (4) 3 way dimmer switched @ Bedroom
15. Add (2) switches @ Closet
16. Add (8) Outlets @ Bedroom and Closet
17. Add (2) Sconces @ Bedroom
18. Add (6) Recessed Lights @ Bedroom
19. Add (2) Closet Lights
20. Add (1) Pendant Light @ Bedroom
21. Add (2) Attic lights and switches

OPTIONAL:

HVAC SCOPE NOTES:

1. Add New Zone and HVAC for Attic