

CITY OF NEWTON

IN BOARD OF ALDERMEN

FINANCE COMMITTEE AGENDA

MONDAY, SEPTEMBER 22, 2014

7 PM  
Room 222

**ITEMS SCHEDULED FOR DISCUSSION:**

*The Committee will be meeting jointly with Zoning & Planning Committee on the below item:*

**REFERRED TO ZONING & PLANNING AND FINANCE COMMITTEES**

#277-14(2) COMMUNITY PRESERVATION COMMITTEE recommending the appropriation of three hundred thousand dollars (\$300,000) to the Planning and Development Department for a grant to the Newton Cultural Alliance to preserve and rehabilitate the historic Nathaniel Allen House, as described in the July 2014 proposal for “partial occupancy” as Phase 1, Part 1 of a planned larger project. 08/06/14 @ 4:16 PM]

#104-14 ALD. JOHNSON requesting that the Executive Department conducts a complete review and analysis of the policies governing data privacy and the security of resident/business information on the Treasurer’s website to be followed with an action plan to protect our residents’ data to be completed by the end of Fiscal Year 2014. [02/26/14 @ 9:07 AM]

**REFERRED TO FINANCE AND APPROPRIATE COMMITTEES**

#257-12 RECODIFICATION COMMITTEE recommending (1) review of the Fees, Civil Fines/Non-Criminal Disposition contained in Chapter 17 LICENSING AND PERMITS GENERALLY and Chapter 20 CIVIL FINES/NON-CRIMINAL DISPOSITION CIVIL FINES to ensure they are in accordance with what is being charged and (2) review of the acceptance of G.L. c. 40 §22F, accepted on July 9, 2001, which allows certain municipal boards and officers to fix reasonable fees for the issuance of certain licenses, permits, or certificates.

**REFERRED TO PROGRAMS & SERVICES AND FINANCE COMMITTEES**

#333-14 COMMUNITY PRESERVATION COMMITTEE recommending the appropriation of four hundred seventy-six thousand seven hundred eighty dollars (\$476,780) to the Parks and Recreation Department to preserve, restore, and rehabilitate historic Farlow Park, as described in the proposal and supplemental materials submitted to the Community Preservation Committee from November 2013 to April 2014. [08/06/14 @ 4:16 PM]

**PROGRAMS & SERVICES APPROVED 7-0 on 09/17/14**

The location of this meeting is handicap accessible and reasonable accommodations will be provided to persons requiring assistance. If you need a special accommodation, please contact John Lojek, at least two days in advance of the meeting: [jlojek@newtonma.gov](mailto:jlojek@newtonma.gov), or 617-796-1064. For Telecommunications Relay Service dial 711.

- #343-14 HIS HONOR THE MAYOR requesting authorization to appropriate the sum of three million dollars (\$3,000,000) from the September 8, 2014 Declaration of Overlay Surplus as declared by the Chairman of the Board of Assessors to the Rainy Day Stabilization Fund. [09-11-14 @ 1:23 PM]

**REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES**

- #288-13 PUBLIC FACILITIES & FINANCE COMMITTEES requesting that the Administration update the Board of Aldermen when a funding source is determined for the Zervas Elementary School Feasibility Study. [07-11-13 @ 10:10 AM]

**PUBLIC FACIL VOTED NO ACTION NECESSARY 5-0 ON 09/17/14**

**ITEMS NOT SCHEDULED FOR DISCUSSION:**

- #342-14 ALD. DANBERG requesting amendment to Section 20-21(d) of the City of Newton Ordinances to increase the fine for violation of sidewalk snow removal requirements in business districts per Sec. 26-8, *Removal of snow from sidewalks in certain districts*. [09/10/14 @ 4:25 PM]

**REFERRED TO PS&T, PUBLIC FACILITIES AND FINANCE COMMITTEES**

- #310-10(2) ALD. DANBERG, BLAZAR, KALIS, SCHWARTZ, ALBRIGHT, HESS-  
(#409-12) MAHAN, RICE, COTE, LEARY, AND NORTON requesting amendments to Sec. 26-8D of the City of Newton Ordinances to modify and make permanent the trial program for removal of snow and ice from sidewalks and to provide for enforcements and fines for violations. [09/10/14 @ 2:12 PM]

**REFERRED TO ZONING & PLANNING AND FINANCE COMMITTEES**

- #315-14 ALD. HESS-MAHAN, ALBRIGHT, CROSSLEY AND DANBERG proposing an amendment to Chapter 2 of the City of Newton Ordinances setting forth requirements for procurement of materials and services by non-governmental recipients of federal, state or local funds administered by the City, such as CDBG and CPA funds. In order to encourage non-profit and other private organizations to participate in affordable housing, cultural and other public-private collaborations, such procurement requirements should accommodate the needs of non-governmental recipients for flexibility given the multiple public and private sources of funds necessary for any project by not placing undue or unreasonable burdens on them. [08/04/14 @ 5:08PM]

- #255-14 HIS HONOR THE MAYOR recommending that 1316 Beacon Street, 1330 Beacon Street, and 1338 Beacon Street, including trees and structures on the properties, be acquired through purchase or by friendly takings ~~eminent domain~~ for the purpose of expanding the Zervas Elementary School site. [06/16/14 @ 11:17 AM]

- #256-14 HIS HONOR THE MAYOR requesting authorization to appropriate the sum of two million seven hundred thousand dollars (\$2,700,000) from the Capital Stabilization Fund-Operating Override Account Fund for purposes of funding all costs associated with the acquisition of 1316 Beacon Street, 1330 Beacon Street, and 1338 Beacon Street including any relocation obligations the City may have pursuant to Massachusetts General Law Chapter 79A. [06/16/14 @ 11:17 AM]

**REFERRED TO PROGRAMS & SERVICES AND FINANCE COMMITTEES**

- #216-14 ALD. HESS-MAHAN, ALBRIGHT, BAKER, CROSSLEY, NORTON AND SANGIOLO proposing the following amendments to Chapter 12 Health and Human Services of the Revised Ordinances to:
- require owners of dwellings requiring a Certificate of Habitability under Section 12-1 and real estate agents/brokers who receive compensation in connection with the particular real estate transaction to notify the Commissioner of Health and Human Services whenever an apartment, tenement, or room in a lodging house is vacated by the occupant or when an area in an existing building is converted to a condominium prior to being reoccupied by a new tenant, lodger or occupant;
  - require educational institutions to disclose addresses of undergraduates living off-campus in Newton;
  - require a fee for certification; and
  - impose a fine for violation of these provisions. [05/14/14 @ 11:51 AM]

**REFERRED TO LAND USE AND FINANCE COMMITTEES**

- #49-14 LAND USE COMMITTEE requesting discussion with the Chief Financial Officer and the Chief Information Officer regarding the critical need to implement technology which enables the development, management and use of shared, searchable, mobile-accessed (both read and write) database which contains parcel-based information that can be accessed by all city departments (including Planning, Inspectional Services (ISD), Assessing, Engineering, Fire, Police, Health), the Board of Aldermen and the community. This technology must support the work of ISD and other departments in both the office and the field to more effectively and efficiently monitor and enforce compliance with approved special permits and other related Board Orders. [02/10/14 @ 6:47 PM]
- #34-14 ALD. FULLER requesting a discussion with the Executive Office regarding the current status and challenges related to the City of Newton pension and retiree healthcare (OPEB) systems. [01/11/14 @ 5:22 PM]

**REFERRED TO FINANCE AND PROGRAMS & SERVICES COMMITTEE**

- #402-13 ALD. FULLER, GENTILE, RICE and LINSKY requesting a Home Rule Petition to amend Article 9 of the Charter to clarify that Neighborhood Area Councils shall maintain and control their own financial accounts and records, independent of City finances; and to further clarify that such independent financial accounts and records shall remain subject to City audit. [10/28/13 @ 10:18 AM]

**REFERRED TO ZAP, PROG & SERV AND FINANCE COMMITTEES**

- #397-13(3) ALD. SANGIOLO AND DANBERG requesting creation of an ordinance to protect trees deemed historic by the Historical Commission and the City's Tree Warden. [05-05-14 @ 4:32 PM]

**REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES**

- #41-13 ALD. CROSSLEY, FULLER AND SALVUCCI requesting a discussion with the administration to review how the city inventories, plans for, budgets and accounts for needed smaller capital expenditures (currently set at under \$75,000), which are excluded from the Capital Improvement Plan (CIP); how to make these non-CIP capital maintenance items visible, and how to integrate them with the overall planning, CIP, and budgeting processes. [01/14/13 @ 5:02 PM]

**REFERRED TO ZONING & PLANNING, LAND USE & FINANCE COMMITTEES**

- #273-12 ALD. CROSSLEY & HESS-MAHAN requesting a restructuring and increase in fees for permits charged by the Inspectional Services Department and fees charged by the Planning Department and City Clerk to assure that fees are both sufficient to fund related services provided and simple to administer.

**REFERRED TO PROG & SERV, PUB. FAC., ZAP, AND FINANCE COMMITTEES**

- #256-12 ALD. HESS-MAHAN, SANGIOLO & SWISTON proposing and ordinance promoting economic development and the mobile food truck industry in the City of Newton. [08/06/12 @4:46 PM]

**REFERRED TO PROGRAMS & SERVICES AND FINANCE COMMITTEES**

- #254-12 (3) PROGRAMS & SERVICES COMMITTEE proposing an ordinance to require a fee, charged to consumers, for the use of paper bags at certain retail establishments in the City of Newton. [01/10/14 @ 3:36 pm]
- #248-12 RECODIFICATION COMMITTEE recommending that **ARTICLE IV. PURCHASES AND CONTRACTS, Secs. 2-182 through 2-205**, be amended to make it consistent with state law.
- #247-12 RECODIFICATION COMMITTEE recommending that Chapter 18 MEMORIAL FUNDS AND TRUSTS be reviewed relative to the consequences and practices of special legislation passed by the General Court in 2007, Chapter 75 of the Acts of 2007, in which the City sought and was granted an exemption from G.L. Chapter 44 §54, which intent was to allow the City greater flexibility in terms of investments.

**REFERRED TO PROGRAMS & SERVICES AND FINANCE COMMITTEES**

- #185-12 ALD. BAKER, BLAZAR, SANGIOLO, LINSKY, ALBRIGHT & DANBERG requesting that the Board of Aldermen adopt a RESOLUTION to His Honor the Mayor asking that, when the Mayor seeks future Board approval for bonding the cost of additional capital facilities or equipment for the schools, he include in that funding request, as well as in the city-wide Capital Improvement Plan, the

estimated costs needed for funding the capital technology needs of the Newton Schools, including the appropriate portions of the estimated project costs of the School Committee's three-year district-wide technology plan not anticipated to be funded by the Information Technology Department budget; the anticipated technology grants from Boston College for the elementary schools; and/or estimated revenue from the E-rate Technology Reimbursement Program.

**PROGRAMS & SERVICES APPROVED 6-0 on 07/11/12**

**REFERRED TO ZONING AND PLANNING AND FINANCE COMMITTEES**

- #102-11 ALD. HESS-MAHAN, JOHNSON, COMMISSIONER LOJEK, AND CANDACE HAVENS requesting an amendment to Chapter 17 to establish a fee for filing a notice of condo conversion. [03-29-11 @ 4:55PM]  
**ZONING & PLANNING APPROVED 6-0 on 6/10/13**

**REFERRED TO ZONING AND PLANNING AND FINANCE COMMITTEES**

- #95-11 ALD. HESS-MAHAN proposing an ordinance requiring that a notice of conversion to condominium ownership be filed with the Inspectional Services Department and that the property be inspected to determine compliance with all applicable provisions of the state and local codes, ordinances and the rules and regulations of all appropriate regulatory agencies. [03-24-11 @ 9:30AM]  
**ZONING & PLANNING APPROVED 6-0 on 6/10/13**

- #41-11(2) ALD. CICCONE requesting implementation of the fees associated with the Winter Overnight Parking Pilot Program. [09/19/13 @ 3:49 PM]

**REFERRED TO LAND USE & FINANCE COMMITTEES**

- #276-10 ALD. FULLER, CROSSLEY, DANBERG, LINSKY requesting a review of guidelines for mitigation fund provisions to maximize the use of such funds on behalf of the city together with mechanisms by which the city can better track such funds to ensure they are used in a timely fashion.

Respectfully submitted,

Leonard J. Gentile, Chairman



Setti D. Warren  
Mayor

**City of Newton, Massachusetts**  
Department of Planning and Development  
1000 Commonwealth Avenue Newton, Massachusetts 02459

#277-14(2)

Telephone  
(617) 796-1120  
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(617) 796-1142  
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(617) 796-1089  
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James Freas,  
Acting Director

## Community Preservation Committee FUNDING RECOMMENDATION for Allen House, Partial Occupancy

date: 2 September 2014

from: Community Preservation Committee

to: The Honorable Board of Aldermen

### PROJECT GOALS & ELIGIBILITY

This project will address the critical preservation and rehabilitation needs of the historic Nathaniel Allen House (35 Webster Street, West Newton), including adding an accessible exterior entrance and restroom. By allowing active use of the main house and wing for arts education, public performances, and related purposes, this project will generate revenue for current maintenance while helping to build the community interest and financial support needed to complete the full Allen House preservation and rehabilitation plan outlined in the November 2013 proposal to the CPC from the building's owner, the Newton Cultural Alliance (NCA).

The Allen House is eligible for CPA funding because it has been on the National Register of Historic Places since 1977 and was designated as a local historic landmark by the Newton Historical Commission in 1998.

### RECOMMENDED FUNDING

On 5 August 2014 the Community Preservation Committee voted 6-0 (members Michael Clarke and Thomas Turner absent) to recommend appropriating \$300,000 to the control of Newton's Director of Planning & Development for a grant to the Newton Cultural Alliance, to rehabilitate the Allen House for partial occupancy as described in NCA's 29 July 2014 submission to the CPC.

Allen House - Pre-Development & Partial Occupancy (Initial Phase)		
Uses		% of total
Pre-Development (purchase [\$250,000] and professional services for purchase & permitting)	\$701,950	13.8%
Partial Occupancy (Phase 1, Part 1 - partial rehab. of main house & wing; stabilize barn wall)	\$298,050	5.8%
<b>Initial Phase Total</b>	<b>\$1,000,000</b>	<b>19.6%</b>
Sources		
Capital Campaign (private donations)	\$350,000	6.9%
Bank Mortgage	\$350,000	6.9%
CPA	\$300,000	5.9%
<b>Initial Phase Total</b>	<b>\$1,000,000</b>	<b>19.6%</b>
Allen House - Future Phases of Full Project		
Uses		% of total
Phase 1, Part 2 & Phase 2 (full preservation & rehabilitation, incl. new elevator & landscape)	\$4,100,000	80.4%
Sources		
Capital Campaign (including private funding, Mass. Cultural Council or other foundation grants)	\$1,400,000	27.5%
State Historic Tax Credits (\$600,000 already awarded as of July 2014)	\$1,000,000	19.6%
CPA	\$1,700,000	33.3%
<b>Future Phases Total</b>	<b>\$4,100,000</b>	<b>80.4%</b>
<b>FULL PROJECT TOTAL</b>	<b>\$5,100,000</b>	<b>100.0%</b>

website [www.newtonma.gov/cpa](http://www.newtonma.gov/cpa)

contact Alice E. Ingerson, Community Preservation Program Manager

email [aingerson@newtonma.gov](mailto:aingerson@newtonma.gov) phone 617.796.1144

**SPECIAL ISSUES CONSIDERED BY THE CPC**

**Funding Leverage:** NCA’s July 2014 summary of “uses & sources” lists CPA funding as less than 40 percent of the total for the full Allen House project. NCA has already raised more than twice as much from non-CPA sources, for in pre-development costs, as the CPA funding requested in its initial, “partial occupancy” proposal. The CPC considers this high leverage for CPA funds appropriate for a privately owned building, although the Committee also recognizes that NCA’s planned uses of the building will benefit the community at large.

**Development & Operating Budgets:** The CPC’s two primary concerns about NCA’s full proposal for Allen House have to do with budgets. First, it is difficult to judge whether the full project’s construction budget is adequate without a 100% design as a basis for estimates. Second, the initial 10-year operating budget that NCA submitted for the full project included no contributions to a reserve for major, predictable future costs (replacing the roof, boilers, etc.). The CPC sees a replacement reserve as especially important for Allen House, where current preservation needs may reflect an ad hoc approach to this issue by some past owners.

**Project Phasing:** The CPC recognizes that both the final design and the operating budget for the full Allen House project depend critically on the property’s future uses. The Committee also supports NCA’s decision to address the full project’s programming, design and fundraising challenges incrementally, in close collaboration with a steadily growing list of potential paying users for the property.

For the current “partial occupancy” proposal, the CPC therefore recommends waiving some of its usual prerequisites for the initial release of CPA funds, including: the commitment of all non-CPA funds needed to complete the full Allen House project; construction estimates based on a final, completed design for the full project; and a long-term operating budget for the full project that includes a replacement reserve. The CPC anticipates reinstating some of these requirements for subsequent Allen House funding requests.

**ADDITIONAL RECOMMENDATIONS** (*funding conditions*)

- ◆ **Project Scope & Return of Unspent Funds:** CPA funds must be used for the purposes described in the proposal received by the CPC in July 2014. Funds not spent or spent for any other purpose must be returned to Newton’s Community Preservation Fund.
- ◆ **Sources & Allocation of Funds:** Funds should be appropriated from the Community Preservation Fund’s historic resources fund balance and reserve, and if needed its general fund balance, and allocated 100% to historic resources.
- ◆ **Deadlines:** Construction should begin within 6 months and be completed within 18 months after the date of any Board order appropriating the recommended CPA funds, or by any extension of these deadlines granted in writing by the CPC officers on behalf of the full CPC.
- ◆ **Reporting:** NCA will provide the CPC and Board of Aldermen with project updates on request, and prior to release of the final 10% of CPA grant funds, will present a final project report in writing and in person to the CPC, including a comparison of budgeted-vs-actual expenditures.
- ◆ **Grant Agreement Key Provisions:** The release of appropriated CPA funds will be governed by a detailed grant agreement, including but not limited to provisions extending the City’s current preservation restriction on Allen House to protect historically significant interior as well as exterior features; requiring the City’s Planning Dept. to certify in advance the compliance of all planned work at Allen House with the Secretary of the Interior’s *Standards for the Treatment of Historic Properties*; and allowing the City to require the repayment of CPA funds released for the “partial occupancy” project (Phase 1, Part 1) if that project fails to go forward, or if NCA sells and/or materially changes the uses of the Allen House property from those described in its November 2013–July 2014 proposals to the CPC.

**KEY OUTCOMES**

The Community Preservation Committee will evaluate this project based on completion of the “partial occupancy” project (Phase 1, Part 1) described in NCA’s July 2014 submissions to the CPC by the deadlines above, without any request for additional CPA funding.

*(Attachments to this recommendation are listed on the following page.)*

**ATTACHMENTS** (delivered to the clerks of the Programs & Services Committee and Finance Committee)

- Copy of CPC project webpage: [www.newtonma.gov/gov/planning/cpa/projects/allen.asp](http://www.newtonma.gov/gov/planning/cpa/projects/allen.asp)

Links to additional information omitted from the Board’s printed packet, including all written comments received by the CPC and minutes of all CPC public hearings and public meeting discussions of this proposal.

- Recent project updates from the sponsor to the CPC (25 July 2014 and 3 September 2014)
- Scope of work and budgets for “partial occupancy” proposal (29 July 2014)
- Summary of anticipated uses & sources for the full project and for all non-CPA funds raised to date (29 July 2014 and 1 September 2014)
- Project description, statement of historic significance, maps and plans from original proposal (November 2013) and public hearing presentation (January 2014)





Documents directly related to September 2014 CPC funding recommendation outlined below.

### Community Preservation Program

#### Nathaniel Allen House

location: 35 Webster Street  
West Newton, MA 02465

goals: Rehabilitate the pre-Civil War home of renowned educator Nathaniel Topliff Allen, later used as a school run by his daughters, for use as a music school and cultural center, with rehearsal, performance and office spaces for arts and cultural organizations; public indoor and outdoor spaces; and a rotating exhibit on the history of this Newton Historic Landmark.

(most recently updated 7 August 2014)

<b>CPA funds requested (historic resources)</b>
\$300,000 anticipated future CPA requests
\$350,000 capital campaign (raised to date)
\$350,000 bank loan/mortgage
\$1,400,000 additional donations, grants, and/or bank financing
\$1,000,000 Massachusetts historic tax credits
<b>\$5,100,000 TOTAL PROJECT COST</b>

funding (including funds requested or anticipated):

contacts: Sponsor & owner:  
Newton Cultural Alliance (NCA)  
[www.newtonculture.org](http://www.newtonculture.org)

Adrienne Hartzell, NCA Acting Managing Director  
1301 Centre Street  
Newton Centre, MA 02459  
email: [Adrienne@newtonculture.org](mailto:Adrienne@newtonculture.org) or [Adrienne@newphil.org](mailto:Adrienne@newphil.org)  
phone: 617.332.4300 or 857.636.0199

Laurel Farnsworth, NCA Board Member  
Construction Owner's Representative  
73 Perkins Street  
West Newton, MA 02465  
email: [Laurel@downeyfarnsworth.com](mailto:Laurel@downeyfarnsworth.com)  
phone: 617.244.2209 or 617.429.7297

### Proposal Review & Appropriations

**pre-proposal**  
25 March 2013  
[pre-proposal](#), including photos & site location map  
draft [historic resources attachments](#) (to demonstrate compliance with federal preservation standards)

**full proposal**  
15 November 2013  
[cover letter, project summary & finances](#) (project and organizational budgets)  
[basic site photos & maps](#)  
[project management team qualifications, letters of support](#)  
[historic significance, features & treatment plan](#)  
[current conditions - photos](#) (keyed to historic treatment plan above)  
*This long file may load slowly.*  
[deed, appraisal, preservation restriction\(s\)](#)  
[construction scope of work & costs](#) (schedule of values)  
[City of Newton reviews: zoning & permitting, Newton Historical Commission](#)  
[project plans](#) *Some of these files are long and may load slowly. For on-screen reading, set display to 100% or larger. Many of these files are sized for 24x36 inch paper; details may be hard to read if printed at smaller sizes.*

- [site and landscape plans](#)
- [floor plans, part a](#) and [floor plans, part b](#)
- [elevations, part a](#) and [elevations, part b](#)
- [building cross-sections](#)

9 January 2013 [public presentation](#) (photos, selected plans from those above, budget overview)  
18 February 2014 [updated project budgets](#)  
19 June 2014 [revised project plan & updated project budgets](#)

**"partial occupancy" proposal**  
29 July 2014  
["partial occupancy" proposal](#) (Phase 1, Part 1 of the full project), including:  

- scope of work
- development budget
- non-CPA funding to date
- one-year operating budget
- anticipated funding sources, uses & phasing for full project

[CPC funding recommendation](#)  
 summaries in support of funding recommendation:  

- all [written public comments received to date](#), including letters of support included with November 2013 proposal above

2 September 2014

- [April 2013-August 2014 CPC minutes for Allen House](#), including: pre-proposal discussion, public hearing & working sessions, funding vote

### Project Background & News

July 1977	successful nomination of this property to the <a href="#">National Register of Historic Places</a>
January 1978	<a href="#">Massachusetts Historical Commission Historic Property Survey</a> of this property
November 1980	<a href="#">preservation restriction</a> held jointly by the Massachusetts Historical Commission and the City of Newton
1982-	photos & news articles from previous community & City efforts to preserve this property:
	On the Newton Free Library's "Digital Newton" website: <a href="http://guides.newtonfreelibrary.net/digitalnewton">http://guides.newtonfreelibrary.net/digitalnewton</a> , click on "Historic Newton" tab, then "Allen House Photos."
	Direct link: <a href="http://guides.newtonfreelibrary.net/content.php?pid=216316&amp;sid=2146494">http://guides.newtonfreelibrary.net/content.php?pid=216316&amp;sid=2146494</a>
1997-98	This property was <a href="#">declared a City of Newton Landmark on 5 March 1998</a> .
	For the 1997 research study leading up to this decision, scroll down to the link for "35 Webster Street" on this page: <a href="http://www.newtonma.gov/planning/histpres/landmarks.asp">http://www.newtonma.gov/planning/histpres/landmarks.asp</a>

Newton Cultural Alliance  
1301 Centre Street  
Newton, MA 02459

July 25, 2014

Community Preservation Committee  
c/o Alice Ingerson, Community Preservation Program Manager  
Newton Planning and Development Department  
City Hall, 1000 Commonwealth Avenue  
Newton, MA 02459

Re: Nathaniel Allen Homestead, 35 Webster Street, West Newton

Dear Alice and Members of the Community Preservation Committee:

Please find included in this email a presentation of our updated materials regarding the Newton Cultural Alliance's CPA application for the historic Nathaniel Allen Homestead located at 35 Webster Street in West Newton. Included are our most up to date planning documents regarding our request to discuss on August 5, 2014, our hopes to receive an allotment of CPC funding to assist us in getting the building up and running in the short term. Included here description of the scope of work, a development budget for this early phase, a short term operating budget, and a schedule including sources and uses for the full project.

We look forward to presenting this to you soon.

Very truly yours,

*Adrienne*

Adrienne Hartzell  
Acting Managing Director

Newton Cultural Alliance  
1301 Centre Street  
Newton, MA 02459

September 3, 2014

Community Preservation Committee  
c/o Alice Ingerson, Community Preservation Program Manager  
Newton Planning and Development Department  
City Hall, 1000 Commonwealth Avenue  
Newton, MA 02459

Re: Nathaniel Allen Homestead, 35 Webster Street, West Newton

Dear Alice and Members of the Community Preservation Committee:

This letter is written to update you on a recent and unexpected turn of events in West Newton adjacent to the Nathaniel Allen House. Late in the week of August 19, 2014 we became aware that the property at 406 Cherry Street, contiguous to the Allen House property, was for sale. We had known from Allen House interested neighbors for a few weeks that the elderly woman living in the house on this property was not well and it was likely that the house would go on the market. On further inquiry we learned that there would be two open houses on the weekend of 8/23-24 and that all offers were due by 8/26. Another very generous West Newton donor offered NCA \$250,000 as a down payment to provide the opportunity to secure this roughly 10,500 sq feet of land and thus provide the Allen House with much broader opportunity for development of the site. This seemed to be a once in a lifetime opportunity. Laurel Farnsworth, NCA Board Chair, led the pursuit to acquire this property and our offer was accepted on 8/26/2014. The P&S is expected to be signed later this week. Laurel is working with Village Bank on a loan to cover the additional cost. Our intent for the time being is to rent the property to create a revenue source and over time to study the best use possibilities for the property which might include but not be limited to additional program and office space, community open space and additional parking. We are excited to think that with this additional land our dream of a community arts and cultural educational and community center will be able to better and more thoroughly serve the community and provide greater opportunity for all involved.

In addition, at this time I would like to invite you if you are interested to a public meeting that will be held on the NCA's Site Plan Review on Wednesday, September 10<sup>th</sup>, 6 pm at the First Unitarian Church, 1326 Washington Street in West Newton. This is part of the process we began more than two months ago that will ultimately lead to our being able to obtain a building permit to start our planned renovations as included in our proposal to the CPC. If you would like to attend you are most welcome.

Very truly yours,

*Adrienne*

Adrienne Hartzell  
Acting Managing Director

# **The Nathaniel Allen House**

## **NCA Presentation to the CPC**

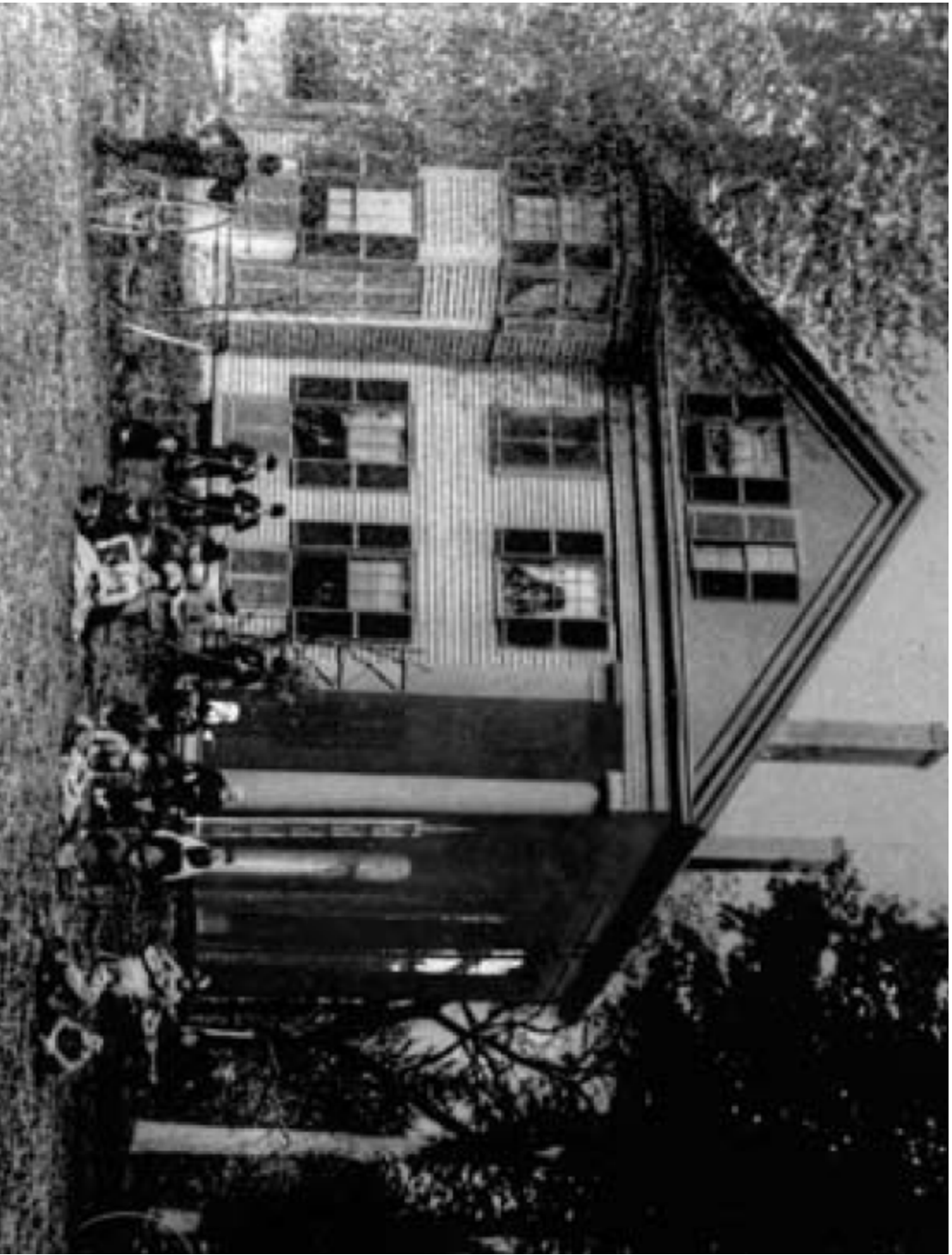
### **January 9, 2014**



# Nathaniel Allen House – circa 1885



# Nathaniel Allen House – circa 1885 (2)



# Nathaniel Allen – Classroom for Girls





# Current State of Allen House

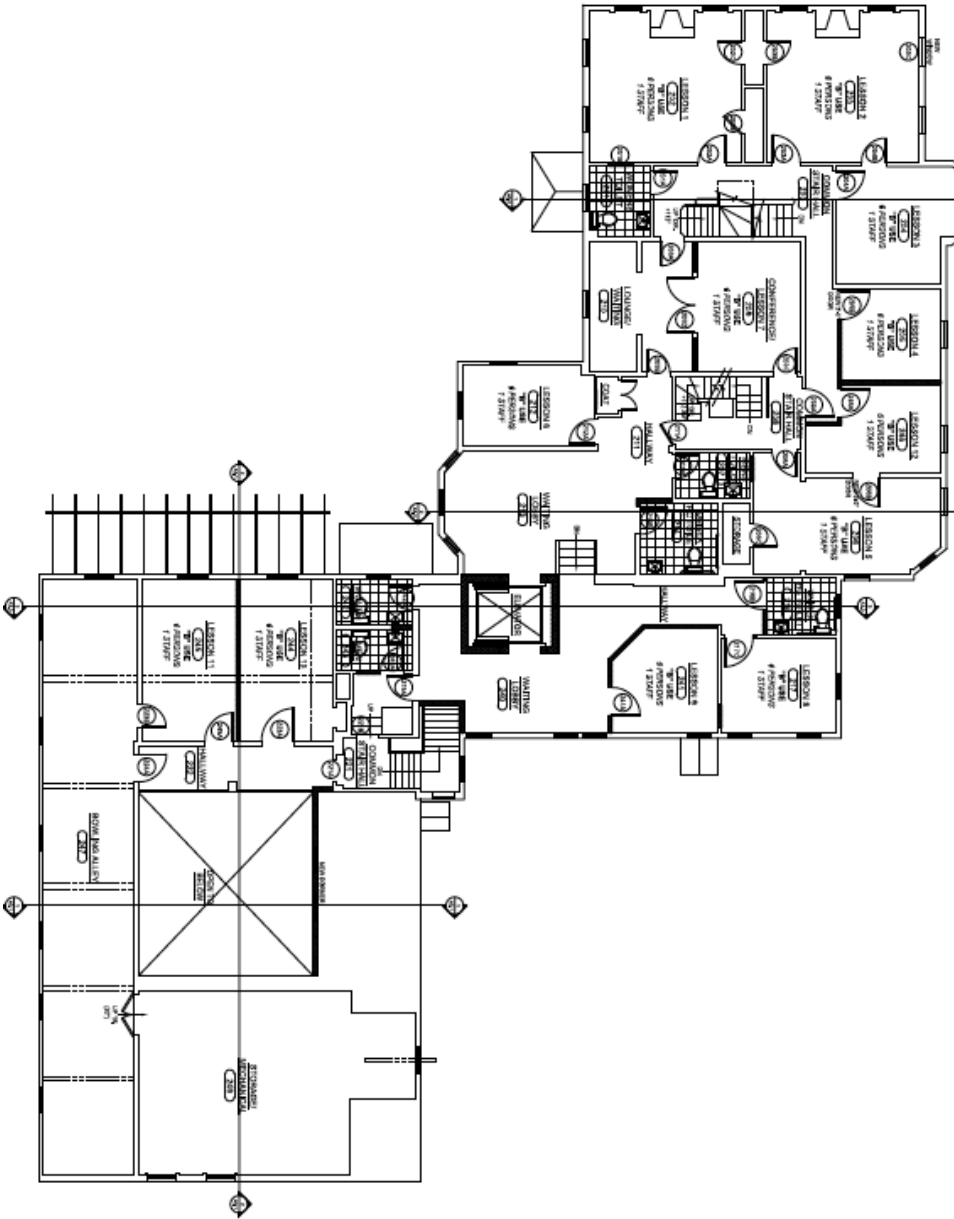


# NCA Plan for Allen House

- Community Centre – historic resource for recitals, lectures, community events
- Home for non-profit educational & arts uses
- Community Resource – space open for events, parties, rentals, rehearsals

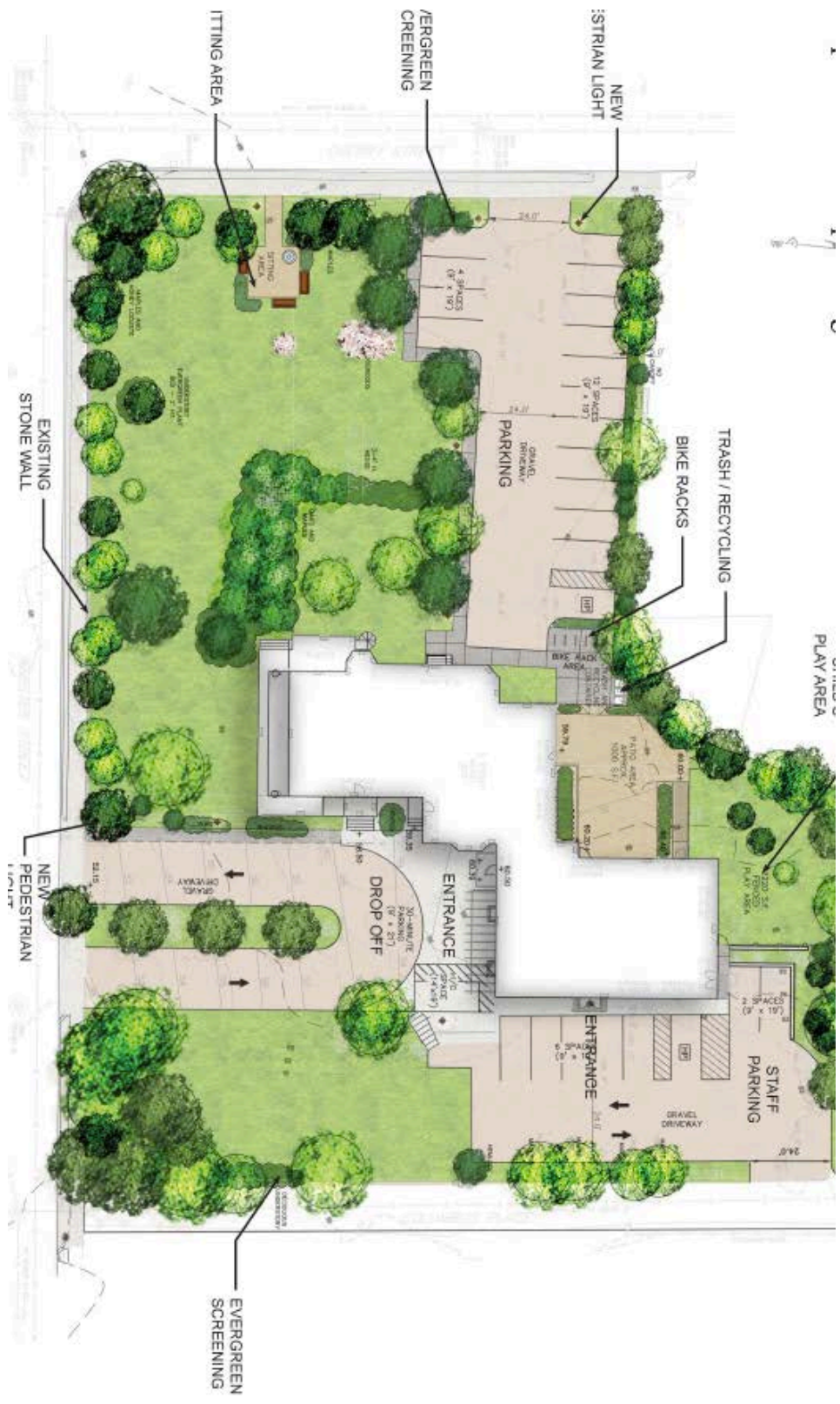


# Plan for second floor – teaching space

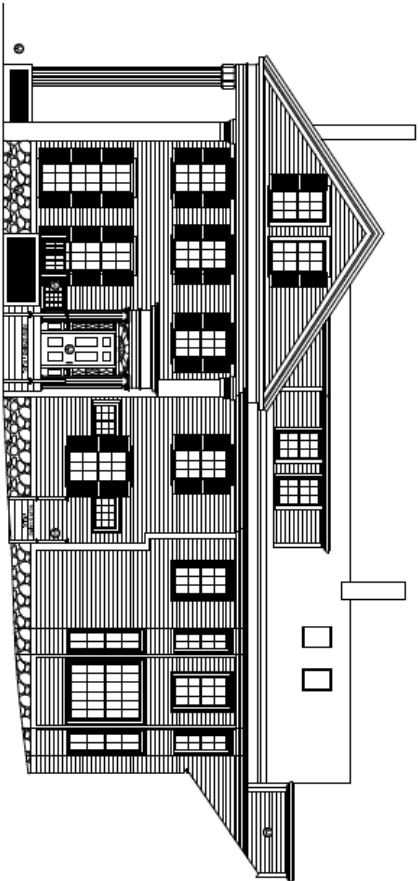


/Architect: Robert J. Taylor, Design	
/Contractor: Robert J. Taylor, Design	
/Client: Nathaniel Allen House	
/Address: 35 Webster Street, Newbury, MA 02465	
/Project: SECOND FLOOR PLAN	
/Date: 10/1/2014	
/Scale: 1/8" = 1'-0"	
/Revision: 1	
/Drawn by: RJA	
/Checked by: RJA	
/Title: SECOND FLOOR PLAN	
/Project: 277-14(2)	
/Client: Nathaniel Allen House	
/Address: 35 Webster Street, Newbury, MA 02465	
/Project: SECOND FLOOR PLAN	
/Date: 10/1/2014	
/Scale: 1/8" = 1'-0"	
/Revision: 1	
/Drawn by: RJA	
/Checked by: RJA	
/Title: SECOND FLOOR PLAN	
/Project: 277-14(2)	

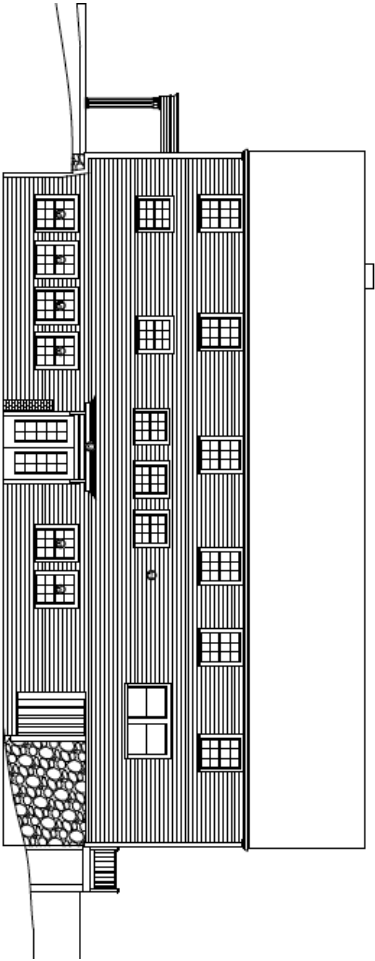
# Proposed Landscape Plan



# Elevations – East View

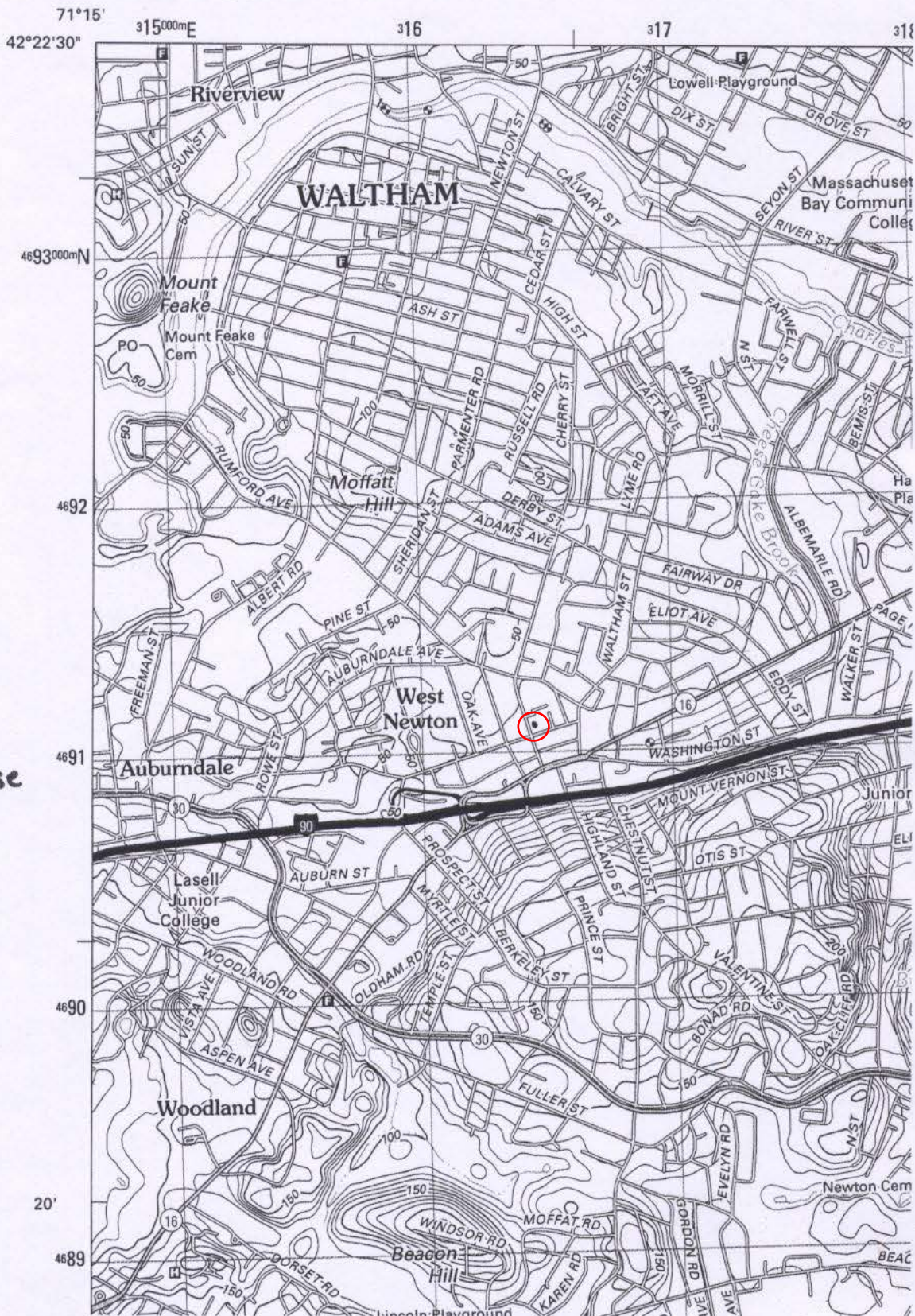


PROPOSED EAST ELEVATION

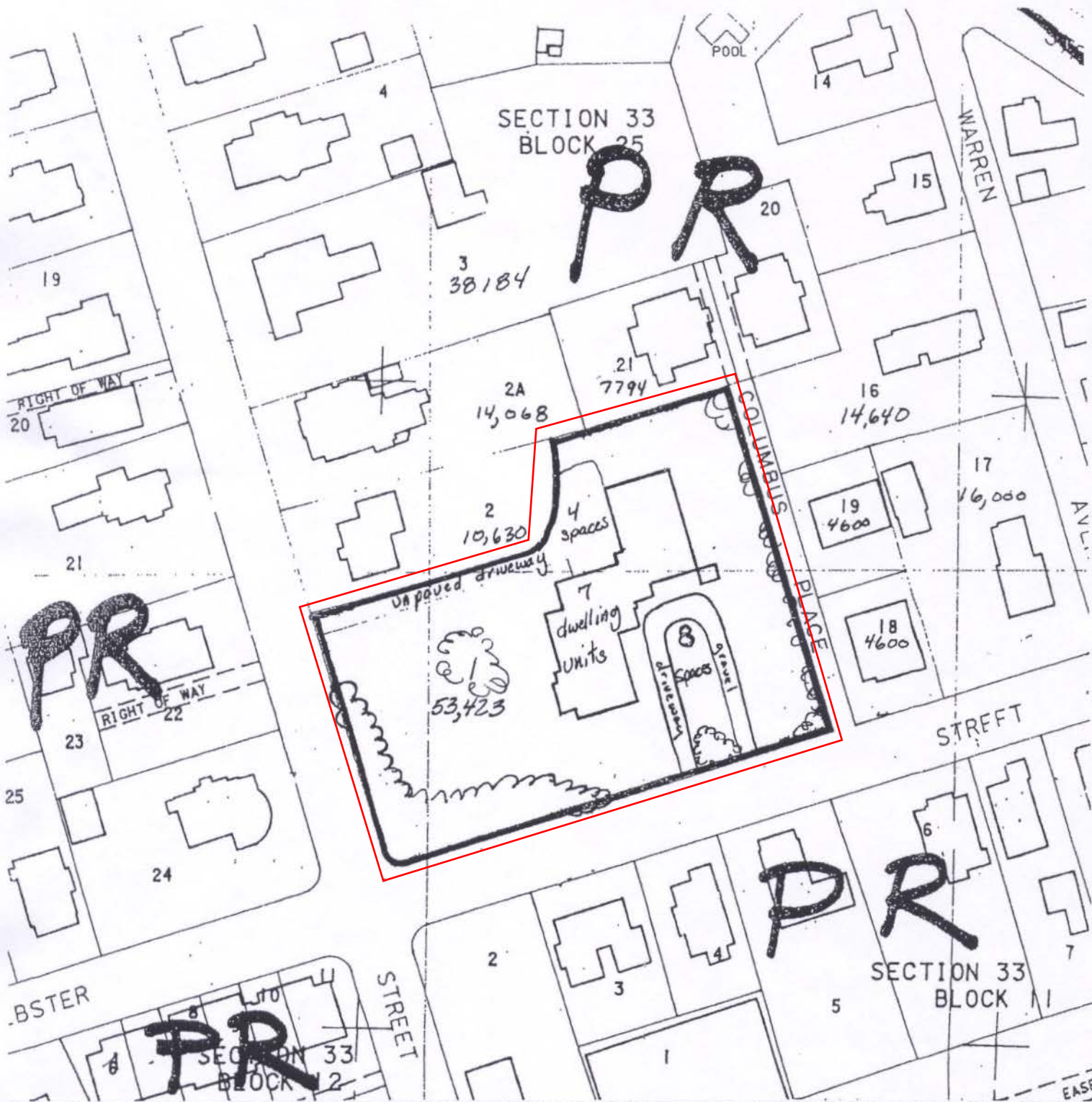




U.S. DEPARTMENT OF THE INTERIOR  
U. S. GEOLOGICAL SURVEY



• Nathaniel  
Allan House



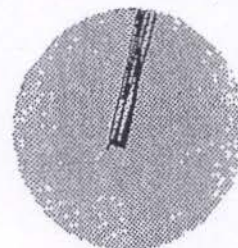
City of Newton Massachusetts  
 Department of Planning and Development

Application number 530-82

Applicant ALLAN SCHOOL &  
 HOUSE PRESERVATION CORP.

Zoning Districts

- Single Residence A
- Single Residence B
- Single Residence C
- Private Residence
- Residence D
- Residence E
- Residence F
- Business A A
- Business A
- Business B
- Manufacturing





July 25, 2014

## **Nathaniel Allen House (NAH)**

### **Partial Occupancy Proposal – Scope of Work**

#### **Overview**

The proposed partial occupancy phase of the project is intended to enable NCA to begin to operate limited non-profit educational programs at the property in the first and second floor of the main section of the house. The rear servant's quarters wing and barn will not be used and will be securely closed off from the occupied portion of the house and reserved for future use. The existing caretaker's apartment will continue to be occupied by an NCA staff member.

The proposed scope of rehabilitation work is based on the requirements of the Existing Building Report and divided into several categories: 1.) life safety, 2.) envelope stabilization, 3.) handicap accessibility. This work will allow NCA and the Philharmonia to occupy the building and give life to it. It will also allow NCA to make the House a resource for the community and build public awareness and participation as we work on the capital campaign.

We just received a second award of \$300,000 from Massachusetts Historical Commission, bringing the total tax credits committed to the project to \$600,000. That will be worth \$500,000 in equity once we can complete a full rehabilitation of the building. Our plan is to make the House useable now, continue to work on the capital campaign and securing additional tenants and come back to the CPC when we are ready to proceed with a fuller rehabilitation plan.

#### **1.) Life Safety Improvements will include the following:**

##### **Dead Tree Removal**

Remove the dead trees and stumps, primarily ash, which Mark Welch identified to prevent limbs and branches from continuing to fall presenting a significant hazard to occupants of the site and the buildings. A large limb fell on the barn about a year ago damaging the roof. (\$30,000)

##### **Fire Alarm System**

Install a new fully compliant, addressable and networked fire alarm system within the spaces of the house proposed for occupancy to ensure the safety of all who come to the building as well as protect the building itself. Temporary fire alarm detection devices acceptable to NFD will be installed in the servant's quarters and barn to ensure that any fire in the unused portion of the building will never pose a hazard to persons or property in the building. When the servant's quarters and barn are renovated for use, then the fire alarm system will be updated to a fully compliant system. (\$35,000)

##### **Site Access Improvements for NFD**

The widening of the Webster Street and Cherry Street driveways and curb cuts will be completed as was approved by NFD as part of the site plan review process. This will greatly improve access for fire-fighting equipment to the site. (\$9,000)

**Sprinkler System (deferred)**

A 24 month waiver will be sought from NFD to defer the installation of a fully compliant sprinkler system and new hydrant in the Webster Street driveway until the site work which includes the utility construction and foundation replacement are completed which will enable the installation of the sprinkler system. It is not feasible to install the new utilities including the fire service line until the excavation and foundation work has been completed.

**Exit Improvements**

Repair second means of egress stairway in the main house, including replacing the existing deteriorated exit door unit, porch landing and exit stairway on the east side of the house that discharges at the Webster Street driveway. Repair four doors within the first and second floors of the house that have been sealed shut in order to make it easier to access exits in case of an emergency. (\$13,000)

**Emergency Lighting and Exit Signs**

Replace missing and/or install new lighted exit signs and emergency lights where required throughout the occupied portion of the building. The handicap exit will be marked with an Exit sign indicating the universal accessible symbol. (48 @ \$300/each, \$14,400)

**2.) Envelope Stabilization will include the following:****Temporary Roof Repairs**

Identify and repair isolated roof leaks. Although the entire roofing system is intended to be repaired, temporary spot repairs to protect the structure from water damage is proposed as an interim measure. The full roof replacement cannot be undertaken until the masonry chimney repairs and reconstruction of the wood cornice and gutters at the entire structure are also completed. (\$20,000 budget)

**Main Webster Entrance Porch Roof**

Replace existing metal roof, gutter and cornice with new soldered copper roof and new painted wood cornice and copper downspout. (\$24,000)

**West Porch and Spiral Stairway Demolition**

Remove and dispose of the deteriorated west side porch and the attached spiral stairway which poses a hazard to occupants of the property. Repair the building siding and paint where the porch is removed. (\$12,500)

**Window and Door Repairs**

Repair the several damaged or missing window sash as well as broken window glass panes throughout the occupied and unoccupied portions of the structure. Restore the double hung window where the west porch was removed. Repair the main entrance door at Webster Street driveway and install new locks. A comprehensive rehabilitation of the doors and windows is proposed for a subsequent phase, but these proposed repairs will secure the building against intruders, prevent the entry of pests and prevent the loss of heating during the partial occupancy phase. (\$8,300)

*(Scope of work continues on next page.)*

**3.) Handicap Accessibility Improvements** will include the following:**Temporary Accessible Entrance**

Install a new accessible entrance door unit, widen the existing entry porch and install a temporary handicap ramp on the west side of the house in order to create a temporary accessible entrance (and exit) for persons with disabilities. A time variance was obtained from the Massachusetts Architectural Access Board (MAAB) to allow the use of this temporary ramp and entrance until the permanent accessible entrances are constructed in a subsequent phase of the work. The handicap entrance door will be marked at the interior with an Exit sign indicating the universal accessible symbol. (\$17,500)

**Handicap Accessible Toilet Room**

Construct one fully accessible single user toilet room on the first floor of the house according to the plans for use by persons with disabilities who come to the NAH for programs. (\$15,000)

**Fire Alarm Signals**

The new fire alarm system will include signaling devices to notify persons with a variety of disabilities if there is an emergency that requires the need for evacuation.

**Subtotals**

1.) Life Safety Improvements	\$ 101,400
2.) Envelope Stabilization	\$ 64,800
3.) Handicap Accessibility	\$ 32,500
<b>Subtotal</b>	<b>\$ 198,700</b>
Contingency (15%)	\$ 29,805
General Conditions (10%)	\$ 29,805
Soft Costs (A and E) (12%)	\$ 39,740
<b>Grand Total</b>	<b>\$ 298,050</b>

<b>Newton Cultural Alliance</b>	
July 23, 2014	
<b>Nathaniel Allen House</b>	
35 Webster Street	
West Newton MA 02465	
<b>Partial Occupancy Proposal - Development Budget</b>	
	<b>Cost</b>
<b>1.) Life Safety Improvements</b>	
Dead Tree Removal	\$30,000
Fire Alarm System	\$35,000
Site Access Improvements for NFD	\$9,000
Sprinkler System	<i>deferred</i>
Exit Improvements	\$13,000
Emergency Lighting and Exit Signs	\$14,400
<b>Subtotal</b>	<b>\$101,400</b>
<b>2.) Envelope Stabilization</b>	
Roof & Wall Repairs	\$20,000
Main Webster Entrance Porch Roof	\$24,000
West Porch and Spiral Stairway Demolition	\$12,500
Window and Door Repairs	\$8,300
<b>Subtotal</b>	<b>\$64,800</b>
<b>3.) Handicap Accessibility Improvements</b>	
Temporary Accessible Entrance	\$17,500
Handicap Accessible Toilet Room	\$15,000
Fire Alarm Signals	
<b>Subtotal</b>	<b>\$32,500</b>
<b>Cost Totals</b>	
<b>Life Safety Improvements</b>	<b>\$101,400</b>
<b>Envelope Stabilization</b>	<b>\$64,800</b>
<b>Handicap Accessibility Improvements</b>	<b>\$32,500</b>
<b>Subtotals</b>	<b>\$198,700</b>
Contingency (15%)	\$29,805
General Conditions (15%)	\$29,805
Soft Costs (20%)	\$39,740
<b>Grand Total</b>	<b>\$298,050</b>

**Newton Cultural Alliance  
Allen House Sources and Uses  
Non CPA Funds to 9/1/14**

Rec'd by CPC staff 3 September 2014

**Allen House - Non-CPA Funding Through Early August 2014**

Uses (as of August 2014)	amount	Sources (as of August 2014)	amount
Purchase of land and buildings (\$225K) + closing costs	\$250,000	MA Cultural Council Cultural Facilities Planning Grant	\$19,000
Legal fees: acquisition, Newton Historical Commission, zoning	\$130,000	Private donations	\$334,500
Professional services: architect, engineer, planning consultants	\$220,000	Village Bank line of credit	\$348,000
Operation expenses: finance, insurance, tax, utilities, maintenance	\$101,500		
<b>TOTAL</b>	<b>\$701,500</b>	<b>TOTAL</b>	<b>\$701,500</b>

**Notes**

1. Minor differences between this table and the 29 July 2014 "Uses & Sources" estimate for the full project reflect rounding and changes between the two dates.
2. This table does not reflect the planned acquisition of 406 Cherry Street, for which the seller accepted an offer from the Newton Cultural Alliance on 26 August 2014.

Newton Cultural Alliance	
Nathaniel Allen House	
Operating Budget FY 15 (Partial Occupancy)	
24-Jul-14	Forecast
Account Data	FY15
<b>INCOME</b>	
Allen House Donations - Friends org	\$30,000
<b>TOTAL Donations</b>	<b>\$30,000</b>
Newton Cultural Alliance	\$10,000
Newton Philharmonia	\$10,000
Other rentals	\$12,000
<b>TOTAL Building rental income</b>	<b>\$32,000</b>
<b>TOTAL Income</b>	<b>\$62,000</b>
<b>EXPENDITURES</b>	
<b>Annual Contracts</b>	
Cleaning-regular	\$1,000
Cleaning Supplies	\$200
Fire Alarm	\$2,500
yard/snow maintenance	\$8,000
Trash removal	\$2,000
<b>TOTAL Annual Contracts</b>	<b>\$13,700</b>
<b>Repairs and Maintenance</b>	
Electrical	\$824
Heating & Plumbing	\$1,236
Misc Repairs	\$2,575
<b>TOTAL Repairs and Maintenance</b>	<b>\$4,635</b>
<b>Utilities</b>	
Electricity	\$1,000
Oil	\$15,000
Gas	
Water / Sewer	\$1,000
<b>TOTAL Utilities</b>	<b>\$17,000</b>
<b>Insurance/Permits</b>	
Permits & Licenses	\$400
Property Insurance	\$8,000
<b>TOTAL Insurance/Permits</b>	<b>\$8,400</b>
<b>Other expenses</b>	
Mortgage Payment	
Interest Expense - credit line	\$16,000
<b>TOTAL Other expenses</b>	<b>\$ 16,000</b>
<b>TOTAL Expense</b>	<b>\$ 59,735</b>
<b>Anticipated Net Income</b>	<b>\$2,265</b>

<b>Allen House - Project Phasing, July 2014</b>					
phase	schedule	Uses (July 2014) locations & scope of work	cost	Sources (July 2014)	amount
<b>Phase 1</b>					
<b>Phase 1, Part 1</b>	2012/2013	Purchase building, legal process for acquisition, zoning, traffic study, engineering plans, architectural drawings and elevations	\$700,000	Capital Campaign Funds received and spent	\$350,000
				Village Bank Credit Line	\$350,000
		Make floors 1 and 2 of the main house usable for nonprofit offices, education, public programs; shore up failing barn wall	\$300,000	CPA request (initial)	\$300,000
<b>Subtotal</b>	<b>Phase 1, Part 1</b>		<b>\$1,000,000</b>		<b>\$1,000,000</b>
<b>Phase 1, Part 2</b>	by fall 2015	rehabilitate exterior of main house and servant's wing and install elevator, plumbing, electrical, some landscape	\$3,100,000	CPA	\$1,300,000
				MCC and/or private funding	\$1,050,000
				State historic tax credits*	\$750,000
<b>Subtotal</b>	<b>Phase 1, Part 2</b>		<b>\$3,100,000</b>		<b>\$3,100,000</b>
<b>TOTAL</b>	<b>PHASE 1</b>		<b>\$4,100,000</b>		<b>\$4,100,000</b>
<b>Phase 2</b>	2016 - 2017	rehabilitate ground & 2 floors of barn as multi use small theater, gallery, classroom	\$1,000,000	CPA	\$400,000
				State historic tax credits	\$250,000
				MCC and/or bank/private funds	\$350,000
<b>Subtotal</b>	<b>Phase 2</b>		<b>\$1,000,000</b>		<b>\$1,000,000</b>
<b>PROJECT TOTAL</b>			<b>\$5,100,000</b>		<b>\$5,100,000</b>

<b>TOTALS by SOURCE</b>	
CPA	\$2,000,000
Private & bank funds (incl. credit line)	\$2,100,000
Historic tax credits	\$1,000,000
<b>Total</b>	<b>\$5,100,000</b>



Setti D. Warren  
Mayor

**Newton, Massachusetts Community Preservation Program  
FUNDING REQUEST**

#277-14(2)

(For staff use)  
date rec'd:

3:55 pm,  
15 November  
2013

PRE-PROPOSAL

PROPOSAL

Form last revised January 2013.

For full instructions, see [www.newtonma.gov/cpa](http://www.newtonma.gov/cpa) or contact:

Community Preservation Program Manager,  
City of Newton Planning & Development Department, 1000 Commonwealth Ave., Newton, MA 02459  
[aingerson@newtonma.gov](mailto:aingerson@newtonma.gov) 617.796.1144

You may adjust the space for each question, but the combined answers to all questions on this page must fit on this page.

<b>Project TITLE</b>	<b>Nathaniel Allen Homestead</b>		
<b>Project LOCATION</b>	Full street address (with zip code), or other precise location. 35 Webster St. , West Newton, MA 02465		
<b>Project CONTACTS</b>	Name & title or organization <span style="float: right;">Phone <span style="margin-left: 100px;">Mailing address</span></span>		
<b>Project Manager</b>	Adrienne Hartzell Acting Managing Director Newton Cultural Alliance	<a href="mailto:adrienne@newtonculture.org">adrienne@newtonculture.org</a> <a href="mailto:adrienne@newphil.org">adrienne@newphil.org</a>	617-969-6442 (h) 857-636-0199 (c) <span style="float: right;">74 Vista Avenue Auburndale, MA 02466</span>
<b>Other Contacts</b>	Laurel Farnsworth Board Newton Cultural Alliance	df.1876.laurel@gmail.com	617-429-7297 (h) 617-244-2209 (c) <span style="float: right;">73 Perkins Street West Newton, MA 02465</span>
<b>Project FUNDING</b>	<b>CPA funds requested:</b> \$2.0 million	<b>Other funds to be used:</b> 1) State grants, 2) Private foundation grants, 3) Village Bank, loan guaranteed by Mass Dev. Agency, 4) individual donations – capital campaign	<b>Total project cost:</b> \$4.45 million
<b>Project SUMMARY</b>	Explain the project’s community benefits, including those that make the project CPA-eligible, and why CPA funds are needed. You may provide more information in attachments, but your SUMMARY MUST FIT IN THIS SPACE.		
<p><b>The Nathaniel Allen Homestead</b> is a Newton historic site on the National Register of Historic Places and a Newton Landmark. The Newton Cultural Alliance (NCA) was able to save it from becoming luxury condos, buying it with a \$250K gift on very short notice in November 2012. Allen was a noted educator whose story resonates across the country even today. The NCA has a plan that will not only bring benefit to the community by rehabilitating this site and opening this building that has fallen on hard times to the community. It is currently in poor but not unsalvageable condition with no community benefit. The NCA plans for the property and grounds to be a cultural/educational facility. This harks back to its earlier use as the Misses Allen School and Nathaniel Allen’s use as dormitory and meeting/recreational space for the Model School in present-day West Newton Square. The property will not be a house/history museum such as the Jackson Homestead or Durant-Kenrick House though we intend to install a permanent exhibit on the legacy of Allen and his family. It will be a working building with music students, a preschool, community events from recitals to lectures/meetings and available for rent for small parties and weddings. The NCA business plan includes NCA member, Suzuki School of Newton as anchor tenant, whose rent will cover ongoing expenses. At the same time the first floor parlors and grounds will be accessible to the public and other arts/cultural organizations. The repairs necessary are significant and essential to making the facility functional. To develop the plan NCA has engaged an architect, attorney, &amp; parking/engineering consultants to make sure requirements are met. This building is CPA eligible and CPA funding is vital to this project. Not only is this site of historical interest in the city and currently in deplorable condition but the project is of such a magnitude individual donations will not provide adequate funding. We have engaged full time development staff &amp; with proper city approvals will begin a capital campaign. We will meet an exacting schedule of additional grant writing. This project is an opportunity to save a piece of Newton’s history. We hope the CPC will support this project to enrich and benefit the community.</p>			



Project TITLE		Nathaniel Allen Homestead			
USE of CPA FUNDS	HISTORIC RESOURCES	OPEN SPACE	Or	RECREATION LAND	COMMUNITY HOUSING
Check all that apply.	acquire				Contact staff for separate form.
	create	not allowed			
	preserve				
	rehabilitate/restore	X			
COMMUNITY NEEDS	Cite 1 or more recognized community needs this project will address from at least 2 community plans listed on the <i>Guidelines &amp; Forms</i> page of <a href="http://www.newtonma.gov/cpa">www.newtonma.gov/cpa</a> , (give plan title, year, pages & a brief quote).				
<p>The Allen House is listed in the Newton Comprehensive Plan 2007, Section 9– “Planning for &amp; with History,” pp. 9-1 to 9-18. It is #5 on the Historic Properties Map. In accordance with the goals of the <i>Comprehensive Plan of doing more with history</i>, (p. 9-6) our project will follow Newton’s growing historic trend “...seeing history everywhere. By rehabilitating and integrating historic resources into everyday life,” However, true to a “special place for reasons of the heart” (p. 9-7) the Allen Homestead’s distinct architecture and history define the character of the neighborhood.</p> <p>The Allen House is also listed in the Appendix of the Heritage Landscape Report (p.52, rev.2010) in the section titled Residential/Neighborhood. While many significant old trees remain, many are also are in very poor condition. The Newton Tree warden has visited the property and in consultation with GROUND, the landscape designer with whom NCA is working we will be working with the City to make a full preservation plan in accordance with good tree care practice. Our attorney, parking and engineering consultants have tried to balance the preservation of as much of the landscape as possible with the parking requirements of the zoning code for an educational and cultural facility. We have appeared before the Historical Commission and have had our project approved.</p>					
COMMUNITY CONTACTS	List 3 Newton residents or organizations that can comment on the project and its manager’s qualifications. No more than 1 of these contacts should be a Board member, supervisor, employee or current work colleague of the project manager. Formal letters of support may also be attached but are not required.				
Name & title or organization		Email	Phone	Mailing address	
Karen Haywood, neighbor		<a href="mailto:ktapper41@hotmail.com">ktapper41@hotmail.com</a>	617-332-2888	69 Walker St, Newton 02460	
Erin Splaine, Minister, First Unitarian Society in Newton		<a href="mailto:minister@fusun.org">minister@fusun.org</a>	617-527-3203	First Unitarian Society Newton, 1326 Washington St., Newton 02465	
Mr. Gorham Brigham		Fgb3@comcast.net	617-965-2482	401 Cherry St, Newton 02465	
NON-CPA FUNDING	Source of funds		Amount requested	Date of funding decision (confirmed or expected)	
Bank Debt			\$800,000	Expected/line of credit received 12/12, construction and bridge loans expected– Village Bank	
MA Historic Tax Credits			\$675,000	Winter/Spring/Summer 2014 Application submitted 8/13	
Mass Cultural Council Cultural Facilities Grant			\$250,000	Expected by Summer 2014	
Foundations and Capital Campaign			\$425,000	Begin December 2014	
NCA Donations to date 11/15/2013			\$300,000	Received	
<p style="color: red;">See July 2014 "partial occupancy" proposal for updated budget information that supersedes information in this November 2013 full proposal.</p>					

See July 2014 "partial occupancy" proposal for updated budget information that supersedes information in this November 2013 full proposal.

Project TITLE	Nathaniel Allen Homestead		
Project BUDGET	USES of Funds (major expense categories)		SOURCES of Funds (CPA & others)
<b>CAPITAL/DEVELOPMENT COSTS</b>			
Hard costs	\$2,515,280	CPA	\$2,000,000
Site costs	\$613,300	Bank Debt – Village Bank/MA Devel.	\$800,000
Contingency	\$312,900	MA Historic tax credits	\$675,000
Zoning and acquisition legal fees, insurance	\$115,000	MA Cultural Facilities	\$250,000
Architect, Engineers, Environment, Survey	\$208,500	Foundations/Capital Campaign	\$425,000
Developer Fee	\$300,000	NCA to date	\$300,000
Debt Service Reserve	\$40,000		
MISC	\$95,020		
Acquisition	\$250,000		
<b>TOTAL</b>	<b>\$4,450,000</b>	<b>TOTAL</b>	<b>\$4,450,000</b>
<b>ANNUAL OPERATIONS &amp; MAINTENANCE</b> (cannot use CPA funds)			
Maintenance contracts (snow, cleaning, etc.)	\$13,316	Suzuki School of Newton Lease	\$85,000
Repairs and maintenance, utilities	\$34,750	Other groups rentals	\$28,000
Mortgage, insurance, permits	\$68,000	Fundraising – Allen House Friends	\$35,000
Personnel	\$30,000		
Projected for FY 16 1 <sup>st</sup> yr of occupancy			
<b>TOTAL</b>	<b>\$146,066</b>	<b>TOTAL</b>	<b>\$148,000</b>
Project TIMELINE	Phase or Task	Notes (required fundraising, permits, bidding, etc.)	Season & Year
	Historic commission, zoning approvals	Newton Historic commission 3/28/13	Spring 2013
	Administrative Site Plan Review	Newton Planning Department	Winter 2014
	City of Newton Engineering-review of utilities; Mass. Access board review, working drawings	3 processes in parallel	Winter 2014
	Contractor bidding	3 competitive bids, selection	Spring 2014
	Interior and Exterior Demolition	Demolition as required; structural bracing	Spring/summer 2014
	New Utilities and Foundation		Fall 2014
	All exterior repairs and begin interiors		Fall 2014
	Interior Repairs and elevator shaft		Winter 2014
	Elevator installation and interior finishes		Spring 2015
	Exterior paving, Landscaping, grounds		Spring 2015
	Final permitting; Preschool DEEC licensing	Inspections, permits	Summer 2015

**Newton Community Preservation Program Grant Proposal**  
**Newton Cultural Alliance – Nathaniel Allen Homestead**  
**November 2013**

**PRO FORM** See July 2014 "partial occupancy" proposal for updated budget information that supersedes information in this November 2013 full proposal.

<b>Uses of Funds</b>			
	Acquisition		<b>\$ 250,000</b>
	<b>Hard Costs:</b>		
	General Conditions		\$ 377,400
	Masonry		\$ 115,500
	Concrete		\$ 161,000
	Metals		\$ 62,380
	Carpentry		\$ 378,500
	Envelope		\$ 154,000
	Doors and Windows		\$ 131,650
	Plaster		\$ 89,500
	Painting		\$ 93,200
	Tile		\$ 76,800
	Flooring		\$ 71,500
	Mechanical		\$ 313,000
	Plumbing		\$ 169,500
	Electrical		\$ 149,350
	Elevator		\$ 135,000
	Specialties		\$ 37,000
	<b>Total Hard Costs</b>		<b>\$ 2,515,280</b>
	Site Costs		\$ 613,300
	Contingency		\$ 312,900
	Architecture & Engineering		\$ 200,000
	Legal		\$ 100,000
	Survey		\$ 3,500
	Environmental		\$ 5,000
	Finance Expenses		\$ 50,000
	Insurance		\$ 15,000
	Miscellaneous (Utilities, maint )		\$ 45,020
	Debt Service Reserve		\$ 40,000
	Developer Fee		\$ 300,000
	<b>TOTAL Uses of Funds</b>		<b>\$ 4,450,000</b>
	<b>Sources of Funds:</b>		
	CPA		\$ 2,000,000
	Bank Debt		\$ 800,000
	Mass. Cultural Council		\$ 250,000
	NCA - donations to date		\$ 300,000
	Foundations / Captial Campaign		\$ 425,000
	Historic Credits in Basis		\$ 675,000
	<b>TOTAL Sources of Funds</b>		<b>\$ 4,450,000</b>

**Nathaniel Allen House  
10 Year Operating and Maintenance Budget**

See July 2014 "partial occupancy" proposal for updated budget information that supersedes information in this November 2013 full proposal.

as of Nov 14, 2013 Account Data	Actual FY13	Budget FY14	Forecast FY15	Forecast FY16	Forecast FY17	Forecast FY18	Forecast FY19	Forecast FY20	Forecast FY21	Forecast FY22	Forecast FY23	Forecast FY24
<b>INCOME</b>												
Allen House Donations - Friends org		\$ 10,000	\$25,000	\$35,000	\$35,000	\$35,000	\$35,000	\$35,000	\$35,000	\$35,000	\$35,000	\$35,000
<b>TOTAL Donations</b>		<b>\$ 10,000</b>	<b>\$25,000</b>	<b>\$35,000</b>	<b>\$35,000</b>	<b>\$35,000</b>	<b>\$35,000</b>	<b>\$35,000</b>	<b>\$35,000</b>	<b>\$35,000</b>	<b>\$35,000</b>	<b>\$35,000</b>
Major Tenant lease			\$0	\$85,000	\$100,000	\$103,000	\$106,090	\$109,273	\$112,551	\$115,927	\$119,405	\$122,987
Other rentals			\$10,000	\$28,000	\$25,000	\$25,000	\$25,000	\$25,000	\$25,000	\$25,000	\$25,000	\$25,000
<b>TOTAL Building rental income</b>			<b>\$10,000</b>	<b>\$113,000</b>	<b>\$125,000</b>	<b>\$128,000</b>	<b>\$131,090</b>	<b>\$134,273</b>	<b>\$137,551</b>	<b>\$140,927</b>	<b>\$144,405</b>	<b>\$147,987</b>
<b>TOTAL Income</b>		<b>\$ 10,000</b>	<b>\$35,000</b>	<b>\$148,000</b>	<b>\$160,000</b>	<b>\$163,000</b>	<b>\$166,090</b>	<b>\$169,273</b>	<b>\$172,551</b>	<b>\$175,927</b>	<b>\$179,405</b>	<b>\$182,987</b>
<b>EXPENDITURES</b>												
<i>Annual Contracts</i>												
Cleaning-regular	\$ -	\$ 300	\$1,000	\$5,000	\$5,150	\$5,305	\$5,464	\$5,628	\$5,796	\$5,970	\$6,149	\$6,334
Cleaning Supplies	\$ -	\$ 100	\$200	\$500	\$513	\$525	\$538	\$552	\$566	\$580	\$594	\$609
Fire Alarm	\$ -	\$ 1,500	\$2,500	\$2,563	\$2,627	\$2,692	\$2,760	\$2,829	\$2,899	\$2,972	\$3,046	\$3,122
Trash removal	\$ -	\$ 5,000	\$5,125	\$5,253	\$5,384	\$5,519	\$5,657	\$5,798	\$5,943	\$6,092	\$6,244	\$6,400
<b>TOTAL Annual Contracts</b>	<b>\$ -</b>	<b>\$ 6,900</b>	<b>\$8,825</b>	<b>\$13,316</b>	<b>\$13,674</b>	<b>\$14,041</b>	<b>\$14,419</b>	<b>\$14,806</b>	<b>\$15,205</b>	<b>\$15,614</b>	<b>\$16,034</b>	<b>\$16,466</b>
<i>Repairs and Maintenance</i>												
Electrical	\$ -	\$ 800	\$824	\$1,000	\$1,025	\$1,051	\$1,077	\$1,104	\$1,131	\$1,160	\$1,189	\$1,218
Fire Extinguishers	\$ -	\$ 100	\$250	\$500	\$513	\$525	\$538	\$552	\$566	\$580	\$594	\$609
Heating & Plumbing	\$ 830	\$ 1,200	\$1,236	\$2,000	\$2,050	\$2,101	\$2,154	\$2,208	\$2,263	\$2,319	\$2,377	\$2,437
Locks/Keys	\$ -	\$ 500	\$515	\$250	\$256	\$263	\$269	\$276	\$283	\$290	\$297	\$305
Painting	\$ -		\$0	\$500	\$513	\$525	\$538	\$5,000	\$6,000	\$7,000	\$8,000	\$9,000
Misc Repairs	\$ -	\$ 2,500	\$2,575	\$1,500	\$1,538	\$1,576	\$1,615	\$1,656	\$1,697	\$1,740	\$1,783	\$1,828
<b>TOTAL Repairs and Maintenance</b>	<b>\$ 830</b>	<b>\$ 5,100</b>	<b>\$5,400</b>	<b>\$5,750</b>	<b>\$5,894</b>	<b>\$6,041</b>	<b>\$6,192</b>	<b>\$10,795</b>	<b>\$11,940</b>	<b>\$13,088</b>	<b>\$14,241</b>	<b>\$15,397</b>
<i>Utilities</i>												
Electricity	\$ 234	\$ 600	\$1,000	\$12,000	\$12,300	\$12,608	\$12,923	\$13,246	\$13,577	\$13,916	\$14,264	\$14,621
Oil	\$ 8,937	\$ 10,000	\$12,000	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Gas				\$15,000	\$15,375	\$15,759	\$16,153	\$16,557	\$16,971	\$17,395	\$17,830	\$18,276
Water / Sewer	\$ -	\$ 500	\$1,000	\$2,000	\$2,050	\$2,101	\$2,154	\$2,208	\$2,263	\$2,319	\$2,377	\$2,437
<b>TOTAL Utilities</b>	<b>\$ 9,170</b>	<b>\$ 11,100</b>	<b>\$14,000</b>	<b>\$29,000</b>	<b>\$29,725</b>	<b>\$30,468</b>	<b>\$31,230</b>	<b>\$32,011</b>	<b>\$32,811</b>	<b>\$33,631</b>	<b>\$34,472</b>	<b>\$35,334</b>
<i>Insurance/Permits</i>												
Permits & Licenses		\$ 250	\$400	\$500	\$513	\$525	\$538	\$552	\$566	\$580	\$594	\$609
Property Insurance	\$ 11,000	\$ 12,000	\$12,300	\$9,500	\$9,738	\$9,981	\$10,230	\$10,486	\$10,748	\$11,017	\$11,293	\$11,575
<b>TOTAL Insurance/Permits</b>	<b>\$ 11,000</b>	<b>\$ 11,500</b>	<b>\$12,700</b>	<b>\$10,000</b>	<b>\$10,250</b>	<b>\$10,506</b>	<b>\$10,769</b>	<b>\$11,038</b>	<b>\$11,314</b>	<b>\$11,597</b>	<b>\$11,887</b>	<b>\$12,184</b>
<i>Other expenses</i>												
Property Manager			\$15,000	\$30,000	\$30,750	\$31,519	\$32,307	\$33,114	\$33,942	\$34,791	\$35,661	\$36,552
Mortgage Payment				\$58,000	\$58,000	\$58,000	\$58,000	\$58,000	\$58,000	\$58,000	\$58,000	\$58,000
Interest Expense - credit line	\$ 1,416	\$ 3,400	\$3,570									
<b>TOTAL Other expenses</b>	<b>\$ 1,416</b>	<b>\$ 3,400</b>	<b>\$ 18,570</b>	<b>\$ 88,000</b>	<b>\$ 88,750</b>	<b>\$ 89,519</b>	<b>\$ 90,307</b>	<b>\$ 91,114</b>	<b>\$ 91,942</b>	<b>\$ 92,791</b>	<b>\$ 93,661</b>	<b>\$ 94,552</b>
<b>TOTAL Expense</b>	<b>\$ 22,416</b>	<b>\$ 38,000</b>	<b>\$ 59,495</b>	<b>\$146,066</b>	<b>\$148,292</b>	<b>\$150,575</b>	<b>\$ 152,916</b>	<b>\$ 159,765</b>	<b>\$ 163,212</b>	<b>\$ 166,721</b>	<b>\$ 170,294</b>	<b>\$ 173,932</b>

**Newton Community Preservation Program Grant Proposal  
Newton Cultural Alliance – Nathaniel Allen Homestead  
November 2013**

**NON CPA Funding**

Please find included here letters from our two key funding entities.

Village Bank has been working with NCA through a line of credit to fund some soft costs to date. Our management team has met with bank President Ken Brennan and is working with Asst. VP David Pennybaker on additional funding.

Suzuki School of Newton has written the NCA a Letter of Intent to be the Allen House major tenant.

In addition beginning November 12, 2013, NCA has engaged the services of a new Director of Development, Karen Solomon whose work will be dedicated to developing a Capital Campaign and working with NCA on additional grant proposals. In the last 5 years Karen has completed successful capital campaigns for Boston Conservatory and North Bennet Street School.



307 Auburn Street • Auburndale, MA 02466 • Phone: (617) 527-6090 • Fax: (617) 965-8945 • E-mail: info@village-bank.com

*Your Village. Your Bank.*

November 14, 2013

Thomas Concannon  
Newton Cultural Alliance, Inc.  
P.O. Box 610225  
Newton, MA 02461

Re: Loan Request

Dear Thomas:

Your organization has been a long-standing and valuable customer of the Village Bank. As your primary lending institution, I am very interested in pursuing the financing for your project located at the Nathaniel Allen House. Based on our prior experience with you I am confident that you will be able to obtain the necessary combination of public and private financing to successfully complete this project.

This letter is not a commitment for the Bank to lend, but is an indication of our strong interest in financing this project.

Thank you again for your business.

Sincerely,

David C. Pennybaker  
Assistant Vice President

**Newton Community Preservation Program Grant Proposal  
Newton Cultural Alliance – Nathaniel Allen Homestead  
November 2013**

**FY14 Organizational Budget**

**REVENUE**

Individual Contributions	\$15,000.00
Foundation support	\$50,000.00
Executive Leadership	
Mem	\$12,500.00
Org Memberships	\$5,000.00
Bus Memberships	\$2,000.00
Stroll	
participants/sponsors	\$14,000.00
FUNDRAISING EVENTS	\$50,000.00
Org grants & friends campaign	\$55,000.00
<b>TOTAL REVENUE</b>	<b>\$203,500.00</b>

**EXPENSES**

PERSONNEL	Interim Managing Director	\$40,000.00	
	Development	\$63,500.00	
	Program Director - Kara	\$33,000.00	
	Payroll	\$18,000.00	
	CPA - Financial oversight	\$5,000.00	
	Bookkeeper	\$3,000.00	
	Database/admin person	\$7,000.00	
	Fin review/audit	\$2,900.00	
	Non-personnel Exp	Supplies, equipment, etc	\$4,000.00
	Event Exp	Fall event	\$750.00
		Stroll	\$8,000.00
		Gala	\$5,000.00
		Strawberry Festival	\$750.00
Occupancy	Rent - FBC	\$7,800.00	
	Cleaning	\$660.00	
	Phone/Internet	\$744.00	
	Insurance	\$1,900.00	
<b>EXPENSES TOTAL</b>		<b>\$202,004.00</b>	

2:15 PM

11/14/13

Accrual Basis

**Newton Cultural Alliance**  
**Profit & Loss**  
 July 2012 through October 2013

	Jul '12 - Jun 13	Jul - Oct 13
<b>Ordinary Income/Expense</b>		
<b>Income</b>		
4 · Contributed support	283,307.37	13,965.00
5 · Earned revenues	8,957.50	8,810.00
5800 · Special events	2,150.00	0.00
<b>Total Income</b>	<u>294,414.87</u>	<u>22,775.00</u>
<b>Gross Profit</b>	294,414.87	22,775.00
<b>Expense</b>		
7000 · Grant & contract expense	30,091.38	0.00
7200 · Salaries & related expenses	26,308.65	9,537.12
7500 · Other personnel expenses	3,933.50	4,873.00
8100 · Non-personnel expenses	7,441.75	235.25
8200 · Occupancy expenses	24,596.66	8,065.47
8500 · Misc expenses	5,118.38	-20.00
8600 · Business expenses	75.50	15.00
<b>Total Expense</b>	<u>97,565.82</u>	<u>22,705.84</u>
<b>Net Ordinary Income</b>	196,849.05	69.16
<b>Other Income/Expense</b>		
<b>Other Income</b>		
6700 · Interest Income	3.07	0.04
<b>Total Other Income</b>	<u>3.07</u>	<u>0.04</u>
<b>Other Expense</b>		
9800 · Fixed asset purchases	0.00	0.00
<b>Total Other Expense</b>	<u>0.00</u>	<u>0.00</u>
<b>Net Other Income</b>	3.07	0.04
<b>Net Income</b>	<u><u>196,852.12</u></u>	<u><u>69.20</u></u>



Newton Cultural Alliance  
**Balance Sheet**  
 As of October 31, 2013

	<u>Jun 30, 13</u>	<u>Oct 31, 13</u>
<b>ASSETS</b>		
Current Assets		
Checking/Savings		
0900 · First Commons	183.27	0.00
1000 · Village Bank	7,496.54	86,586.00
Total Checking/Savings	<u>7,679.81</u>	<u>86,586.00</u>
Accounts Receivable		
1110 · Accounts receivable	0.00	1,900.00
Total Accounts Receivable	<u>0.00</u>	<u>1,900.00</u>
Other Current Assets		
1299 · Undeposited Funds	210.00	0.00
Total Other Current Assets	<u>210.00</u>	<u>0.00</u>
Total Current Assets	<u>7,889.81</u>	<u>88,486.00</u>
Fixed Assets		
1620 · Buildings - operating	247,000.00	247,000.00
1660 · Construction in progress	51,580.72	127,801.73
Total Fixed Assets	<u>298,580.72</u>	<u>374,801.73</u>
<b>TOTAL ASSETS</b>	<b><u>306,470.53</u></b>	<b><u>463,287.73</u></b>
<b>LIABILITIES &amp; EQUITY</b>		
Liabilities		
Current Liabilities		
Other Current Liabilities		
2150 · Accrued expenses - other	1,500.00	1,500.00
2510 · Trustee & employee loan payable	10,000.00	10,000.00
2550 · Line of credit payable	92,252.00	249,000.00
Total Other Current Liabilities	<u>103,752.00</u>	<u>260,500.00</u>
Total Current Liabilities	<u>103,752.00</u>	<u>260,500.00</u>
Total Liabilities	<u>103,752.00</u>	<u>260,500.00</u>
Equity		
3010 · Unrestrict (retained earnings)	5,866.41	202,718.53
Net Income	196,852.12	69.20
Total Equity	<u>202,718.53</u>	<u>202,787.73</u>
<b>TOTAL LIABILITIES &amp; EQUITY</b>	<b><u>306,470.53</u></b>	<b><u>463,287.73</u></b>

**Newton Community Preservation Program Grant Proposal  
Newton Cultural Alliance – Nathaniel Allen Homestead  
November 2013**

**History of the Nathaniel Allen Homestead**

The Nathaniel T. Allen Homestead at 35 Webster St., West Newton is listed on the National Register of Historic Places and has Newton Landmark status. The house is an excellent example of Greek Revival architecture. From 1854 it was the home of Nathaniel Topliff Allen (1823-1903) and has rich associations with the West Newton community, past and present. Allen was a colleague of Horace Mann, pioneer educator, politician and first Massachusetts Secretary of the Board of Education. Allen was widely known in the second half of the nineteenth century as an educator and abolitionist; his home is a documented site on the Underground Railroad. Allen's West Newton English and Classical School, was a progressive institution in its time and was both co-educational and racially mixed. It pioneered one of the earliest kindergartens in the country and stressed physical education as an important part of the educational program.

Allen's home was an integral part of his school, as he and his wife boarded some of the students, some who came from such far-away places as Cuba, South America and Japan. The adjacent barn housed a gymnasium, bowling alley, and later a school room for the Misses Allen School, operated by Allen's daughters Fanny and Lucy in the first half of the twentieth-century. In 1978, the last heir left the property to Smith and Radcliffe Colleges, the First Unitarian Society in Newton and Trinity Church. A community based, nonprofit corporation formed to care for the property. Beginning in the 1980's this group maintained this property as housing and community space. Despite strong community interest, the foundation was unable to establish a viable model for its preservation. In 2012, the Nathaniel Allen house was put up for sale, and in November 2012 it was acquired by the Newton Cultural Alliance, for intended use by community arts organizations for cultural and educational programs including teaching, rehearsal, performances and gatherings.

**Newton Community Preservation Program Grant Proposal**  
**Newton Cultural Alliance – Nathaniel Allen Homestead**  
**November 2013**

**1. Historical Significance**

The 13,500 SF Nathaniel Allen House (NAH), constructed in the 1840s, is situated on a 54,316 SF corner lot at the edge of the West Newton village center. Nathaniel Allen was an abolitionist and a friend of Horace Mann who pioneered many innovations in public education during the 19<sup>th</sup> century. He provided an educational opportunity to girls and to black children in his school which was located in the barn attached to his residence. The NAH property is listed on the National Register of Historic Places, has Newton Landmark status and both the house exterior and grounds are protected by a Preservation Restriction held by the city of Newton Historical Commission (NHC) under which any changes to the exterior of the building or the property require NHC approval.

**2. Historically Significant Features**

The original topography of the site and location of the buildings remain unchanged. Many other original site features also remain including the large lawn area at the west and south sides of the property, low stone retaining wall along the Webster and Cherry Street sidewalks, the horseshoe shaped driveway from Webster Street, the Cherry Street driveway to access the rear of the property and the driveway from Columbus Place to access the lower level of the barn. An original fieldstone retaining wall remains at the southeast corner of the barn adjacent to stone steps in the landscape connecting the Webster Street and Columbus Place driveways. Many mature trees remain on the property.

The existing L shaped building was constructed over a period of approximately seventy years and comprises the original 7,000 SF 1840's Greek Revival house plus basement, the attached 2,000 SF servants quarters to the north and a large 4,500 SF attached barn plus basement to the east. The most recent occupancy of the building has been seven apartments and two publically accessed spaces for the NAH archives on the first floor of the house.

The defining feature of the Greek Revival house is the two story portico facing Webster Street composed of four fluted columns and Ionic style capitals. The two main parlors facing Webster behind the portico retain their almost floor to ceiling triple hung windows, each with three 6 light sash. The original entrance porch facing the Webster Street driveway with pediment roof and columns remains. The original siding, trim, cornice and many original wood shutters also remain on the house. The original slate roof remains on the gable roof plane facing Webster Street and all of the original chimneys also

remain. At the interior of the house, many of the original interior details, stairways, railings, doors and casings as well as fireplaces with surrounds remain.

The barn retains much of its original siding, windows and trim although extensive repairs are required on the west and a portion of the south side. An existing fan detail remains above the second floor windows in the facade facing Webster Street. At the interior, Nathaniel Allen's original classroom, with fireplace and chimney remain on the south side of the ground floor with a gymnasium space located behind it to the north. A bowling alley with two lanes, ball return and original chalkboard for scoring remains largely intact on the second floor east side.

## **Summary and Justification of Proposed Treatments**

### **1. Preservation**

Much of the original exterior historic fabric of the house and barn remains and will be "preserved".

Additional historic fabric will remain and be "repaired in place" according to the Secretary of the Interior's Standard for Rehabilitation (SISR). Original features to be repaired in place will include window and door sills, exterior wood trim, monumental columns, cornice work and masonry features. The existing wood windows will be repaired in place, by replacing individual missing or deteriorated components such as glazing, sash cords, pulleys or wood stops. Existing aluminum combination storm windows will be retained throughout the project. The existing house main entrance door and leaded sidelights will also be repaired in place. At the east side of the barn basement level, an original solid barn door into a cellar space will be preserved.

### **2. Rehabilitation**

Existing wood cornices, gutters, fascia, siding and trim will be "rehabilitated" by retaining historic fabric that is sound and "replacing in kind" with new materials any missing or completely deteriorated portions of these elements following the best practices in SISR.

Two deteriorated entrance door units with sidelights facing Webster Street will be replaced in kind with wood entrances. At one entrance the original porch is also collapsing and will be replaced in kind with a new painted wood porch to provide egress. On the west side of the house, a small deteriorated porch landing will be replaced to provide a temporary accessible entrance and then a new permanent staff

entrance. Four entrance door units at the west side and rear of the building will be replaced in kind with similar wood doors.

New wood 6/6 true divided light, double hung window sash and new true divided light casement window sash manufactured by Brockway Smith will be installed replicating windows that have failed in existing window openings at the ground and second floor levels of the barn. These windows will match the existing historic window profiles and include an unobtrusive energy panel inset into the sash. Two deteriorated window sash on the west side of the house that have failed will be replaced in kind. The existing aluminum storm windows will remain.

### **3. Restoration**

A two story side porch was constructed with a metal spiral stair and an existing double hung window was converted to a door to provide egress for a 20<sup>th</sup> century apartment on the west side of the house. The porch and stairway will be removed. The double hung window, siding and wood trim will be restored according to historic photos to return the opening to its original configuration. Two architectural porch columns will be salvaged and reinstalled elsewhere.

At some point during the 20<sup>th</sup> century, the decking at the base of the Webster Street south portico was widened about six feet into the yard beyond its original configuration and wrapped around the east side of the house where it attached to the front entrance porch, creating an open farmer's porch. These features will be removed and the original portico configuration, decking, trim and siding restored.

### **4. Reconstruction**

The servants' quarters and about one half of the existing barn structure are suffering from significant water damage. These areas are in need of considerable structural restoration including shoring, excavation, new foundations and reconstructing the wood frame. Much of this work is below grade and thus not highly visible.

At the south entrance to the barn from the Webster Street driveway, a covered portico with two columns was constructed during the 19<sup>th</sup> century to protect the entrance from the weather but was either lost from deterioration or removed. This feature will be reconstructed according to historic photos and re-use two architectural columns from the west side porch.

At the west side of the barn, an aluminum sliding glass patio door unit installed in the original barn door opening will be replaced with a paired wood French door unit. A new painted wood entrance door from the parking area into the barn basement will match the other wood entrance doors.

### **New Construction**

As part of the repairs to the barn roof, a new dormer will be installed on the west side to bring natural light into the new program space below. At various locations around the project, the program calls for the installation of new windows. These units will be new wood true divided light 6/6 double hung windows manufactured by Brockway Smith that will match the existing historic window profiles and include an unobtrusive energy panel inset into the sash. All new construction was approved by NHC.

The existing main entrance porch will be altered to provide a required accessible area of emergency rescue for wheelchair users. The alterations will be unobtrusive and will include restoring the original painted wood stairway, baluster railings and handrails.

### **Access for Person with Disabilities**

As the building changes from a residential use to a building open to the public, access for person with disabilities must be provided in ways that do not diminish the historic value of the property. The existing building presents extensive challenges for creating access for persons with disabilities because of its eight separate floor levels and eleven entrances, none of which are currently accessible. In addition, there are antique stairways, handrails, historic doors and residential bathrooms that do not comply with 521 CMR state access and ADA regulations.

For Phase One, one parking space will be converted to a fully compliant van accessible space and a new temporary wheelchair ramp will provide access to an expanded porch and accessible entrance on the west side of the building. Phase Two parking facilities will comprise 26 spaces of which three will be accessible adjacent to accessible entrances. In addition a drop off area will also be provided at the main accessible entrance from Webster Street.

During Phase Two accessible toilet rooms, four new accessible entrances and a new accessible public basement space under the barn will be created along with the installation of a full service passenger elevator providing access to five of the eight levels of the building on which most of the public spaces are located. When Phase Two is completed the temporary ramp on the west side of the building will be

removed and that entrance will become a staff entrance. The completed project will seamlessly provide a very high degree of accessibility for a significant historic structure that has never been accessible.

All of the proposed Phase One and Two improvements to the property have been approved by the Newton Historical Commission (NHC). Variances have been applied for from the Massachusetts Architectural Board to allow use of the temporary ramp in Phase One and for allowing certain existing inaccessible features to remain such as the Webster Street historic entrance, interior door units, toilet rooms and stairways to remain when the Phase Two construction has been completed.

**Massachusetts Historic Commission (MHC) Tax Credit Application**

For detailed information about the proposed renovation work, please refer to the specifications that have been submitted to as part of a recent MHC tax credit funding application that follow.

**MASSACHUSETTS HISTORICAL COMMISSION  
STATE HISTORIC REHABILITATION TAX CREDIT PROGRAM  
HISTORIC PRESERVATION CERTIFICATION APPLICATION**

**PART 2 – DESCRIPTION OF REHABILITATION**

Nathaniel Allen House

Property Name

35 Webster Street, Newton MA 02465

Property Address

Project Number: \_\_\_\_\_

13.DETAILED DESCRIPTION OF REHABILITATION/PRESERVATION WORK – Includes site work, new construction, alterations, etc.  
Complete below (please attach additional sheets when necessary).

<p><b>Number 1.</b> Architectural feature <u>Wood board fencing</u> Approximate date of feature <u>1890</u> Describe existing feature and its condition: There is stained wood board fencing at several locations on the site.</p> <p>Photo no. <u>1A-1B</u> Drawing no. <u>EL1.0</u></p>	<p>Describe work and impact on existing feature: The existing wood fences will be repaired in place with the same materials wherever possible. Where the fence has collapsed or is rotted out, we will replicate the fence with the same materials. Where new fencing is proposed to be installed along the rear property line, we will replicate the existing board fencing.</p>
<p><b>Number 2.</b> Architectural feature <u>Sun deck on east and south sides of house.</u> Approximate date of feature <u>circa 1945</u> Describe existing feature and its condition: The existing wood decking at the base of the monumental columns at the south portico area was extended approximately 6' beyond the roof line above and then carried around the corner of the house to connect with the original east entrance porch to create a sundeck.</p> <p>Photo no. <u>2A-2C</u> Drawing no. <u>EL2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: The added portion of the sundeck, not original to the house, will be removed. This work was reviewed with the Newton Historical Commission staff and included investigating early photographs of the original building in which this feature did not exist.</p>
<p><b>Number 3.</b> Architectural feature <u>Covered side porch on west side of house.</u> Approximate date of feature <u>circa 1920</u> Describe existing feature and its condition: A one story porch was added to the west side of the house to provide egress from a second floor apartment not original to the house. It is badly deteriorated and literally collapsing into the side yard.</p> <p>Photo no. <u>3A-3B, H1</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: The added porch, not original to the house, will be removed and the existing siding and trim restored. This work was reviewed with the Newton Historical Commission staff and included investigating early photographs of the original building in which this feature did not exist. Two ornamental columns will be salvaged and installed as part of a replicated portico at the south barn entrance. The portico, although no longer in existence, is indicated in historic photographs of the barn in several configurations.</p>
<p><b>Number 4.</b> Architectural feature <u>French style window accessing west egress porch</u> Approximate date of feature <u>circa 1920</u> Describe existing feature and its condition: One of the existing double hung windows was removed and a paired French casement window was installed in the existing framed opening to allow access to the roof of the porch for purposes of egress.</p> <p>Photo no. <u>4A-4B, H1</u> Drawing no. <u>EX2.3</u></p>	<p>Describe work and impact on existing feature: The French casement, not original to the house, will be removed and a new painted wood double hung window matching the original wood double hung window will be installed. This work was reviewed with the Newton Historical Commission staff and included investigating early photographs of the original building in which this feature did not exist.</p>



**MASSACHUSETTS HISTORICAL COMMISSION  
STATE HISTORIC REHABILITATION TAX CREDIT PROGRAM  
HISTORIC PRESERVATION CERTIFICATION APPLICATION**

**PART 2 – DESCRIPTION OF REHABILITATION**

Nathaniel Allen House

Property Name

35 Webster Street, Newton MA 02465

Property Address

Project Number: \_\_\_\_\_

<p><b>Number 5.</b> Architectural feature <u>Iron spiral stairway on west side of house.</u> Approximate date of feature <u>circa 1920</u> Describe existing feature and its condition: An iron spiral stairway was installed next to the west porch and adjacent to the modified French window to complete the egress path from the second floor apartment.</p> <p>Photo no. <u>5A-5B, HI</u> Drawing no. <u>EX1.1, 1.2, 2.1</u></p>	<p>Describe work and impact on existing feature: The spiral stairway, not original to the house, will be removed. This work was reviewed with the Newton Historical Commission staff and included investigating early photographs of the original building in which this feature did not exist.</p>
<p><b>Number 6.</b> Architectural feature <u>Brick chimneys (4 total) without chimney pots</u> Approximate date of feature <u>circa 1845</u> Describe existing feature and its condition: There are three chimneys on the house and one at the barn, all of which vented original fireplaces that remain in the building.</p> <p>Photo no. <u>6A-6D</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: The fireplaces are not scheduled to be recommissioned to burn wood, so the work on the chimneys will be limited to repointing and repairs above the roof surface. There are no chimney pots or missing bricks. The existing masonry will be repointed and repaired with the existing bricks and with matching limestone and sand mortar. No Portland cement products will be used. Existing lead flashings will be re-used or replaced in kind if failed.</p>
<p><b>Number 7.</b> Architectural feature <u>Asphalt shingle roofing</u> Approximate date of feature <u>circa 1980</u> Describe existing feature and its condition: All sloped gable roofs are covered with common three tab black asphalt shingles. The roofing has failed in many locations exposing the sheathing boards below. One existing skylight above a house stairway with very limited visibility, if any, will be reinstalled.</p> <p>Photo no. <u>7A-7D</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: The existing three tab shingles will be replaced with architectural grade black asphalt shingle roofing. The existing roof boards will be inspected and replaced in kind where necessary. Existing lead flashings will be re-used or replaced in kind if failed.</p>
<p><b>Number 8.</b> Architectural feature <u>EPDM membrane roofing</u> Approximate date of feature <u>circa 1980</u> Describe existing feature and its condition: All upper flat roofs are covered with black EPDM membrane roofing. The roofing seams have failed in many locations. None of the flat roof surfaces are visible from the ground or public ways.</p> <p>Photo no. <u>8A-8C</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: The existing rubber membrane roofing will be replaced in kind with a complete new black membrane roofing system. A low elevator penthouse will be introduced into the roof with very limited visibility, if any, from the property and the public ways. It will be finished with simplified painted wood trim and clapboards to blend in with the other architectural elements of the roof top area.</p>

**MASSACHUSETTS HISTORICAL COMMISSION  
STATE HISTORIC REHABILITATION TAX CREDIT PROGRAM  
HISTORIC PRESERVATION CERTIFICATION APPLICATION**

**PART 2 – DESCRIPTION OF REHABILITATION**

Nathaniel Allen House

Property Name

35 Webster Street, Newton MA 02465

Property Address

Project Number: \_\_\_\_\_

<p><b>Number 9.</b> Architectural feature <u>Metal Porch Roofing</u> Approximate date of feature <u>1845</u> Describe existing feature and its condition: The existing low slope hot mopped asphalt roof of the east house entrance porch, the asphalt shingle roofs of the north house entrance stoop and west barn entrance stoop are deteriorated.</p> <p>Photo no. <u>9A-9C</u> Drawing no. <u>EX1.2, EX2.1</u></p>	<p>Describe work and impact on existing feature: The east house entrance porch, north entrance stoop and west barn entrance stoop roofs will be replaced with soldered copper sheet roofing. The resplicated south barn portico roof will also be constructed out of soldered copper sheet.</p>
<p><b>Number 10.</b> Architectural feature <u>House wood cornice, gutters and downspouts</u> Approximate date of feature <u>1845</u> Describe existing feature and its condition: The cornice of the house and the east entrance porch are suffering from varying degrees of disrepair, primarily from lack of maintenance and water damage.</p> <p>Photo no. <u>10A-10B</u> Drawing no. <u>EX2.1</u></p>	<p>Describe work and impact on existing feature: The existing painted gutter, fascia and soffits will be repaired in place with epoxy filler where possible. If deterioration is so extensive that epoxy filler cannot be used, then sections of the wood gutter and cornice components will be cut out and replaced with matching materials. Existing galvanized steel downspouts will remain but missing downspouts or fully depreciated downspouts will be replaced with appropriately sized round copper downspouts.</p>
<p><b>Number 11.</b> Architectural feature <u>Barn wood soffits, gutters and downspouts</u> Approximate date of feature <u>1845 and later</u> Describe existing feature and its condition: A portion of the gutter and much of the soffit remains on the east side of the barn. Nothing remains on the badly deteriorated west side.</p> <p>Photo no. <u>11A-11C</u> Drawing no. <u>EX2.1</u></p>	<p>Describe work and impact on existing feature: The existing painted gutter, fascia and soffits will be repaired in place with epoxy filler where possible on the east side. If deterioration is so extensive that epoxy filler cannot be used, then sections of the wood gutter and cornice components will be cut out and replaced with matching materials. On the west side, the missing and rotted components will be replicated to match the similar elements that remain on the east side. Existing galvanized steel downspouts will remain but missing downspouts or fully depreciated downspouts will be replaced with appropriately sized round copper downspouts.</p>
<p><b>Number 12.</b> Architectural feature <u>Wood trim on building sidewalls</u> Approximate date of feature <u>1845</u> Describe existing feature and its condition: Most of the painted wood rake and gable trim, window trim, door trim, water tables, plantia boards, frieze boards and fans are poorly maintained but intact. The four monumental ionic columns of the portico were restored by the previous owner of the property.</p> <p>Photo no. <u>12A-12D</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: All wood trim will be repaired in place using epoxy filler wherever possible. The window sills and bottoms of the exterior casings will need the most attention but are able to be repaired.</p>

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<p><b>Number 13.</b> Architectural feature <u>Painted wood clapboard siding</u> Approximate date of feature <u>1845</u> Describe existing feature and its condition: The existing siding is ½" x 6" painted cedar clapboards installed 4" to the weather. Much of the siding condition is adequate to be repainted. At a few locations where gutters have failed or other water problems have occurred, the siding is deteriorated. At the inside corner of the north side of the house and across the west side of the barn, the worst water problems exist and the siding has failed. Photo no. <u>13A-13D</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: Cracked or split clapboards, missing and/or rotted clapboards and clapboards that require replacement due to underlying structural repairs will be replaced with matching cedar materials.</p>
<p><b>Number 14.</b> Architectural feature <u>Wood windows</u> Approximate date of feature <u>circa 1845 to 1885</u> Describe existing feature and its condition: The majority of the wood windows are double hung windows with sash cords and counter weights and exterior painted aluminum combination storm windows. At the ground floor parlors facing Webster Street, there are triple hung windows. On the west and east sides of the barn and in the basements, there are painted wood, singled glazed fixed sash. There are leaded glass sidelights at the east entrance of the house. Photo no. <u>14A-14E</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: The components of the wood windows (glazing, sash, weights, ropes, etc.) will be individually repaired as required in place. Sash will be repaired with epoxy filler where possible. Two bottom sash on the first floor, west side of the house are so deteriorated as to require replication. Where the French window was removed, a double hung window matching the others will be replicated. The deteriorated single glazed barn sash will also be replicated and include interior storm windows to minimize the impact on the historic fabric. Existing aluminum combination storm windows elsewhere on the building will remain and be repainted. The existing leaded glass sidelights will remain untouched.</p>
<p><b>Number 15.</b> Architectural feature <u>Wood doors and entrances</u> Approximate date of feature <u>circa 1845 to 1885 and later</u> Describe existing feature and its condition: Existing egress door units and sidelights on east side of house and south side of the barn are completely rotted and failed. The north house and west barn entrance doors are failing. A double hung window on the first floor west side of the house was converted to a door. An existing solid wood panel door remains in the fieldstone lower level east barn façade. Photo no. <u>15A-15F</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: The two deteriorate entrances with sidelights will be replicated. The north house and west barn entrances will be replaced in kind. These four doors will include ½" thresholds for HC access. The converted west entrance door will be replaced with a 36" wide door to provide HC access. The existing east entrance door threshold will be reduced to ½" for HC egress by adding an invisible extension to the bottom of the painted door. An existing wood door on the lower level east side of the barn will be both relocated and replaced in kind with a 36" accessible door unit to provide HC to the lower level of the barn. The solid panel door in the east fieldstone barn foundation will remain.</p>
<p><b>Number 16.</b> Architectural feature <u>Wood porches and stairs</u> Approximate date of feature <u>circa 1840 and later</u> Describe existing feature and its condition: East side house entrance porch has been altered to include concrete stairs and wrought iron railings. A small wood porch and steps was added on west side of house where window was converted to a door. Two small roofed stoops at barn west side and house north side are badly deteriorated. Wood porch flooring exists around the four monumental columns on the house south façade which is in poor condition. Photo no. <u>16A-16E</u> Drawing no. <u>EX2.0, 2.1, 2.2, 2.3</u></p>	<p>Describe work and impact on existing feature: East side porch deck will be raised and extended to create a HC accessible place of rescue assistance. The two existing porch columns will be shortened. The concrete stairs will be replaced with a painted wood stairway with upper and lower 2x4 rails, 1 ¾" sq. balusters and interior HC complaint handrails. Two roofed stoops at rear of building will be replaced in kind but with copper roofs. The painted 1x 4 fir decking around the south portico will be replaced in kind with new material.</p>

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<p><b>Number 17.</b> Architectural feature <u>South barn entrance portico</u> Approximate date of feature _____ Describe existing feature and its condition: An entrance portico which is seen in historic photos in various configurations was removed or collapsed at the south side barn entrance.</p> <p>Photo no. <u>17A</u> Drawing no. <u>EX2.0</u></p>	<p>Describe work and impact on existing feature: A new painted wood entrance portico roof and cornice with two painted wood columns will be replicated at the existing south barn entrance from historic photos. The two columns removed from the demolished west porch will be incorporated into the new portico. The walking surface will be new brick pavers installed to create the principal HC accessible entrance for the building which is only a few feet from the five stop, full sized passenger elevator that is included at the interior of the project.</p>
<p><b>Number 18.</b> Architectural feature <u>West entrance porch</u> Approximate date of feature <u>circa 1845</u> Describe existing feature and its condition: A small entrance porch and stairway exists on the west side of the house where the window was converted to a door. It is in poor condition and of such limited area as to be unsafe.</p> <p>Photo no. <u>18A</u> Drawing no. <u>EX2.3</u></p>	<p>Describe work and impact on existing feature: The existing porch will be reconstructed to provide adequate door clearances for a temporary HC accessible entrance to be used with a rented, temporary ramp until the other four HC accessible entrances can be constructed. The porch will include a painted wood stairway and upper and lower 2x4 guard rails with 1 ¼" sq. balusters and interior HC complaint handrails at the stairs. When the accessible entrances are constructed, the temporary ramp will be removed but the porch and stairs will remain as an employee entrance to the building.</p>
<p><b>Number 19.</b> Architectural feature <u>Window wells</u> Approximate date of feature <u>circa 1845</u> Describe existing feature and its condition: Brick and stone window wells exist around the house foundation and in the south side barn foundation. A depressed portion of patio grade exists at the intersection of the north house wall and west barn wall where the worst water damage to the structure exists.</p> <p>Photo no. <u>19A-19C</u> Drawing no. <u>EX2.0, 2.2</u></p>	<p>Describe work and impact on existing feature: The existing window wells will be repaired in place using the existing materials and lime and sand mortar matching the existing mortar. No portland cement products will be used. A new areaway will be constructed as a rain garden to collect and dispose of water at the depressed portion of the rear patio area and to provide new windows for light, ventilation and landscaped views for the new basement elevator lobby. The interior concrete faces of the areaway will be finished with cement stucco covered with vines. Low shade plantings will be provided. A painted wood balustrade will be installed at the top of the two walls for safety reasons.</p>
<p><b>Number 20.</b> Architectural feature <u>Interior stairways, trim, moldings and doors</u> Approximate date of feature <u>circa 1845</u> Describe existing feature and its condition: Two original stairways, many original doors and casings, original window trim, mop boards, interior brackets, wall paneling, marble mantels, plaster details, wood parquet floors and stenciling are in reasonable condition throughout the house and will remain except as noted.</p> <p>Photo no. <u>20A-20F</u> Drawing no. <u>EX1.1, 1.2</u></p>	<p>Describe work and impact on existing feature: All existing stairways, trim and other interior details will be maintained, cleaned and lightly refinished. Stairway carpeting will be removed for safety and accessibility. Most doors will remain, but several will be replaced with 36" wide doors to provide HC access to key areas of the interior. Pocket doors will remain and be made operable. Passage door knobs will be replaced with HC lever handles. Interior thresholds will be reduced to ½" where possible. Our recent MAAB variance application is attached to this application. Ceilings and walls will be repaired after the installation of new electrical, mechanical and life safety systems. The interior will be painted, stenciling restored and floors screened and refinished.</p>

MASSACHUSETTS HISTORICAL COMMISSION  
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**Number 21.**

Architectural feature Exterior alterations at house and barn

Approximate date of feature New construction- two items

Describe existing feature and its condition:

New dormer to illuminate interior barn space on west roof of barn.

New windows and HC accessible entrance on east side of barn lower level.

Photo no. 21A-21B Drawing no. EX2.1, 2.3

Describe work and impact on existing feature:

The drawings indicate a new dormer on the west roof of the barn and the elimination of 1980s skylight from the same roof plan. Several new windows and a new HC accessible entrance are proposed for the east side of the barn lower level at a location where three existing windows and a door will be removed. This is basically a reconfiguration of this area to provide a HC accessible entrance. Both of these items were recently approved by the Newton Historical Commission (NHC) under their jurisdiction over the building based on the Preservation Restriction that NHC holds for the property.

**NOTE:** This item, unfortunately, was not taken up during the FY02 budget deliberation process. The FY01 monies that were originally intended for this purpose were used to fund the Cops & Kids program instead. At this particular time, the Executive Department is still holding the creation of this position, and will come back to the Board of Aldermen at a later date to seek funding for this purpose.

Therefore, the Committee voted NO ACTION NECESSARY, 8-0 on this item.

#168-01 HIS HONOR THE MAYOR requesting acceptance of MGL Chapter 40 §22F which allows department heads to “fix reasonable charges to be paid for any services rendered or work performed by the city.”

**ACTION:** **APPROVED 5-1 (GERST OPPOSED; CICCONE, PARKER NOT VOTING) AS IT RELATES TO MUNICIPAL LIEN CERTIFICATES**

**NOTE:** Sandy Pooler, Chief Budget Officer, was present this evening. He reviewed this item with the Committee. The proposal calls for a Mass. General Law acceptance which would, instead of having the Board of Aldermen set all fees for services performed in the City (those which are not controlled by state law), allow department heads to set these fees. The Board of Aldermen has always been reluctant to turn over the fee setting authority to department heads without formal review and approval by the Board. This year, when the FY02 budget was put together, the Mayor’s office has included an additional \$50,000 under Municipal Lien Certificate revenue. If the City continues to use the old fee for MLC’s, then the City will not raise this additional \$50,000. Therefore, it is important that the MLC fee be raised. The acceptance of this MGL will allow the Treasurer/Collector to set the fee for MLC’s at \$50, which will then provide for this additional income.

The Committee did not have a problem with the raising of the MLC fees, but looked for assurances from the Executive Department that all further increases in fees will be referred back to the Board of Aldermen for scrutiny prior to implementation. This would include any fee increase proposals for Inspectional Services, Health Department, Parks & Recreation fees. After a full discussion of the item, the Committee voted 5-1-2, with Ald. Gerst opposed and Ald. Ciccone and Parker not voting, to approve this acceptance.

**CLERK’S NOTE:** Please refer to attached letter received from Mayor Cohen on 7/3/01 relating to this issue.

#257-12



City of Newton, Massachusetts  
Office of the Mayor

Telephone  
(617) 552-7100  
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(617) 965-6885  
E-mail

David B. Cohen  
Mayor

Dcohen@ci.newton.ma.us

July 3, 2001

Honorable Board of Aldermen  
Newton City Hall  
1000 Commonwealth Avenue  
Newton, MA 02459

Ladies and Gentlemen:

I write to your Honorable Board to update you on the implementation of increased fees for municipal lien certificates and the acceptance of Massachusetts General Law Chapter 40, Section 22F.

As I outlined in my letter of May 1, 2001, I included in the FY02 operating budget a revenue estimate of \$50,000 from increased municipal lien certificate fees. The spending plan I presented and that your Honorable Board appropriated was premised on the addition of the municipal lien certificate revenue. Without such revenue, the FY02 budget will need to be cut by \$50,000. To avoid such cuts, I respectfully request your Honorable Board complete action on acceptance of Chapter 40, section 22F, which will allow department heads to set fees that previously had been set by the state.

I have enclosed a copy of the ordinance your Honorable Board passed last year setting new fees for municipal lien certificates and certain other minor fees in the Treasurer/Collector's Office. It is my intention to have the Treasurer/Collector implement these new fees on August 1, 2001, and I await your action on acceptance of section 22F before doing so.

In the future, I will not permit any department head to raise any of the fees affected by this action without first receiving your support for such increases in the form of a resolution. This process will allow your Honorable Board to review and comment on any such increase, to hold whatever public hearings you deem advisable, and to communicate with me and the department head under whose jurisdiction the fee would fall. Working cooperatively, we can insure the City has the financial resources it needs to deliver the services our citizens need and desire.

Thank you for your consideration of this matter.

Very truly yours,

David B. Cohen  
Mayor

2001 JUL -3 PM 5:02  
CITY CLERK  
NEWTON, MA 02159

#257-12

**PART I** ADMINISTRATION OF THE GOVERNMENT**TITLE VII** CITIES, TOWNS AND DISTRICTS**CHAPTER 40** POWERS AND DUTIES OF CITIES AND TOWNS**Section 22F** License fees; service charges; acceptance of section

Section 22F. Any municipal board or officer empowered to issue a license, permit, certificate, or to render a service or perform work for a person or class of persons, may, from time to time, fix reasonable fees for all such licenses, permits, or certificates issued pursuant to statutes or regulations wherein the entire proceeds of the fee remain with such issuing city or town, and may fix reasonable charges to be paid for any services rendered or work performed by the city or town or any department thereof, for any person or class of persons; provided, however, that in the case of a board or officer appointed by an elected board, the fixing of such fee shall be subject to the review and approval of such elected board.

A fee or charge imposed pursuant to this section shall supersede fees or charges already in effect, or any limitations on amounts placed thereon for the same service, work, license, permit or certificate; provided, however, that this section shall not supersede the provisions of sections 31 to 77, inclusive, of chapter 6A, chapter 80, chapter 83, chapter 138, sections 121 to 131N, inclusive, of chapter 140 or section 10A of chapter 148. The provisions of this section shall not apply to any certificate, service or work required by chapters fifty to fifty-six, inclusive, or by chapter sixty-six. The fee or charge being collected immediately prior to acceptance of this section for any license, permit, certificate service or work will be utilized until a new fee or charge is fixed under this section.

The provisions of this section may be accepted in a city by a vote of the city council, with the approval of the mayor if so required by law, and in a town by vote of the town meeting, or by vote of the town council in towns with no town meeting.



CITY OF NEWTON

IN BOARD OF ALDERMEN

July 9, 2001

ORDERED:

That, in accordance with the recommendation of His Honor the Mayor and the Finance Committee through its Chairman Ald. Paul E. Coletti, the City of Newton hereby accepts the provisions of §22F of MGL Chapter 40, which authorizes certain municipal boards and officers to fix reasonable fees for the issuance of certain licenses, permits, or certificates, as provided therein.

Under Suspension of Rules  
Readings Waived and Adopted  
21 yeas 0 nays 2 absent (Ald. Ciccone and M. Lipof)  
1 vacancy

EXECUTIVE DEPARTMENT  
Approved: July 11, 2001



(SGD) EDWARD G. ENGLISH  
City Clerk



(SGD) DAVID B. COHEN  
Mayor

RECEIVED

JUL 26 2001

MAYOR'S OFFICE



Setti D. Warren  
Mayor

**City of Newton, Massachusetts**  
Department of Planning and Development  
1000 Commonwealth Avenue Newton, Massachusetts 02459

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James Freas  
Acting Director

**Community Preservation Committee  
FUNDING RECOMMENDATION for  
Farlow Park Pond & Bridge**

date: 18 August 2014  
from: Community Preservation Committee  
to: The Honorable Board of Aldermen

**PROJECT GOALS & ELIGIBILITY**

This project will restore the historic pond in Farlow Park and will construct a pedestrian bridge over the pond that honors the design of the park's rustic historic bridge, while meeting current accessibility standards. The project will also preserve the Underwood Elementary School's playing fields within the park by installing a new irrigation system. A new well will supply water for both the pond and the irrigation system.

The site's eligibility for CPA funding as a historic resource was established for two prior CPA appropriations: Board order 257-05 for a historic landscape report and Board order 193-08 for a pond feasibility study/water source exploration.

**RECOMMENDED FUNDING**

On 30 April 2014 the Community Preservation Committee voted 8-0 (member Dan Green absent) to recommend appropriating \$476,780 for this project to the control of the Commissioner of Parks & Recreation. On 5 August 2014, the CPC also voted 6-0 (members Mike Clarke and Tom Turner absent) to allow the release of CPA funds for design costs prior to the commitment of non-CPA funds required to complete the project.

<b>Farlow Park Pond &amp; Bridge - CPC Recommendation</b>		
<b>Uses</b>		<b>% of total</b>
* capital improvements (to be managed by Parks & Recreation Dept.), including:		
project management (Parks & Recreation Dept. staff time + funds for contracted manager)	\$61,600	10.1%
design & construction (total for pond & bridge)	\$520,780	85.0%
** operating reserve (minimum, to be held by Friends of Farlow Park)	\$30,000	4.9%
<b>total</b>	<b>\$612,380</b>	<b>100.0%</b>
<b>Sources</b>		
* CPA	\$476,780	77.9%
* City of Newton general budget (Parks & Recreation Dept. staff time)	\$5,600	0.9%
* CDBG	\$10,000	1.6%
* community sponsors (minimum, incl. \$1,000 from Newton Corner Neighborhood Association)	\$90,000	14.7%
additional non-CPA funds (community sponsors, CDBG, or other)	\$30,000	4.9%
<b>total</b>	<b>\$612,380</b>	<b>100.0%</b>
* As listed in November 2013 proposal to the CPC.		
** Neither CPA nor CDBG funds may be contributed to the operating reserve.		

website [www.newtonma.gov/cpa](http://www.newtonma.gov/cpa)

contact Alice E. Ingerson, Community Preservation Program Manager

email [aingerson@newtonma.gov](mailto:aingerson@newtonma.gov) phone 617.796.1144

**SPECIAL ISSUES CONSIDERED BY THE CPC**

This recommendation is the culmination of a neighborhood aspiration expressed since at least the 1980s, and especially of prior funding proposals to the CPC initiated by the all-volunteer Friends of Farlow Park in 2004-05 (denied), 2005-06 (funded), 2006-07 (denied), and 2007-08 (funded). The CPC's unanimous support for the current proposal reflects the Friends' responsiveness to the two major needs the Committee has identified most consistently since 2005: for raising private funds and for ensuring future maintenance.

**Project Phasing:** At the CPC's urging, based on both aesthetic and project management concerns about deferring replacement of the current concrete-slab-and-chain-link "bridge," the Friends of Farlow Park added the design and construction of a new bridge to their original pre-proposal for restoring the pond.

**Funding Leverage:** Also in response to the CPC's concerns, the Friends of Farlow Park increased their commitment to community fundraising from \$1,000 in the pre-proposal to \$90,000 in the full proposal.

**Stewardship:** Based on both the history of Farlow Park and its appropriate, primary use – for passive recreation by neighborhood residents – the CPC has always been concerned that in the future, it may once again be difficult for this historic gem to compete for routine City funding with larger, more active recreation sites. As part of the current proposal, the City of Newton has committed to invest in maintaining Farlow Park the annual \$4,000 it anticipates saving by switching from MWRA water to well water for irrigating the Underwood School playing fields. In addition, the Friends of Farlow Park have now become a permanent 501(c)3 nonprofit, committed to holding at least \$30,000 of community donations in an "operating reserve" for the uses described in their 10 April 2014 submission to the CPC: "1. cost overruns [for the current project]; 2. future projects such as plantings and other ancillary needs such as new benches; and 3. emergency maintenance, if the Friends of Farlow Park determine the City of Newton has failed to fulfill its maintenance commitment" to Farlow Park.

**ADDITIONAL RECOMMENDATIONS** (*funding conditions*)

1. Funds for this project should be treated as 100% for historic resources and appropriated first from the Community Preservation Fund's historic resources fund balance and reserve, then from the general fund balance as needed.
2. CPA funds should be released for project design costs without condition. CPA funds should be released for construction only when all other funds in the budget on page 1 of this recommendation are committed.
3. Construction should begin within 6 months and be completed within 2 years after all funds in the budget on page 1 of this recommendation are committed, or by any extension of these deadlines granted in writing by the CPC in response to a request from the Commissioner of Parks & Recreation.
4. The Parks & Recreation Dept. should provide project updates upon request to the Friends of Farlow Park, the CPC and the Board of Aldermen; and prior to spending the final 10 percent of CPA funds, should present to the CPC an in-person and written final report, comparing budgeted-vs-actual expenditures.
5. Any CPA funds appropriated but not used for the purposes stated herein should be returned to the Newton Community Preservation Fund.

**KEY OUTCOMES**

The Community Preservation Committee will evaluate this project based on these key outcomes:

- Completion of construction within the budget shown on page 1 of this recommendation, and by the deadlines listed above.
- Historically appropriate maintenance of Farlow Park, with minimal use of the "operating reserve" held by the Friends of Farlow Park.

**ATTACHMENTS** (delivered to the clerks of the Programs & Services Committee and Finance Committee)

- Copy of CPC project webpage, listing all online information related to this proposal: <http://www.newtonma.gov/gov/planning/cpa/projects/farlow.asp>
- Proposal and supplemental submissions by the Parks & Recreation Dept. and Friends of Farlow Park
- Friends of Farlow Park slide presentation at the CPC's public hearing on this proposal
- All written community feedback received on this proposal



Setti D. Warren  
Mayor

**Newton, Massachusetts Community Preservation Program  
FUNDING REQUEST**

**#333-14**  
(For Staff use)  
date rec'd:  
  
3:30 pm,  
13 November  
2013

PRE-PROPOSAL       PROPOSAL

Form last updated April 2013.

For full instructions, see [www.newtonma.gov/cpa](http://www.newtonma.gov/cpa) or contact:

Community Preservation Program Manager,  
City of Newton Planning & Development Department, 1000 Commonwealth Ave., Newton, MA 02459  
[aingerson@newtonma.gov](mailto:aingerson@newtonma.gov)      617.796.1144

You may adjust the space for each question, but the combined answers to all questions on this page must fit on this page.

<b>Project TITLE</b>	<b>Farlow Park Restoration and Rehabilitation (Pond, Bridge and Irrigation)</b>															
<b>Project LOCATION</b>	Full street address (with zip code), or other precise location. 129 Church Street, Newton, MA 02458															
<b>Project CONTACTS</b>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 30%;">Name &amp; title or organization</th> <th style="width: 20%;">Email</th> <th style="width: 20%;">Phone</th> <th style="width: 30%;">Mailing address</th> </tr> </thead> <tbody> <tr> <td><b>Project Manager</b> Carol Schein, Open Space Coordinator</td> <td><a href="mailto:cschein@newtonma.gov">cschein@newtonma.gov</a></td> <td>617-796-1500</td> <td>Parks and Recreation 124 Vernon Street Newton, MA 02458</td> </tr> <tr> <td><b>Other Contacts</b> Robert DeRubeis, Commissioner</td> <td><a href="mailto:bderubeis@newtonma.gov">bderubeis@newtonma.gov</a></td> <td>617-796-1500</td> <td>Parks and Recreation 124 Vernon Street Newton, MA 02458</td> </tr> </tbody> </table>				Name & title or organization	Email	Phone	Mailing address	<b>Project Manager</b> Carol Schein, Open Space Coordinator	<a href="mailto:cschein@newtonma.gov">cschein@newtonma.gov</a>	617-796-1500	Parks and Recreation 124 Vernon Street Newton, MA 02458	<b>Other Contacts</b> Robert DeRubeis, Commissioner	<a href="mailto:bderubeis@newtonma.gov">bderubeis@newtonma.gov</a>	617-796-1500	Parks and Recreation 124 Vernon Street Newton, MA 02458
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<b>Project FUNDING</b>	<b>CPA funds requested:</b> \$476,780	<b>Other funds to be used:</b> \$105,600	<b>Total project cost:</b> \$582,380													
<b>Project SUMMARY</b>	Summarize the project's main tasks, components or features, and explain why it is eligible for CPA funds. You may provide more information in attachments, but your SUMMARY MUST FIT IN THE SPACE BELOW.															
<p>The Parks and Recreation Department along with its co-sponsor, the Friends of Farlow Park, is requesting Community Preservation Act funds to restore Farlow Park's primary character-defining features: its centrally located reflecting pond and the Adirondack-style bridge that spans it. Designed by George Meacham, designer of the Boston Public Garden, Farlow Park is listed on the National Register of Historic Places and falls under the CPA-definition of restoration of a historic resource. The scope of work is to include:</p> <p><u>Pre-Design Phase</u> (3 months)</p> <ul style="list-style-type: none"> <li>• The Friends of Farlow Park's architect develops and donates conceptual design of the bridge;</li> <li>• The Parks and Recreation Department procures an independent project manager to manage the project from start-up through project completion, with oversight by the Department project manager; and</li> <li>• The Parks and Recreation Department procures a structural engineering consultant.</li> </ul> <p><u>Design and Bid Phase</u> (4 months)</p> <ul style="list-style-type: none"> <li>• Final design of a new bridge that complies with the Secretary of the Interior's Standards for the Treatment of Historic Properties, the Americans With Disabilities Act (ADA) and AASHTO's guidelines for pedestrian bridges;</li> <li>• Project coordination, in-house meetings and public hearings as needed;</li> <li>• Integration of the final bridge design package with the original Farlow 2008 bid package (restoration of the pond basin plus upgrade of the playground area's irrigation system); and</li> <li>• Coordination of bidding for the construction phase.</li> </ul> <p><u>Construction Phase</u> (4 months)</p> <ul style="list-style-type: none"> <li>• Pre-construction meeting, weekly meetings and on-site meeting notes;</li> <li>• Coordination of shop drawing submittals/review and change orders; and</li> <li>• Regular sight visits to observe construction activity through project completion.</li> </ul> <p>Rehabilitating the primary historic features of this cultural resource will reinforce its "sense of place," preserve Newton's unique character and create a place for all in the community to meet and enjoy now and for generations to come.</p>																

You may adjust the space for each question, but the combined answers to all questions on this page must fit on this page.

Project TITLE		Farlow Park Restoration and Rehabilitation (Pond, Bridge and Irrigation)				
USE of CPA FUNDS		HISTORIC RESOURCES	OPEN SPACE	or	RECREATION LAND	COMMUNITY
Check all that apply.	acquire					Contact staff for separate form.
	create	not allowed				
	preserve					
	rehabilitate/restore	X	Consult staff.			
COMMUNITY NEEDS	From at least 2 of the community-wide plans linked to <i>Guidelines &amp; Forms</i> from <a href="http://www.newtonma.gov/cpa">www.newtonma.gov/cpa</a> , provide the plan title, year, page number and a brief quote showing how this project meets needs already recognized in these plans. You may also list other community benefits not mentioned in any plan.					
<p><i>Newton Comprehensive Plan</i> (November 2007): "Identify historic places, both architectural and natural, that give the community its special character and that aid its future well-being."</p> <p><i>Newton's Heritage Landscapes</i> (May 2009), Page 8, <i>Building a 19<sup>th</sup> Century "Garden City"</i>: "Tree planting in village centers, creation of a garden cemetery, and picturesque landscaping of large estates set the City's tone. Creation of Farlow Park and the Newton Centre Playground established a pattern of commitment to beautification."</p> <p>draft <i>Open Space Plan 2013-2017</i>, Page 44: "Our open space and recreation vision is of being a metropolitan community able to maintain and preserve its natural assets and resources and able to meet both the passive and active recreational needs of its citizens. In such a vision, the well-being of Newton residents is promoted by policies that safeguard Newton's land, air and water. Our parks, conservation areas and playgrounds can continue to provide opportunities for active and passive recreation through cooperative efforts—all ingredients of a vital community."</p> <p>Page 56: "The remainder of Newton's water bodies, although small, contribute to wildlife habitat, open space, and to Newton's visual quality."</p>						
COMMUNITY CONTACTS	List 3 Newton residents or organizations that can comment on the project and its manager's qualifications. No more than 1 of these contacts should be a Board member, supervisor, employee or current work colleague of the project manager. Formal letters of support may also be attached but are not required.					
Name & title or organization	Email	Phone	Mailing address			
Keith Jones, Chair, Friends of Farlow Park	<a href="mailto:Keith.Mjones@Verizon.net">Keith.Mjones@Verizon.net</a>	928-3343	109 Vernon Street Newton, MA 02458			
Jay Walter, Friends of Farlow Park	<a href="mailto:entasis@rcn.com">entasis@rcn.com</a>	527-8383	83 Pembroke Newton MA 02458			
Andy Gluck, Friends of Farlow Park	<a href="mailto:Gluckers@aol.com">Gluckers@aol.com</a>	965-4097	19 Merton Street Newton MA 02458			
NON-CPA FUNDING	Source of funds		Amount requested	Date of funding decision (confirmed or expected)		
City of Newton CDBG funds recommended by Newton Corner Advisory Committee			\$10,000	Confirmed		
Newton Corner Neighborhood Association			\$1,000	Confirmed		
Parks and Recreation Dept. Project Management			\$5,600	Confirmed		
Community Sponsors			\$89,000	Expected		

You may adjust the space for each question, but the combined answers to all questions on this page must fit on this page.

**Especially for pre-proposals, use only as many lines as needed to give a broad overview** of your project.

Full proposals must also include a full, detailed budget in addition to this page.

Project TITLE	<b>Farlow Park Restoration and Rehabilitation (Pond, Bridge and Irrigation)</b>		
Project BUDGET	<b>USES of Funds</b> (major expense categories)		<b>SOURCES of Funds</b> (CPA & others)
<b>CAPITAL/DEVELOPMENT COSTS</b>			
<i>See back-up for detailed cost information</i>			
Project Management – start-up through final completion	\$61,600	CPA	\$476,780
New bridge design and construction	\$238,620	CDBG	\$10,000
Pond basin & irrigation system construct.	\$282,160	Newton Corner Neighborhood Assoc.	\$ 1,000
		Community Sponsors	\$89,000
		Parks and Recreation Dept. (Proj. Mgr.)	\$5,600
<b>TOTAL</b>	<b>\$582,380</b>		<b>TOTAL \$582,380</b>
<b>ANNUAL OPERATIONS &amp; MAINTENANCE</b> (cannot use CPA funds)			
Electricity	\$690	City general fund budget	\$ 690
Bridge	--	TBD, but final design is to be low-maintenance	--
<b>TOTAL</b>	<b>\$ 690</b>		<b>TOTAL \$ 690</b>
Project TIMELINE	Phase or Task	Notes (required fundraising, permits, bidding, etc.)	Season & Year
Construction documents are in hand for the pond, well, and irrigation system from previous phase. Refer to <a href="http://www.newtonma.gov/gov/planning/cpa/projects/farlow.asp">http://www.newtonma.gov/gov/planning/cpa/projects/farlow.asp</a>			
	RFP/contract with independent project manager		Spring 2014
	RFP/contract with PE firm to: design bridge, develop final construction documents and incorporate with pond construction documents and manage bid and Construction phases		Spring 2014
	Four-month bridge design/bid phase		Summer 2014
	Three-month construction phase for bridge, pond and irrigation		Spring 2015

**Farlow Park Restoration and Rehabilitation (Pond, Bridge and Irrigation)**  
November 15, 2013

Project Summary Costs

<u>Item Description</u>	<u>Cost</u>
Independent Project Manager	\$56,000 (soft cost)
Parks and Recreation Project Manager	<u>\$5,600</u> (soft cost)
Project Management subtotal:	\$61,600 (subtotal)
Bridge Design	\$49,195 (soft cost)
Bridge Construction	<u>\$189,425</u> (hard cost)
Bridge Design and Construction subtotal:	\$238,620 (subtotal)
Pond Basin Restoration and New Irrigation System subtotal:	<u>\$282,160</u> (hard cost)
<b>Total Project:</b>	<b><u>\$582,380</u></b>

## Farlow Park Bridge Restoration Cost Estimate - Design and Construction

<b>Item Description</b>	<b>2006 Estimate</b>	<b>2013 Updated Estimate (3% inflation/year)</b>	<b>Subtotal</b>	<b>TOTAL</b>
(from Amman and Whitney 2006 Master Plan)				
<u>Design (soft costs)</u>				
Schematic Design	\$ 7,000	\$ 8,609		
Preliminary Design	\$ 12,000	\$ 14,758		
Contract Bid Documents	\$ 21,000	\$ 25,827		
			\$ 49,195	
<u>Bridge Construction (hard Costs)</u>				
Bridge Removal		\$ 20,000		
Sub-surface exploration	\$ 4,000	\$ 6,000		
Precast Concrete Rigid Frame with Stone Veneer	\$ 128,000	\$ 157,424		
Additional Railing for 2013 Bridge Design		\$ 6,000		
			\$ 189,424	
<b>Total Bridge Design and Construction Cost</b>				<b><u>\$ 238,619</u></b>



Farlow Park Pond Basin Restoration and New Irrigation System  
Cost Estimate

#333-14

Item Description	unit	quantity	unit price	total	subtotal	total (2011)	total (2013)
(from Weston & Sampson 2011)							
<b>General Conditions</b>							
General conditions	allw	0.08	\$ 255,935	\$ 20,475			
Tree protection	EA	17	\$ 200	\$ 3,400			
					\$ 23,875		
<b>Demolition/Site Preparation</b>							
earth fill removal in concrete pool liner	CY	780	\$ 45	\$ 35,100			
					\$ 35,100		
<b>Drainage Structures/Infrastructure</b>							
New catch basin	EA	1	\$ 4,500	\$ 4,500			
Overflow inlet at pond edge	EA	1	\$ 2,500	\$ 2,500			
New manhole	EA	1	\$ 4,500	\$ 4,500			
Frame and Cover	EA	1	\$ 560	\$ 560			
Frame and Grate	EA	1	\$ 600	\$ 600			
Drainage gate valve	EA	1	\$ 1,500	\$ 1,500			
Drainage pipe	LF	125	\$ 50	\$ 6,250			
					\$ 20,410		
<b>Utility Services/Mechanical Equip.</b>							
Electrial service connection/cabinet	LF	1	\$ 9,000	\$ 9,000			
(1) well pump (1) aerator (1) water level	LS	1	\$ 25,000	\$ 25,000			
New irrigation system	LS	1	\$ 35,000	\$ 35,000			
30' of pipe from pump to pond	LF	30	\$ 50	\$ 1,500			
					\$ 70,500		
<b>General Site Improvements</b>							
Loam & seed of disturbed areas	LS	1	\$ 15,000	\$ 15,000			
					\$ 15,000		
<b>Concrete Restoration-Pond</b>							
Concrete Partial Depth Repair	SF	450	\$ 20	\$ 9,000			
Concrete Full Depth	SF	250	\$ 30	\$ 7,500			
Crack Repair--routing and Sealing	SF	280	\$ 20	\$ 5,600			
Crack Repair-Gravity Filling	LF	280	\$ 35	\$ 9,800			
Crack Repair-Polyurethane Injection	LF	200	\$ 150	\$ 30,000			
Epoxy Pond Liner System	LS	1	\$ 15,000	\$ 15,000			
					\$ 76,900		
Subtotal						\$241,785	
Contingency (@ 10%)						\$ 24,178	
<b>Total for Farlow Park Pond Basin Restoration and New Irrigation System</b>						<b>\$265,963</b>	<b>\$282,160</b>

Additional Farlow Park 10-Year Maintenance Costs  
Related to Proposed Pedestrian Bridge and Reflecting Pond Only

April 2, 2014

**A. PEDESTRIAN BRIDGE**

Description	Hours Over 10 Years	Hourly Rate	Subtotal	Total Cost Over 10 Years
structural check (2 hrs per year)	20	\$ 25	\$ 500	\$ 500
repaint/touch up railings (3 days over 10 years)	24	\$ 25	\$ 600	\$ 600
graffitti removal (2 days over 10 years)	16	\$ 25	\$ 400	\$ 400
repair brick paver bridge surface* (.5 day every other year)	40	\$ 25	\$ 1,000	\$ 1,000
Total Cost to Maintain Bridge over 10 Years:				\$ 2,500

**B. REFLECTING POND**

Description	Hours over 10 years	Hourly Rate	Subtotal	Total Cost Over 10 Years
<i>assumes pond water-filled April - Oct. season [28 wks]</i>				
spring check: drain/repair/clean basin & edge: 1 day per year	80	\$ 25	\$ 2,000	\$ 2,000
clear leaves/trash/debris from water (1 hr/week every other week)	140	\$ 25	\$ 3,500	\$ 3,500
<i>assumes ice-filled December-February (12 weeks)</i>				
drain system/fill and prepare for skating season (.5 day per year)	40	\$ 25	\$ 1,000	\$ 1,000
check system/weatherize (2 hrs/yr)	20	\$ 25	\$ 500	\$ 500
spray/smooth ice for winter skating (1 hr/wk for 12 weeks)	120	\$ 25	\$ 3,000	\$ 3,000
subtotal:				\$ 10,000

Labor and Materials - Pond Replacement Parts as Needed	Quantity over 10 Years	Unit Cost	Subtotal	Total Cost Over 10 Years
Replace aeration device	1	\$ 250	\$ 250	\$ 250
Replace pump	1	\$ 10,500	\$ 10,500	\$ 10,500
Replace water level sensor	1	\$ 75	\$ 75	\$ 75
subtotal:				\$ 10,825

Total Cost to Maintain Reflecting Pond over 10 Years: \$ 20,825

Utilities	Years	Unit Cost	Subtotal	Total Cost Over 10 Years
Electric cost to run well pump	10	\$ 690	\$ 6,900	\$ 6,900

Total Cost to Maintain Reflecting Pond and Bridge over 10 Years: \$ 30,225



# NEWTON PARKS AND RECREATION DEPARTMENT

124 Vernon Street, Newton, MA 02458  
Office: (617) 796-1500  
Fax: (617) 796-1512



SETTI D. WARREN  
MAYOR

ROBERT J. DERUBEIS  
COMMISSIONER

April 11, 2014

Joel Feinberg, Chair  
Community Preservation Committee  
1000 Commonwealth Avenue  
Newton, MA 02459

Dear Chairman Fineberg and Community Preservation Committee Members,

I am writing with respect to the Farlow Park Restoration and Rehabilitation. A concern that has been brought up during working sessions are the maintenance costs associated with the project. Farlow Park is a site that is currently maintained by Parks & Recreation. Inclusive in that maintenance cost is general litter pick-up, grass cutting and leaf removal.

With the proposed pedestrian bridge and reflecting pond, we have identified some additional maintenance issues that will warrant our attention. Based on departmental calculations, these costs would be in the vicinity of \$2,800 to \$3,000 per year on average. Some of the maintenance items identified are currently being addressed and the new ones can be absorbed by the department. As the Commissioner, I am confident that realizing the aforementioned costs is one that the department can handle and we are comfortable maintaining this site.

I would ask that you act favorably upon this project and support it through to completion.

Sincerely,

Robert J. DeRubeis  
Commissioner

Cc: Alice E. Ingerson, Ph.D., Community Preservation Program Manager  
Carol Schein, Open Space Coordinator  
Keith Jones, Chair, Friends of Farlow Park

COMMISSION MEMBERS	WARD 1 - BETHEL CHARKOUDIAN WARD 2 - ARTHUR MAGNI, CHAIRMAN WARD 3 - PETER JOHNSON	WARD 4 - FRANCIS J. RICE WARD 5 - WALTER S. BERNHEIMER II, WARD 6 - ANDREW STERN	WARD 7 - RICHARD TUCKER WARD 8 - KATHLEEN A HEITMAN, VICE- CHAIRMAN ROBIN MCLAUGHLIN - COMM. SECRETARY
--------------------	--	--	--

ALTERNATES: MICHAEL CLARKE, PETER KASTNER, JACK NEVILLE, DONALD FISHMAN



SETTI D. WARREN  
MAYOR

City of Newton, Massachusetts  
Office of the Mayor

#333-14

Telephone  
(617) 796-1100

Telefax  
(617) 796-1113

TDD  
(617) 796-1089

E-mail  
swarren@newtonma.gov

April 9, 2014

Joel Feinberg, Chair  
Community Preservation Committee  
1000 Commonwealth Avenue  
Newton, MA 02459

RE: Farlow Park Proposal for CPA Funding

Dear Chairman Feinberg and Members of the CPC,  
I am writing regarding a project proposal before you, the Farlow Park Restoration. As you're aware, this project restores the original historical attributes of the park, to include a pond and a new footbridge. The proposal to irrigate the site and provide water for the pond is through activating an existing well that provides adequate flow, requiring only the addition of a pump.

Currently, irrigation water for the fields is provided from the Underwood School, an operation that incurs not only water costs as billed by the prevailing rates, but also sewage costs, despite the fact that this irrigation water only, as there is no means to isolate the usage. While the annual cost can only be estimated based on the length of time and area of land irrigated, but such usage typically costs thousands of dollars per year. This water cost could be all but mitigated by converting to well usage, except there will be new costs for electricity which is normally in the range of a few hundred dollars per year.

It is anticipated that there will be increased maintenance costs for the park after build out, however it is projected that such costs will be less than savings from the conversion of the irrigation source, or most conservatively, at least revenue neutral. As the City budget is derived with an "outcome-based approach" (not a dollar-for-dollar transfer), should this park project move forward and be developed, the City would support the increased maintenance costs through the Parks & Recreation Department's budget, anticipating that savings are realized in another department's budget.

I hope this helps in your deliberations as to the funding of this worthy project. Should you have further financial questions regarding this project, feel free to contact Maureen Lemieux, the Chief Financial Officer at 617-796-1100.

Sincerely,

Robert R. Rooney  
Chief Operating Officer

Cc: Scott Lennon, President of the Board and Ward 1 Alderman  
Maureen Lemieux, Chief of Staff and Chief Financial Officer  
Bob DeRubeis, Parks and Recreation Commissioner



SETTI D. WARREN  
MAYOR

## NEWTON PARKS AND RECREATION DEPARTMENT

124 Vernon St, Newton, MA 02458  
Office: (617) 796-1500/Fax: (617) 796-1512  
TDD/TTY: (617) 796-1089  
parks@newtonma.gov



ROBERT J. DERUBEIS  
COMMISSIONER

October 23, 2013

Alice E. Ingerson, Ph.D.  
Community Preservation Program Manager  
Newton Planning & Development Department  
City Hall, 1000 Commonwealth Ave.  
Newton, MA 02459

Dear Ms. Ingerson:


This letter is to confirm the motion made by the Parks & Recreation Commission on September 16, 2013 regarding the Farlow Park – Pond & Bridge proposal.

On **June 20, 2011** the Commission approved the Farlow Park pond portion of this proposal. Mr. Keith Jones appeared before the Commission on September 16, 2013 to present the addition of the bridge to the project. The following motion was made and approved by the Parks & Recreation Commission:

*Mr. Fishman made the motion that the P & R Commission recommends the Farlow Park project with its combined bridge and pond be moved to the next level. Ms. Charkoudian seconded the motion.  
Motion passed 8-0*

If you have any questions, please call the Parks & Recreation Office at 617.796.1500.

Sincerely,



Robert J. DeRubeis  
Parks & Recreation Commissioner



Setti D. Warren  
Mayor

City of Newton, Massachusetts  
Department of Planning and Development  
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone  
(617) 796-1142  
~~7333-14~~  
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(617) 796-1142  
TDD/TTY  
(617) 796-1089  
www.newtonma.gov

Candace Havens  
Director

**RECORD OF ACTION:**

**DATE:**

November 6, 2013

**SUBJECT:**

Farlow Park Pond Restoration and Bridge Replacement

At a scheduled meeting and public hearing on October 24, 2013 the Newton Historical Commission, by vote of 7-0,

**RESOLVED** to approve the proposed changes at Farlow Park under the provisions of the City-Owned Properties ordinance with the following conditions: (1) that the proposed railing design with cross-buck pattern more closely resemble the original; and (2) that the final plans be reviewed and approved by staff prior to issuance of a building permit. **FURTHER RESOLVED** that the Commission recommends that the historic pathways be restored as shown on the plans for the park's construction.

**Voting in the Affirmative:**

Donald Lang, Chair  
David Morton, Member  
Nancy Grissom, Member  
Rodney Barker, Member  
Mark Armstrong, Member  
Jean Fulkerson, Member  
Laura Fitzmaurice, Alternate

**Not Voting:**

Ellen Klapper, Alternate

Brian Lever, Commission Staff



CITY OF NEWTON, MASSACHUSETTS  
 Department of Planning and Development  
 Michael J. Kruse, Director

Telephone  
 (617)-796-1120  
 Telefax  
 (617) 796-1142

David B. Cohen  
 Mayor

November 22, 2004

Community Preservation Committee  
 c/o Planning and Development Department  
 1000 Commonwealth Avenue  
 Newton, MA 02459

RE: Farlow Park and Chaffin Park Restoration Project

Dear Community Preservation Committee Members:

The Newton Historical Commission would like to express its strong support for the Friends of Farlow Park and the Parks and Recreation Department's grant application to complete a study which will provide plans for the preservation and restoration of Newton Corner's Farlow and Chaffin Parks. Both parks are historically and architecturally significant for their association with numerous prominent Newton citizens, with the development of the City's early recreation facilities, and with the development of their Newton Corner neighborhood. Both are also listed on the National Register as contributing properties within the Farlow and Kenrick Parks National Register District.

As the City's first park, and the only City park known to be associated with prominent 19<sup>th</sup> century architect George Frederick Meacham, designer of the Boston Public Gardens, Farlow Park holds a unique place in the history of the City's recreational spaces and the development of Newton Corner. Completed in 1888 on land donated by local philanthropist John Farlow, this was the first space in the City to be designed purely for the recreation and enjoyment of the surrounding residential neighborhood. While later alterations and the removal of the central pond and Victorian style bridge have impacted the park's original scheme, its general design and gently curving pathways are still readily apparent. In the same respect, as a surviving portion of the original Chaffin estate, Chaffin Park has close ties to the development of Newton Corner and while altered, has retained a close association with the estate's ca. 1845 Greek Revival style mansion, now the Newton Corner Branch Library. However, it too has lost several of its most notable original features. The proposed study will be an important first step in the preservation of the site's existing historic resources and the restoration of their lost design elements.

The Farlow and Chaffin Parks are unique neighborhood landscapes which have retained their historic setting, layout, and use. Their restoration will make a significant impact on the integrity of these historic City resources and the Newton Historical Commission hopes that you will look favorably upon this grant application.

Sincerely,

John S. Rodman, Chairman  
 Newton Historical Commission

Newton Historical Commission  
 1000 Commonwealth Avenue, Newton, Massachusetts 02459  
 Email: lkritzer@ci.newton.ma.us  
 www.ci.newton.ma.us

From: "Joel Reider" <[jreider@newtonma.gov](mailto:jreider@newtonma.gov)>  
To: [cschein@newtonma.gov](mailto:cschein@newtonma.gov)  
Date sent: Tue, 24 Sep 2013 16:25:02 -0400  
Subject: Re: Farlow Park Bridge Design  
Priority: normal

Hi Carol,

Only if applying for a variance from accessibility regulations are you required to submit plans for review by COD or MAAB. As long as the plans comply with MAAB and ADA (you say the new bridge will be accessible), they do not have to be reviewed.

Joel

Joel Reider  
ADA/Section 504 Accessibility Coordinator,  
City of Newton  
1000 Commonwealth Avenue  
Newton, Massachusetts 02459  
617 796-1145  
[jreider@newtonma.gov](mailto:jreider@newtonma.gov)

PLEASE NOTE: Newton's ADA Coordinator is a part-time position. I am in the office all day Monday and Tuesday and also Thursday morning. I will respond to email as quickly as I can.

> Joel,  
> I am the Project Manager for a historic park restoration project in  
> Newton Corner that is applying for Community Preservation Act (CPA)  
> funding this November. The project, entitled "Restoration of Farlow  
> Park Bridge and Pond" involves removing an old inaccessible pedestrian  
> bridge and replacing it with a new accessible bridge (including ramps  
> and railings) designed to be in keeping with the look of the park's  
> original Adirondack-style bridge. The Parks and Recreation Department  
> and the Friends of Farlow Park (cc'd here) are co-sponsors.  
>  
> While there is only a conceptual design for the bridge at this time, the  
> Community Preservation Committee (CPC) has asked that we check whether  
> or not the project needs to go before Newton's Commission on Disability  
> and/or the Massachusetts Architectural Access Board. I am attaching  
> here (1) a photo that shows the bridge as it exists today; (2) the  
> conceptual design for the new bridge; and (3) the master plan for the  
> park so you can see where it fits into the whole scheme.  
>  
> Please let me know if you think it will require review, and if so, at  
> what time in the design process would be best. Thank you. --Carol  
Carol Schein, Open Space Coordinator  
Newton Parks and Recreation  
124 Vernon Street Newton, MA 02458  
617-796-1507



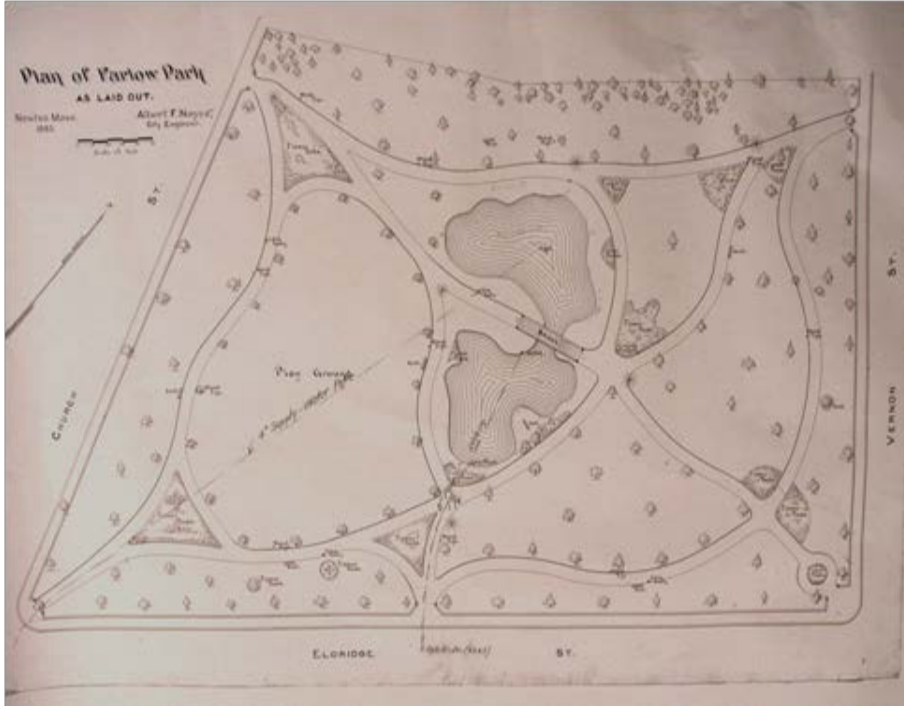
Location of Farlow Park



Images of Farlow Park Pond and Bridge, ca. 1900-1930



Original plan for Farlow Park, 1885



Farlow Park, Newton Corner, is seen here in 1888, shortly after the landscaping had been completed.

Farlow Park in 1888



Farlow Park  
in the 1880s



Farlow Park  
pond & bridge

in 2007 (at left)

during 2010  
exploration of pond  
basin condition &  
drilling for potential  
pond water supply  
(below)



# National Register of Historic Places

State Historic Sites    Historic Districts    Travel Sites    Vacant/Not in Use

## MASSACHUSETTS - Middlesex County

### Farlow and Kendrick Parks Historic District (added 1982 - District - #82002745)

Also known as See Also: Farlow and Kendrick Parks Historic District (Bounda

Roughly bounded by Franklin, Park, Church, Center and Wesley Sts. and Maple Ave., Newton

Historic Significance: Architecture/Engineering

Architect, builder, or engineer: Multiple

Architectural Style: Greek Revival, Late Victorian, Colonial Revival

Area of Significance: Architecture, Landscape Architecture

Period of Significance: 1800-1824, 1825-1849, 1850-1874, 1875-1899, 1900-1924

Owner: Local Gov't, Private

Historic Function: Domestic, Landscape, Religion

Historic Sub-function: Park, Religious Structure, Single Dwelling

Current Function: Domestic, Landscape, Religion

Current Sub-function: Park, Religious Structure, Single Dwelling

### Farlow and Kendrick Parks Historic District (Boundary Increase) (added 1986 - District - #86001739)

Also known as See Also: Farlow and Kendrick Parks Historic District 223, 226, 234, 237, 242, 243, 248, and 256 Park St., Newton

Historic Significance: Architecture/Engineering, Event

Architect, builder, or engineer: Unknown

Architectural Style: Greek Revival, Late Victorian, Colonial Revival

Area of Significance: Social History, Architecture

Period of Significance: 1825-1849, 1850-1874, 1875-1899

Owner: Private

Historic Function: Domestic

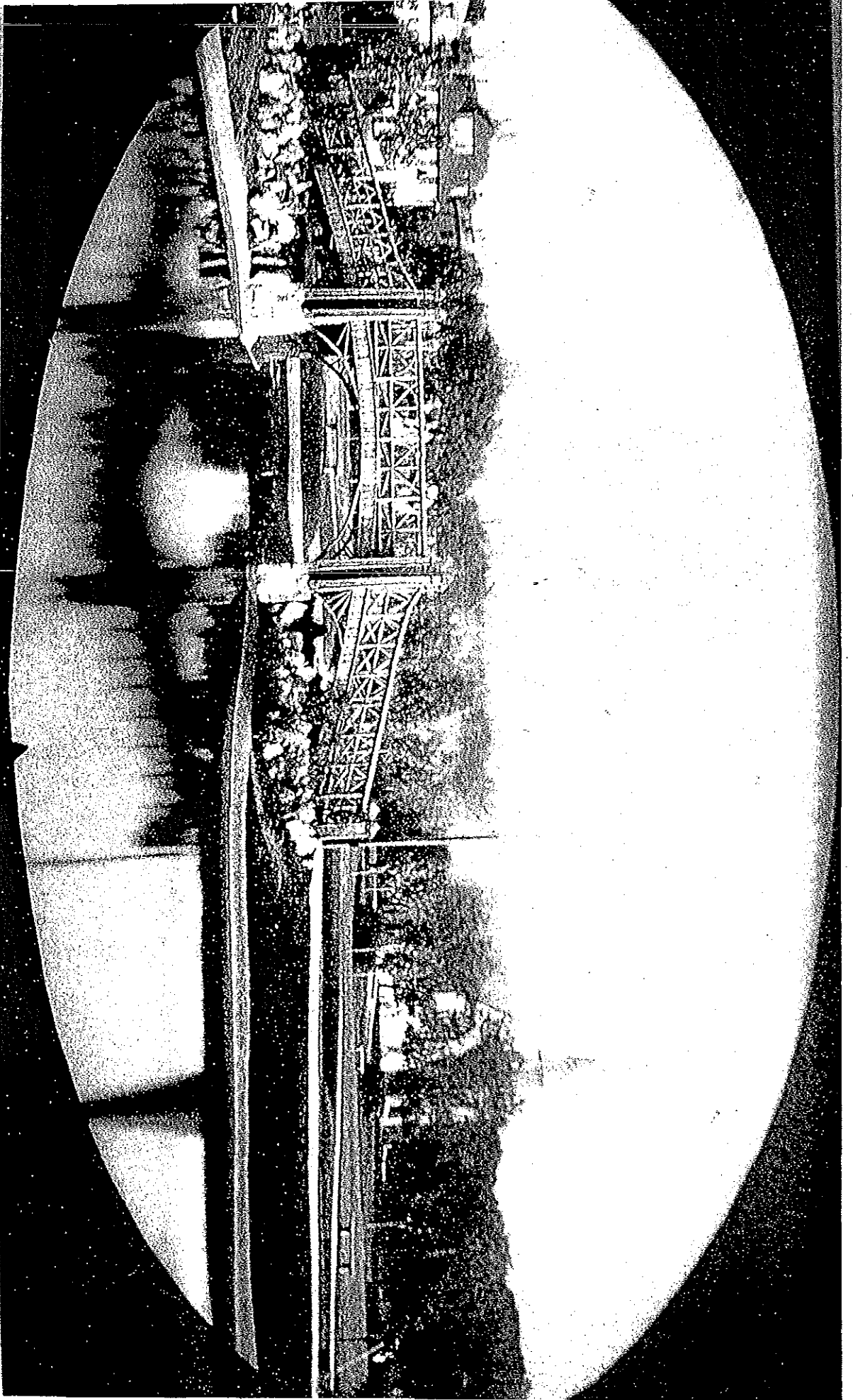
Historic Sub-function: Single Dwelling

Current Function: Domestic

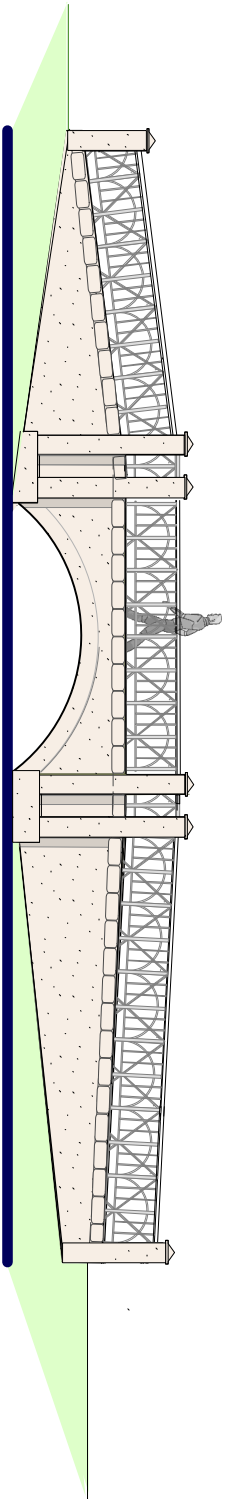
Current Sub-function: Single Dwelling

### Farmer, Kimball, House (added 1985 - Building - #85001031) 1173 Massachusetts Ave., Arlington

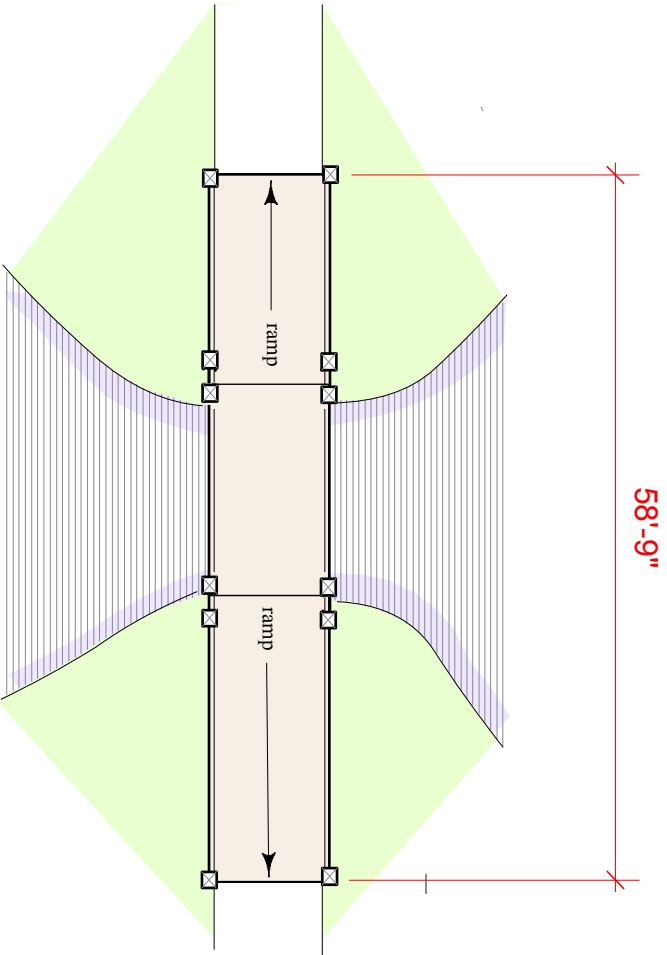
Historic Significance: Architecture/Engineering



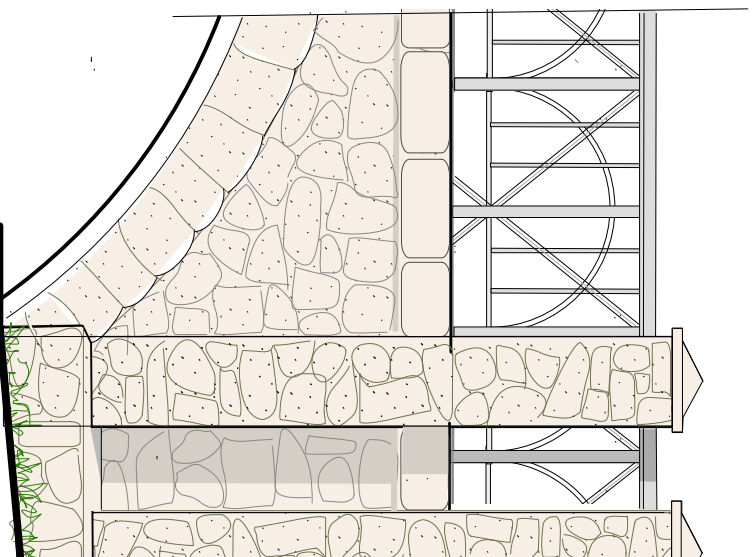
JW Park, Newton Corner, is seen here in 1888, shortly after the landscaping had been completed.



Bridge Elevation



Bridge Plan

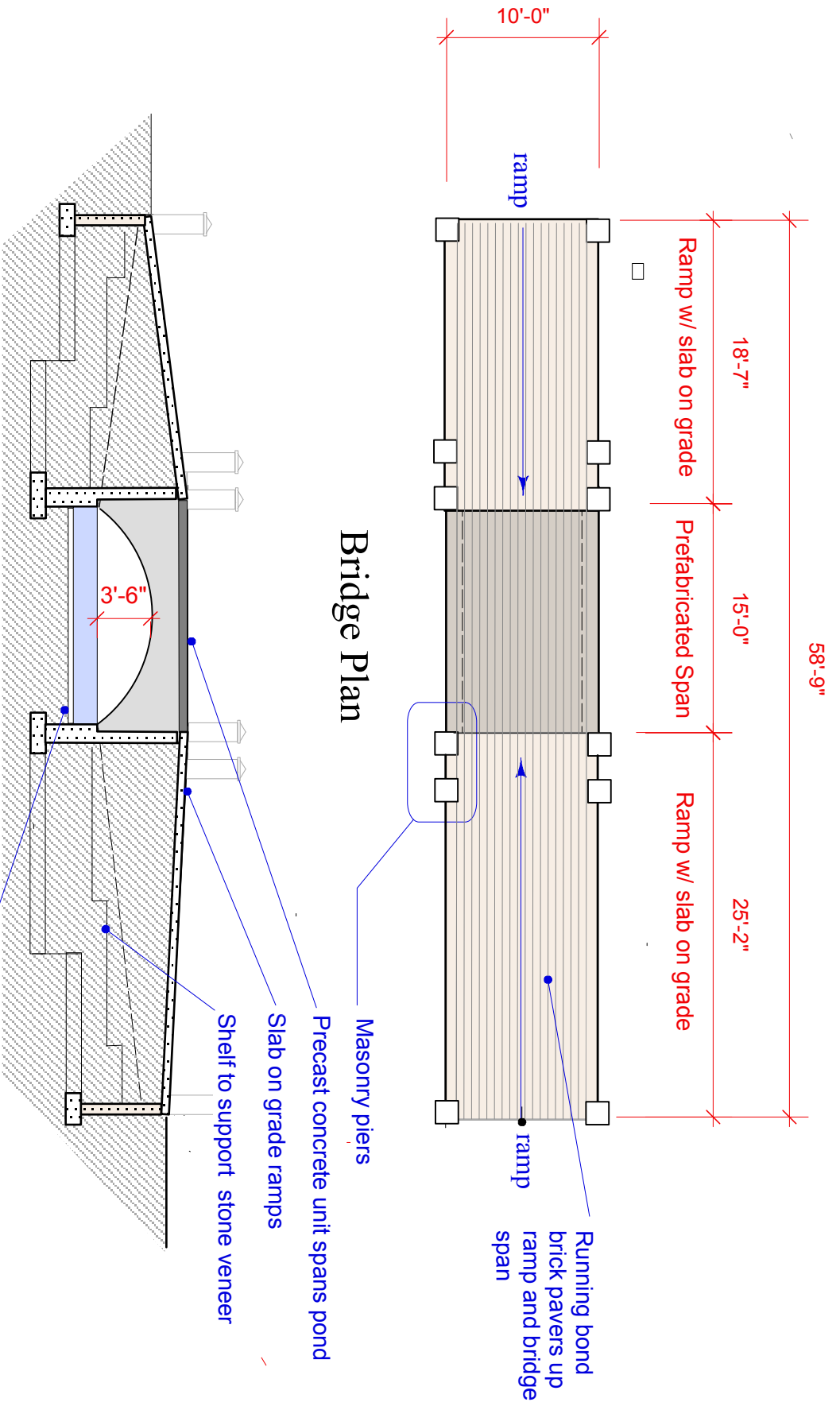


Detail

Entasis  
Architects PC

*Proposal for the*  
**Farlow Park Footbridge Newton, Ma.**

**SK-1**  
9/16/13

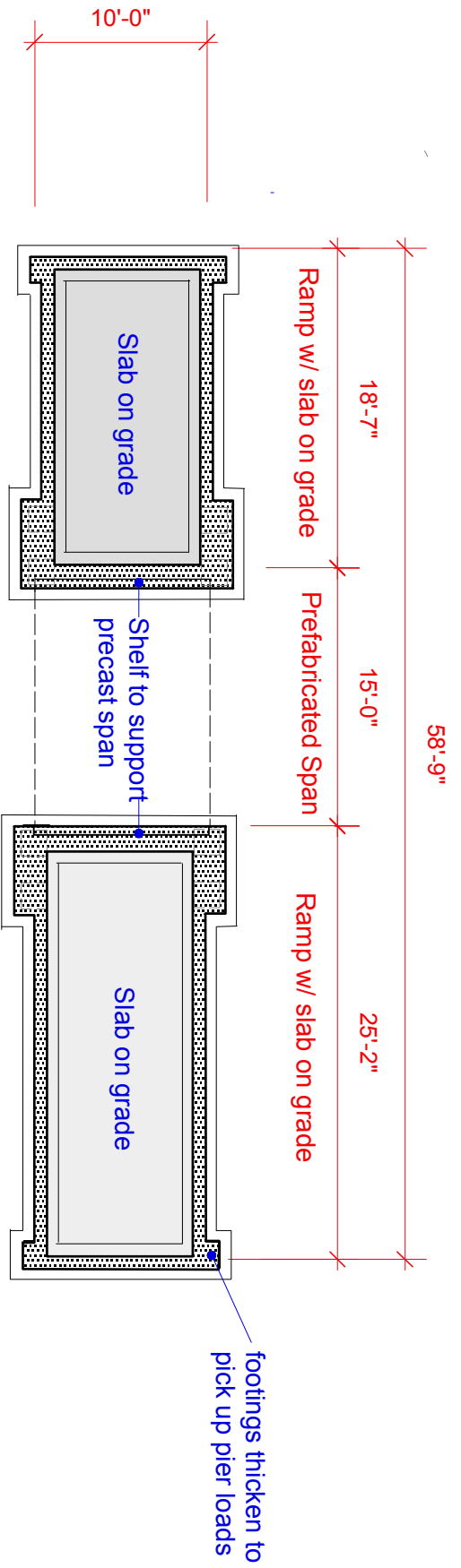


Bridge Longitudinal Section

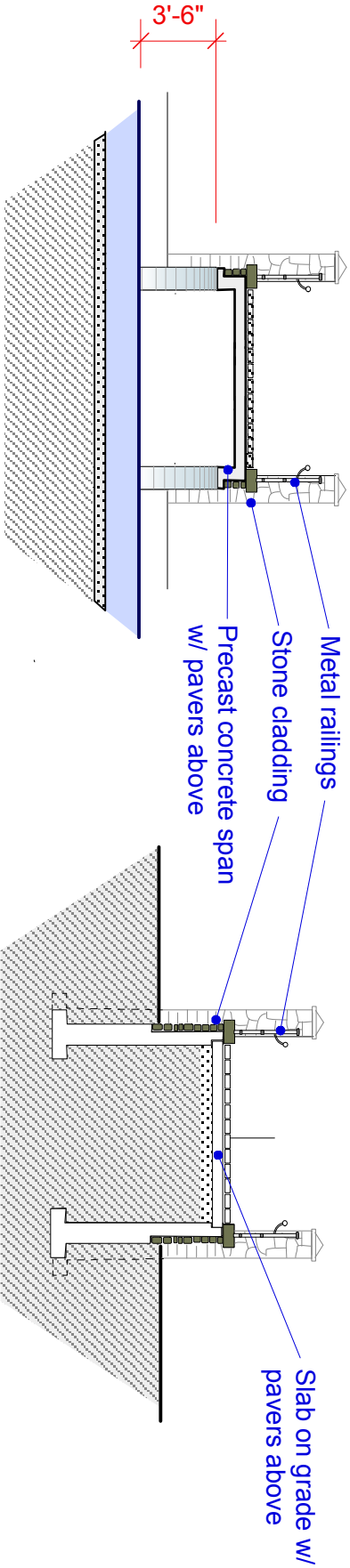
Entasis Architects PC

# Proposal for the Farlow Park Footbridge Newton, Ma.

SK-2  
9/16/13



Foundation Plan



Section at Precast Span

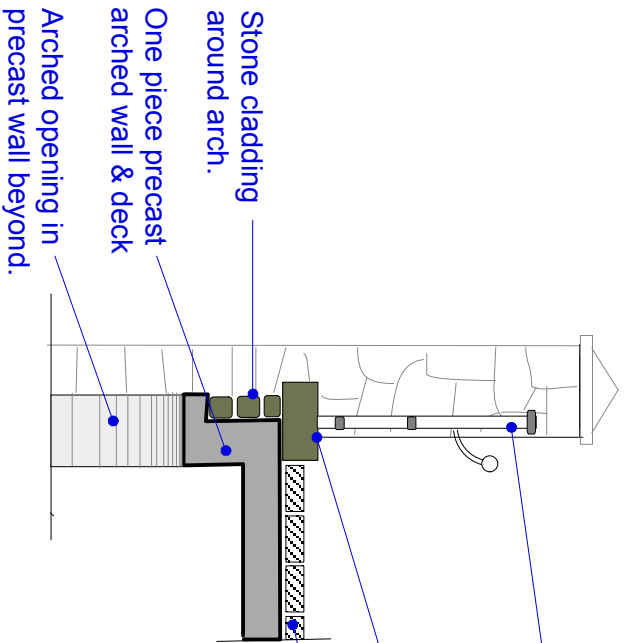
Section at Ramp

Entasis Architects PC

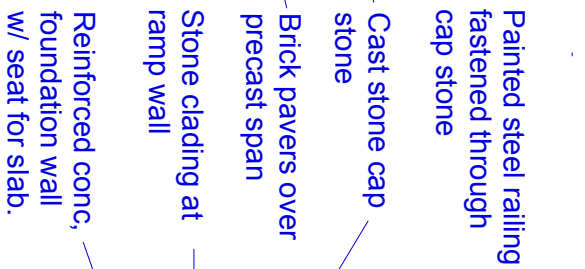
Proposal for the Farlow Park Footbridge Newton, Ma.

SK-3 9/16/13

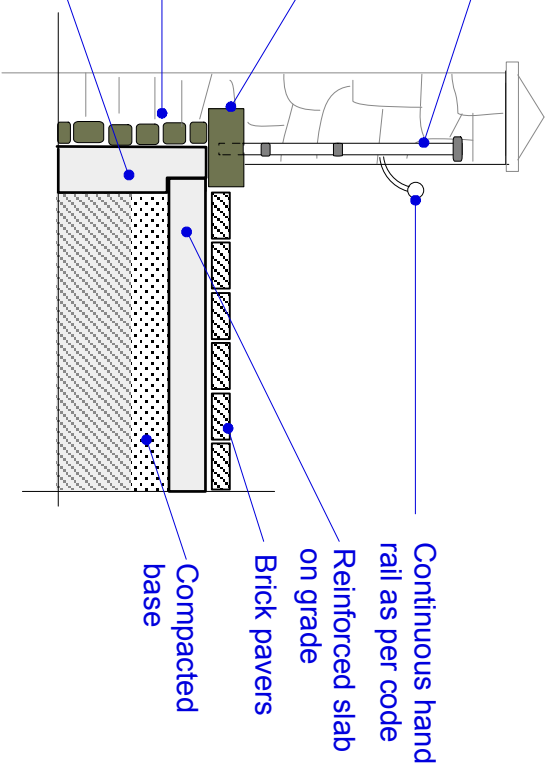




Section at Precast Span



Section at ramp wall



Entasis Architects PC

Proposal for the Farlow Park Footbridge Newton, Ma.

SK-4 9/16/13

**Performance Specification  
Farlow Park Pond Irrigation and Pond Water Supply Project**

**General:** The purpose of the project is to install a new submersible well pump maximum 5 horsepower, capable for pumping 25 gallons per minute at 50 psi to the irrigation system. The new well pump will be set approximately 350 feet deep in the existing Farlow Pond Well.

The following items will be provided:

**One well pump:**

- 5 Horsepower, 208 volt 3 phase motor sized for VFD Service
- 304 stainless steel well pump
- 25 gpm at 415 feet TDH

**Well level sensor**

- Shall de-energize pump motor if water inside well casing drops to 10 feet above well pump assembly. Provide 1 inch conduit to Well Controller with instrumentation wiring.

**Drop Pipe and Pitless Adapter**

Provide 2 inch Drop Pipe and 2 inch pitless adaptor. Provide two ¾ inch pipes, two ¾ inch valves and valve boxes and 2 inch isolation gate and valve box with t wrench extension to ground surface to allow use of air to winterize well drop pipe and 2 inch pipe to irrigation system.

**Pipe to Irrigation System**

Install 2 inch pipe from Well to Irrigation system (located adjacent to Pump Control Cabinets). Materials and methods to comply with Specification 02810.

**Variable Speed Control**

- Provide variable speed pump controller to convert single phase supply power to 3 phase power supply for new well pump. Provide lightning protection for VFD. VFD Fail status shall energize external alarm light.

**PLC Controller**

- Provide PLC based controller to:
  - Energize de energize well pump
  - Shut down well pump based on well drawdown
  - Shut down pump based on loss of water pressure (20 psi initial set point)
  - Provide control signal to well VFD to supply constant pressure to Irrigation system (initial set point 50 psi).

To energize irrigation system when called for by time clock (provide field adjustable setting for irrigation time clock) and allowed by time clock, temperature sensor (initial well pump lock out setting of 40 F) and rain sensor gauge.

Control solenoid valve to irrigation system

Energize well pump to fill Farlow Pond when called for by low pond level sensor and to de energize the well pump when high level sensor is energized.

Irrigation setting shall take precedence over pond filling function.

Control solenoid valve for well water flow to Farlow Pond. Provide backpressure valve if required for proper well pump VFD operation.

Pump or system fail shall energize external alarm light.

PLC supplier shall coordinate with well pump start signals from the irrigation system controller.

#### **Pond Level Sensors**

Provide two water level sensors for high and low level water sensing in pond. Provide low voltage wiring to PLC Controller. General Contractor to provide stainless steel pipe anchored to pond bottom and bridge to attach the pond level sensors.

#### **VFD and PLC Cabinets**

Provide separate 304 stainless steel cabinets for VFD and PLC controller. Provide external heat sink and fan for cooling VFD and PLC. Provide lockable cabinets with yellow alarm light on top of each cabinet. Provide custom engraved sign with instructions for department to call in event of alarm. Provide special isolated ground grid for VFD and PLC. Provide lightning protection for VFD/PLC Cabinets. Provide shop drawings for internal wiring of VFD/PLC Cabinet.

#### **Irrigation System Control and Cabinet**

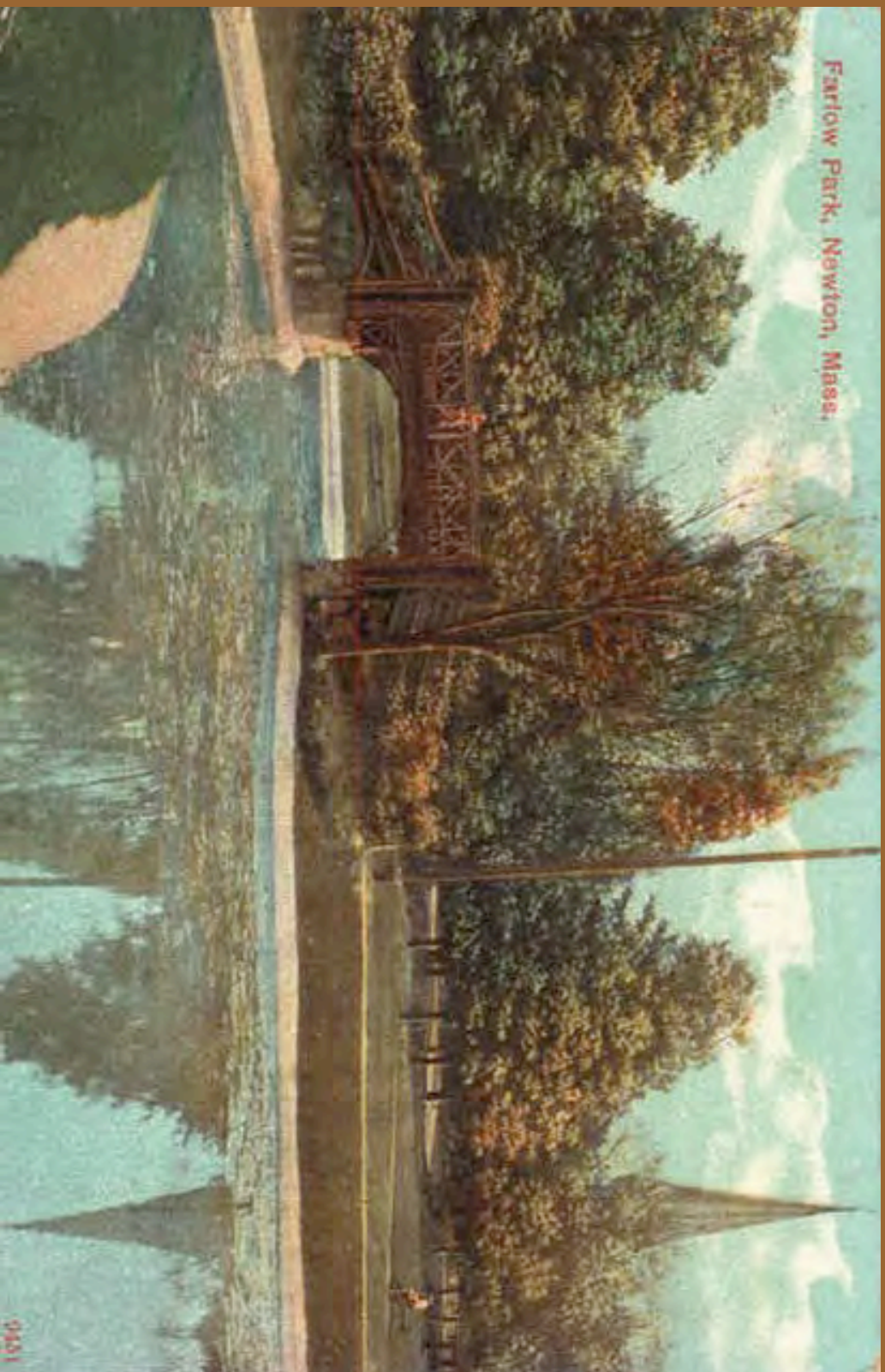
The irrigation control system provided by Specification Section 02810 will require a 20 amp single phase power connection. All other wiring, zone valves and controls associated with the irrigation will be provided by Section 02810. The Irrigation Contractor shall be responsible for integrating well pump start signals with the Well Pump VFD PLC.

Irrigation Cabinet shall be located adjacent to Well Pump VFD and PLC Cabinets.

#### **Commissioning, Training and Operation and Maintenance Manuals**

After irrigation and pond filing system has been started up and operating without failure for 5 days, provide 4 hours on site training for OWNER's staff. Provide three (3) copies of O&M Manuals for all components including wiring drawings.

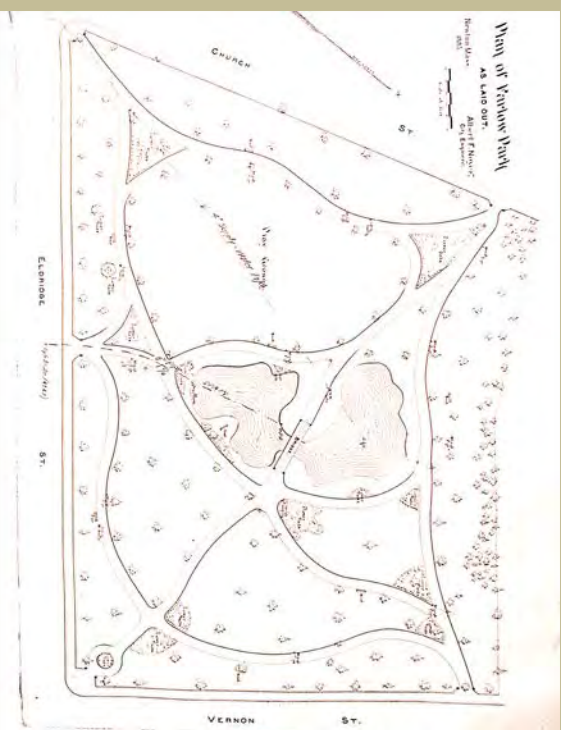
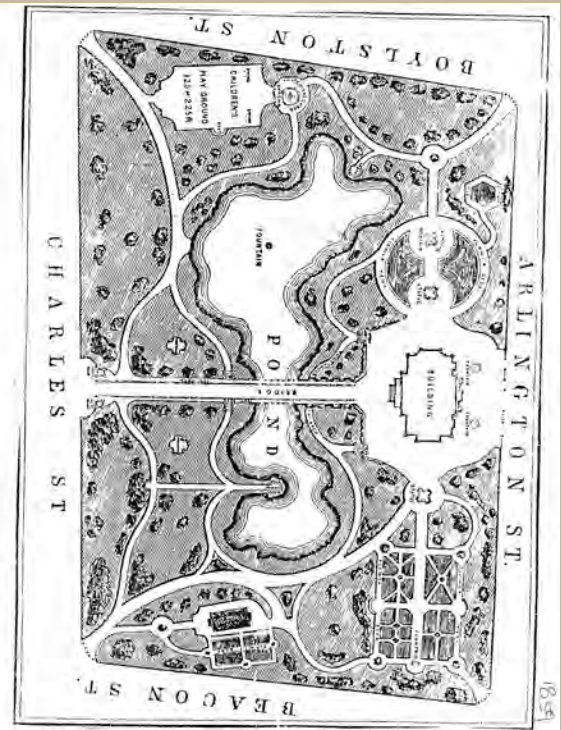
# The Preservation and Restoration of Farlow Park



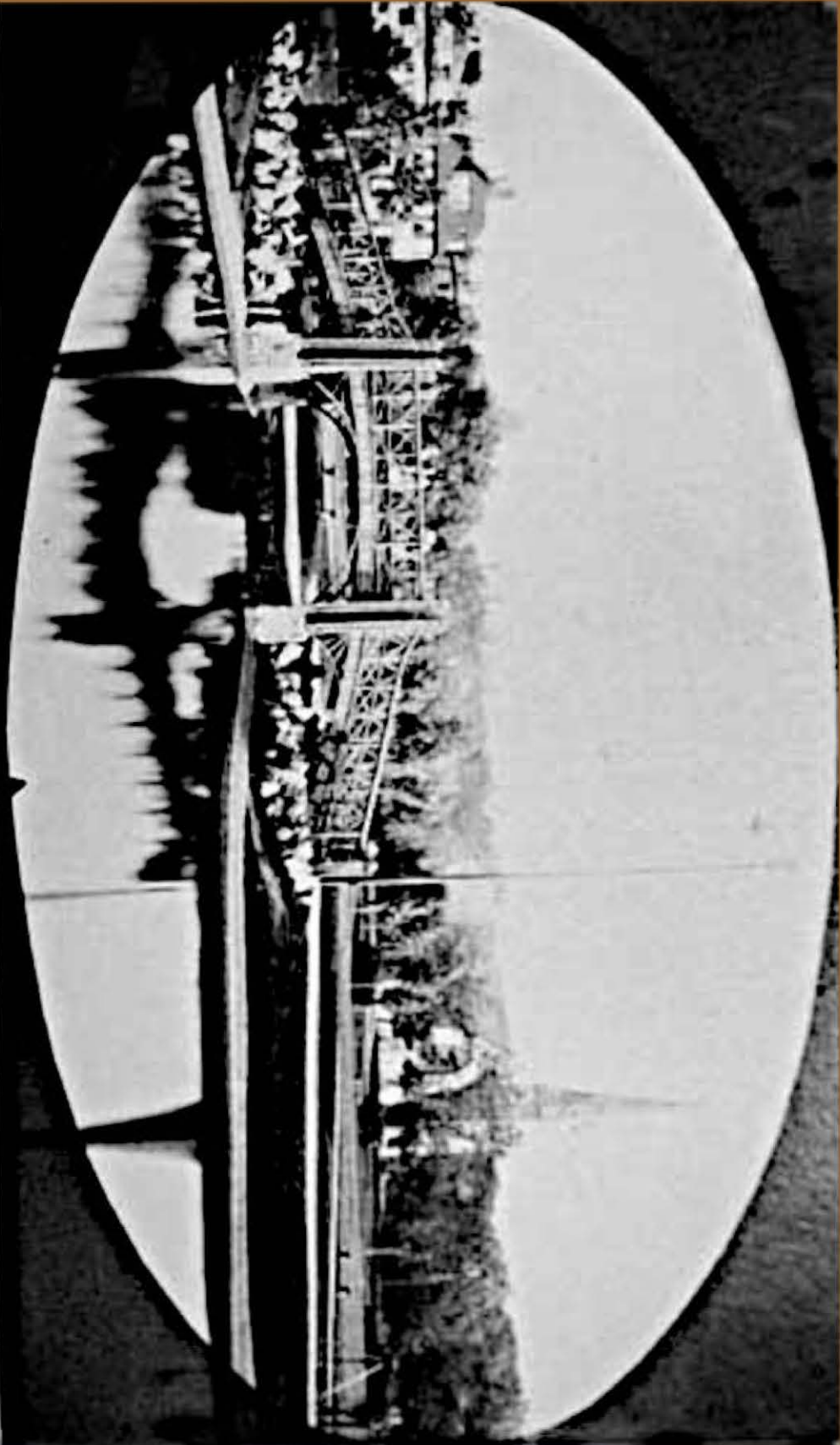
# Newton's Oldest Park

- In 1880 philanthropist John Farlow donated a parcel of land to the City of Newton to establish an open space for recreation and relaxation.
- In 1883 George Frederick Meacham, the designer of Boston Public Gardens laid out a plan for Farlow Park.
- In 1885 City Engineer Albert F. Noyes took Meacham's plan and a plan by George Schinn which featured a baseball field, and drew up a plot plan.

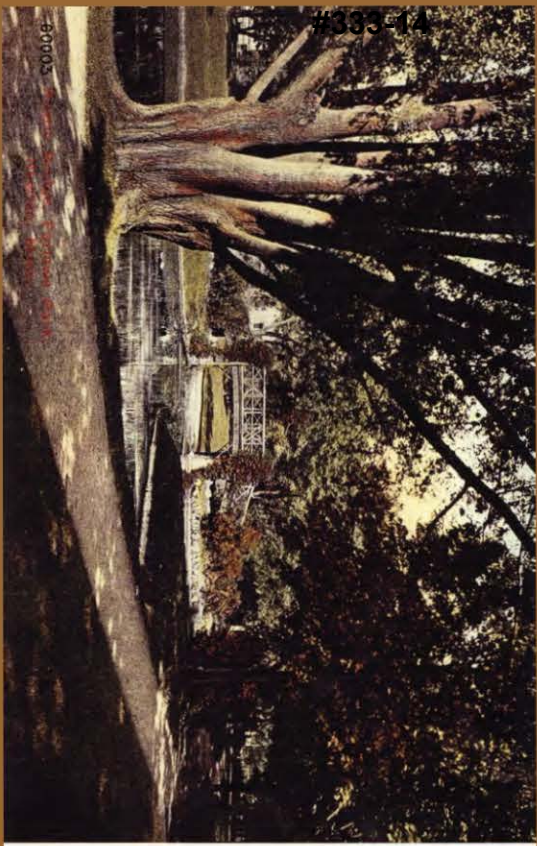
# Meacham's Boston Public Garden



- Note the similarities of Boston Public Garden on the left and Farlow Park on the right.



Farlow Park, Newton Corner, is seen here in 1888, shortly after the landscaping had been completed.



Fariow Park, Newton, Mass.



FARLOW PARK--RUSTIC BRIDGE NEWTON, MASS.





#333 11



#333-14

Farlow Park, Newton, Mass.



54051



# FARLOW – CHAFFIN PARK HISTORIC PLANNING AND DESIGN

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Landscape Restoration Report, June 2006

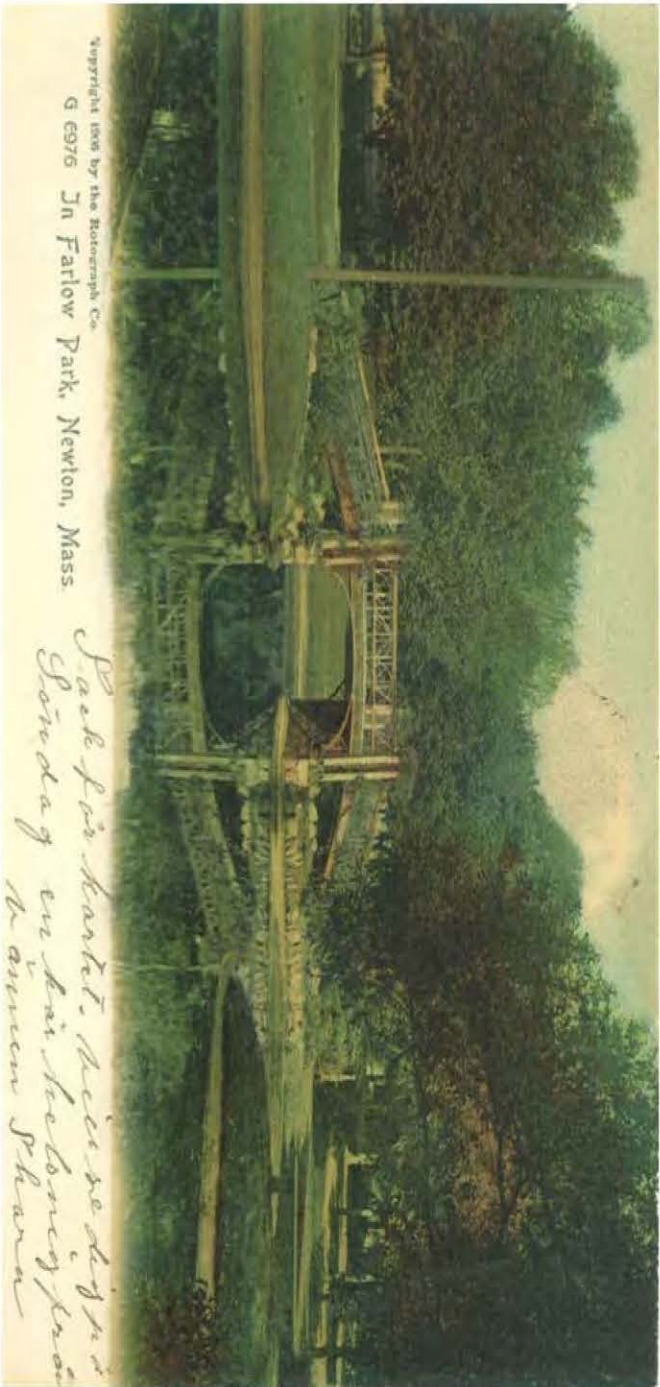


Prepared by  
Brown, Richardson & Rowe, Inc.  
Landscape Architects and Planners  
with  
Ammann & Whitney, Structural Engineers  
CMS Collaborative, Fountain Consultants

*Project funded by the Community Preservation Act*



# Weston and Sampson Report 2011



Copyright 1996 by the Rotograph Co.  
G 6976 In Farlow Park, Newton, Mass.

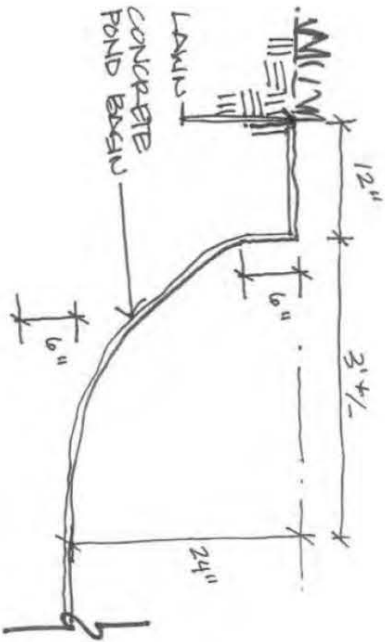
*Back fair market. Notice the  
Sunday in fair holding from  
American Spahan*

#333-14



EARLOW PARK POND

## Pond Shell Profile



# Newton Cemeteries



# Newton City Hall



# Auburndale, Newton







**Lars Anderson Park,  
Brookline**



**Elm Park,  
Worcester**

**Public Garden Lagoon,  
Boston**

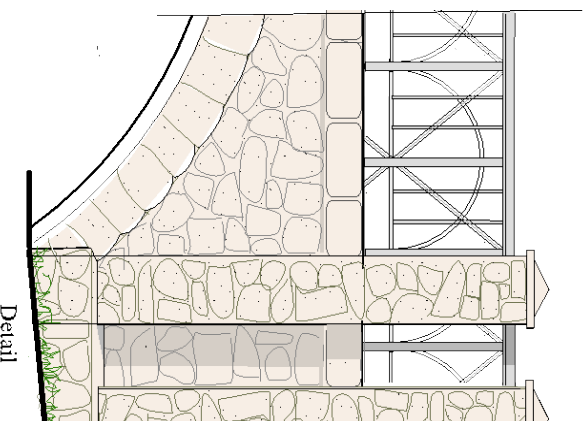
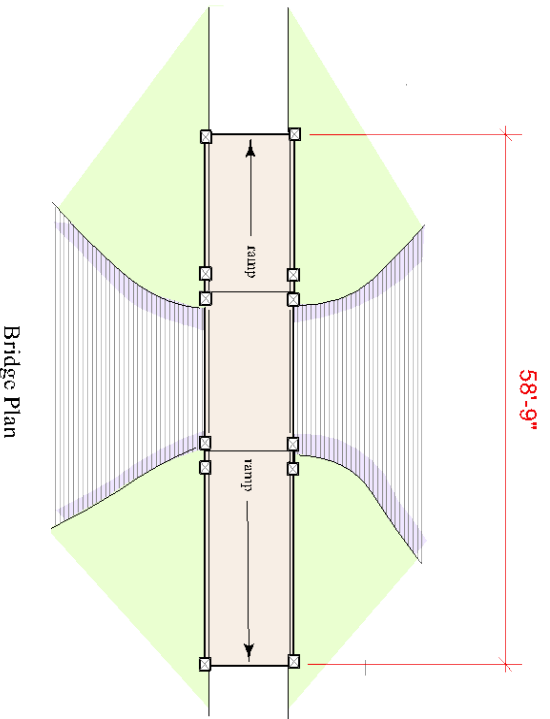
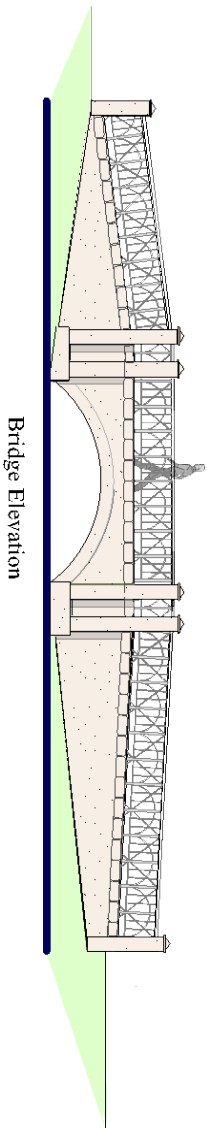


**Perkins School for the Blind,  
Watertown**

# Findings of Weston and Sampson Engineers, Inc.

- “Based upon the data gathered in the course of the year and extensive precedent studies conducted at similar features in public parks, near schools and playgrounds intended for young children, we have determined that the restoration of the Farlow Pond does not pose undue safety concerns.”
- We have established that well water “can be supplied to both the pond and irrigation systems for the adjacent ball field.”

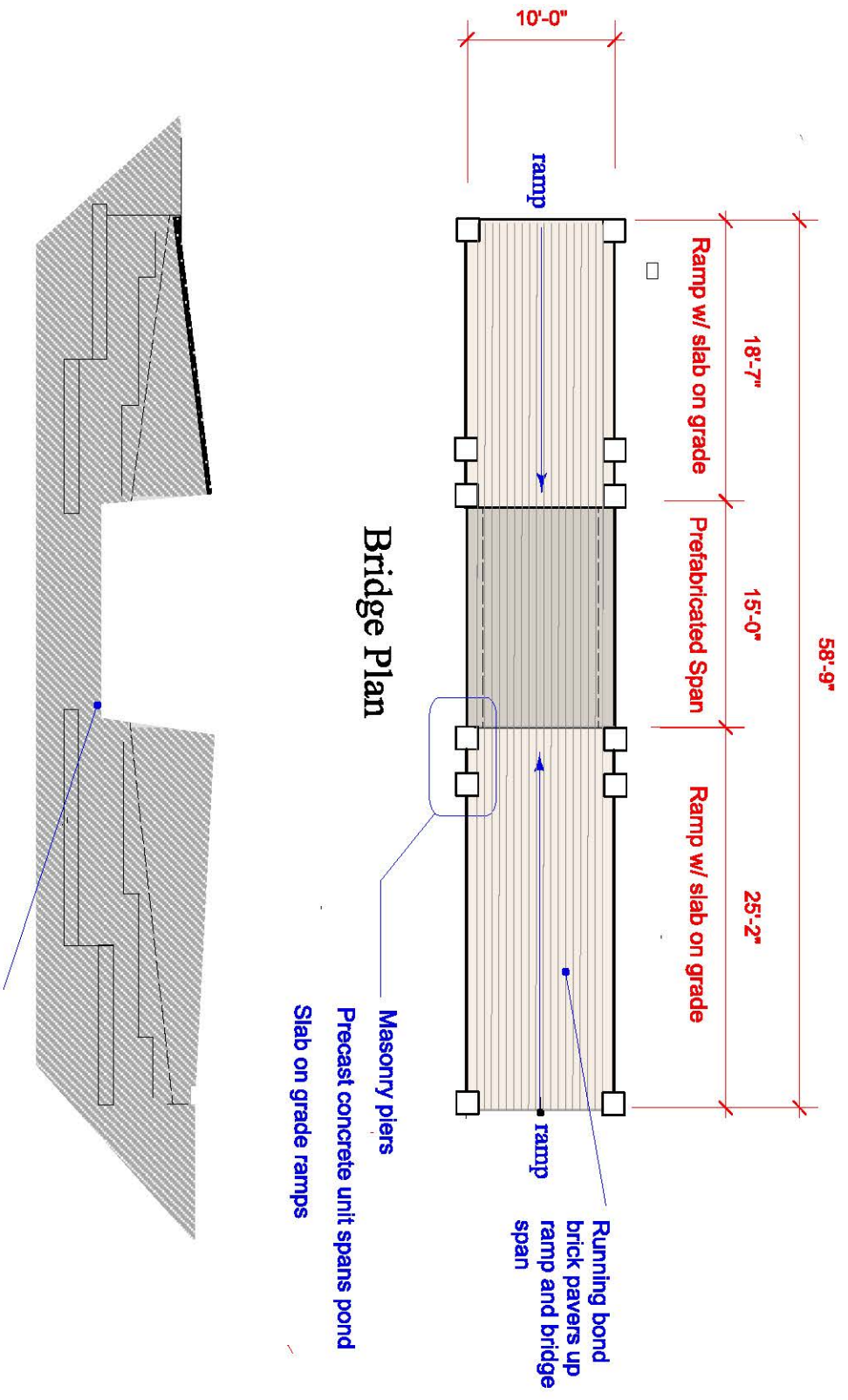
# Preliminary Design for Farlow Park Bridge



Friends of  
Farlow Park

*Proposal for the*  
Farlow Park Footbridge Newton, Ma.

SK-1  
9/16/13

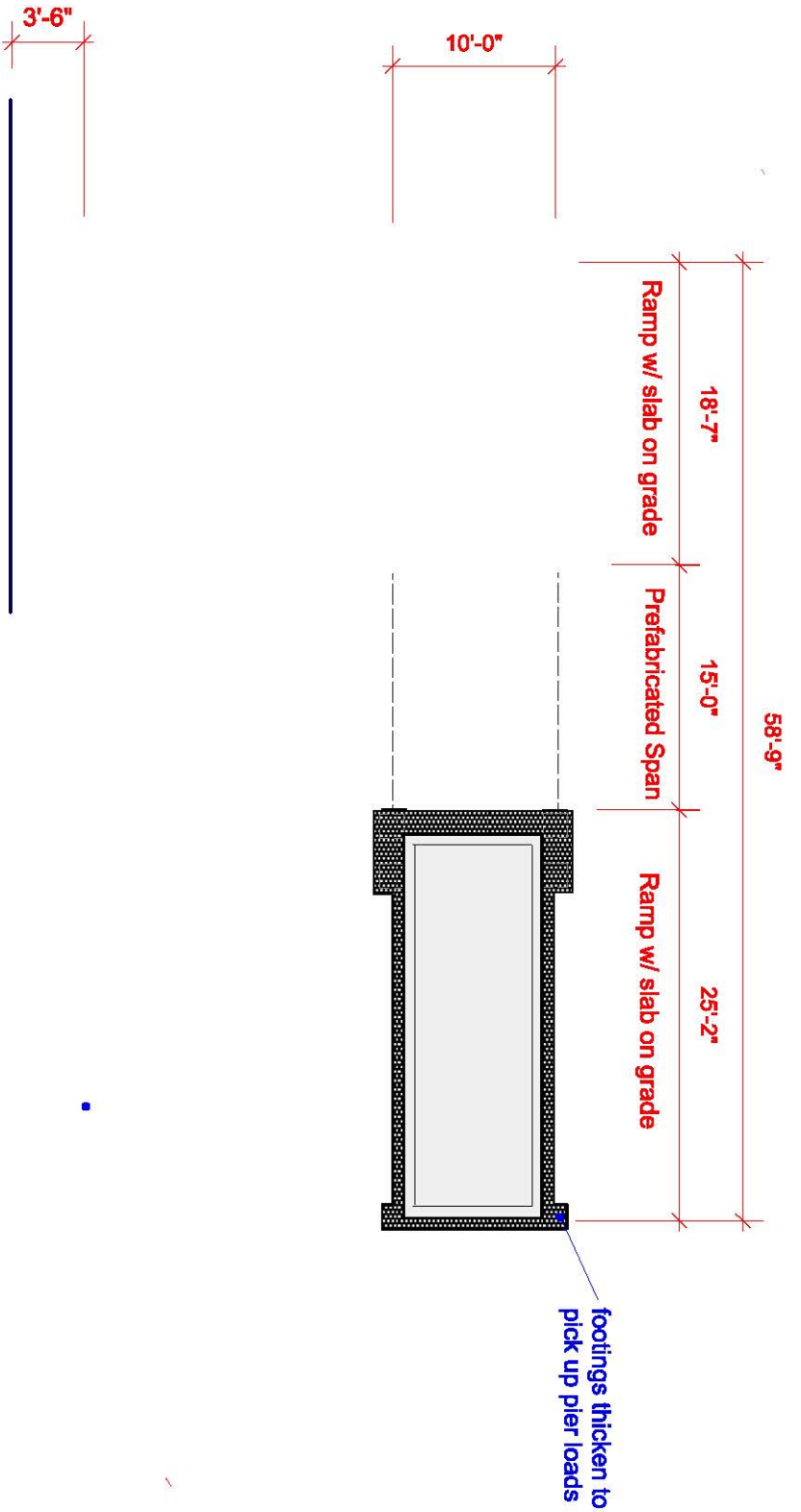


### Bridge Plan

Friends of Farlow Park

# Proposal for the Farlow Park Footbridge Newton, Ma.

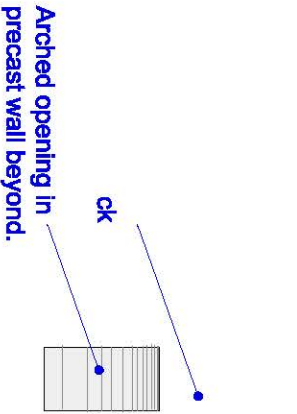
SK-2  
9/16/13



Friends of  
Farlow Park

*Proposal for the*  
**Farlow Park Footbridge Newton, Ma.**

**SK-3**  
9/16/13



Section at Precast Span



Section at ramp wall

Friends of  
Farlow Park

*Proposal for the*  
**Farlow Park Footbridge Newton, Ma.**

**SK-4**  
9/16/13

# Example of Stone Cladding for Farlow Bridge



# New Irrigation system for Underwood School Playground





## The Friends of Farlow Park Steering Committee

KEITH JONES, Chairman. 109 Vernon Street, Newton  
Resident of Newton Corner for 20 years  
Adjunct Instructor, University of Massachusetts  
Member of the Newton Corner Advisory Board  
Co-Chair of the Beautification Committee for Farlow Park at Underwood School (1996-2004)  
Former Treasurer of the Newton Corner Neighborhood Association  
Current Member of Underwood School Council

JAY WALTER, 83 Pembroke Street, Newton  
Owner- Entasis Architects; PC 1994-2014  
Member- American Institute of Architects.  
Member- Boston Society of Architects.  
Vice President Newton Historic Society/ Jackson Homestead,  
Chairmen- Historic Newton Annual House Tour  
Co-Chair- Historic Newton Preservation Awards  
Member- Upper Falls Historic District Commission  
Friends of Farlow Park- Historic park restoration project committee  
Member- High Performance Buildings Coalition  
Director – Newton Eco-project  
Advisory Board- Green Decade Newton.

### JEROME GRAFE

10 year Newton Corner resident  
Father of 2 though Underwood and Bigelow, now at North  
Volunteer - construction of Jack's Playground, Underwood School garden  
Horticultural work experience - Mt Auburn Garden Cemetery  
Member – Newton Bicycle Advisory Committee  
Citizen Representative – Newton Traffic Council - 6 years  
Masters Degree in Urban Planning, BU  
Professional regional planner with MassDEP – 31 years.

### ANDY GLUCK

24-year resident of Newton Corner  
Original member of Friends of Farlow Park  
SPED Teacher's Aide at Underwood School since 2006  
Member of Underwood School Council  
Co-Director of Underwood School Garden  
Former PTO President at Underwood School and head of Playground Committee  
Two children through Underwood, Bigelow and Newton North High Schools

CAROL CONNOLLY, 34 Waverly Avenue  
Life long resident of Newton  
Administrative Assistant for Welch Food Inc. for 27 years  
Member of Newton Corner Neighborhood Association  
Walk for Hunger liaison at Welch's for 15 years.  
Currently a volunteer for Newton at Home

RAY ETHIER, 211 Church Street  
Resident of Newton for 20 years  
Owner, ATA Property Services  
Volunteer at Farlow Park Beautification Program  
Member of the Friends of Farlow Park

ROBERT GERST  
Chair and Professor, Liberal Arts Department, Massachusetts College of Art and Design.  
Chair, Newton Community Education Commission  
Newton Alderman-at-Large, 1994-2006 (Vice-chair of BOA Finance Committee, Vice-chair of BOA Public Facilities Committee, Vice-chair of BOA Real Property Reuse Committee)  
Moderator of the Newton Corner Neighborhood Association from 1985 to 1995.

RICHARD BELKIN, 149 Park St, Newton  
Developer of Residential Properties  
Resident of Newton Corner for 40 years  
Chairman of the Newton Corner Advisory Committee  
Former Chair of the Newton Corner Neighborhood Association.

KARNIG BOYAJIAN, 34 Eldredge Street, Newton.  
Married over 50 years to the late Carol (Ramsdell) having raised four children all of whom attended Newton schools at Underwood, Bigelow and Newton North, two of whom were elected as their senior class presidents.  
An original member of Friends of Farlow Park.  
A resident and immediate abutter to Farlow Park for over 60 years, starting in 1954 after returning from active military duty in Korea. In early residency years saw children enjoy skating on ice in Farlow Park which reignited my early interest in the Farlow Park project.  
Retired in 1958 after over 33 years military service, holding last assignment as Chief of Staff, at HQS 94th ARCOM, the U.S. Army Reserve Command at Hanscom AFB, with command responsibility for over 10,000 army reserve forces in all New England states, hundreds of civilian □ augmented personnel, and an annual budget of about \$50 million dollars.  
Presently a practicing attorney for 55 years with an office in Newton Corner.

JANET STERMAN, 120 Church St, Newton  
Realtor with New England Preferred Properties in Newton  
Graduate of Boston University  
Resident of Newton Corner and immediate abutter to Farlow Park since 1989  
Chair of the Newton's Ward 1 Democratic Committee since 2009  
Vice-Chair of the Newton Corner Advisory Committee since 2009  
Treasurer of NewTV, Newton's PEG Access Media Center  
Member of the Newton-911 Memorial Foundation  
Manages the newtoncorner.org website



**The Commonwealth of Massachusetts**  
**William Francis Galvin**

Minimum Fee: \$35.00

Secretary of the Commonwealth, Corporations Division  
One Ashburton Place, 17th floor  
Boston, MA 02108-1512  
Telephone: (617) 727-9640

**Articles of Organization**

(General Laws, Chapter 180)

**Federal Employer Identification Number:** 465016007 (must be 9 digits)**ARTICLE I**

The exact name of the corporation is:

FRIENDS OF FARLOW PARK, INC.**ARTICLE II**

The purpose of the corporation is to engage in the following business activities:

TO RAISE MONIES AND RECEIVE DONATIONS AND GIFTS OF ANY KIND TO THE SUPPORT T HE RESTORATION AND IMPROVEMENT OF THE BRIDGE AND POND LOCATED IN HISTORIC FARLOW PARK IN THE NEWTON CORNER SECTION OF THE CITY OF NEWTON, MASSACHU SETTS. TO CONDUCT ANY OTHER ACTIVITY OR EXERCISE SUCH OTHER EFFORT THAT MAY BE NECESSARY OR INCIDENTAL THERETO THAT WILL HELP TO PRESERVE AND PROTECT T HE SAME IN ORDER TO ALLOW ITS CONTINUED USE AND USED BY THE PUBLIC IN THE FUT URE. TO OTHERWISE CARRY ON ANY OTHER RELATED ACTIVITY THAT WILL SUPPORT AND BENEFIT THE ABOVE PURPOSES BY OUR ORGANIZATION AND CONSISTENT WITH ITS OBLI GATIONS DESCRIBED IN SECTION 501(C)(3) OF THE INTERNAL REVENUE CODE BY A CORP ORATION ORGANIZED UNDER CHAPTER 180 OF THE MASSACHUSETTS GENERAL LAWS.

**ARTICLE III**

A corporation may have one or more classes of members. If it does, the designation of such classes, the manner of election or appointments, the duration of membership and the qualifications and rights, including voting rights, of the members of each class, may be set forth in the by-laws of the corporation or may be set forth below:

NONE.**ARTICLE IV**

Other lawful provisions, if any, for the conduct and regulation of the business and affairs of the corporation, for its voluntary dissolution, or for limiting, defining, or regulating the powers of the corporation, or of its directors or members, or of any class of members, are as follows:

(If there are no provisions state "NONE")

NO SUBSTANTIAL PART OF THE ACTIVITIES OF THIS CORPORATION SHALL BE THE CARRYI NG ON OF THE PROPAGANDA, OR OTHERWISE ATTEMPTING TO INFLUENCE LEGISLATION (EXCEPT AS OTHERWISE PROVIDED BY SECTION 501 (H) OF THE INTERNAL REVENUE COD E), AND THIS CORPORATION SHALL NOT PARTICIPATE IN, OR INTERVENE IN (INCLUDING T HE PUBLISHING OR DISTRIBUTION OF STATEMENTS), ANY POLITICAL CAMPAIGN ON BEHA LF OF, OR IN OPPOSITION TO, ANY CANDIDATE FOR PUBLIC OFFICE. NOTWITHSTANDING,

ANY OF THE PROVISIONS OF THESE BYLAWS, THIS CORPORATION SHALL NOT CARRY ON ANY ACTIVITIES NOT PERMITTED TO BE CARRIED ON (A) BY A CORPORATION EXEMPT FROM FEDERAL INCOME TAX UNDER SECTION 501(C)(3) OF THE INTERNAL REVENUE CODE, OR (B) BY A CORPORATION, CONTRIBUTIONS TO WHICH ARE DEDUCTIBLE UNDER SECTION 170 (C)(2) OF THE INTERNAL REVENUE CODE. NO PART OF THE NET EARNINGS OF THIS CORPORATION SHALL INURE TO THE BENEFIT OF, OR BE DISTRIBUTABLE TO, ITS' MEMBERS, ITS' DIRECTORS OR TRUSTEES, OFFICERS, OR OTHER PRIVATE PERSONS, EXCEPT THAT THE CORPORATION SHALL BE AUTHORIZED AND EMPOWERED TO PAY REASONABLE COMPENSATION FOR SERVICES RENDERED AND TO MAKE PAYMENTS AND DISTRIBUTION IN FURTHERANCE OF THE PURPOSES OF THE CORPORATION.

Notes: The preceding four (4) articles are considered to be permanent and may only be changed by filing appropriate Articles of Amendment.

#### ARTICLE V

The by-laws of the corporation have been duly adopted and the initial directors, president, treasurer and clerk or other presiding, financial or recording officers, whose names are set out on the following page, have been duly elected.

#### ARTICLE VI

The effective date of organization of the corporation shall be the date approved and filed by the Secretary of the Commonwealth. If a *later* effective date is desired, specify such date which shall not be more than *thirty days* after the date of filing.

04/07/2014

#### ARTICLE VII

The information contained in Article VII is not a permanent part of the Articles of Organization.

**a. The street address (post office boxes are not acceptable) of the principal office of the corporation in Massachusetts is:**

No. and Street: 109 VERNON ST  
 City or Town: NEWTON State: MA Zip: 02458 Country: USA

**b. The name, residential street address and post office address of each director and officer of the corporation is as follows:**

Title	Individual Name First, Middle, Last, Suffix	Address (no PO Box) Address, City or Town, State, Zip Code	Expiration of Term
PRESIDENT	KEITH M JONES	109 VERNON ST NEWTON, MA 02458 USA 109 VERNON ST NEWTON, MA 02458 USA	02/02/2016
TREASURER	JANET J STERMAN	120 CHURCH ST NEWTON, MA 02458 USA 120 CHURCH ST NEWTON, MA 02458 USA	02/02/2014
SECRETARY	JAY C WALTER	83 PEMBROKE ST NEWTON, MA 02458 USA 83 PEMBROKE ST NEWTON, MA 02458 USA	02/02/2016
VICE PRESIDENT	JAY C WALTER	83 PEMBROKE ST NEWTON, MA 02458 USA 83 PEMBROKE ST NEWTON, MA 02458 USA	02/02/2016
DIRECTOR	KARNIG BOYAJIAN	34 ELDREDGE ST NEWTON, MA 02458 USA 34 ELDREDGE ST	02/02/2016

DIRECTOR	MAUREEN O'HARE MERCER	NEWTON, MA 02458 USA 173 OAKLEIGH RD NEWTON, MA 02458 USA 173 OAKLEIGH RD NEWTON, MA 02458 USA	02/02/2016
DIRECTOR	CAROL A CONNOLLY	34 WAVERLY AVE NEWTON, MA 02458 USA 34 WAVERLY AVE NEWTON, MA 02458 USA	02/02/2016

c. The fiscal year (i.e., tax year) of the business entity shall end on the last day of the month of:  
December

d. The name and business address of the resident agent, if any, of the business entity is:

Name: KEITH M. JONES  
 No. and Street: 109 VERNON ST  
 City or Town: NEWTON State: MA Zip: 02458 Country: USA

**I/We, the below signed incorporator(s), do hereby certify under the pains and penalties of perjury that I/we have not been convicted of any crimes relating to alcohol or gaming within the past ten years. I/We do hereby further certify that to the best of my/our knowledge the above-named officers have not been similarly convicted. If so convicted, explain:**

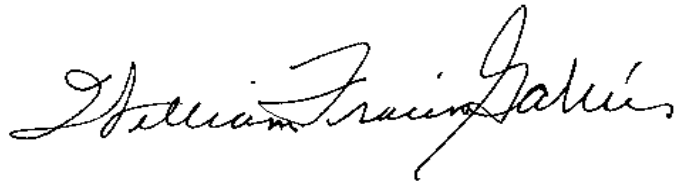
**IN WITNESS WHEREOF AND UNDER THE PAINS AND PENALTIES OF PERJURY, I/we, whose signature(s) appear below as incorporator(s) and whose name(s) and business or residential address (es) beneath each signature do hereby associate with the intention of forming this business entity under the provisions of General Law, Chapter 180 and do hereby sign these Articles of Organization as incorporator(s) this 7 Day of April, 2014. (If an existing corporation is acting as incorporator, type in the exact name of the business entity, the state or other jurisdiction where it was incorporated, the name of the person signing on behalf of said business entity and the title he/she holds or other authority by which such action is taken.)**

JANET J. STERMAN

THE COMMONWEALTH OF MASSACHUSETTS

I hereby certify that, upon examination of this document, duly submitted to me, it appears that the provisions of the General Laws relative to corporations have been complied with, and I hereby approve said articles; and the filing fee having been paid, said articles are deemed to have been filed with me on:

April 07, 2014 09:52 PM

A handwritten signature in black ink, reading "William Francis Galvin". The signature is written in a cursive style with a large, prominent initial "W".

WILLIAM FRANCIS GALVIN

*Secretary of the Commonwealth*

Rec'd by CPC staff 10 April 2014

## Friends of Farlow Park

### Additional Financial Information

During the CPC meeting on March 20, 2014 some questions were raised regarding whether the Friends of Farlow were anticipating taking care of Farlow Park once the restoration was completed. At that time we asserted that this is a City owned Park and that maintenance and utility expenses would be more than covered by the approximately \$5000 in savings in irrigation costs when a switch is made from water supplied by the MDC to well water. This was not only our opinion but was backed up by discussions we had had with Commissioner Bob DeRubeis at Parks and Recreation.

However, the Friends of Farlow Park has considered the concerns expressed by the CPC members as to what anticipated costs might take place and whether the Friends of Farlow will be available to help out. Taking into consideration the concerns expressed, the Friends of Farlow Park has committed to seeking donations of up to \$30,000 beyond the \$89,000 we have agreed to raise within our proposal.

These monies will be held in our account to be used for the following:

1. Cost overruns.
2. Future projects such as plantings and other ancillary needs such as new benches.
3. Emergency Maintenance, if Friends of Farlow Park determines the City of Newton has failed to fulfill its maintenance commitment.





Setti D. Warren  
Mayor

**City of Newton, Massachusetts**  
Department of Planning and Development  
1000 Commonwealth Avenue Newton, Massachusetts 02459

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James Freas  
Acting Director

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## **Community Preservation Committee**

### **MEMORANDUM**

date: 18 August 2014  
from: Alice Ingerson, Community Preservation Program Manager  
to: The Honorable Board of Aldermen  
about: **cumulative community feedback available online for  
2013-14 Farlow Park Pond & Bridge proposal**

Dear ladies and gentlemen of the Board:

The following information is being made available online through the links below, rather than in your printed packets. All of these links appear on the CPC webpage for this proposal:

[www.newtonma.gov/gov/planning/cpa/projects/farlow.asp](http://www.newtonma.gov/gov/planning/cpa/projects/farlow.asp)

- ◆ CPC votes & excerpted minutes of CPC public hearings and working sessions on all Farlow Park proposals from March 2005 (on fall 2004 proposal) through August 2014 (on fall 2013 proposal)

[www.newtonma.gov/civicax/filebank/documents/52403](http://www.newtonma.gov/civicax/filebank/documents/52403)

- ◆ letters of support (17 letters and approximately 20 pages of signatures on a petition of support), submitted by the sponsor as part of the fall 2013 proposal

[www.newtonma.gov/civicax/filebank/documents/60785](http://www.newtonma.gov/civicax/filebank/documents/60785)

- ◆ other letters, including comments from the League of Women Voters and 8 letters of opposition (plus a 2<sup>nd</sup> letter from one opponent)

[www.newtonma.gov/civicax/filebank/documents/60786](http://www.newtonma.gov/civicax/filebank/documents/60786)

website [www.newtonma.gov/cpa](http://www.newtonma.gov/cpa)  
contact Alice E. Ingerson, Community Preservation Program Manager  
email [aingerson@newtonma.gov](mailto:aingerson@newtonma.gov) phone 617.796.1144



SETTI D. WARREN  
MAYOR

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2014 SEP 12 AM 10:41

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September 11, 2014

Honorable Board of Aldermen  
Newton City Hall  
1000 Commonwealth Avenue  
Newton, MA 02459

Ladies and Gentlemen:

It is with great pleasure that I write to request that your Honorable Board docket for consideration a request to authorize the appropriation of \$3,000,000 of Overlay Surplus to the Rainy Day Stabilization Fund bringing the total of that account to more than \$17 million or 4.94% of the FY15 Municipal Operating Budget. It is my intent to docket a subsequent request for and additional \$206,343 upon the certification of June 30, 2014 Free Cash to bring the total of this account to \$17,252,248, thus meeting our target of 5% of the City's Municipal Operating Budget.

As you know, this account was established by the Honorable Board in 2010 and as a result of commitment and collaboration by the Chairman of the Finance Committee, our Comptroller, members of the Board, and my office we have now reached this very important milestone toward securing our financial stability, and ensuring the long-term financial sustainability of the City of Newton.

Thank you for your consideration of this matter.

Very truly yours,

Setti D. Warren  
Mayor

1000 Commonwealth Avenue Newton, Massachusetts 02459

[www.newtonma.gov](http://www.newtonma.gov)



DEDICATED TO COMMUNITY EXCELLENCE