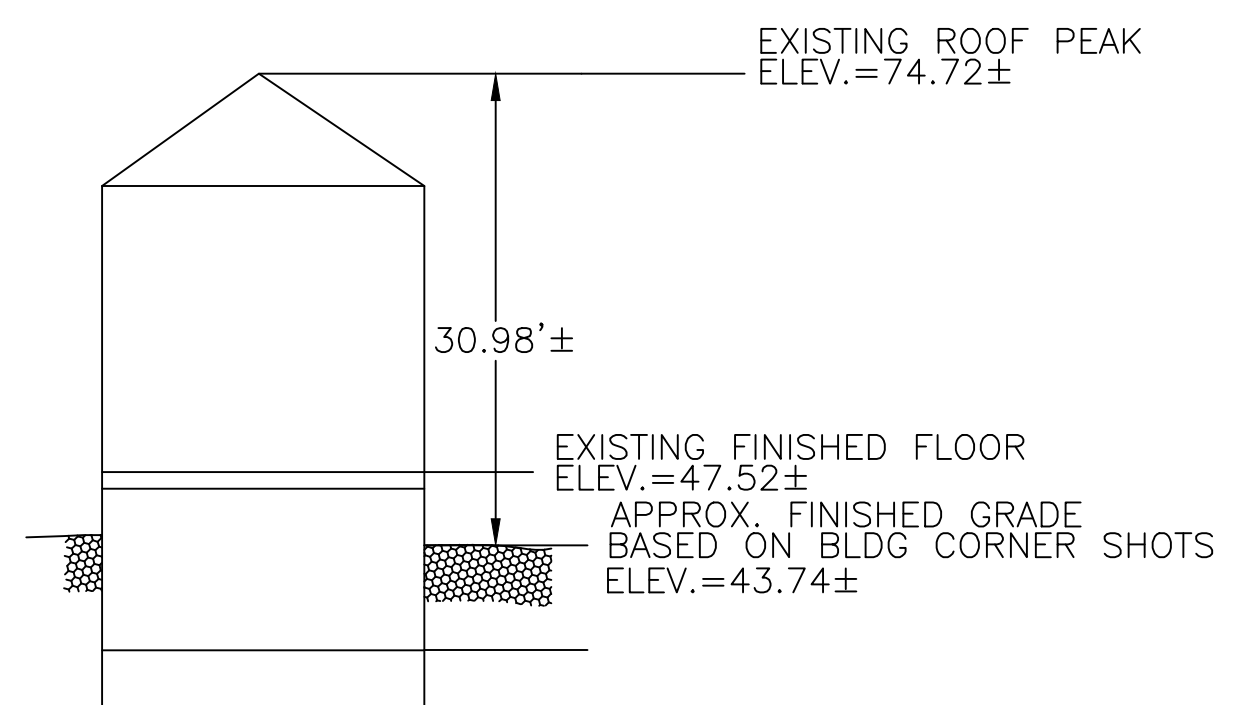


LEGEND

□	BOUND
○	IRON PIN/PIPE
⊙	STONE POST
🌳	TREE
🌳	TREE STUMP
🌿	SHRUBS/FLOWERS
♣	SIGN
●	BOLLARD
⊙	SEWER MANHOLE
⊙	DRAIN MANHOLE
⊙	CATCH BASIN
⊙	WATER MANHOLE
⊙	WATER VALVE
⊙	HYDRANT
⊙	GAS VALVE
⊙	ELECTRIC MANHOLE
⊙	ELECTRIC HANDHOLE
⊙	UTILITY POLE
⊙	LIGHT POLE
⊙	MANHOLE
⊙	SPOT GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
▨	EXISTING BUILDING
▨	RETAINING WALL
▨	STONE WALL
—	FENCE
—	TREE LINE
S	SEWER LINE
D	DRAIN LINE
W	WATER LINE
G	GAS LINE
E	UNDERGROUND ELECTRIC LINE
OHW	OVERHEAD WIRES
145	CONTOUR LINE (MJR)
146	CONTOUR LINE (MNR)

N/F
GPH WEST NEWTON LLC
BK. 47345 PG. 499

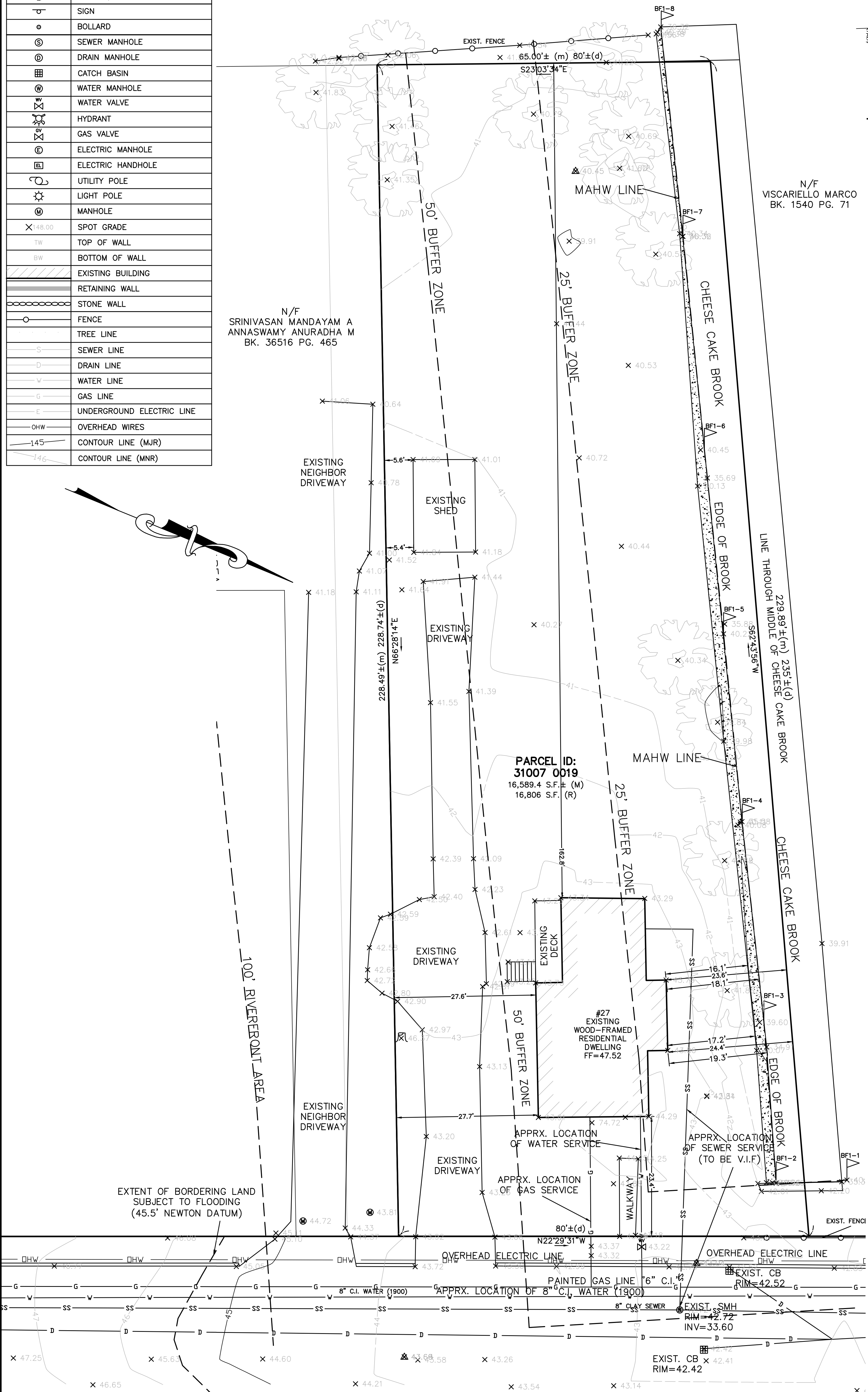
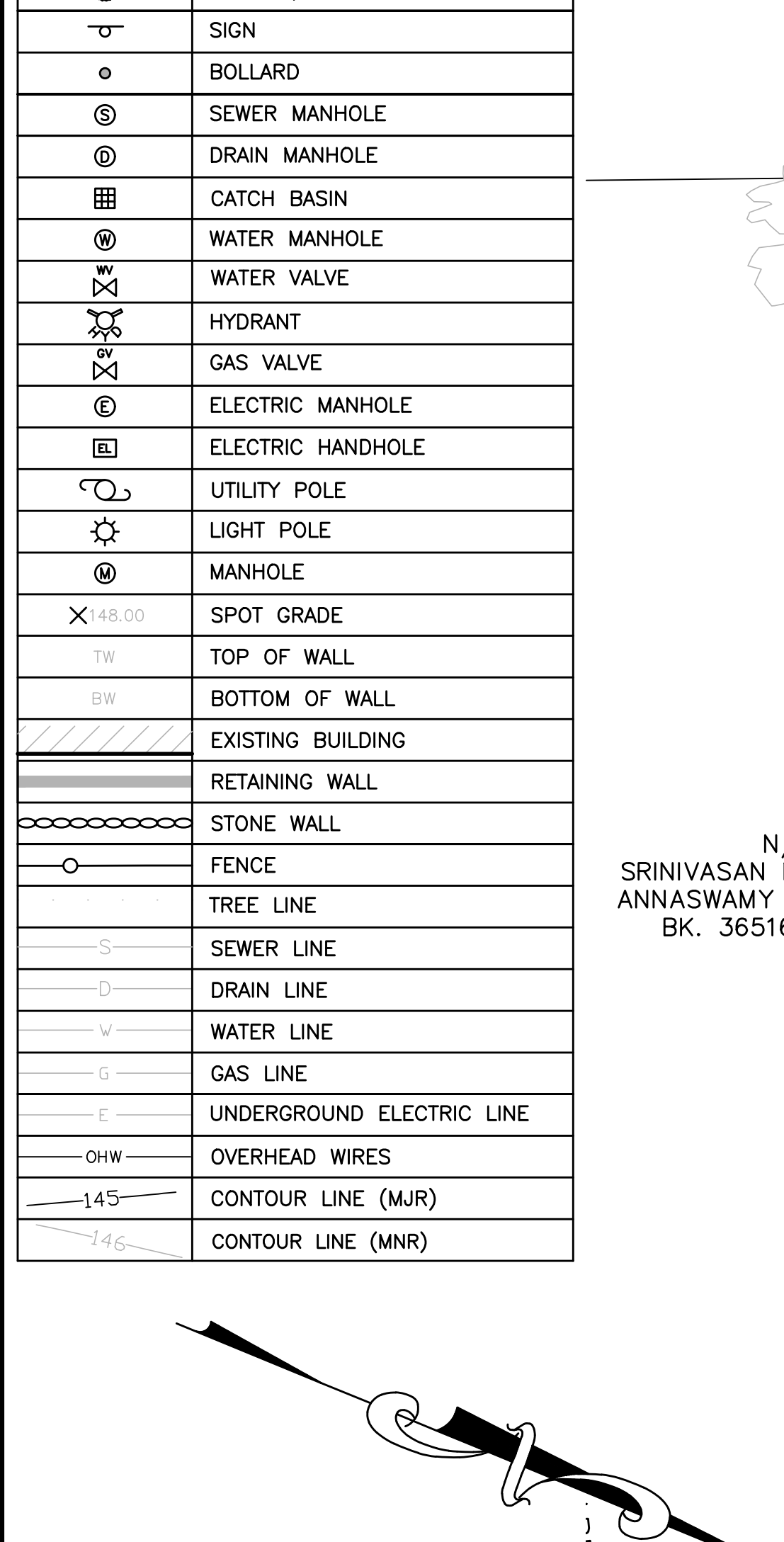


EXISTING PROFILE
NOT TO SCALE

N/F
VISCARIELLO MARCO
BK. 1540 PG. 71

N/F
SRINIVASAN MANDAYAM A
ANNASWAMY ANURADHA M
BK. 36516 PG. 465

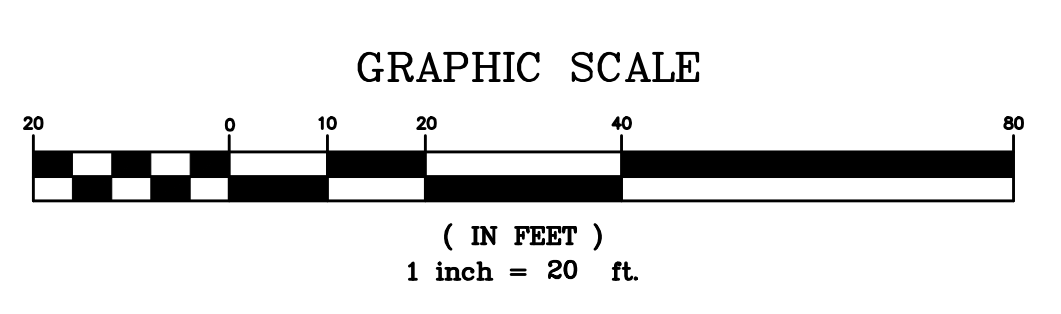
- NOTES:**
- INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 9/18/2021.
 - DEED REFERENCE: BOOK 12505, PAGE 463
DEED REFERENCE: BOOK 19297, PAGE 454
PLAN REFERENCE 1: PLAN 1142 OF 1988
PLAN REFERENCE 1: PLAN 645 OF 2000
LC PLAN 9887-B
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
 - THIS PLAN IS NOT INTENDED TO BE RECORDED.
 - I CERTIFY THAT THE DWELLING SHOWN IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE AE, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0551E, IN COMMUNITY NUMBER: 250208, DATED 6/4/2010. ON AND OFF-SITE SURVEY DEMONSTRATE THAT THE 100-YEAR FLOODPLAIN ELEVATION AT THE SITE IS 39 NAVD 88 (45.5 CITY OF NEWTON DATUM). THE HIGHER FLOODPLAIN ELEVATION WOULD PREVAIL.
 - THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 - FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 - NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 - THE ELEVATIONS SHOWN ARE BASED CITY OF NEWTON DATUM.
 - ZONING DISTRICT: MULTI-RESIDENCE 1, (LOT CREATED AFTER 12/07/1953)
 - WETLAND RESOURCE AREAS DELINEATED BY LUCAS ENVIRONMENTAL, LLC ON AUGUST 31, 2021.



PARCEL ID:
31007 0019
16,589.4 S.F.± (M)
16,806 S.F. (R)

#27
EXISTING
WOOD-FRAMED
RESIDENTIAL
DWELLING
FF=47.52

CROSS STREET
(PUBLIC WAY)



SCALE	1"=10'
DATE	8/30/2022
SHEET	1
PLAN NO.	1 OF 5
CLIENT:	27 CROSS STREET NEWTOWN MASSACHUSETTS
DRAWN BY	DK
CHKD BY	PJN
APPD BY	PJN

REV	DATE	REVISION	BY

EXISTING CONDITIONS

PETER NOLAN & ASSOCIATES LLC
LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
80 JEWETT STREET, SUITE 2 NEWTON, MA 02458
PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691
EMAIL: pnolan@pnasurveyors.com

PETER NOLAN & ASSOCIATES LLC
REGISTERED PROFESSIONAL LAND SURVEYORS

SHEET NO. **1**

PETER NOLAN & ASSOCIATES LLC SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORKING ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THE EXTENT OF PETER NOLAN & ASSOCIATES LIABILITY FOR THIS PLAN IS LIMITED TO THE EXTENT OF ITS FEE LESS THIRD PARTY COST.
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NO PART OF THIS DOCUMENT MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPYING, RECORDING OR OTHERWISE, WITHOUT THE PRIOR WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC. ANY REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF PETER NOLAN & ASSOCIATES LLC SHALL BE PENALIZED BY LAW AND UNLAWFUL.

NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 9/18/2021.
2. DEED REFERENCE: BOOK 12505, PAGE 463
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PLAN REFERENCE 1: PLAN 1142 OF 1988
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LC PLAN 9887-B
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE AE, ON FLOOD HAZARD BOUNDARY MAP NUMBER 2507700551E, IN COMMUNITY NUMBER: 250209, DATED 6/4/2010. ON AND OFF-SITE SURVEY DEMONSTRATE THAT THE 100-YEAR FLOODPLAIN ELEVATION AT THE SITE IS 39 NAVD 88 (45.5 CITY OF NEWTON DATUM). THE HIGHER FLOODPLAIN ELEVATION WOULD PREVAIL.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED CITY OF NEWTON DATUM.
9. ZONING DISTRICT: MULTI-RESIDENCE 1. (LOT CREATED AFTER 12/07/1953)
10. WETLAND RESOURCE AREAS DELINEATED BY LUCAS ENVIRONMENTAL, LLC ON AUGUST 31, 2021.

LEGEND

[Symbol]	BOUND
[Symbol]	IRON PIN/PIPE
[Symbol]	STONE POST
[Symbol]	TREE
[Symbol]	TREE STUMP
[Symbol]	SHRUBS/FLOWERS
[Symbol]	SIGN
[Symbol]	BOLLARD
[Symbol]	SEWER MANHOLE
[Symbol]	DRAIN MANHOLE
[Symbol]	CATCH BASIN
[Symbol]	WATER MANHOLE
[Symbol]	HYDRANT
[Symbol]	GAS VALVE
[Symbol]	ELECTRIC MANHOLE
[Symbol]	ELECTRIC HANDHOLE
[Symbol]	UTILITY POLE
[Symbol]	LIGHT POLE
[Symbol]	MANHOLE
[Symbol]	SPOT GRADE
[Symbol]	TOP OF WALL
[Symbol]	BOTTOM OF WALL
[Symbol]	EXISTING BUILDING
[Symbol]	RETAINING WALL
[Symbol]	STONE WALL
[Symbol]	FENCE
[Symbol]	TREE LINE
[Symbol]	SEWER LINE
[Symbol]	DRAIN LINE
[Symbol]	WATER LINE
[Symbol]	GAS LINE
[Symbol]	UNDER. ELECT. LINE
[Symbol]	OVERHEAD WIRES
[Symbol]	CONTOUR LINE (MNR)
[Symbol]	CONTOUR LINE (MNR)

NOTE: ANY TREE BEING REMOVED SHALL COMPLY WITH CITY OF NEWTON TREE ORDINANCE

NOTE: ANY PROPOSED RETAINING WALLS SHALL BE DESIGNED BY OTHERS.

NOTE: DRAINAGE SYSTEM IS DESIGNED FOR 100 YEAR STORM EVENT FOR ALL RUNOFF FROM PROPOSED IMPERVIOUS AREAS SHOWN. CONTRACTOR SHALL NOT CONNECT SUMP PUMP TO THE SYSTEM WITHOUT APPROVAL FROM ENGINEERING DEPARTMENT.

NOTE: SEWER AND WATER MAIN LINE LOCATION TO BE CONFIRMED BY CONTRACTOR

NOTE: SURFACE WATER TO BE DIVERTED FROM ALL SIDES OF FOUNDATION WALL

NOTE: SPRUHAN ENGINEERING, P.C., ACCEPTS NO LIABILITY FOR GROUND WATER OR OTHER SURFACE WATER IN BASEMENT

NOTES:

1. ELEVATIONS REFER TO CITY OF NEWTON DATUM.
2. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
3. MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 1-888-344-7233 IN ORDER TO COMPLY WITH STATE LAW.
4. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION REGULATIONS, LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER. REFER TO TRENCH 29 FOR DETAILS. NOTE: A TRENCH PERMIT MUST BE OBTAINED PRIOR TO ANY EXCAVATION BEING CARRIED OUT.
5. PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.
6. PROPOSED WATER SERVICE SHALL BE 1" TYPE K COPPER.
7. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND ON SEPTEMBER 18TH, 2021.
8. ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
9. NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST 24 HOURS (48 HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS) BEFORE THE PROPOSED EXCAVATION IS TO BE MADE. HE HAS SUBMITTED NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:
 - a. SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY, AND TELEPHONE SERVICE IN THE CITY.
 - b. SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.
 - c. CITY OF NEWTON WATER & SEWER DEPARTMENT. SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
10. THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.
11. NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
12. ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH PAVEMENT OF EXISTING PAVEMENT THICKNESS OR AS DIRECTED BY THE CITY ENGINEERING INSPECTOR, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
13. WARNING SIGNS SHALL CONFORM TO 2020 MUTCD STANDARD HIGHWAY SIGN.
14. ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING SYSTEM AND TO A DISTANCE 5' LATERALLY IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS. LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER. REFER TO TRENCH 29 FOR DETAILS. NOTE: A TRENCH PERMIT MUST BE OBTAINED PRIOR TO ANY EXCAVATION BEING CARRIED OUT.
15. IN CASES WHERE LEDGE OR BOLLARDS ARE ENCOUNTERED, SPRUHAN ENGINEERING, P.C. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
16. IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
17. THE ROOF RUNOFF FROM THE ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE STORM WATER DRAINAGE SYSTEM.
18. PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, TIES TO ALL GATES, VALVES, CLEAN-OUTS, CONNECTION POINTS AT MAINS, STRUCTURE ACCESS/MAINTENANCE COVERS, ANY EASEMENTS AND FINAL GRADING.
19. THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING & UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT AND A TRENCH PERMIT WITH THE DPW.
20. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. PETER NOLAN & ASSOCIATES, LLC. WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.
21. ANY PROPOSED PVC PIPES UNDER PAVING OR CONCRETE WITH LESS THAN 30" OF COVER MUST BE ENCASED IN CONCRETE. (SEE PAGE 21, CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.)
22. THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND BE COMPLETELY REMOVED FROM THE SITE, REPLACED AS SPECIFIED AND PROPERLY BACKFILLED. THE ENGINEERING DIVISION MUST INSPECT THIS WORK; FAILURE TO HAVE THIS WORK INSPECTED MAY RESULT IN THE DELAY OF ISSUANCE OF THE UTILITY CONNECTION PERMIT.
23. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE EXISTING WATER & SEWER SERVICES INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY THEN BE BACKFILLED.
24. THE EXISTING CONTOURS OF THE LAND ARE NOT TO BE ALTERED BY MORE THAN THREE (3) FEET AS A RESULT OF THE PLACEMENT OR REMOVAL OF SOIL, LOAM, CLAY, GRAVEL OR STONE, OR OTHER SOIL MATERIAL UNLESS A PROPOSED RETAINING WALL OR SWALE IS INSTALLED AFTER IT IS APPROVED BY BOTH CITY OF NEWTON ENGINEERING DEPARTMENT & CITY OF NEWTON I.S.D.
25. NO WORK IS ALLOWED WITHIN A CITY OF NEWTON RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES. APPLICANT MAY REQUEST PERMISSION FROM THE CITY ENGINEER, IF ALLOWED, TO EXCAVATE FOR CONSTRUCTION REQUIREMENTS WILL BE REQUIRED, AND AS SUCH IT IS RECOMMENDED THAT THE APPLICANT OR APPLICANT'S REPRESENTATIVE CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.
26. AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
27. DURING CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR DEBRIS LEAVES THE SITE.
28. WITH EXCEPTION OF GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE III (EXCAVATION) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
29. ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
30. ALL NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEOATED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE CITY ENGINEERING DIVISION. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED AND A WRITTEN REPORT IS RECEIVED BY THE CITY ENGINEER.
31. ALL SILTATION CONTROL NEEDS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER'S OFFICE FOR APPROVAL PRIOR TO COMMENCEMENT.
32. ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MGL CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. A TRENCH EXCAVATION PERMIT IS REQUIRED.
33. APPROVAL OF THIS PLAN BY CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATION AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONALITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTION, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
34. PER CITY OF NEWTON ORDINANCE NO. 42, COUNCIL ITEM #251-19, BUILDING SEWER, WATER SERVICE PIPE & SIDEWALK/CURB REPLACEMENT ORDINANCE, THE APPLICANT IS REQUIRED TO INSTALL/REPLACE SIDEWALK & CURB ALONG THE ENTIRE FRONTAGE. THIS SHALL INCLUDE APPROPRIATE TRANSITION TO ADJOINING CURBING & WALKWAYS, INCLUDING ACCESSIBLE CURB CUTS & OTHER ACCESS AS REQUIRED. THE ENGINEERING CONSTRUCTION INSPECTOR MAKES A DETERMINATION, BASED ON THE MATERIAL & MANNER OF CONSTRUCTION OF THE EXISTING SIDEWALK & CURB, THAT THE EXISTING SIDEWALK & CURB HAS THE ABILITY TO BE RE-SET OR REUSED WITHOUT REPLACEMENT.
35. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT IS NOT LIMITED TO DRAINAGE, UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES ETC. ENGINEER OF RECORD MUST ALSO CONDUCT "BOTTOM UP INSPECTION(S)" PRIOR TO SUBSURFACE DRAINAGE SYSTEM(S) BEING INSTALLED. CONTRACTOR TO NOTIFY ENGINEER BEFORE BACKFILL OR SIGN OFF CANNOT OCCUR WITHOUT RE-EXCAVATION.
36. PRIOR TO THE ENGINEERING DIVISION RECOMMENDING THAT A CERTIFICATE OF OCCUPANCY BE ISSUED, AN AS-BUILT PLAN MUST BE SUBMITTED. THE AS-BUILT PLAN MUST SHOW DIMENSIONAL TIES FROM FIXED POINTS (FOUNDATION CORNERS) TO ALL SUBSURFACE COMPONENTS AS WELL AS FINAL GRADING. THE AS-BUILT PLAN MUST BE STAMPED, SIGNED & DATED BY THE ENGINEER OF RECORD. THE FOLLOWING STATEMENT MUST BE ON ALL AS-BUILT PLANS SUBMITTED TO THE ENGINEERING DIVISION: "CERTIFY THAT THE CONSTRUCTION SHOWN WAS INSPECTED PRIOR TO BACKFILL & THAT ALL WORK CONFORMS WITH THE APPROVED PLAN & MEETS OR EXCEEDS THE CITY OF NEWTON CONSTRUCTION STANDARDS."
37. 5 YEAR MORATORIUM - IF AT TIME OF CONSTRUCTION THE ROADWAY IS UNDER A 5 YEAR MORATORIUM, THE ROADWAY MUST BE MILLED & PAVED OUTER-TO-GUTTER FOR A DISTANCE OF 25 FEET IN EACH DIRECTION FROM THE OUTERMOST TRENCHES OR AS DIRECTED BY THE ENGINEERING INSPECTOR.

FLOODPLAIN IMPACT & MITIGATION SUMMARY

ELEVATION (FT)	FLOODPLAIN IMPACT (CF)	FLOOD MITIGATION (CF)	FLOODPLAIN NET (CF)
40-41	2.0	14.2	12.2
41-42	5.0	402.5	396.5
42-43	270.4	532.0	261.6
43-44	776.2	1335.0	558.8
44-45	115.6	1104.0	988.4
45-45.5	57.8	552.0	494.2
TOTALS	1228.0	3939.7	2711.7

FLOODPLAIN NET = FLOODPLAIN CUT - FLOODPLAIN FILL
FLOODPLAIN FILL IT'S SUM OF FILL VOLUME FROM TABLE BELOW FOR PROPOSED BUILDING AND PIERS
FLOODPLAIN CUT IT'S SUM OF CUT VOLUME FROM TABLE BELOW FOR EXISTING BUILDING.

FOR EXIST. BUILDING (FOUNDATION, STEPS, WALKWAY, SHED)

ELEVATION (FT)	CUT AREA (SF)	HEIGHT (FT)	CUT VOLUME (CF)	REMARKS
40-41	71.0	0.2	14.2	(COMPENSATION CUT)
41-42	402.5	1.0	402.5	(SHED, DRIVEWAY)
42-43	532.0	1.0	532.0	(SHED, DRIVEWAY)
43-44	1335.0	1.0	1335.0	(SHED, DRIVEWAY, FOUNDATION)
44-45	1104.0	1.0	1104.0	(SHED, FOUNDATION)
45-45.5	1104.0	0.5	552.0	(SHED, FOUNDATION)
TOTAL			3939.7	

FOR PROPOSED BUILDING (STEPS, WALKWAY, DRIVEWAY)

ELEVATION (FT)	FILL AREA (SF)	HEIGHT (FT)	FILL VOLUME (CF)	REMARKS
40-41	0.0	0.0	0.0	
41-42	0.0	1.0	0.0	
42-43	254.4	1.0	254.4	(STEPS, PARKING)
43-44	748.2	1.0	748.2	(STEPS, PARKING, DRIVEWAY)
44-45	87.6	1.0	87.6	(STEPS)
45-45.5	87.6	0.5	43.8	(STEPS)
TOTAL			1134.0	

FOR PROPOSED BUILDING (PIERS)

ELEVATION (FT)	FILL AREA (SF)	HEIGHT (FT)	FILL VOLUME (CF)
40-41	2.0	1.0	2.0
41-42	6.0	1.0	6.0
42-43	16.0	1.0	16.0
43-44	28.0	1.0	28.0
44-45	28.0	1.0	28.0
45-45.5	28.0	0.5	14.0
TOTAL			94.0

Pier = 12' x 12' = 1

NOTE: CONTRACTOR TO CONFIRM LOCATION OF DOWN SPOUTS PRIOR TO CARRYING OUT ANY DRAINAGE WORKS

NOTE: CONTRACTOR TO ENSURE THAT THE BUILDING FOOTPRINT REPRESENTED ON THIS PLAN IS THE SAME AS THE PROPOSED ARCHITECTURAL /STRUCTURAL PLANS AND INCORPORATES ALL OVERHANGS, CANTILEVERS AND ANY COMPONENT THAT IS SUBJECT TO ZONING RESTRICTIONS. IF THIS IS FOUND NOT TO BE THE CASE THE CONTRACTOR MUST CONTACT THE ENGINEER /SURVEYOR AND REQUEST A REVISED PLAN WHICH MUST BE RESUBMITTED TO I.S.D. CITY OF NEWTON

DRAINAGE AREA SUMMARY

EXISTING ROOF = 887.70 S.F.
EXISTING PAVED DRIVEWAY = 1,397.64 S.F.
EXISTING WALKWAY = 51.64 S.F.
EXISTING DECK = 82.54 S.F.
EXISTING SHED = 217.81 S.F.
EXISTING LANDING/STEPS = 21.18 S.F.
EXISTING LANDSCAPE AREA = 13,930.89 S.F.

PROPOSED ROOF = 2,889.50 S.F.
PROPOSED PAVED DRIVEWAY = 1,422.08 S.F.
PROPOSED LANDING/STEPS = 87.58 S.F.
PROPOSED LANDSCAPE AREA = 12,190.24 S.F.

TOTAL EXISTING IMPERVIOUS AREA = 2,658.51 S.F.
TOTAL PROPOSED IMPERVIOUS AREA = 4,399.16 S.F.
TOTAL INCREASE IN IMPERVIOUS AREA = 1,740.65 S.F.

EXTENT OF BORDERING LAND SUBJECT TO FLOODING (AS OF NEWTON DATUM)

EXIST. SMH RIM=52.51 INV=43.14

EXIST. DMH RIM=52.30



REVISION BLOCK

BY	DESCRIPTION	DATE
OG	FOOTPRINT AND CALC. REVISED	9/27/22
OG	MITIGATION AREA REVISED	9/27/22
OG	BOUNDS AND COMPOST SOCK ADDED	10/4/22
OG	REVISED AS PER CITY COMMENTS	12/12/22
OG	ESHGWT REVISED	12/14/22
HMS	REVISED AS PER CITY COMMENTS	01/19/23
OG	REVISED AS PER CITY COMMENTS	01/27/23
OG	REVISED AS PER CITY COMMENTS	06/15/23
OG	REVISED AS PER CLIENT COMMENTS	07/24/23

SCALE

DATE: 8/30/2022

DRAWN BY: O.G.

CHECKED BY: P.N.

APPROVED BY: E.S.

SHEET: 2

PLAN NO.: 2 OF 5

CLIENT:

SHEET: **2**

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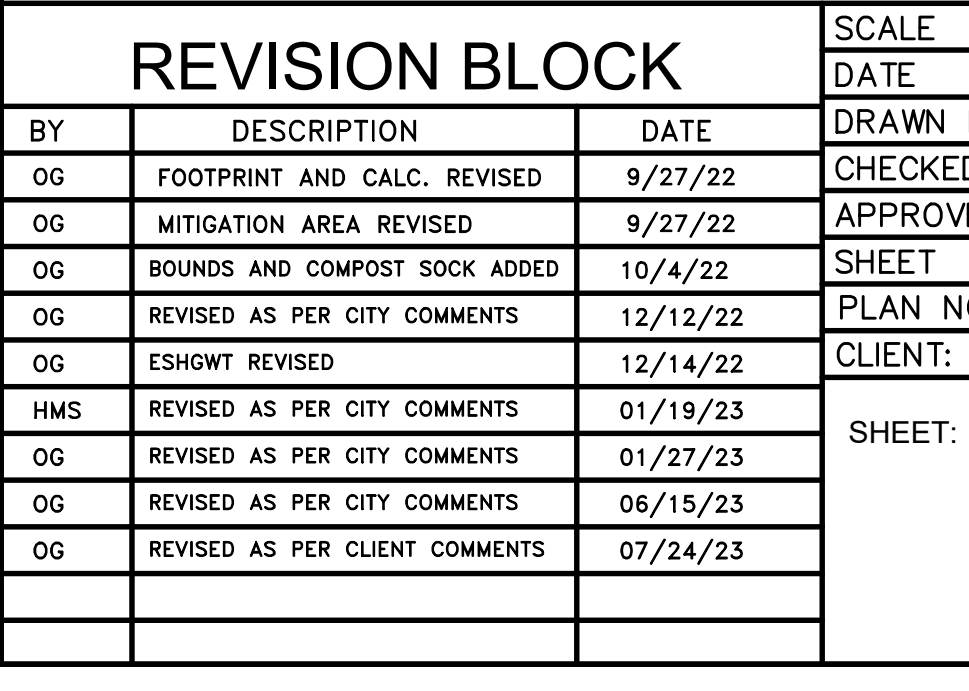
CIVIL PLAN

PETER NOLAN & ASSOCIATES, LLC

SPRUHAN ENGINEERING, P.C.

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697 CAMBRIDGE STREET, SUITE 1103
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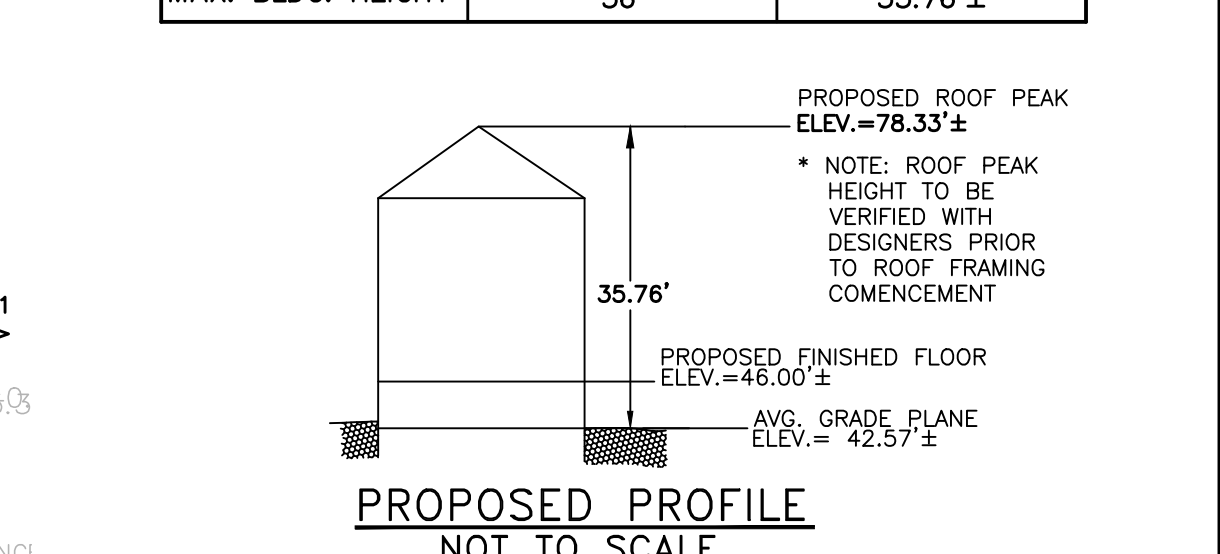
80 JEWETT ST., SUITE 21
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmon@spruhaneng.com



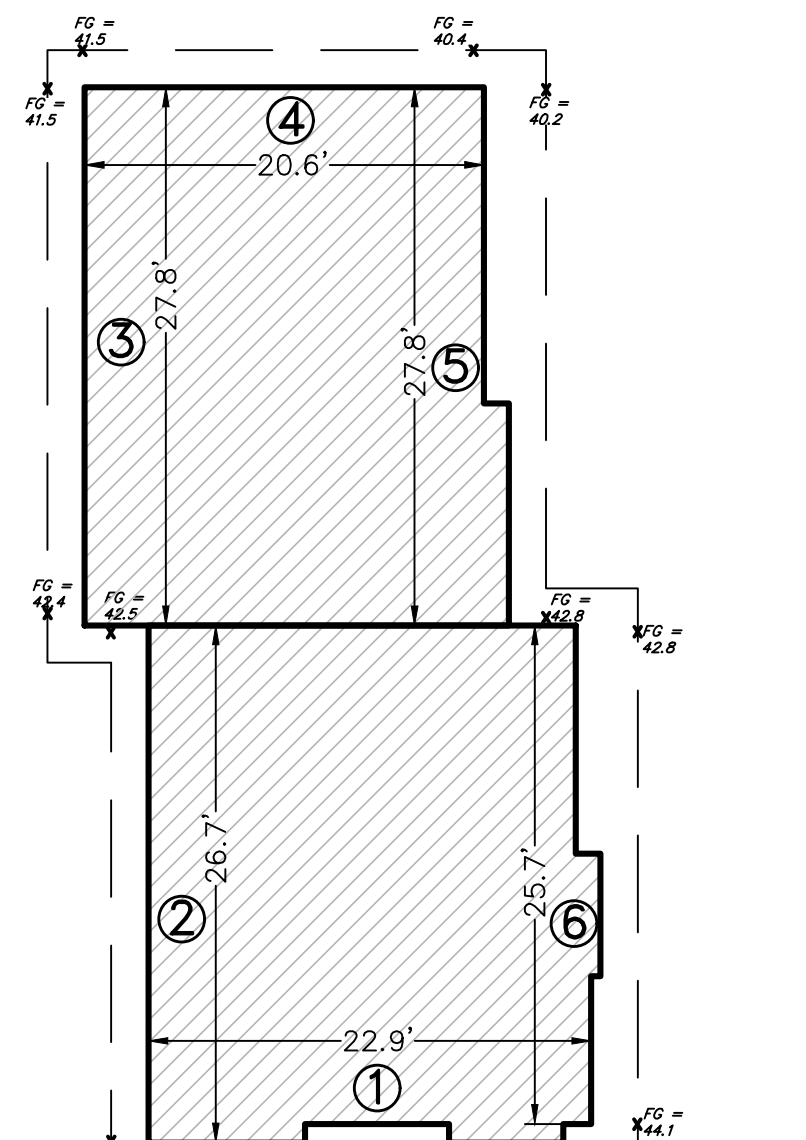
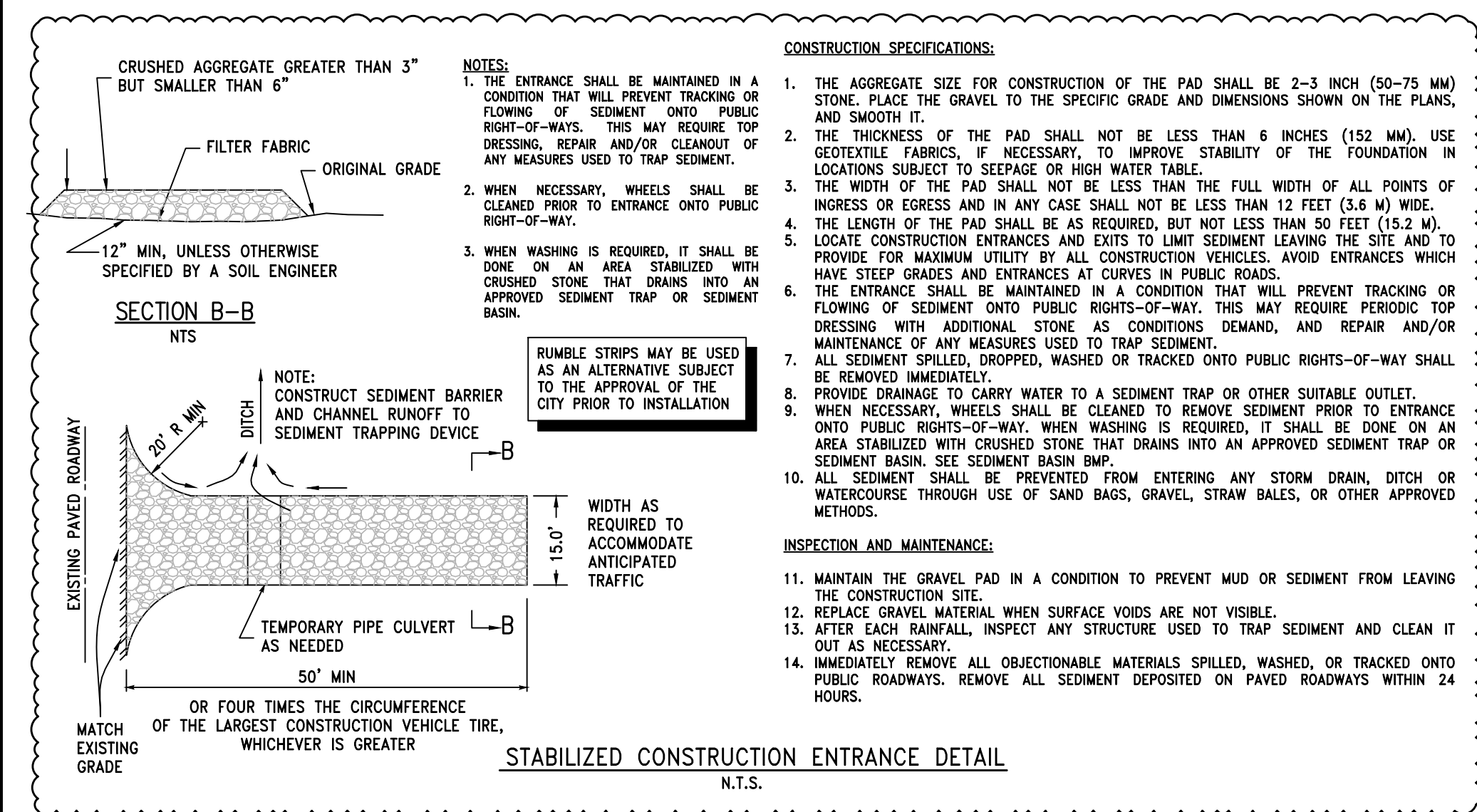
ZONING LEGEND

ZONING DISTRICT: M1 MULTI RESIDENTIAL-1 (LOT CREATED BEFORE 12/07/1953)

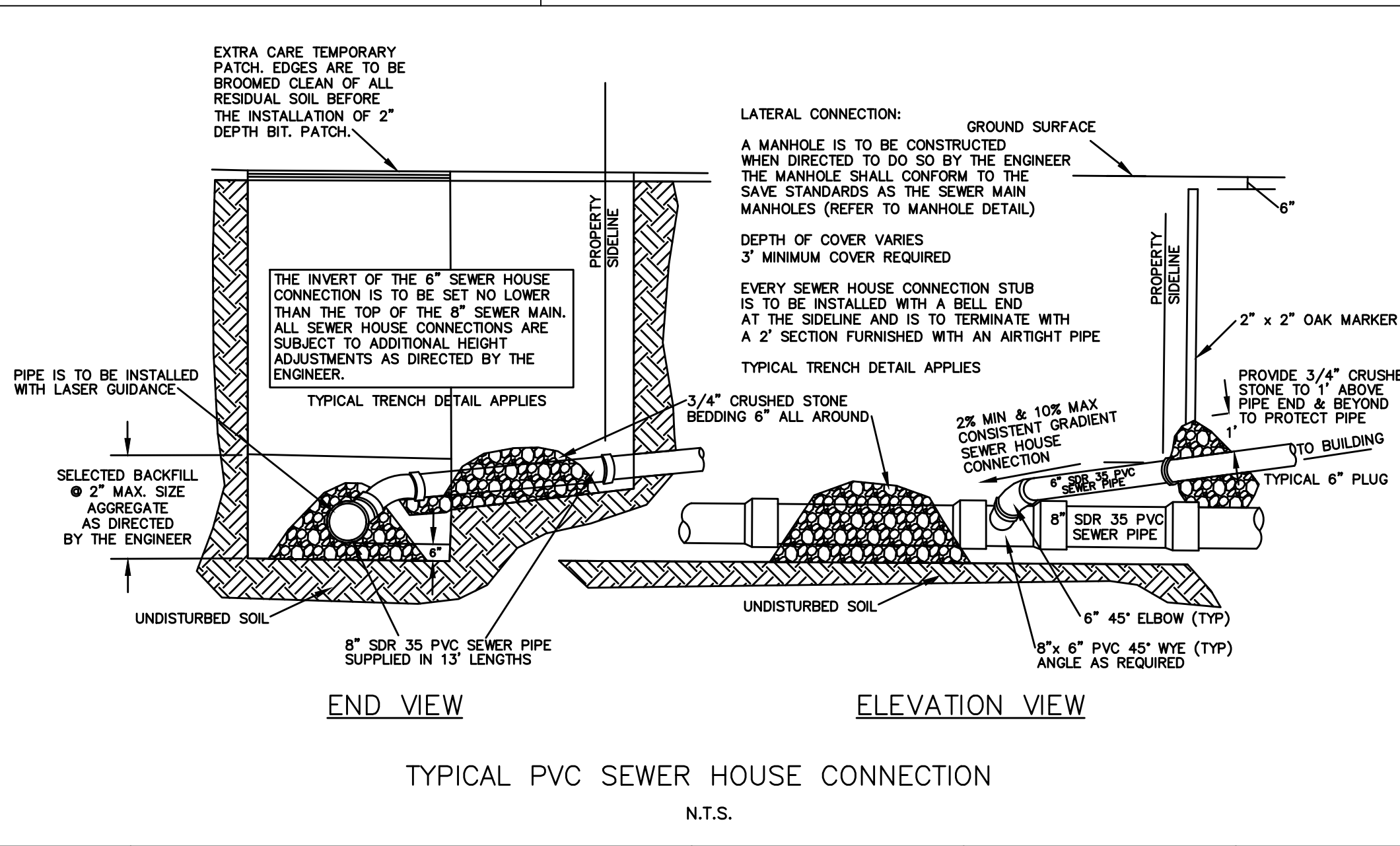
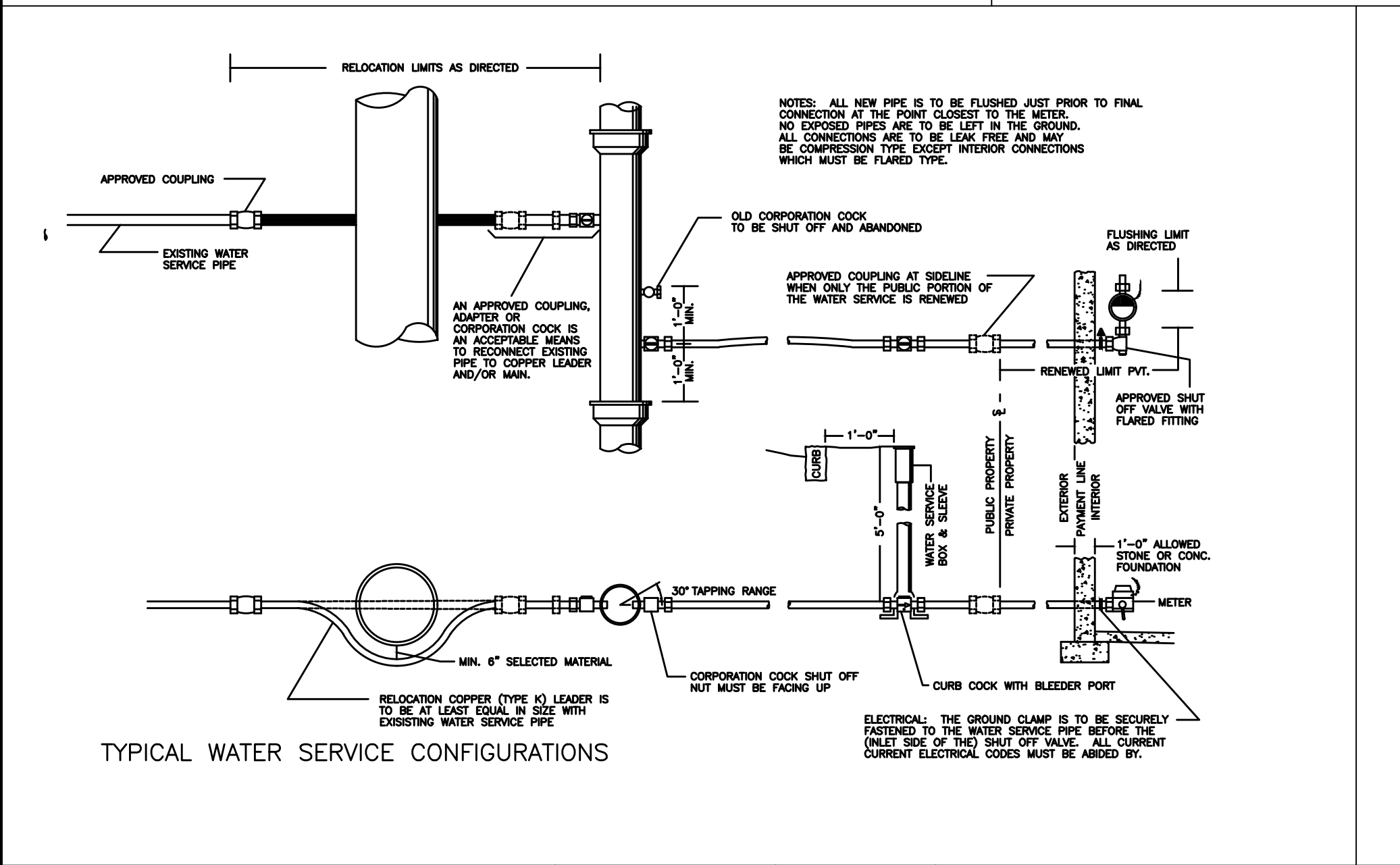
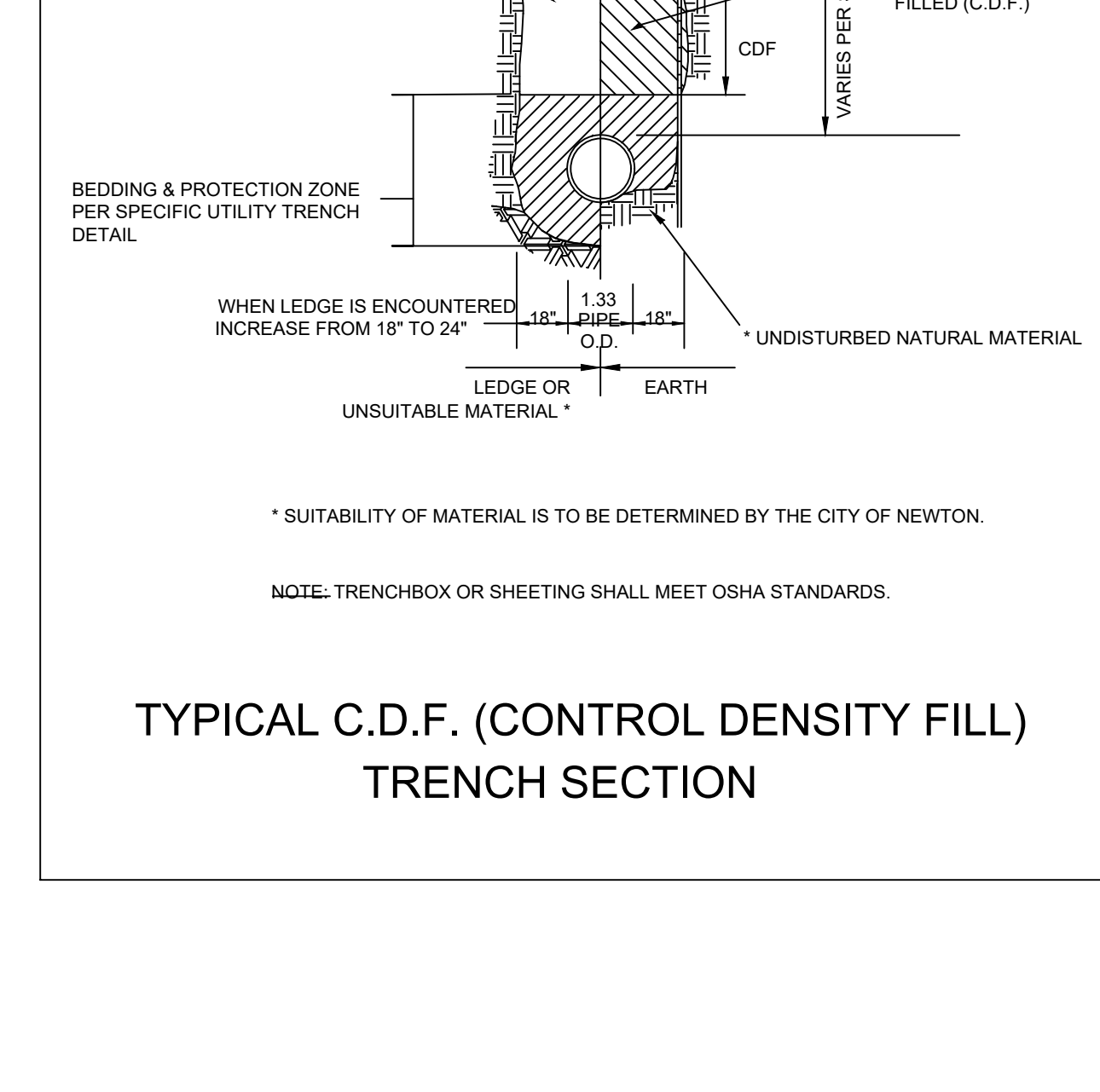
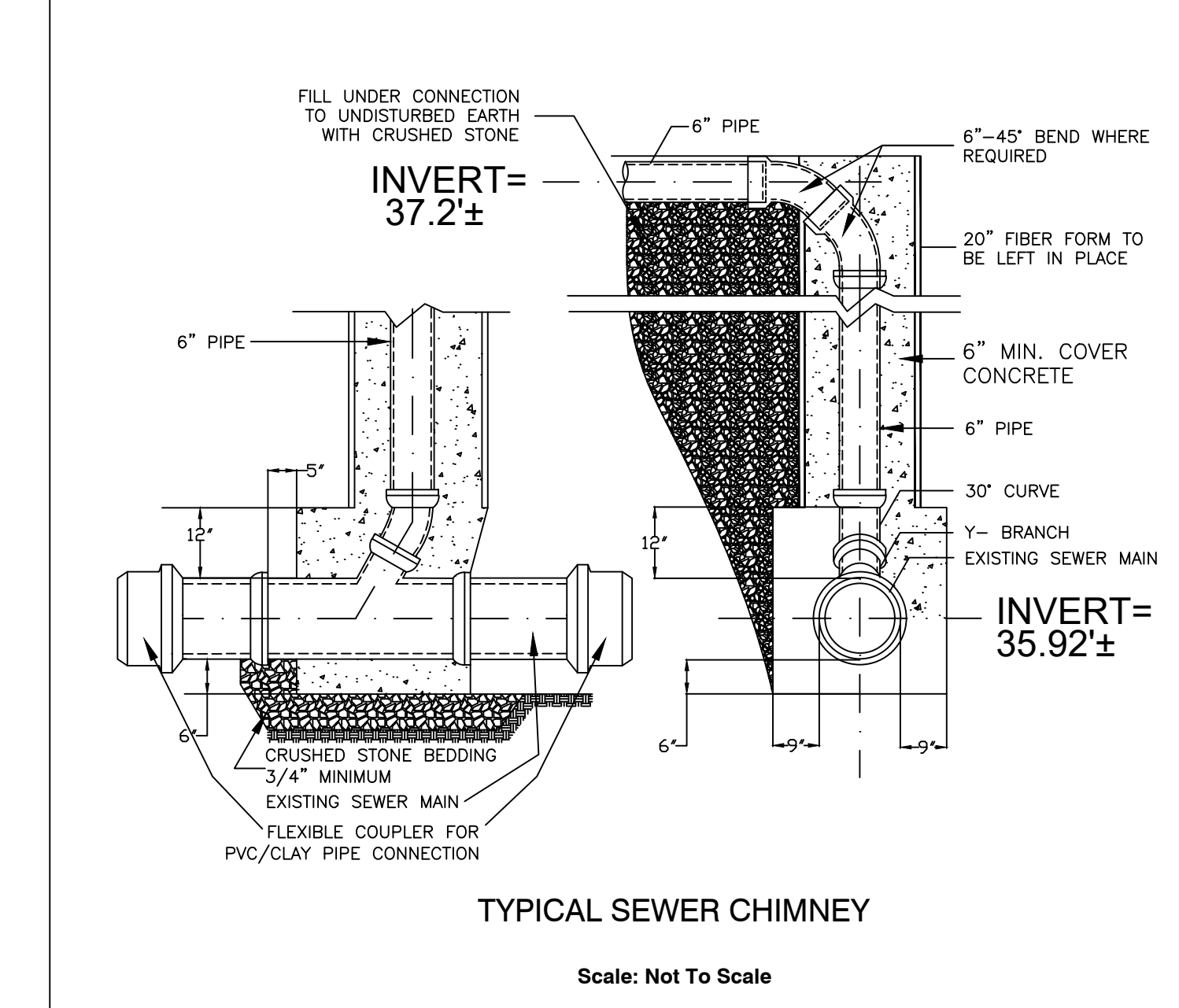
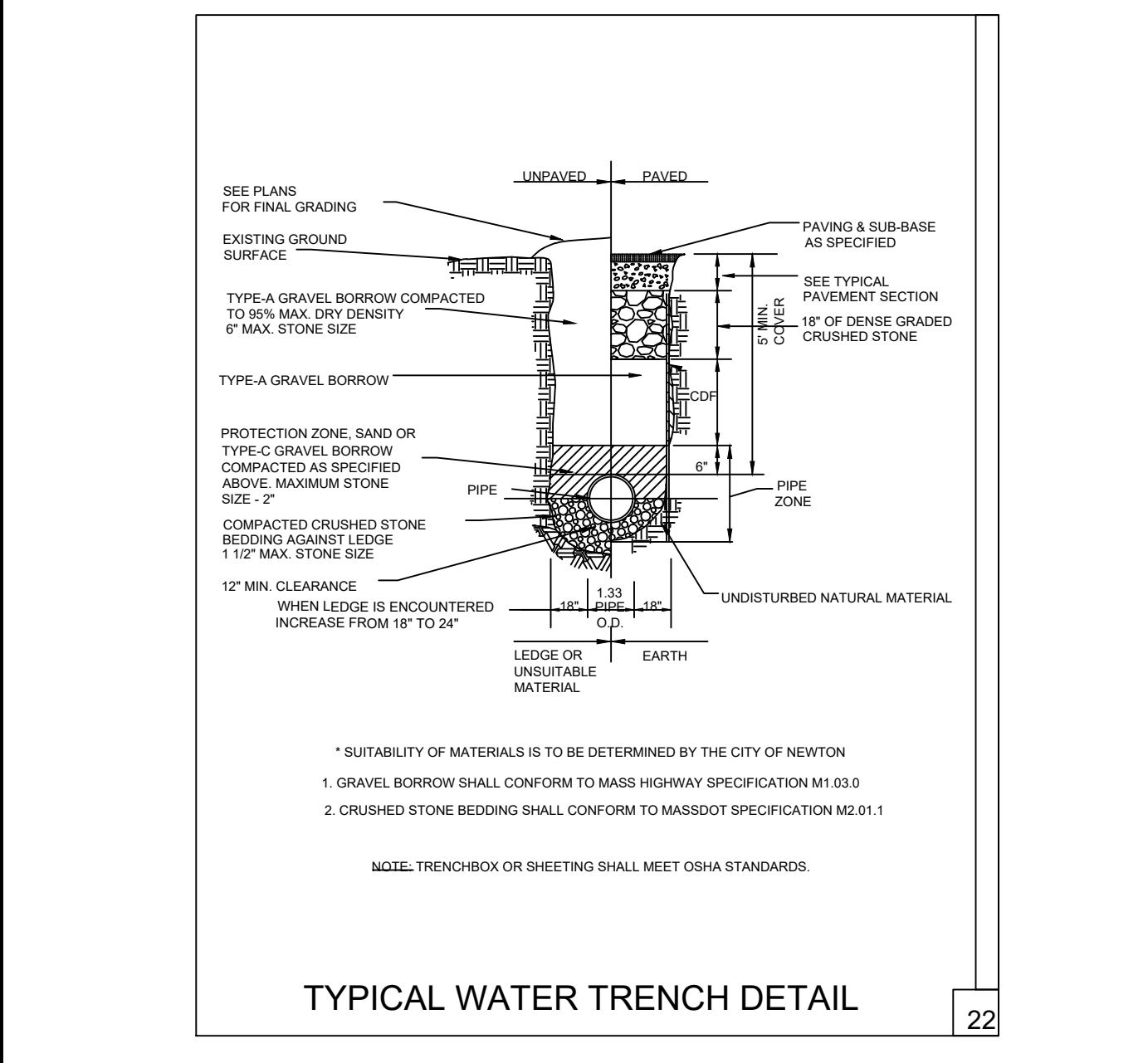
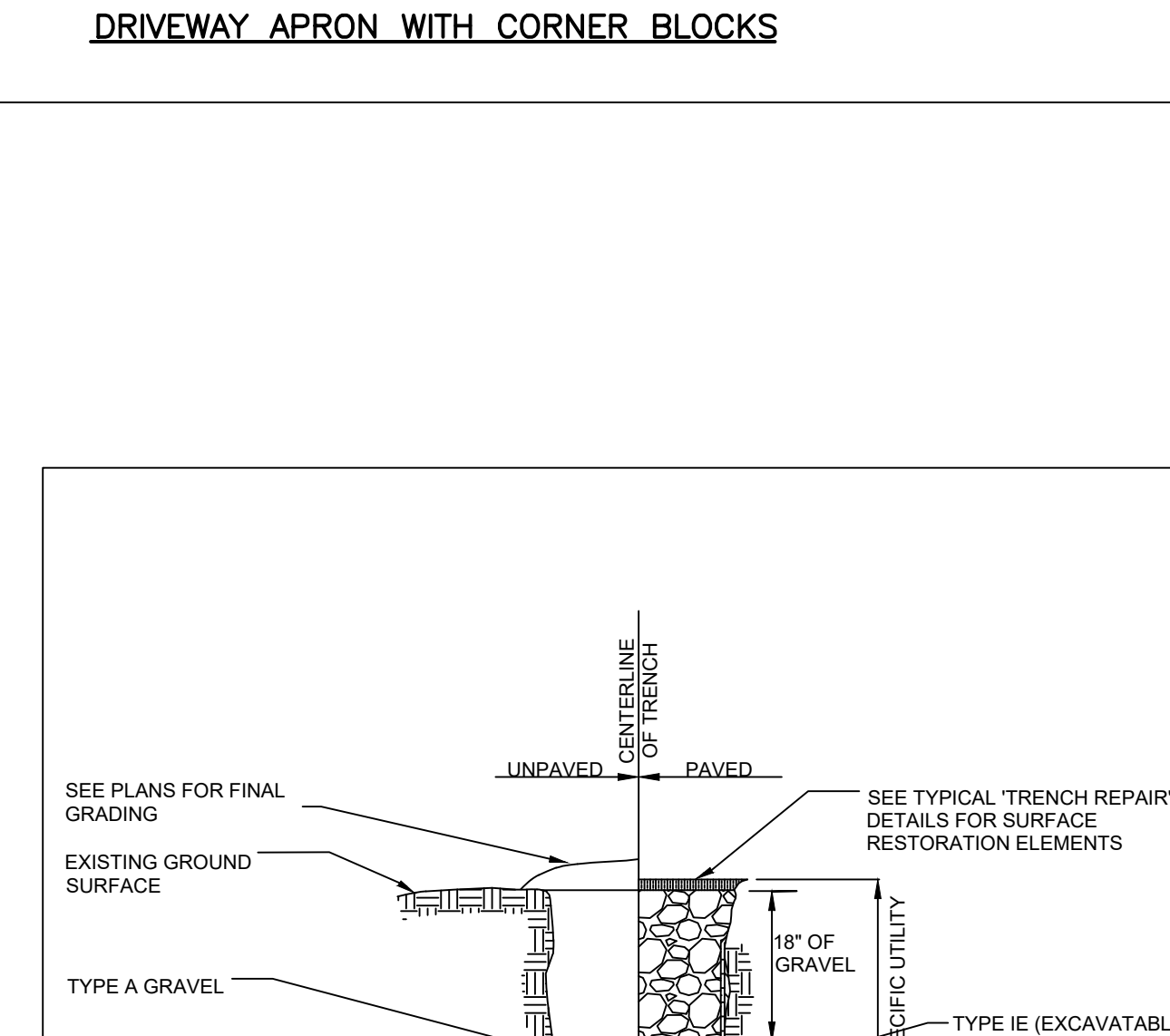
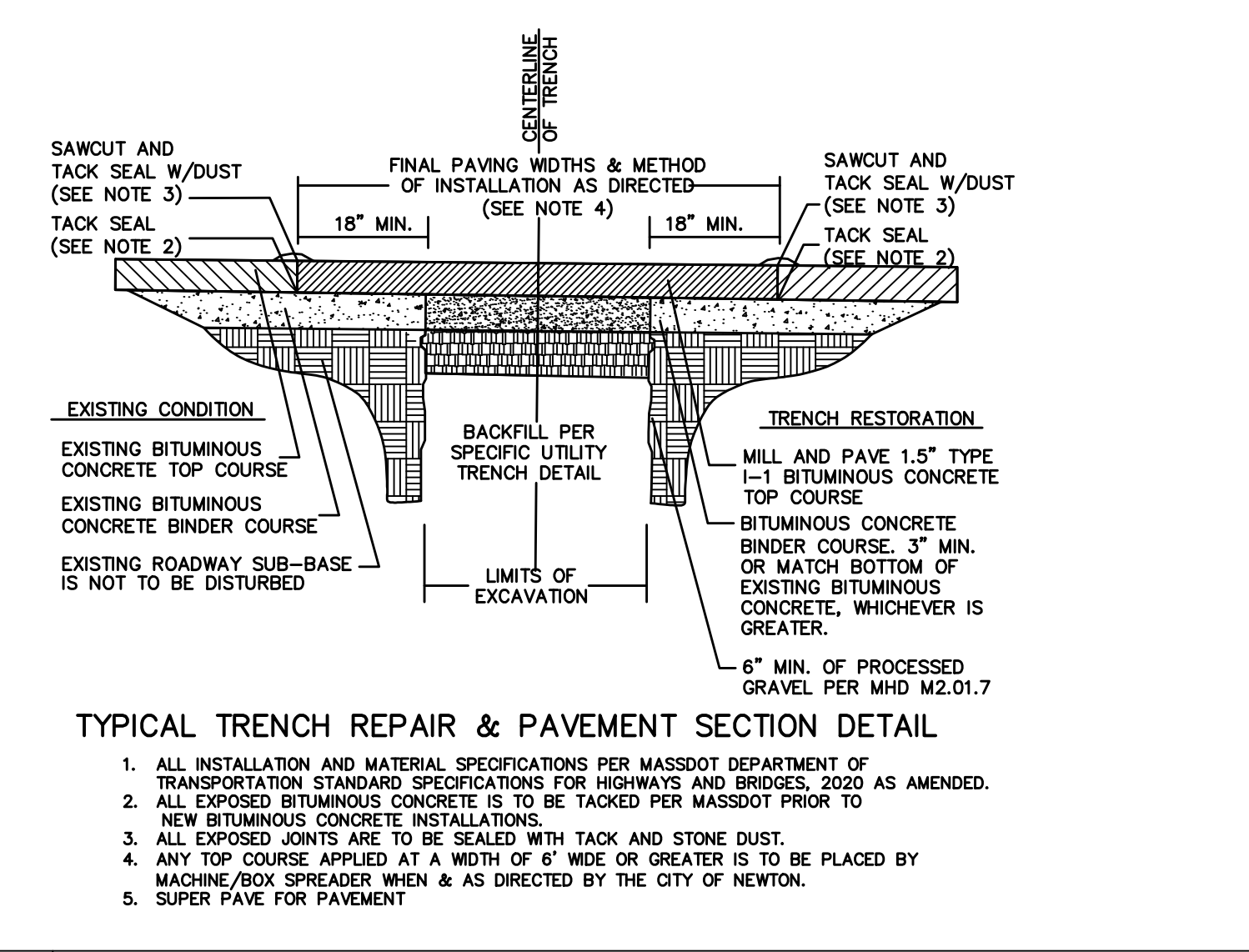
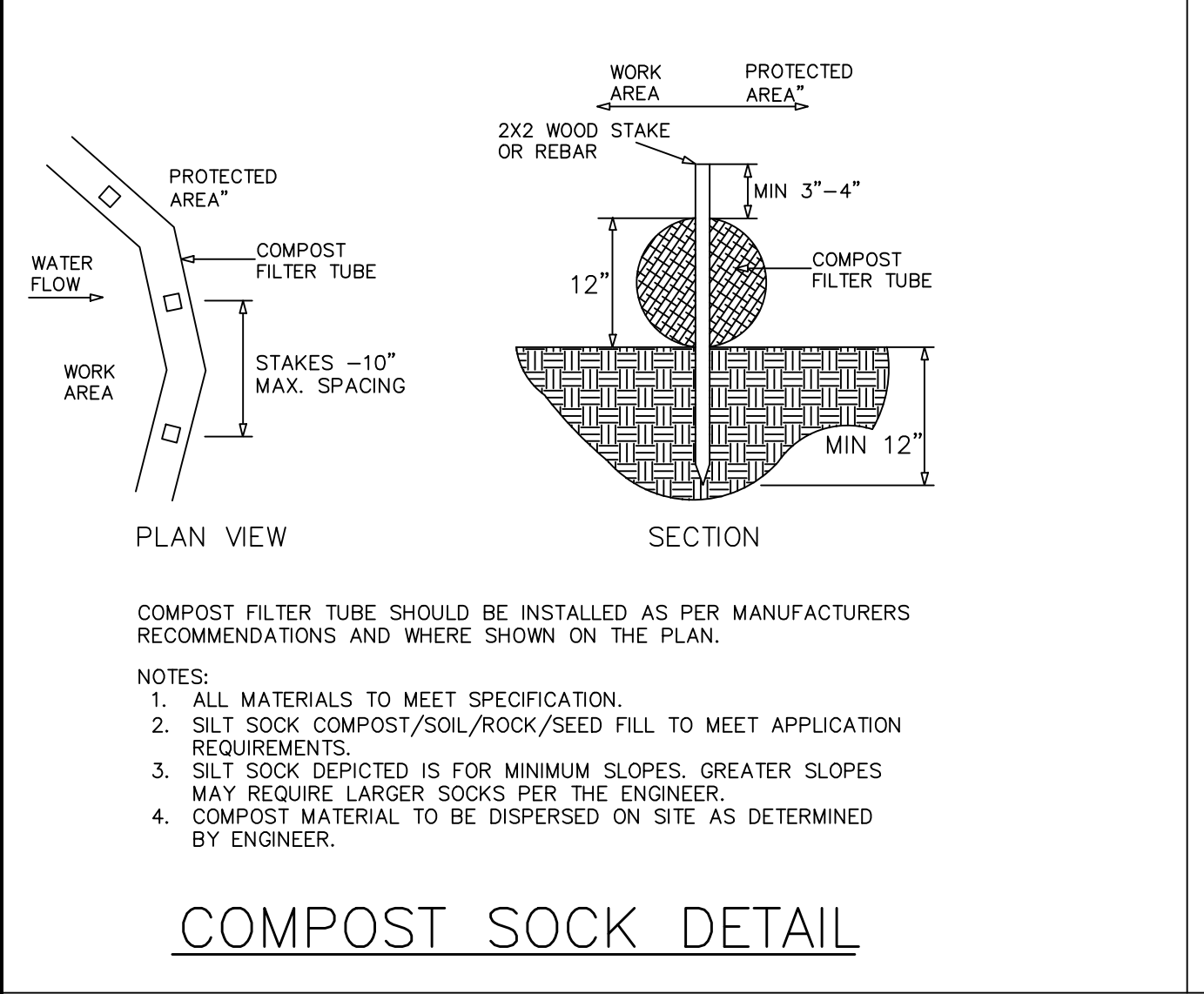
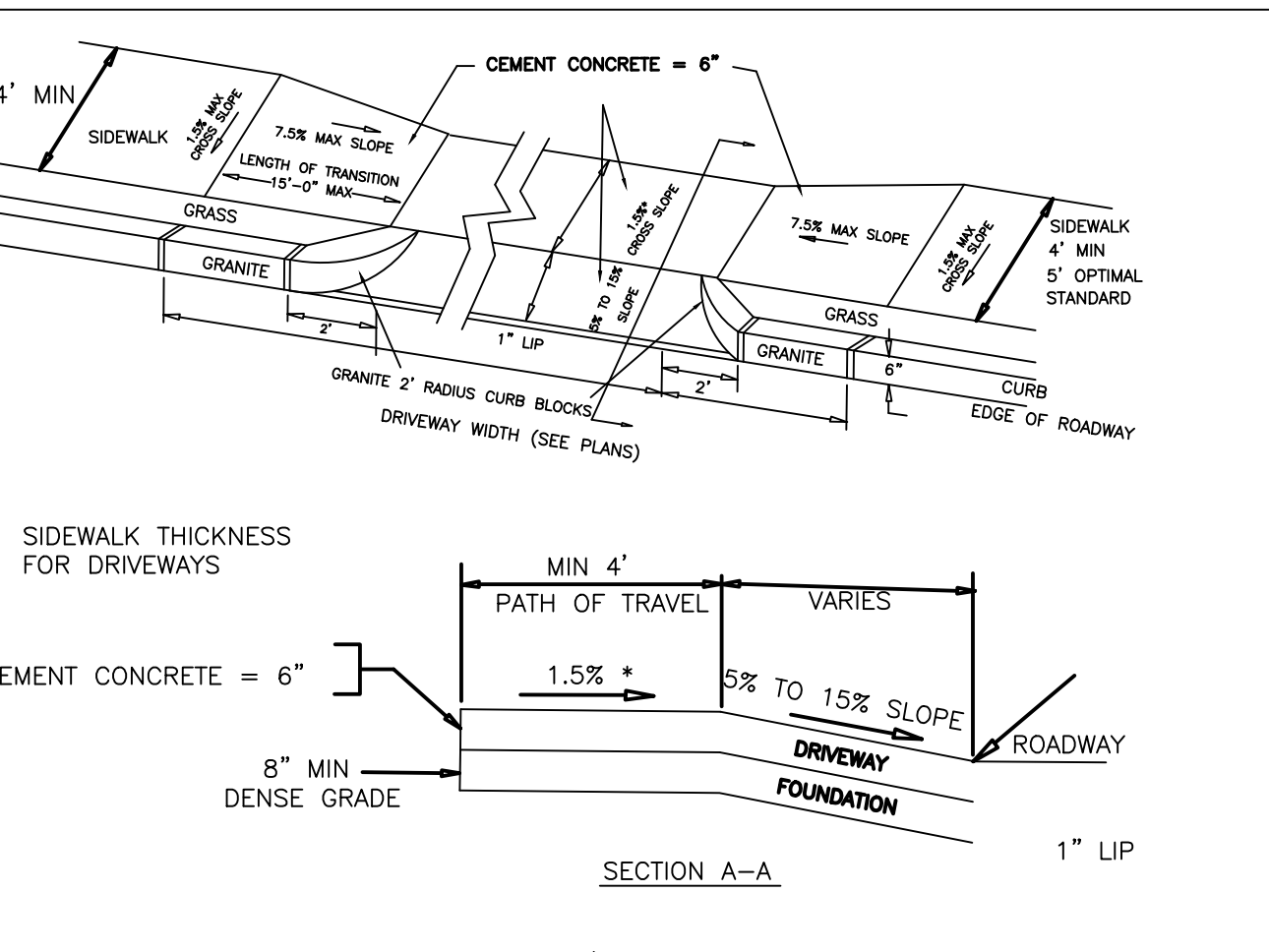
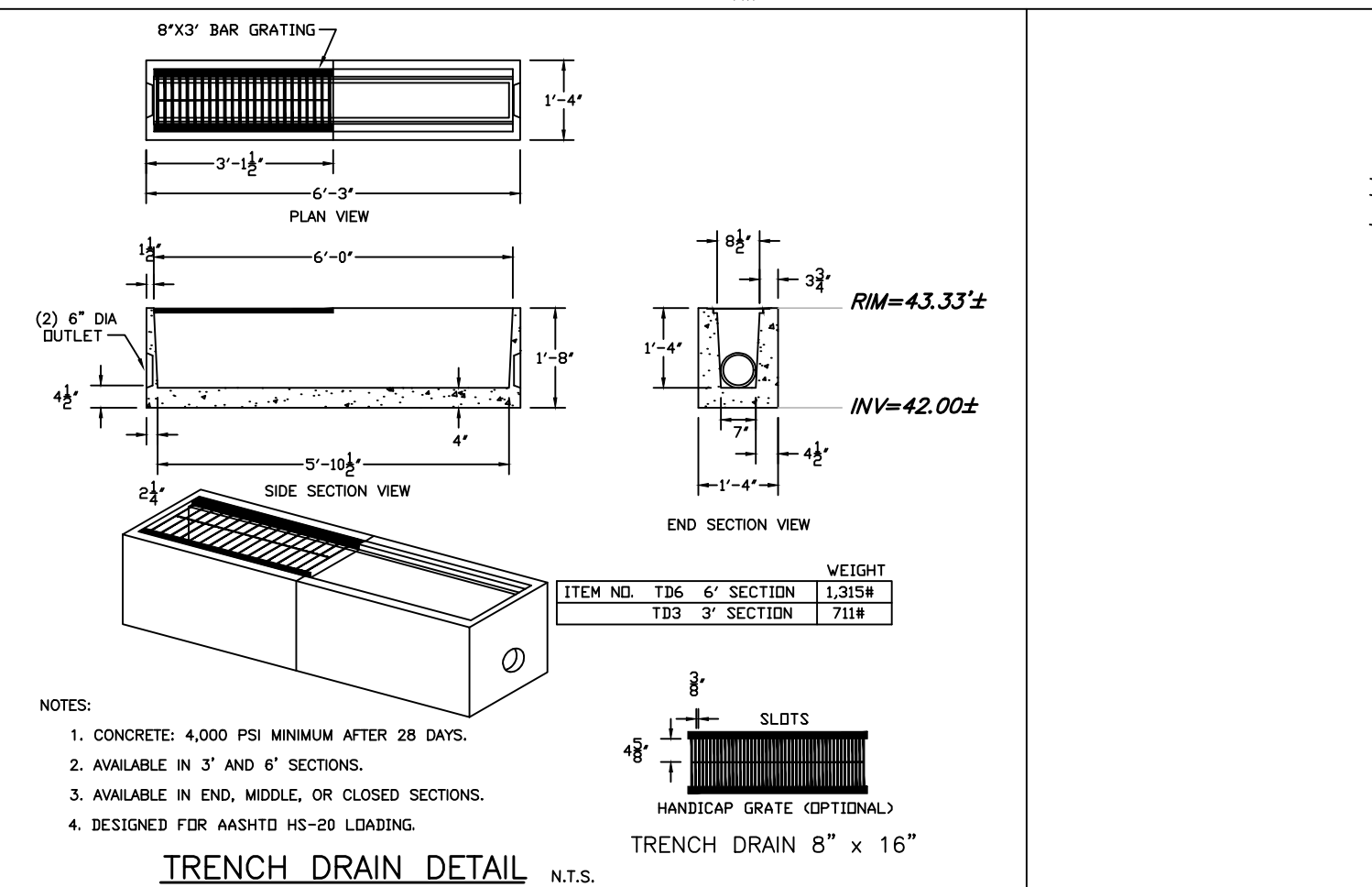
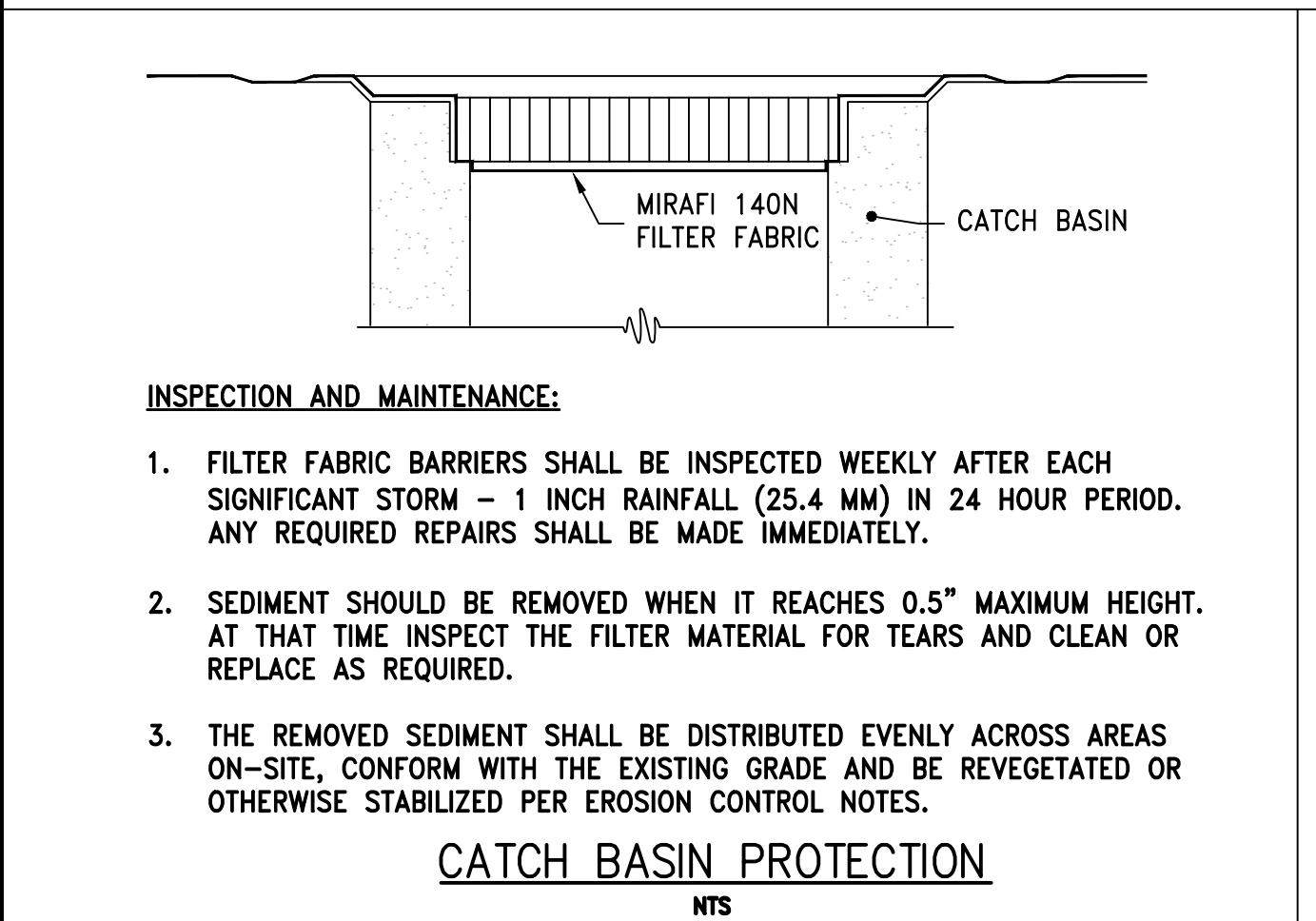
	REQUIRED	PROPOSED
MIN. AREA	7,000 S.F.	16,589.4 S.F.± (MEASURED)
MIN. FRONTAGE	70'	80.0'
MIN. YARD FRONT	25'	28.6'
SIDE	7.5'	7.6' (Left)
REAR	15'	114.8'
MAX. LOT COV.	30%	17.42%
MIN. OPEN SPACE	50%	73.48%
MAX. BLDG. HEIGHT	36'	35.76'±



NOTE: IF WATER AND SEWER LINES MUST CROSS OR ARE WITHIN 10- FEET HORIZONTALLY, THE SEWER PIPE MUST BE ENCASED. THIS REQUIREMENT STANDS UNLESS THE WATER PIPE IS A MINIMUM OF 18-INCHES ABOVE THE SEWER PIPE OR THERE IS A MINIMUM OF A 10-FOOT HORIZONTAL SEPARATION.



AVERAGE GRADE PLANE (ALL UNITS IN FEET)					
SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	35.70	44.4	44.1	44.25	1,579.73
2	41.70	44.1	42.5	43.30	1,805.61
3	43.40	42.4	41.5	41.95	1,820.63
4	32.20	41.5	40.4	40.95	1,318.59
5	43.40	40.2	42.8	41.50	1,801.10
6	40.20	42.8	44.1	43.45	1,746.69
SUM =	236.60				10,072.35
SUM OF MEAN x LENGTH / SUM OF LENGTHS =					42.57



REVISION BLOCK		
BY	DESCRIPTION	DATE
OG	FOOTPRINT AND CALC. REVISED	9/27/22
OG	MITIGATION AREA REVISED	9/27/22
OG	BOUNDS AND COMPOST SOCK ADDED	10/4/22
OG	REVISED AS PER CITY COMMENTS	12/12/22
OG	ESHGWT REVISED	12/14/22
HMS	REVISED AS PER CITY COMMENTS	01/19/23
OG	REVISED AS PER CITY COMMENTS	01/27/23
OG	REVISED AS PER CITY COMMENTS	06/15/23
OG	REVISED AS PER CLIENT COMMENTS	07/24/23

SCALE	DATE
1"=10'	8/30/2022

SHEET: 4

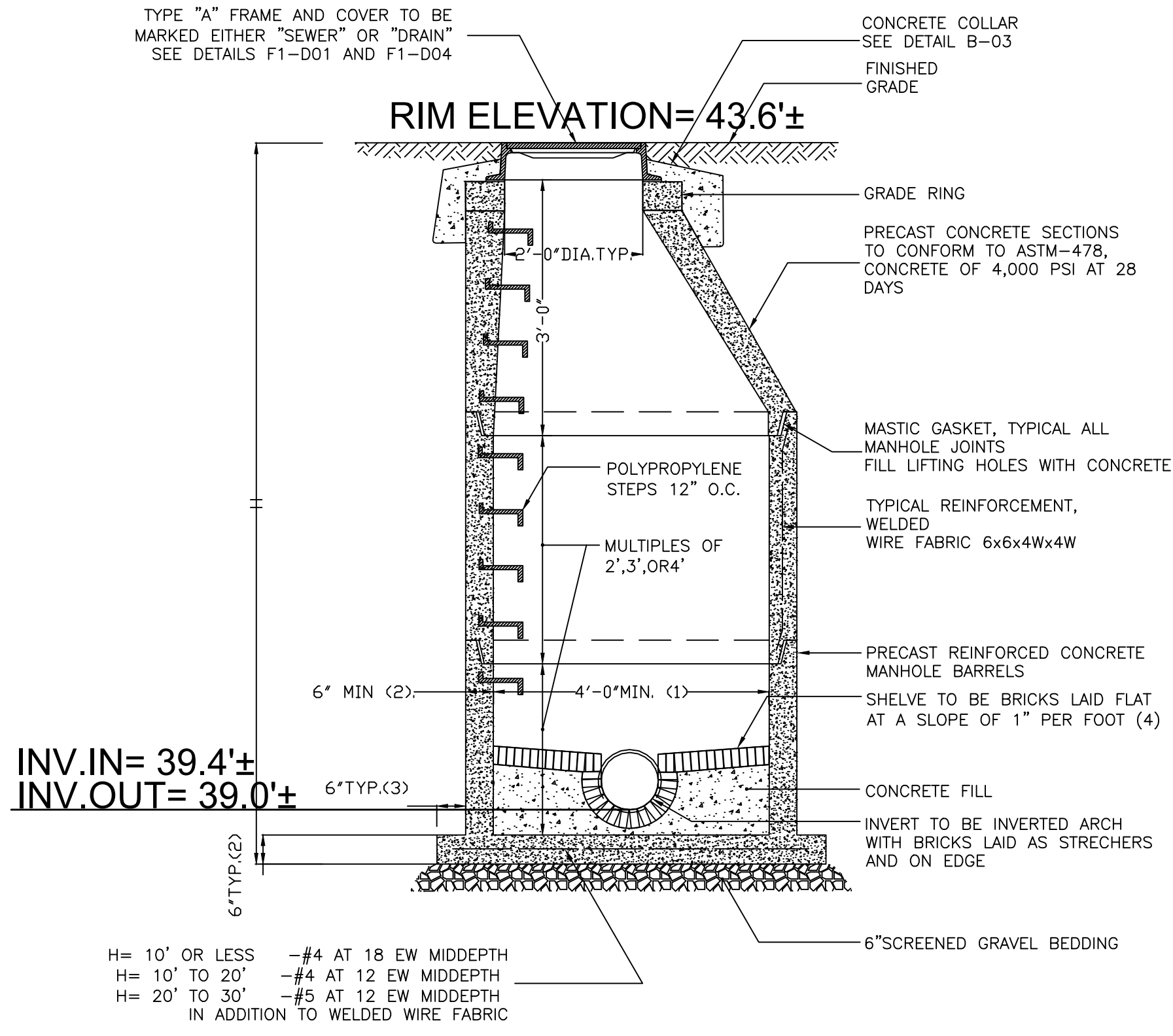
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NEWTON,
MASSACHUSETTS

DETAILS

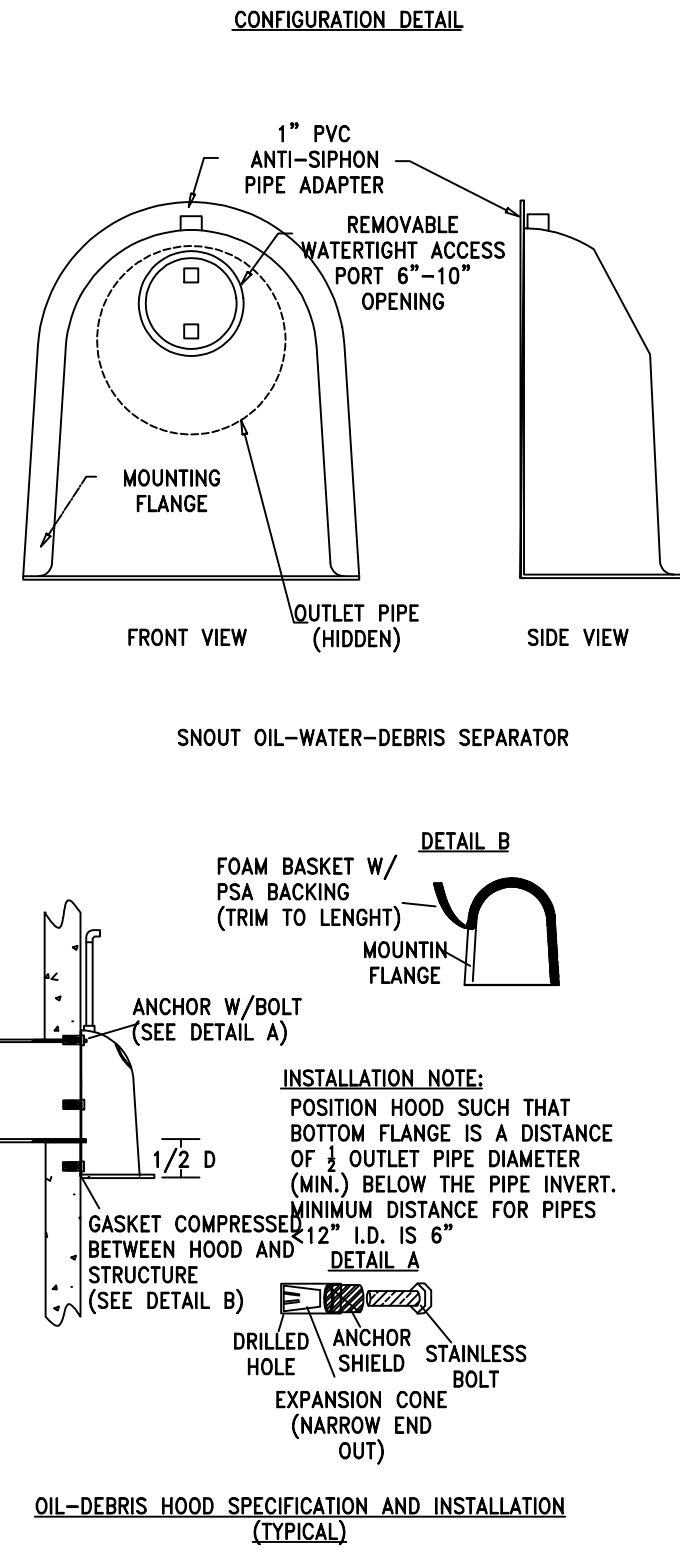
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TYPICAL PRECAST CONCRETE MANHOLE

Scale: Not To Scale

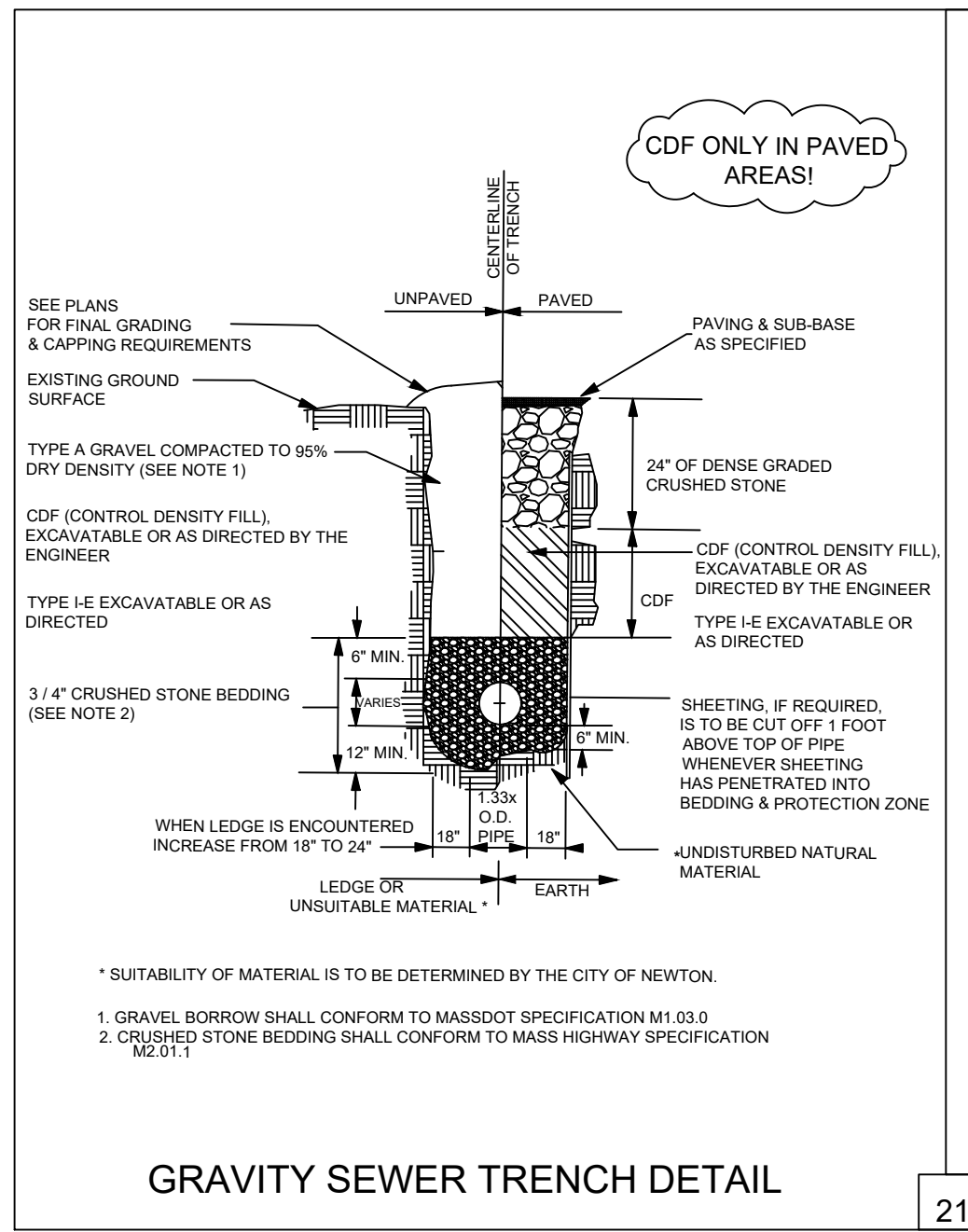


DEEP SUMP CATCH BASIN WITH DEBRIS COLLECTOR DETAIL

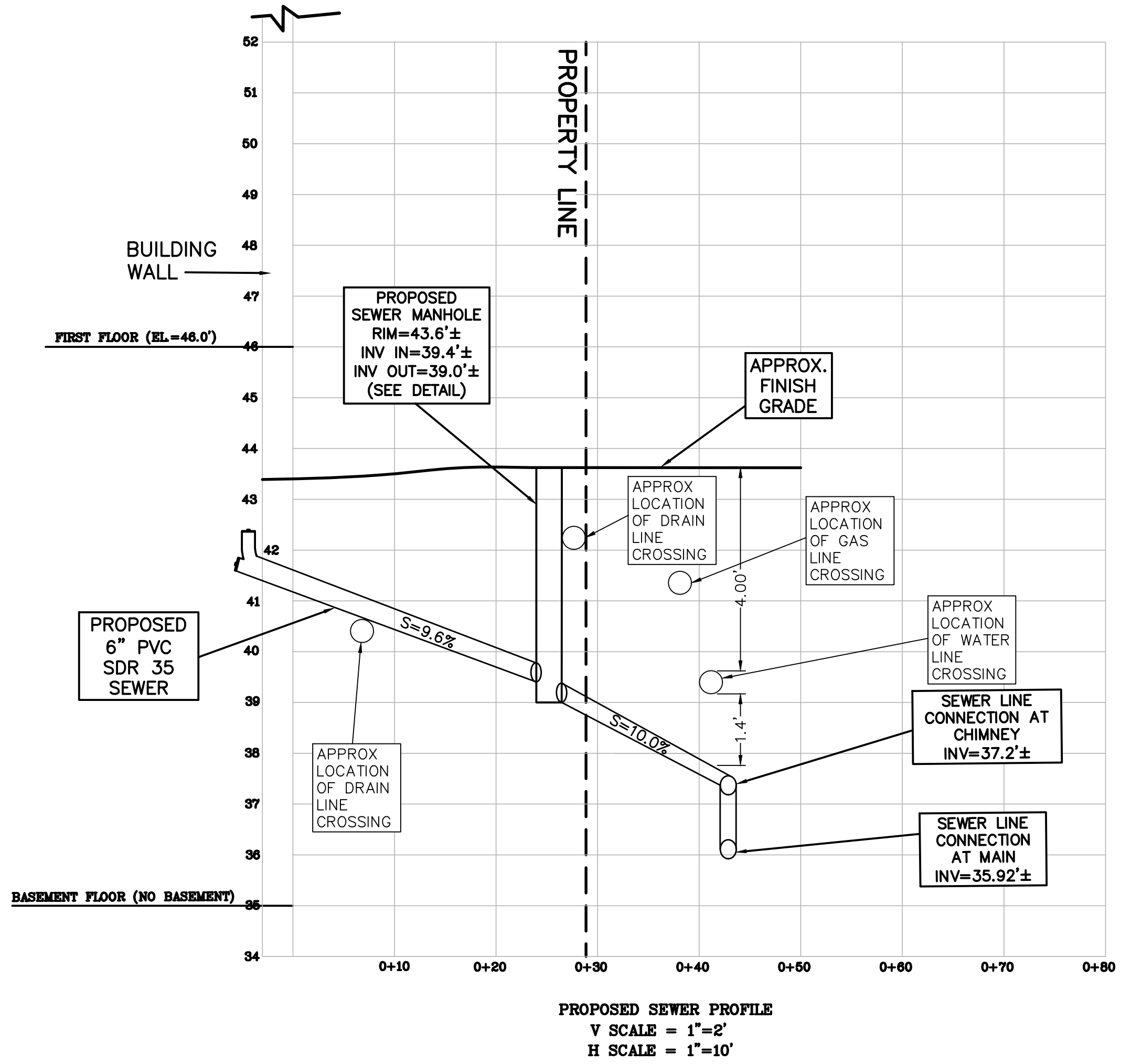
NOTES:

- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <math>< 12</math>\" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION SHALL INCLUDE:
 - INSTALLATION INSTRUCTIONS
 - PVC ANTI-SIPHON VENT PIPE AND ADAPTER
 - OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
 - 3/8" STAINLESS STEEL BOLTS
 - ANCHOR SHIELDS

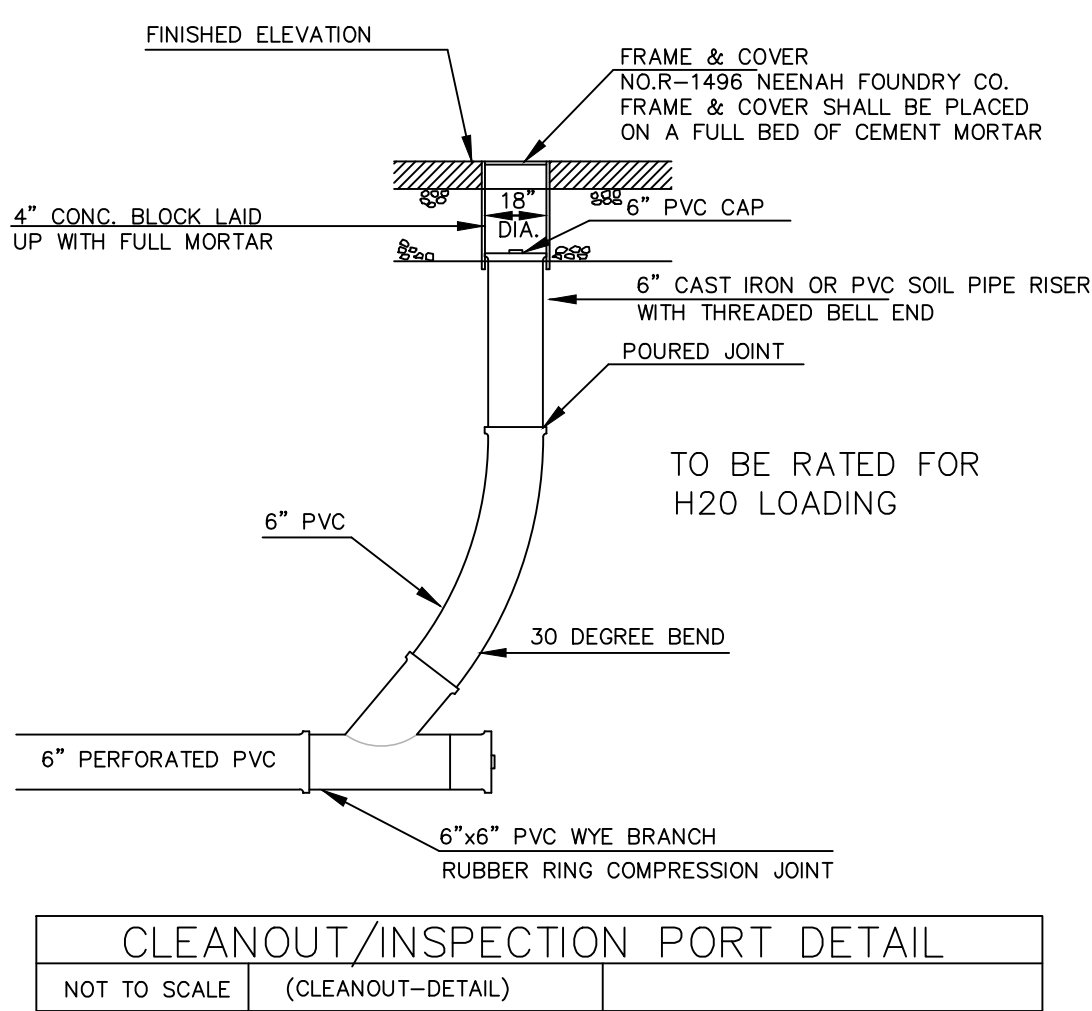
US PATENT # 6126817



GRAVITY SEWER TRENCH DETAIL



PROPOSED SEWER PROFILE
V SCALE = 1"=2'
H SCALE = 1"=10'



CLEANOUT/INSPECTION PORT DETAIL

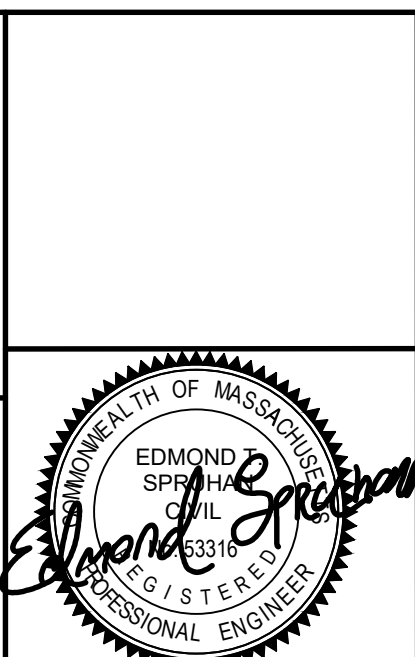
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OG	REVISED AS PER CITY COMMENTS	06/15/23
OG	REVISED AS PER CLIENT COMMENTS	07/24/23

SCALE	1"=10'
DATE	8/30/2022
DRAWN BY	O.G.
CHECKED BY	P.N.
APPROVED BY	E.S.
SHEET	5
PLAN NO.	5 OF 5
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