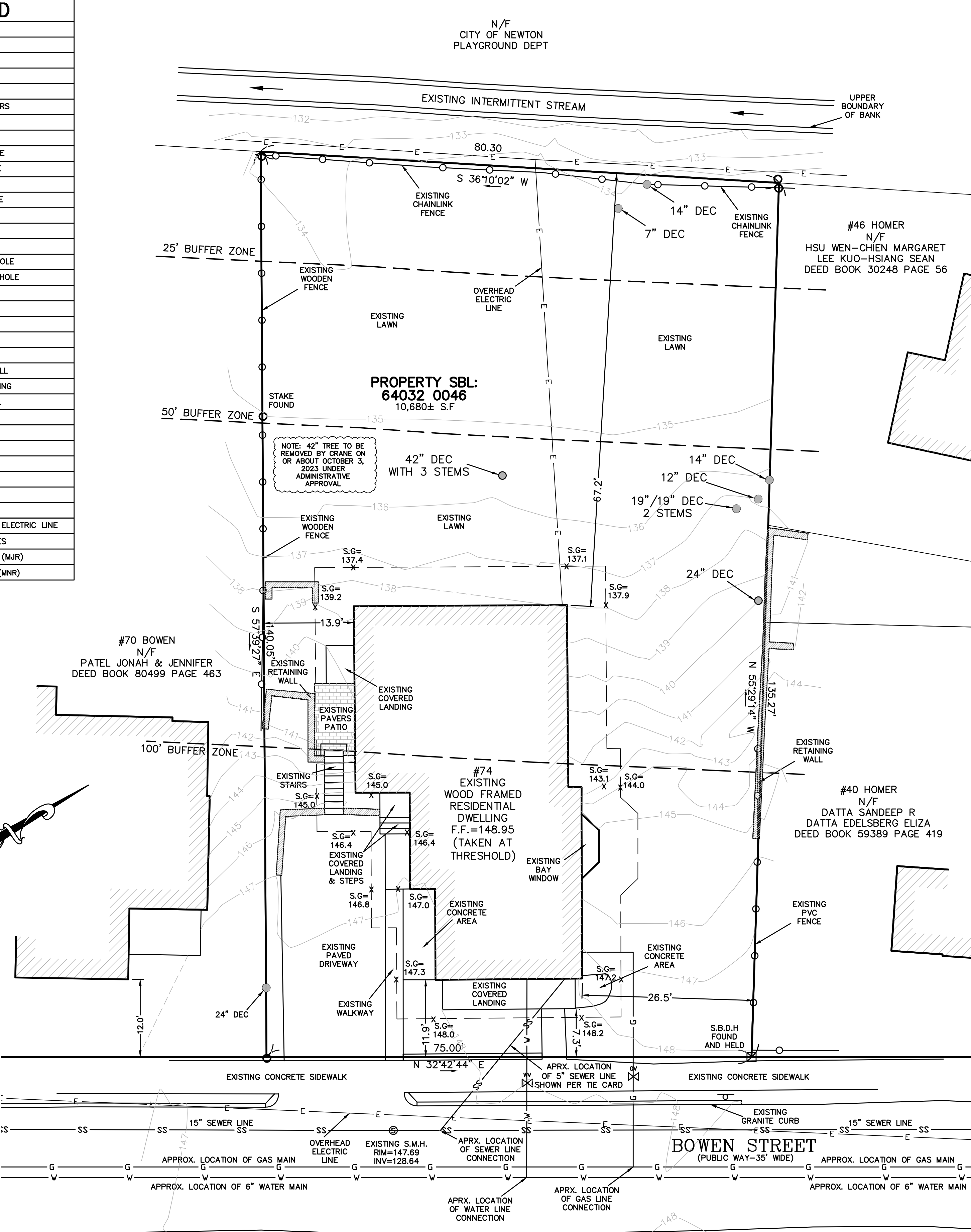


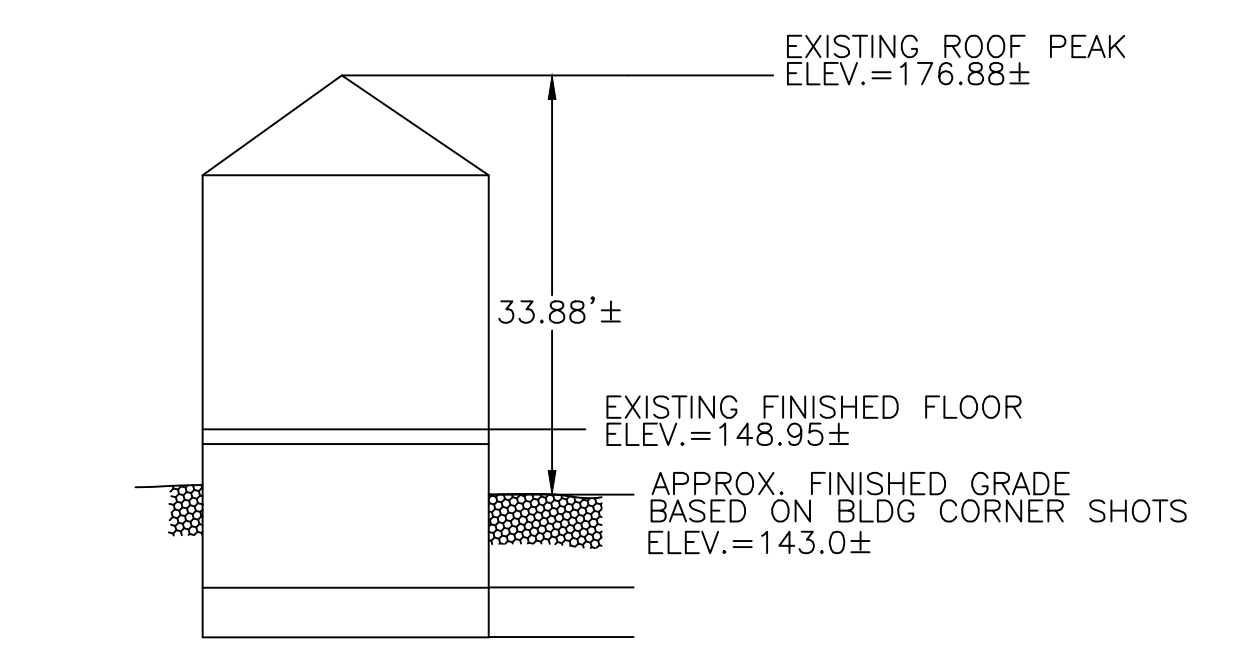
**LEGEND**

	BOUND
	IRON PIN/PIPE
	STONE POST
	TREE
	TREE STUMP
	SHRUBS/FLOWERS
	SIGN
	BOLLARD
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCH BASIN
	WATER MANHOLE
	WATER VALVE
	HYDRANT
	GAS VALVE
	ELECTRIC MANHOLE
	ELECTRIC HANDHOLE
	UTILITY POLE
	LIGHT POLE
	MANHOLE
	SPOT GRADE
	TOP OF WALL
	BOTTOM OF WALL
	EXISTING BUILDING
	RETAINING WALL
	STONE WALL
	FENCE
	TREE LINE
	SEWER LINE
	DRAIN LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRES
	CONTOUR LINE (MJR)
	CONTOUR LINE (MNR)



**NOTES:**

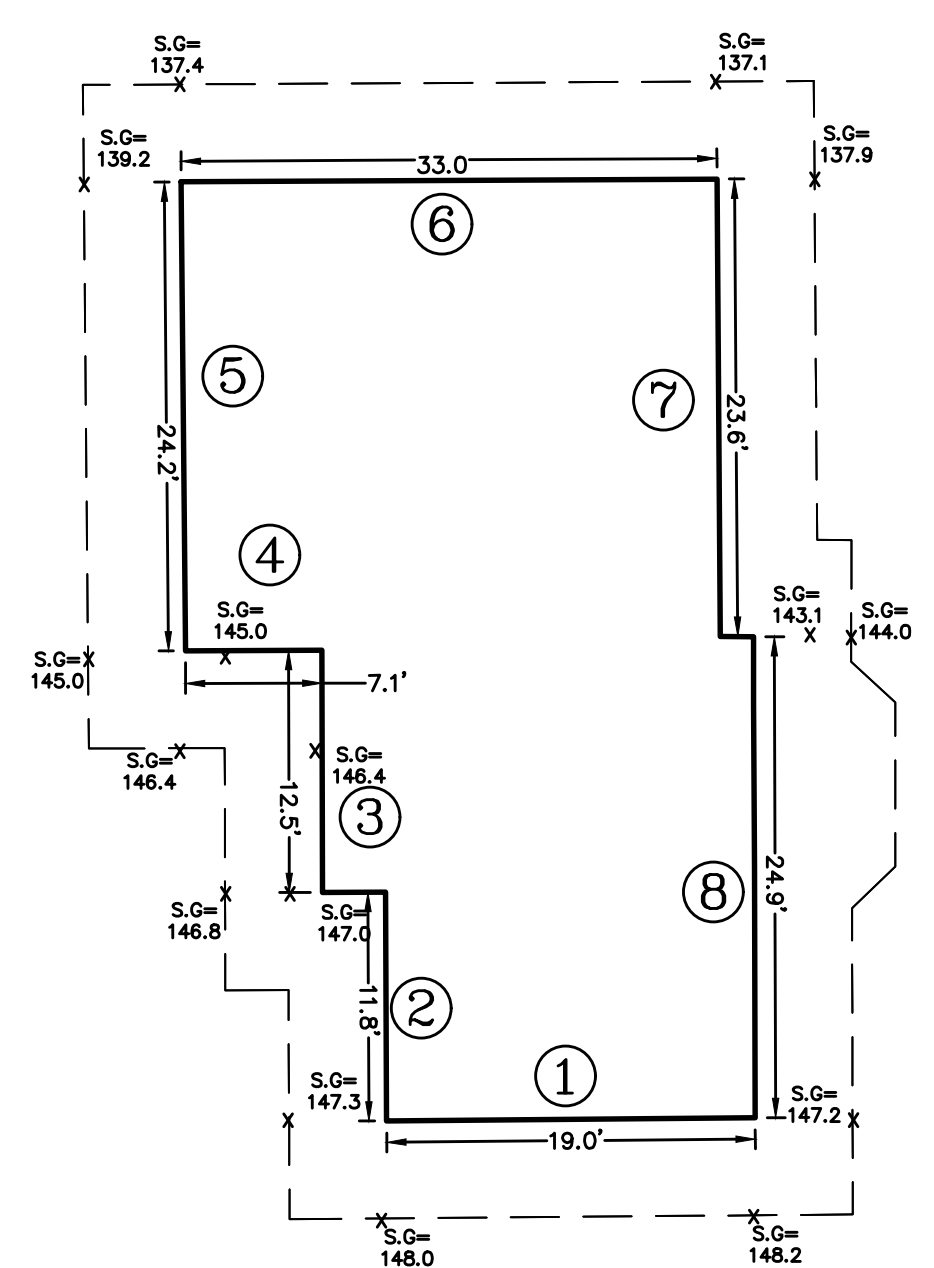
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 6/11/2023.
2. DEED REFERENCE: BOOK 81554, PAGE 334  
PLAN REFERENCE: END OF BOOK 2318, DATED OCTOBER 22, 1894  
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN OTHER AREAS: ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0554E, IN COMMUNITY NUMBER: 250208, DATED 7/17/2012.
5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF NEWTON DATUM
9. ZONING INFORMATION: SR-2, SINGLE RESIDENCE 2, LOT CREATED BEFORE 1953



**EXISTING PROFILE  
NOT TO SCALE**

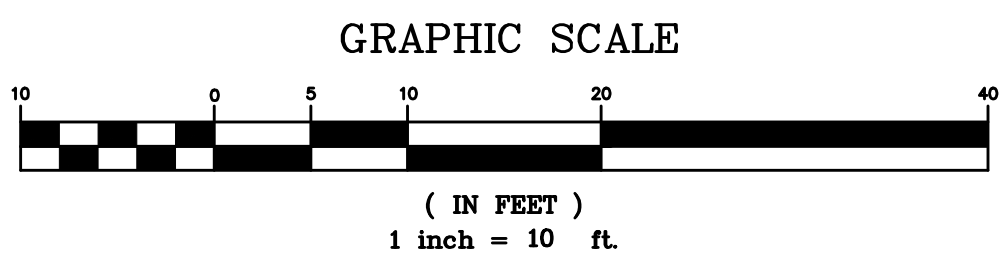
PRIOR ADMINISTRATIVE APPROVALS NOT SUBJECT TO REQUEST FOR DETERMINATION:

1. APPROVAL WAS GRANTED TO HAIM SENIOR ON JUNE 20, 2023 FOR MAINTAINING AND REPAIRING THE EXISTING STRUCTURE. NO FILLING, GRADING, OR LANDSCAPING IS ALLOWED UNDER THE APPROVAL. WORK WAS LIMITED TO ROOF, SIDING, WINDOW, AND DOOR REPLACEMENT. NO WORK IS ALLOWED BEYOND LOW DETAILED IN ORDER AND NO REAR VEHICLE ACCESS ALLOWED.
2. APPROVAL WAS GRANTED TO HAIM SENIOR ON JULY 7, 2023 TO REMOVE THE 42" TREE LOCATED TO THE REAR (NORTHWEST) OF HOUSE. THREE NATIVE CANOPY TREES ARE REQUIRED TO BE PLANTED IN THE 100' BUFFER ZONE ON THE SITE. PHOTOGRAPHS OF THE REQUIRED SAPLINGS MUST BE PROVIDED BY SEPTEMBER 30, 2023 TO AVOID ENFORCEMENT.



**AVERAGE GRADE PLANE (ALL UNITS IN FEET)**

SEGMENT	LEGNTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	19.00	148.20	148.00	148.10	2,813.90
2	11.80	147.30	147.00	147.15	1,736.37
3	12.50	146.80	145.00	145.90	1,823.75
4	7.10	146.40	146.40	146.40	1,039.44
5	24.20	145.00	139.20	142.10	3,438.82
6	33.00	137.40	137.10	137.25	4,529.25
7	23.60	137.90	143.10	140.50	3,315.80
8	24.90	144.00	147.20	145.60	3,625.44
SUM =	156.10				22,322.77
SUM OF MEAN x LENGTH/ SUM OF LENGTHS = AVERAGE GRADE PLANE =					143.00



**Spruhan  
Engineering, P.C.**

80 JEVETT ST, (SUITE 2)  
NEWTON, MA 02458  
Tel: 617-816-0722  
Email: edmond@spruhaneng.com

**74 BOWEN STREET  
NEWTON  
MASSACHUSETTS**

**EXISTING CONDITIONS  
PLAN**

**REVISION BLOCK**

DESCRIPTION	DATE

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of Spruhan Engineering, P.C. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of Spruhan Engineering, P.C.. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and Spruhan Engineering, P.C., must be notified of any variation from the dimensions and conditions shown by these drawings.

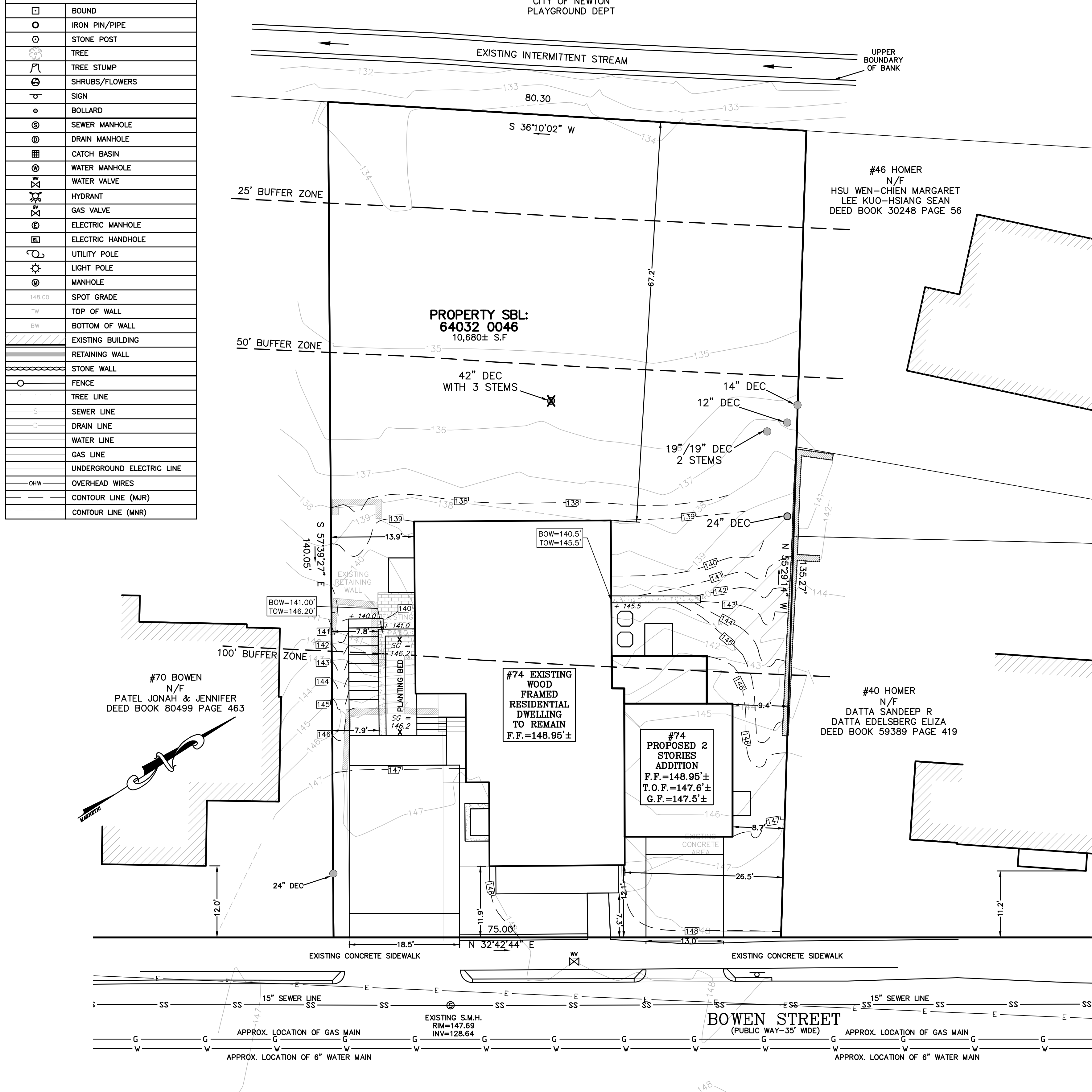


DATE: 9/7/2023  
DRAWN BY: K.K  
CHECKED BY: E.S  
APPROVED BY: C.C

**EXISTING CONDITIONS  
PLAN**

**LEGEND**

□	BOUND
○	IRON PIN/PIPE
○	STONE POST
🌳	TREE
🌳	TREE STUMP
🌿	SHRUBS/FLOWERS
♂	SIGN
•	BOLLARD
⊗	SEWER MANHOLE
⊙	DRAIN MANHOLE
☒	CATCH BASIN
⊖	WATER MANHOLE
🔩	WATER VALVE
⚡	HYDRANT
⚡	GAS VALVE
⊙	ELECTRIC MANHOLE
⊚	ELECTRIC HANDHOLE
🌳	UTILITY POLE
🌳	LIGHT POLE
⊙	MANHOLE
148.00	SPOT GRADE
TW	TOP OF WALL
BTW	BOTTOM OF WALL
▨	EXISTING BUILDING
▩	RETAINING WALL
---	STONE WALL
—○—	FENCE
—	TREE LINE
—S—	SEWER LINE
—D—	DRAIN LINE
—W—	WATER LINE
—G—	GAS LINE
---	UNDERGROUND ELECTRIC LINE
—OHW—	OVERHEAD WIRES
---	CONTOUR LINE (MJR)
---	CONTOUR LINE (MNR)

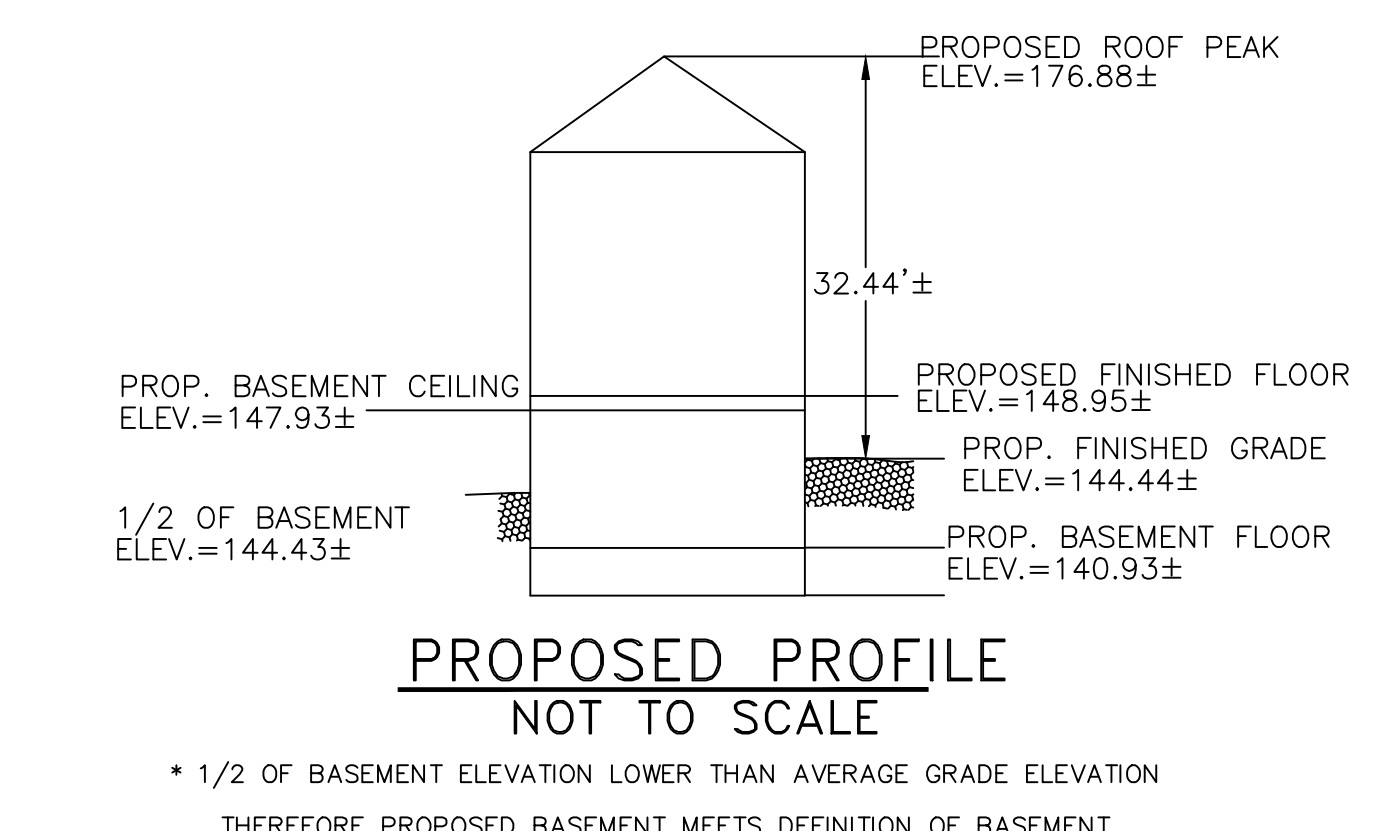
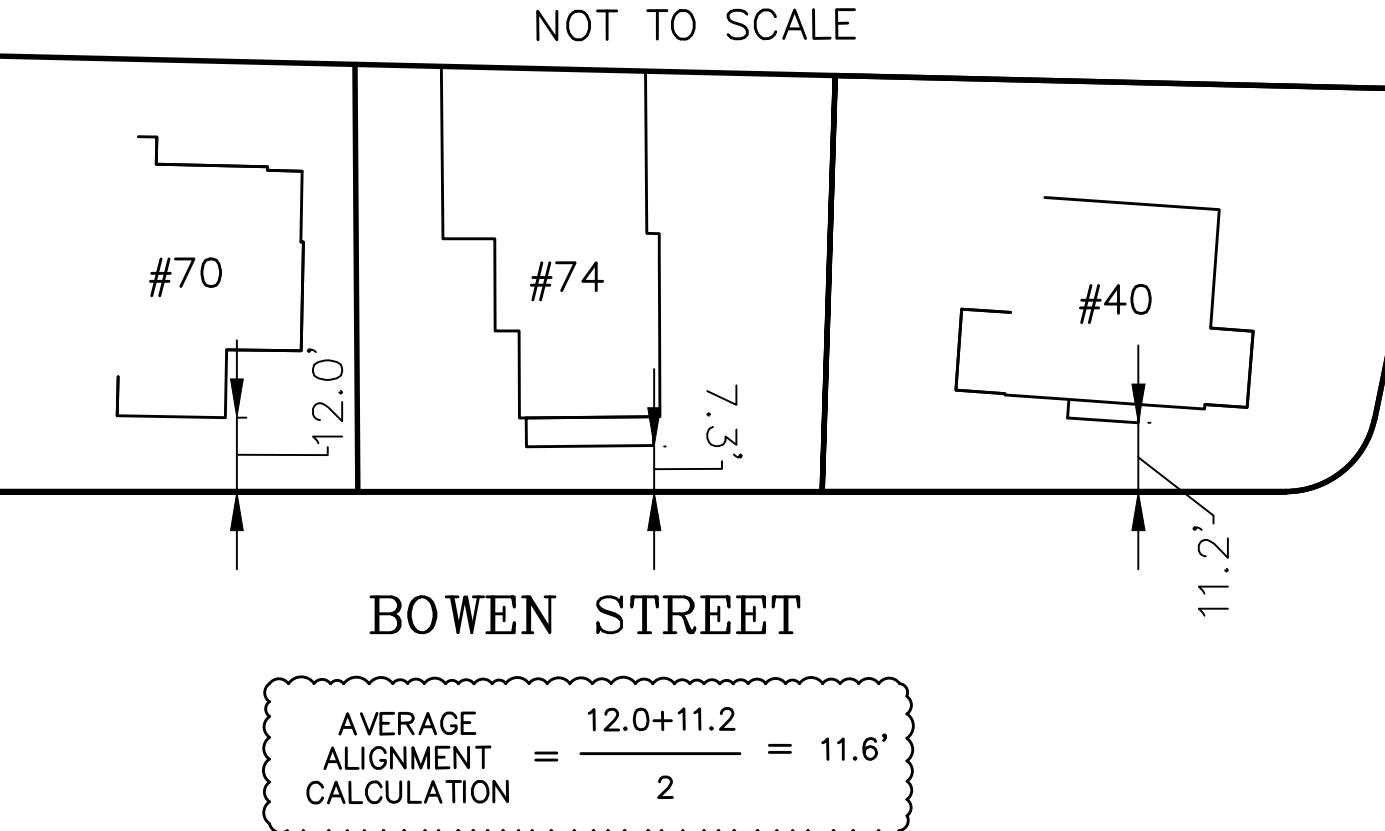


**GRAPHIC SCALE**

( IN FEET )

1 inch = 10 ft.

- NOTES:
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PLAN REFERENCE: END OF BOOK 2318, DATED OCTOBER 22, 1894  
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  - 8. THE ELEVATIONS SHOWN ARE BASED ON CITY OF NEWTON DATUM
  - 9. ZONING INFORMATION: SR-2, SINGLE RESIDENCE 2, LOT CREATED BEFORE 1953



**ZONING LEGEND**

ZONING DISTRICT: SINGLE-RESIDENCE 2 <SR2> (LOT CREATED BEFORE 12/07/1953)

	REQUIRED	EXISTING	PROPOSED	
MIN. AREA	10,000 S.F	10,680± S.F	10,680± S.F	
MAX LOT COVERAGE	30%	17.09%	21.73%	
MIN OPEN SPACE	50%	75.02%	68.37%	
MIN. FRONTAGE	80'	75'	75'	
SETBACKS	FRONT (MIN)	25' (ZONING) 11.6' (AVERAGE)	7.3'	15.2'
	SIDE (MIN.)	7.5'	13.9'	8.7'
	REAR (MIN)	15'	67.2'	67.2'
MAX. BLDG. HEIGHT	36'	34.07'±	32.44'±	



**Spruhan Engineering, P.C.**

80 JEWETT ST. (SUITE 2)  
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Tel: 617-816-0722  
Email: edmond@spruhaneng.com

74 BOWEN STREET  
NEWTON  
MASSACHUSETTS

**CIVIL PLAN**

**REVISION BLOCK**

DESCRIPTION	DATE

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DATE: 09/07/2023

DRAWN BY: O.G

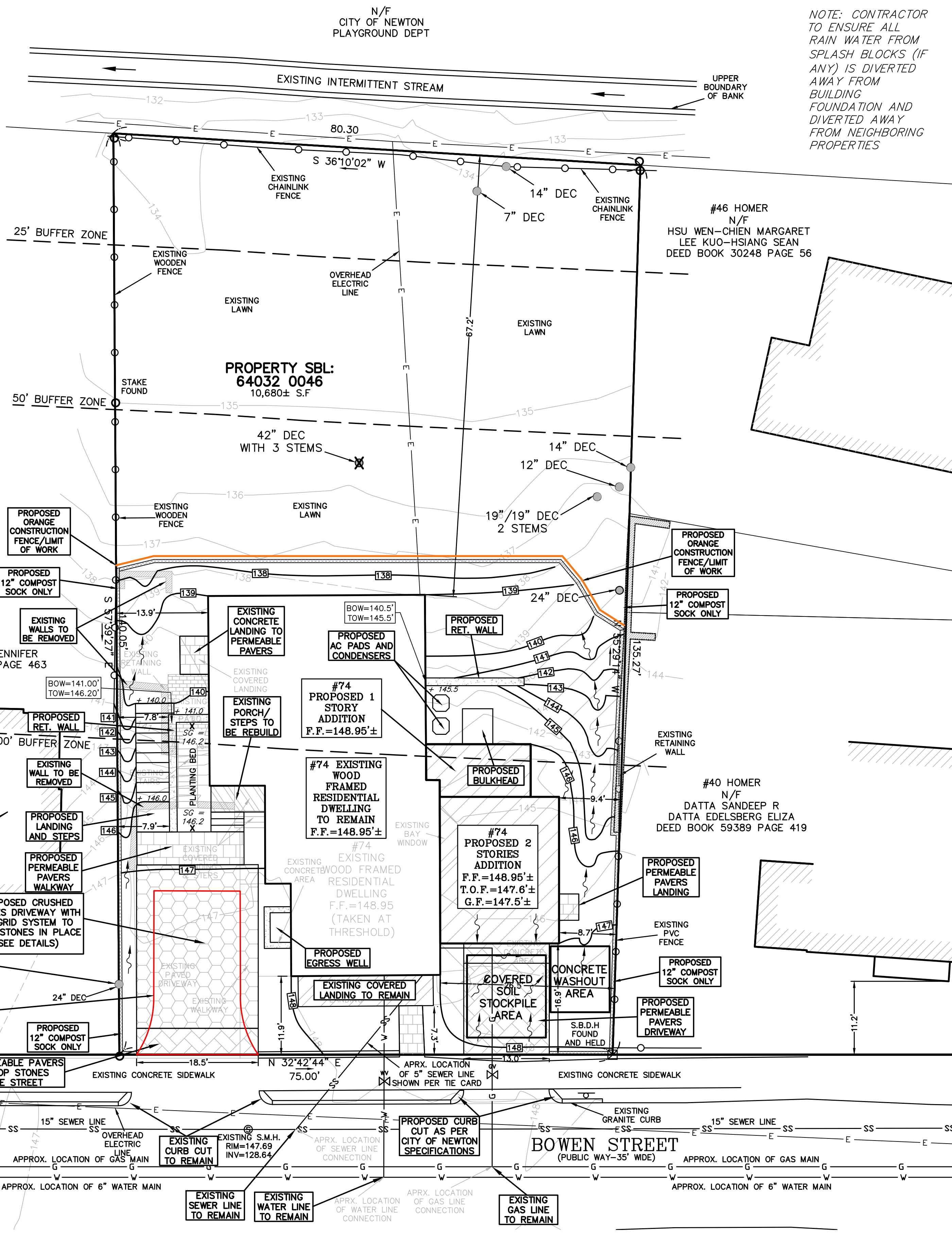
CHECKED BY: C.C

APPROVED BY: E.S

**PROPOSED ZONING, LAYOUT AND MATERIALS**



LEGEND	
□	BOUND
○	IRON PIN/PIPE
○	STONE POST
○	TREE
○	TREE STUMP
○	SHRUBS/FLOWERS
○	SIGN
○	BOLLARD
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	CATCH BASIN
○	WATER MANHOLE
○	WATER VALVE
○	HYDRANT
○	GAS VALVE
○	ELECTRIC MANHOLE
○	ELECTRIC HANDHOLE
○	UTILITY POLE
○	LIGHT POLE
○	MANHOLE
○	SPOT GRADE
○	TOP OF WALL
○	BOTTOM OF WALL
○	EXISTING BUILDING
○	RETAINING WALL
○	STONE WALL
○	FENCE
○	TREE LINE
○	SEWER LINE
○	DRAIN LINE
○	WATER LINE
○	GAS LINE
○	UNDERGROUND ELECTRIC LINE
○	OVERHEAD WIRES
○	CONTOUR LINE (MJR)
○	CONTOUR LINE (MNR)



PROPERTY SBL: 64032 0046  
10,680± S.F.

#46 HOMER  
N/F  
HSU WEN-CHIEN MARGARET  
LEE KUO-HSIANG SEAN  
DEED BOOK 30248 PAGE 56

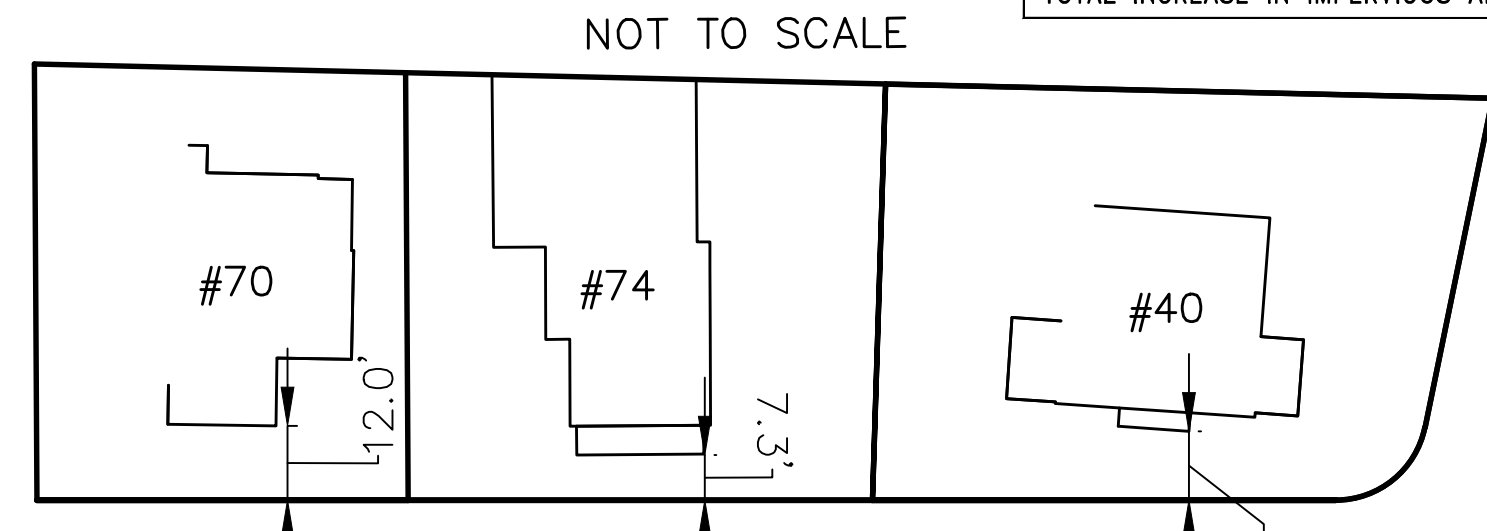
#40 HOMER  
N/F  
DATTA SANDEEP R  
DATTA EDELSBERG ELIZA  
DEED BOOK 59389 PAGE 419

#70 BOWEN  
N/F  
PATEL JONANI & JENNIFER  
DEED BOOK 80499 PAGE 463

NOTE: CONTRACTOR TO ENSURE ALL RAIN WATER FROM SPLASH BLOCKS (IF ANY) IS DIVERTED AWAY FROM BUILDING FOUNDATION AND DIVERTED AWAY FROM NEIGHBORING PROPERTIES

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  - NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
  - THE ELEVATIONS SHOWN ARE BASED ON CITY OF NEWTON DATUM
  - ZONING INFORMATION: SR-2, SINGLE RESIDENCE 2, LOT CREATED BEFORE 1953

DRAINAGE AREA SUMMARY	
EXISTING ROOF =	1,667.02 S.F.
EXISTING COVERED PORCH/LANDING =	138.51 S.F.
EXISTING PAVED DRIVEWAY =	590.18 S.F.
EXISTING WALKWAY =	131.94 S.F.
EXISTING BAY WINDOW =	20.08 S.F.
EXISTING CONCRETE AREA =	99.82 S.F.
EXISTING OPEN LANDING/STEPS =	41.15 S.F.
EXISTING PAVEMENT PATIO =	67.29 S.F.
EXISTING RET. WALL =	111.63 S.F.
EXISTING LANDSCAPE AREA =	7,812.38 S.F.
PROPOSED ROOF =	2,192.63 S.F.
PROPOSED COVERED PORCH/LANDING =	128.26 S.F.
PROPOSED PAVED DRIVEWAY =	293.70 S.F.
PROPOSED GRAVEL DRIVEWAY =	459.94 S.F.
PROPOSED PAVEMENT WALKWAY =	108.90 S.F.
PROPOSED OPEN LANDING/STEPS =	151.48 S.F.
PROPOSED EGRESS WELL =	25.75 S.F.
PROPOSED BULKHEAD =	24.96 S.F.
PROPOSED RET. WALL =	101.20 S.F.
PROPOSED LANDSCAPE AREA =	7,193.18 S.F.
TOTAL EXISTING IMPERVIOUS AREA =	2,867.62 S.F.
TOTAL PROPOSED IMPERVIOUS AREA =	3,026.88 S.F.
TOTAL INCREASE IN IMPERVIOUS AREA =	159.26 S.F.



BOWEN STREET

AVERAGE ALIGNMENT =  $\frac{12.0 + 11.2}{2} = 11.6'$

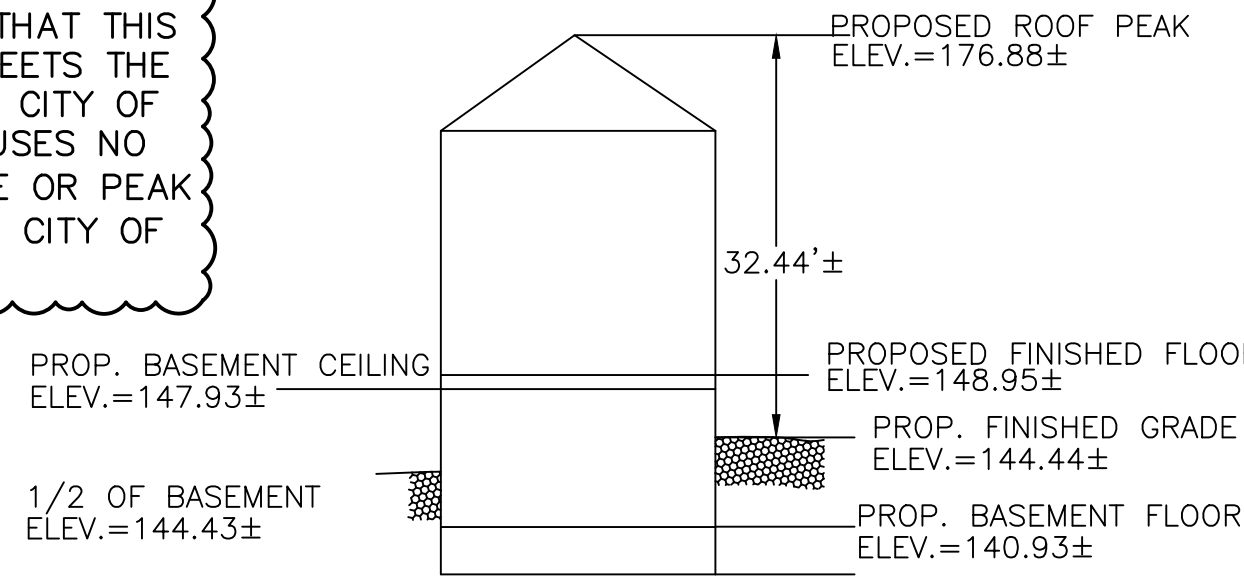
NOTE: SURFACE WATER TO BE DIVERTED FROM ALL SIDES OF FOUNDATION WALL

TOTAL EXISTING IMPERVIOUS AREA = 2,867.62 S.F.  
TOTAL PROPOSED IMPERVIOUS AREA = 3,026.88 S.F.  
TOTAL INCREASE IN IMPERVIOUS AREA = 159.26 S.F.  
**159.26 < 400.00 S.F.**

NOTE: SPRUHAN ENGINEERING CERTIFIES THAT THIS INCREASE IN IMPERVIOUS AREA, WHICH MEETS THE CRITERIA OF NO DRAINAGE REQUIRED BY CITY OF NEWTON ENGINEERING DEPARTMENT, CAUSES NO SIGNIFICANT INCREASE IN RUNOFF (VOLUME OR PEAK FLOW) TO ADJACENT PROPERTIES OR THE CITY OF NEWTON RIGHT-OF-WAY.

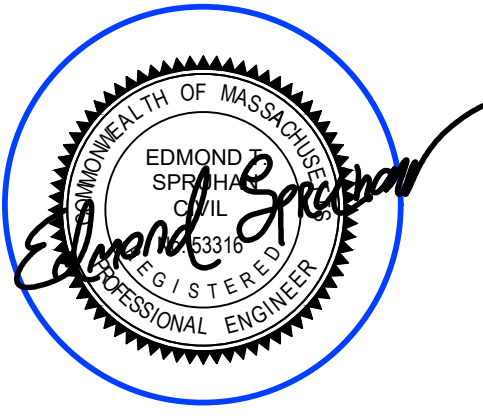
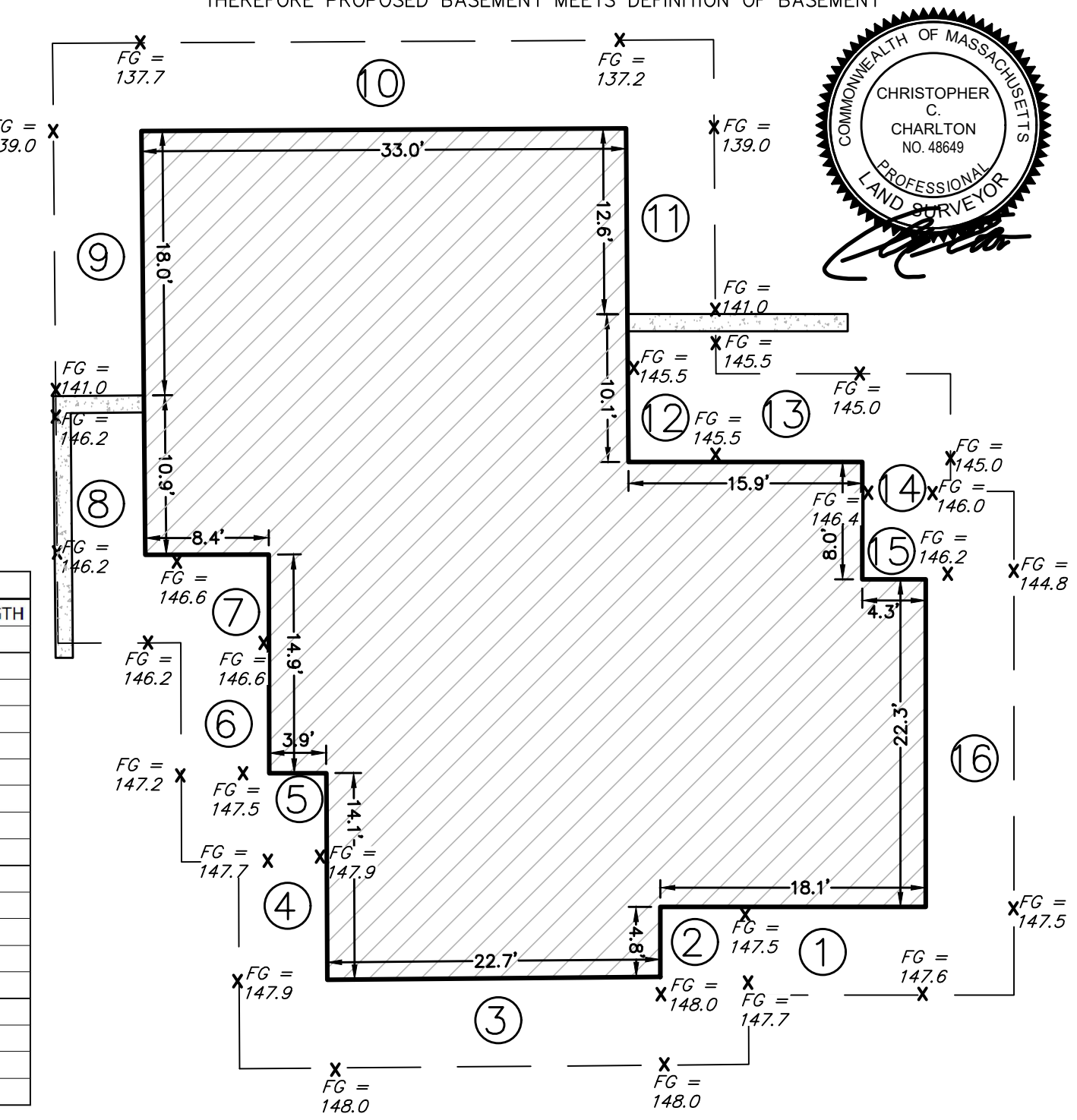
SPRUHAN ENGINEERING HAS PROPOSED SWALES, TO KEEP RUNOFF ON THE LOT AND OFF ADJACENT PROPERTIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM THE GRADING AS PROPOSED.

NOTE: FOR COMPLETE ZONING ANALYSIS, PLEASE REFER TO ARCHITECTURAL PLANS.



PROPOSED PROFILE NOT TO SCALE

\* 1/2 OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT



DATE: 09/07/2023  
DRAWN BY: O.G.  
CHECKED BY: C.C.  
APPROVED BY: E.S.

CIVIL PLAN

SHEET 3 OF 4

NOTE: CONTRACTOR TO ENSURE THAT THE BUILDING FOOTPRINT REPRESENTED ON THIS PLAN IS THE SAME AS THE PROPOSED ARCHITECTURAL /STRUCTURAL PLANS AND INCORPORATES ALL OVERHANGS, CANTILEVERS AND ANY COMPONENT THAT IS SUBJECT TO ZONING RESTRICTIONS. IF THIS IS FOUND NOT TO BE THE CASE THE CONTRACTOR MUST CONTACT THE ENGINEER /SURVEYOR AND REQUEST A REVISED PLAN WHICH MUST BE RESUBMITTED TO I.S.D. CITY OF NEWTON

NOTE: ANY PROPOSED RETAINING WALL GREATER THAN 4'-FEET IN HEIGHT NEED TO BE DESIGNED BY A STRUCTURAL ENGINEER AND APPROVED BY THE INSPECTION SERVICES DEPARTMENT.

NOTE: ANY PROPOSED RETAINING WALLS SHALL BE DESIGNED BY OTHERS.

ZONING LEGEND			
ZONING DISTRICT: SINGLE-RESIDENCE 2 <SR2> (LOT CREATED BEFORE 12/07/1953)			
	REQUIRED	EXISTING	PROPOSED
MIN. AREA	10,000 S.F.	10,680± S.F.	10,680± S.F.
MAX LOT COVERAGE	30%	17.09%	21.73%
MIN OPEN SPACE	50%	75.02%	68.37%
MIN. FRONTAGE	80'	75'	75'
FRONT (MIN)	25' (ZONING)	7.3'	15.2'
SIDE (MIN.)	7.5'	13.9'	8.7'
REAR (MIN)	15'	67.2'	67.2'
MAX. BLDG. HEIGHT	36'	34.07±	32.44±

NOTE: SPRUHAN ENGINEERING, P.C., ACCEPTS NO LIABILITY FOR GROUND WATER OR OTHER SURFACE WATER IN BASEMENT

NOTE: ANY PROPOSED RETAINING WALL IN SETBACK SHALL NOT EXCEED 4 FEET IN HEIGHT IN REFERENCE TO EXISTING GRADES.

AVERAGE GRADE PLANE (ALL UNITS IN FEET)					
SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	18.10	147.60	148.00	147.80	2,675.18
2	4.80	147.70	147.50	147.60	708.48
3	22.70	148.00	148.00	148.00	3,359.60
4	14.10	147.90	147.50	147.70	2,082.57
5	3.90	147.90	147.70	147.80	576.42
6	14.90	147.20	146.60	146.90	2,188.81
7	8.40	146.60	146.20	146.40	1,229.76
8	10.90	146.20	146.20	146.20	1,593.58
9	18.00	141.00	139.00	140.00	2,520.00
10	33.00	137.70	137.20	137.45	4,535.85
11	12.60	139.00	141.00	140.00	1,764.00
12	10.10	145.50	145.50	145.50	1,469.55
13	15.90	145.50	145.00	145.25	2,309.48
14	8.00	145.00	146.20	145.60	1,164.80
15	4.30	146.40	146.00	146.20	628.66
16	22.30	144.80	147.50	146.15	3,259.15
SUM =	222.00				32,065.88
SUM OF MEAN x LENGTH/SUM OF LENGTHS = AVERAGE GRADE PLANE =					144.44

