



LEGEND

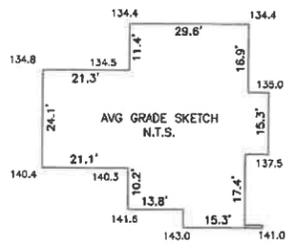
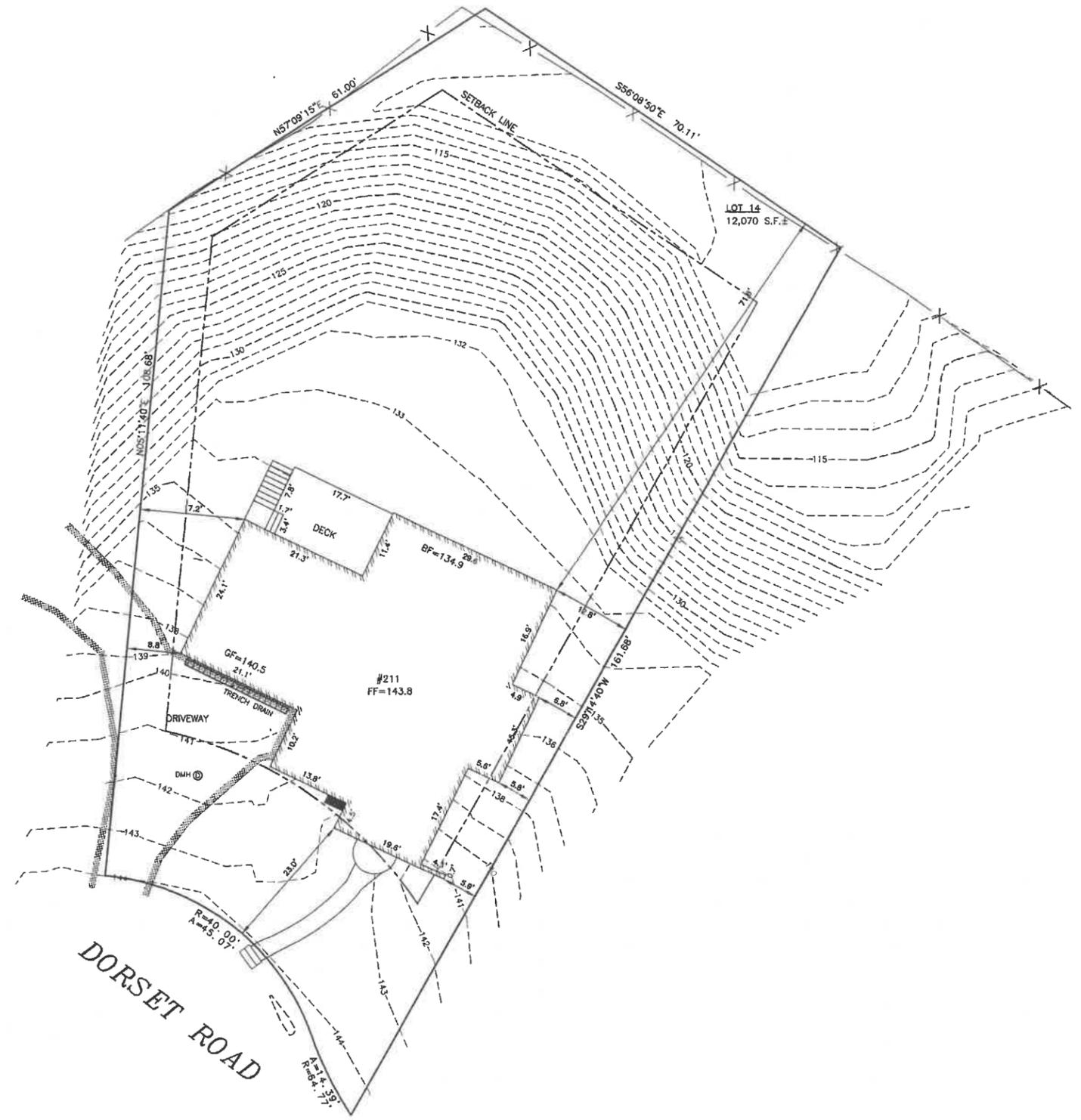
- UTILITY POLE
- WATER GATE
- ⊗ HYDRANT
- ⊕ GAS GATE
- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ CATCH BASIN
- TREE
- TREE
- ⊗ LIGHT POLE
- ⊗ SIGN
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- THH DEEP TEST HOLE
- PTH PERCOLATION TEST
- 71.4 X SPOT ELEVATION
- [71] PROPOSED CONTOUR
- 71- EXISTING CONTOUR
- D DRAIN LINE
- W WATER LINE
- S SEWER LINE
- G GAS LINE
- X FENCE
- ⊖ STONEWALL
- ⊖ HEDGE
- ⊖ TREE LINE



**PLAN OF LAND IN
 NEWTON, MA**
 211 DORSET ROAD
 EXISTING CONDITIONS

SCALE: 1 IN. = 10 FT.
 NOVEMBER 21, 2022
 DRAWN: ER/LNS
 CHECK: BB

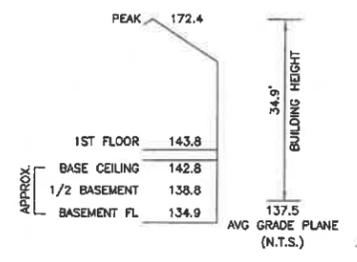
REVISIONS:



AVERAGE GRADE CALCULATION:
 [SEC 1.5.4(F)] GRADES REFER TO LOWEST POINT WITHIN 6' OF BUILDING NOT INTENDED FOR F.A.R. CALCULATION

$AVG = \sum[L(E1+E2)/2] / P$
 $AVG = 27,014.595 / 196.4 = 137.5$

BUILDING HEIGHT CALCULATION



ZONING INFORMATION

ZONE: SR-2
 DEED REFERENCE: BOOK 59999 PAGE 522

	EXISTING	PROPOSED	REQUIRED
BUILDINGS	2,008 S.F.	x S.F.	
STRUCTURES	2,200 S.F.	x S.F.	
DRIVE	720 S.F. ±	x S.F. ±	
	2,920 S.F. ±	x S.F. ±	
LOT COVERAGE	16.6%	x.x%	(30% MAX.)
OPEN SPACE	78% ±	x% ±	(50% MIN.)

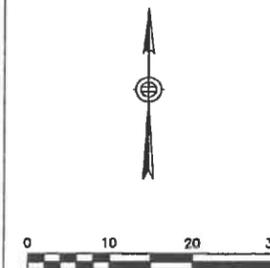
ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.
 AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.

IMPERVIOUS AREAS

	EXISTING	PROPOSED
BUILDINGS	2,008 S.F.	x S.F.
WALK/STAIR	89 S.F.	x S.F.
DRIVEWAY	720 S.F.	x S.F.
	2,817 S.F.	

BENCHMARK:
 TOP OF HYDRANT
 ELEV=146.11
 CITY OF NEWTON BASE





LEGEND

- UTILITY POLE
- WATER GATE
- HYDRANT
- GAS GATE
- SEWER MANHOLE
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- CATCH BASIN
- TREE
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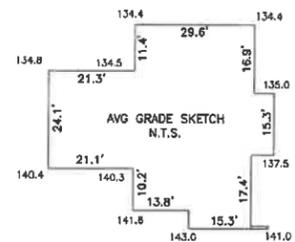


**PLAN OF LAND IN
 NEWTON, MA**
 211 DORSET ROAD
 PROPOSED ADDITION,

SCALE: 1 IN. = 10 FT.
 DATE: JANUARY 17, 2023
 DRAWN: ER/LNS
 CHECK: BB

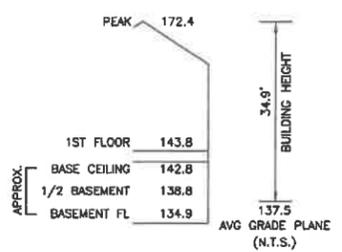
REVISIONS:

PROJECT NO. 26677



AVERAGE GRADE CALCULATION: (NO CHANGE)
 [SEC 1.5.4(F)] GRADES REFER TO LOWEST POINT WITHIN 6' OF BUILDING NOT INTENDED FOR F.A.R. CALCULATION
 $AVG = \sum[L(E1+E2)/2] / P$
 $AVG = 27,014.595 / 196.4 = 137.5$

BUILDING HEIGHT CALCULATION (NO CHANGE)



ZONING INFORMATION

ZONE: SR-2
 DEED REFERENCE: BOOK 59999 PAGE 522

	EXISTING	PROPOSED	REQUIRED
BUILDINGS	2,008 S.F.	2,248 S.F.	
STRUCTURES	2,200 S.F.	2,472 S.F.	
DRIVE	720 S.F. ±	720 S.F. ±	
	2,920 S.F. ±	3,192 S.F. ±	
LOT COVERAGE	16.6%	18.6%	(30% MAX.)
OPEN SPACE	76% ±	74% ±	(50% MIN.)

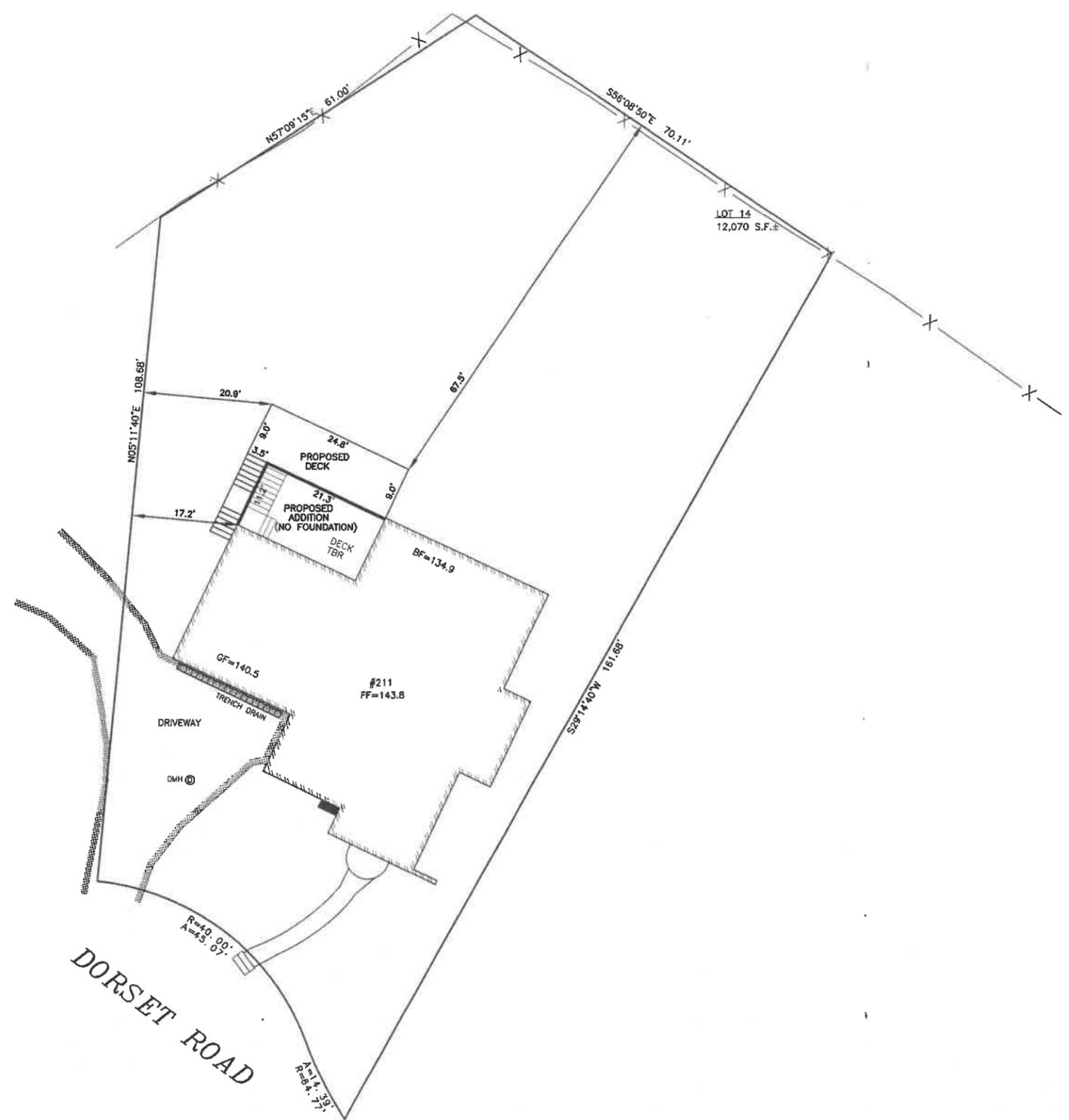
ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.
 AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.

IMPERVIOUS AREAS

	EXISTING	PROPOSED
BUILDINGS	2,008 S.F.	2,248 S.F.
WALK/STAIR	89 S.F.	89 S.F.
DRIVEWAY	720 S.F.	720 S.F.
	2,817 S.F.	3,057 S.F.

*NET INCREASE = 240 S.F. < 400 S.F.

BENCHMARK
 TOP OF HYDRANT
 ELEV=146.11
 CITY OF NEWTON BASE



SYMBOLS

EXIST. WALL
 DEMO WALL
 NEW WALL

SCOPE OF WORK
 LINE OF PLAN CUT
 NOTE
 ASSEMBLY TYPE

EXTERIOR ELEVATION
 BUILDING SECTION
 WALL SECTION
 GRID LINE - REFERENCE
 WINDOW TYPE

INTERIOR ELEVATION
 DETAIL SECTION
 REVISION MARKER
 GRID LINE
 DOOR TYPE

EXISTING FIRST FLOOR (F.A.R.)
 AREA TAKE-OFF

KITCHEN
 AREA LABEL

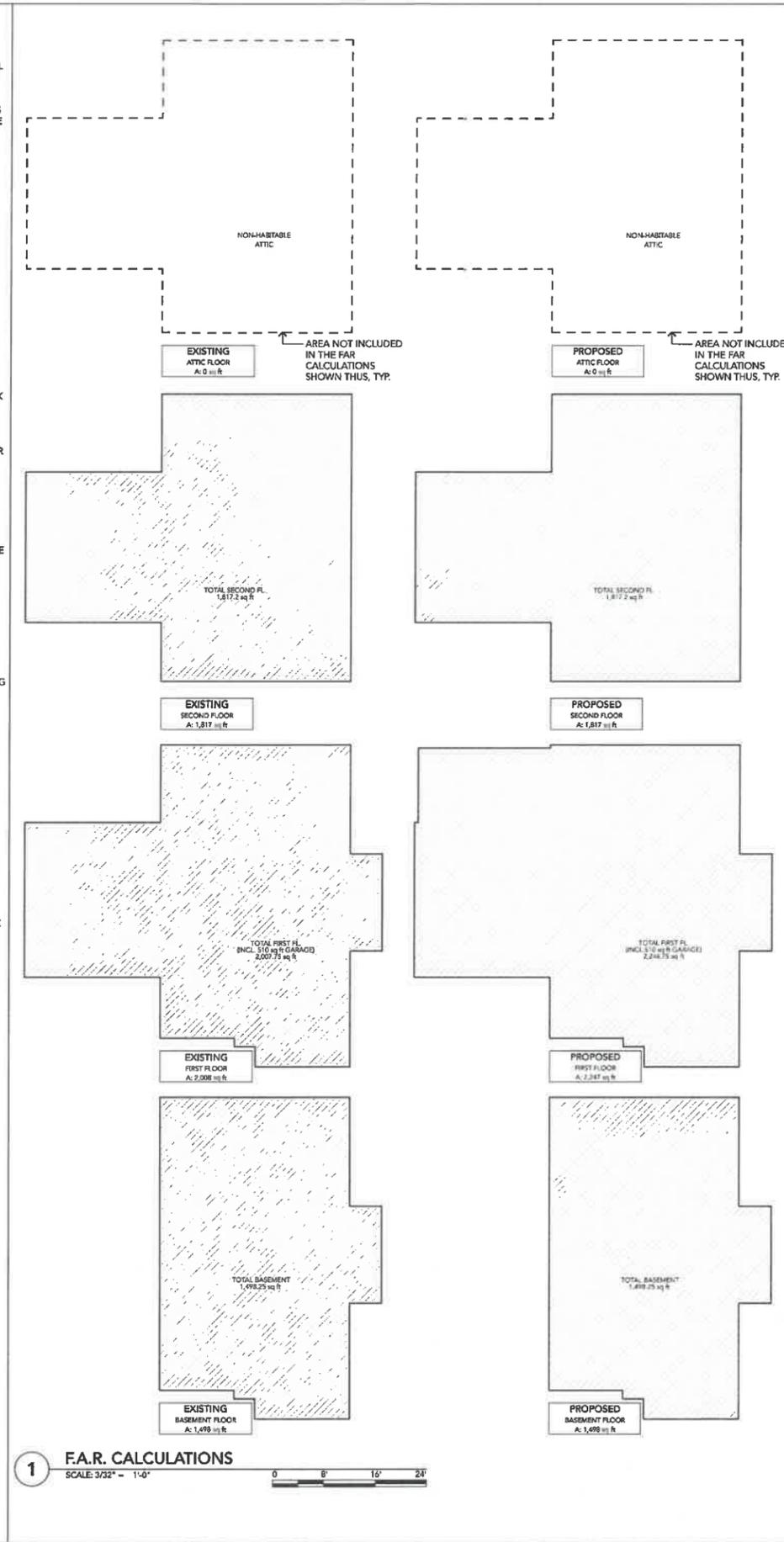
WATER SERVICE
 GAS SERVICE
 SEWER DRAIN
 STORM DRAIN
 SUBSOIL DRAIN

ABBREVIATIONS

POUND OR NUMBER
 @ AND
 AFF ABOVE FINISHED FLOOR
 ALUM. ALUMINUM
 AHJ AUTHORITY HAVING JURISDICTION
 BSMT. BASEMENT
 B.M. BEYOND
 B.C.I. BLOWN CELLULOSE INSULATION
 BRD. BOARD
 BO. BOTTOM OF
 B.U. BUILT UP
 CAB./S. CABINET/CABINETS
 C.P.T. CARPET
 CIP. CAST IN PLACE
 CLG. CEILING
 C-T CERAMIC TILE
 CLR. CLEAR
 COL. COLUMN
 C.A.W. COMPLETE WITH
 COMPR. COMPRESSIBLE
 CONC. CONCRETE
 CMU CONCRETE MASONRY UNIT
 CONT. CONTINUOUS
 CI. CONTINUOUS INSULATION
 C.J. CONTROL JOINT
 DEMO. DEMOLISH/DEMOLITION
 DIA. DIAMETER
 DIMS. DIMENSIONS
 DR. DOOR
 D.B.L. DOUBLE
 DN. DOWN
 DWG. DRAWING
 EOD. EDGE OF DECK
 EOS. EDGE OF SLAB
 ELEC. ELECTRICAL
 EL. or ELEV. ELEVATION
 EQ. EQUAL
 EXIST. EXISTING
 E.J. EXPANSION JOINT
 EXT. EXTERIOR
 EPS. EXTRUDED POLYSTYRENE INSULATION
 FO. FACE OF
 F. or FIN. FINISHED FLOOR
 F.M.T. FRUIT
 FL. FLOOR
 F.D. FLOOR DRAIN
 FTG. FOOTING
 FDN. FOUNDATION
 GALV. GALVANIZED
 GRD. GRADE
 G.W.B. GYPSUM WALL BOARD
 HDWD. HARDWOOD
 HVAC. HEATING, VENTILATION AND AIR CONDITIONING
 HP. HIGH POINT
 HC. HOLLOW CORE
 HM. HOLLOW METAL
 HORIZ. HORIZONTAL
 HR. HOUR
 IRC/GWB INSULATED/INSULATION
 INT. INTERIOR
 JST. JOIST
 LH. LEFT HAND
 LP. LOW POINT
 MANUF. MANUFACTURER
 MECH. MECHANICAL/MECHANICALLY
 MEMBR. MEMBRANE
 MTL. METAL
 MIN. MINIMUM
 MR/GWB MOISTURE/OLD-RESISTANT GWB
 NIC. NOT IN CONTRACT
 NOM. NOMINAL
 NO. or # NUMBER
 OC. ON CENTER
 OH. OPPOSITE HAND
 PTD. PAINT/PAINTED
 PLUMB. PLUMBING
 PLYWD. PLYWOOD
 PT. PRESSURE TREATED
 PROP. PROPOSED
 PVC. POLYVINYL CHLORIDE
 RWL. RAIN WATER LEADER
 RCP. REFLECTED CEILING PLAN
 REQ'D. REQUIRED
 RH. RIGHT HAND
 RD. ROOF DRAIN
 ROOM. ROOM
 RO. ROUGH OPENING
 RBR. RUBBER
 SA. SELF-ADHERED
 SIM. SIMILAR
 SPEC. SPECIFIED/SPECIFICATION
 oc/cc/SPF OPEN/CLOSED-CELL SPRAY POLYURETHANE FOAM
 SSSL. STAINLESS STEEL
 STL. STEEL
 STRUCT. STRUCTURAL
 TEL/DATA. TELEPHONE/DATA
 T&G. TONGUE AND GROOVE
 TO. TOP OF
 TOC. TOP OF CONCRETE
 TOD. TOP OF DECK (SUBFLOOR)
 TOP. TOP OF PLATE
 TOS. TOP OF SLAB
 TOSTL. TOP OF STEEL
 TYP. TYPICAL
 U. UNDER
 U/G. UNDERGROUND
 U/S. UNDERSIDE
 UNO. UNLESS NOTED OTHERWISE
 VR. VAPOR RETARDER
 VF. VERIFY IN FIELD
 VERT. VERTICAL
 WRB. WATER RESISTANT BARRIER
 W. WIDE
 W. WITH
 WD. WOOD
 XPS. EXPANDED POLYSTYRENE INSULATION

GENERAL CONDITIONS

- THE DRAWINGS, NOTES, AND SPECIFICATIONS ARE COMPLEMENTARY. NONE SHALL TAKE PRECEDENCE OVER THE OTHER. THE GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THEM TO THE ARCHITECT IMMEDIATELY.
- ALL WORK SHALL COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS OF THE CITY OF NEWTON AND THE COMMONWEALTH OF MASSACHUSETTS, AND ALL OTHER REGULATORY AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL OBTAIN ALL APPROVALS REQUIRED FOR THE EXECUTION OF THE PROJECT, AS ISSUED BY AUTHORITIES HAVING JURISDICTION.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL LOCAL RULES AND REGULATIONS CONCERNING WORKING HOURS, RUBBISH REMOVAL, PARKING AND DELIVERIES.
- INFORMATION IN THESE DRAWINGS IS FOR USE FOR THIS PROJECT ONLY.
- THE GENERAL CONTRACTOR SHALL MAINTAIN COMPLETE AND UP TO DATE CONTRACT DOCUMENTS AT THE JOB SITE AT ALL TIMES, INCLUDING DRAWINGS, SPECIFICATIONS, CONSTRUCTION SKETCHES AND ARCHITECT'S SUPPLEMENTAL INSTRUCTIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SECURITY FROM THEFT, VANDALISM, ETC. OF THE WORK AND ALL ITS CONTENTS.
- THE GENERAL CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- ALL UTILITY SERVICES SERVING THE EXISTING BUILDING SHALL REMAIN UNINTERRUPTED DURING CONSTRUCTION UNLESS AUTHORIZED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL RESTORE TO THE CONDITION EXISTING PRIOR TO COMMENCEMENT OF WORK ALL EXISTING FINISHES, THERMAL AND MOISTURE PROTECTION OF ANY EXISTING ELEMENTS IMPACTED DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING AND MAINTAINING OF THE INTEGRITY OF BUILDING COMPONENTS THAT MAY BE ALTERED BY THE INSTALLATION OF SECURITY, FIRE ALARM, ELECTRICAL AND TEL/DATA WIRING DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR EACH SUBCONTRACTOR PERFORMING ALL CUTTING AND CAPPING REQUIRED FOR HIS OR HER OWN TRADE.
- THE GENERAL CONTRACTOR SHALL HAVE ALL SUBCONTRACTORS AND SUPPLIERS AWARE OF THE REQUIREMENTS OF THESE NOTES.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS BY THE APPROPRIATE OFFICIALS.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS AND/OR SIZES. OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE USE OF INCORRECT SCALE.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO THE START OF ANY WORK.
- FAILURE TO VERIFY DIMENSIONS AND CONDITIONS BEFORE PROCEEDING MAY SUBJECT THE GENERAL CONTRACTOR TO THE REMOVAL OF COMPLETED WORK AT GENERAL CONTRACTOR'S EXPENSE, IF A DISCREPANCY WHICH COULD HAVE BEEN DISCOVERED CAUSES MODIFICATIONS TO THE DRAWINGS.
- ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, AND EXISTING CONDITIONS OR ANY APPARENT ERRORS IN THE SPECIFYING OF A PRODUCT, MATERIAL OR MEANS OF ASSEMBLY ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- THE GENERAL CONTRACTOR SHALL CONFIRM AND VERIFY ALL CEILING HEIGHTS AND VERTICAL CLEARANCES WITH RESPECT TO COORDINATION OF MECHANICAL UNITS, DUCTWORK, PIPING AND STRUCTURAL ELEMENTS.



APPLICABLE CODES, BUT NOT LIMITED TO:

2015/2020/2021 International Codes	Massachusetts Regulations
IRC - International Residential Code	780 CMR - Massachusetts State Building Code, 9th Edition
IBC - International Building Code	527 CMR - Massachusetts Fire Code
IEBC - International Existing Building Code	527 CMR - Massachusetts Electrical Code
IECC - International Energy Conservation Code	225 CMR - Massachusetts Stretch Energy Code
IMC - International Mechanical Code	248 CMR - Massachusetts Plumbing Code
IFC - International Fire Code	521 CMR - Massachusetts Architectural Access Board

ZONING DATA
 211 Dorset Road, Waban MA 02468
 Parcel Zoning: SR2, Wapan ID: 55010-0024

CATEGORIES	ZONING	EXISTING	PROPOSED
LOT AREA (MIN.)	10,000 SQ. FT.	12,070 SQ. FT.	UNCHANGED
GROSS FLOOR AREA	N/A	5,323 SQ. FT.	5,562 SQ. FT.
F.A.R.	0.33 - 0.38	0.44	0.46
LOT COVERAGE (MAX)	30%	16.6%	18.6%
OPEN SPACE - MIN. (LANDSCAPED / USABLE)	50%	76%	74%
FRONTAGE (MIN.)	80 FT.	59 FT.	UNCHANGED
SETBACK FRONT - SOUTH	25 FT.	23 FT.	UNCHANGED
SETBACK SIDE - EAST	7.5 FT.	5.8 FT.	UNCHANGED
SETBACK SIDE - WEST	7.5 FT.	8.8 FT.	UNCHANGED
SETBACK REAR - NORTH	15 FT.	71.8 FT.	67.5 FT.
BUILDING HEIGHT	36 FT.	34.9 FT.	UNCHANGED
MAX. # STORIES	2.5	3	UNCHANGED

ARCHITECT
 Florin Luca Architect
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 617.893.0061
 florin@lucaarchitect.com
 www.lucaarchitect.com

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STAMP
 REGISTERED ARCHITECT
 FLORIN LUCA
 NO. 20759
 MASS.
 STATE BOARD OF ARCHITECTURE

OWNER
 Scott Prushik
 211 Dorset Road
 Waban MA 02468
 +1 (917) 929-5345
 scott.prushik@gmail.com

PROJECT
 211 DORSET ROAD:
 RESIDENCE RENOVATION
 211 Dorset Road,
 Waban, MA 02468

CONSULTANTS
 EVERETT M. BROOKS CO.
 Surveyors & Engineers
 49 Lexington Street
 West Newton, MA 02465
 617-527-8750
 Davidson Engineering Associates Inc.
 617-775-7250
 Mike@DavidsonEngineer.com

REVISIONS

ISSUE SET
 CONSTRUCTION DOCUMENTS

TITLE
 PROJECT INFORMATION

DATE: JULY 15, 2023
SCALE: AS NOTED
SHEET NUMBER
A0.01

A:\2023\20230715_211 Dorset Road - SR2\DWG\A0.01_20230715.dwg, 31/1/2023, 11:11:52 AM

7. SHUT OFF WATER & NATURAL GAS MAIN PRIOR TO THE COMMENCING OF WORK.
8. DISCONNECT ALL EXIST. MECHANICAL & ELECTRICAL SYSTEMS AS REQ'D TO PERFORM THE WORK.
9. TERMINATE, CAP & REMOVE, OR REROUTE & REUSE EXIST. MECHANICAL & ELECTRICAL SYSTEMS AS REQ'D.
10. SEAL & PROTECT ALL AREAS OUTSIDE THE EXTENT OF WORK ON EA. LEVEL PRIOR TO THE COMMENCING OF WORK.

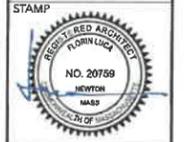
DEMOLITION – GENERAL NOTES:

1. THE DEMOLITION DRAWINGS ARE INTENDED TO DESCRIBE THE OVERALL SCOPE OF DEMOLITION ONLY. THEY ARE NOT INTENDED TO CALL OUT EVERY ITEM TO BE REMOVED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THOROUGHLY SURVEYING THE SITE AND ASSESSING THE ACTUAL SCOPE OF WORK FOR THE DEMOLITION. NOT LISTING ALL THE ITEMS DOES NOT RELIEVE THE GENERAL CONTRACTOR FROM RESPONSIBILITY FROM COMPLETING DEMOLITION AS REQUIRED TO PERFORM WORK.
2. THESE DRAWINGS ARE SCHEMATIC IN NATURE AND MAY NOT INCLUDE ALL INTERIOR PARTITIONS AND OTHER ITEMS TO BE REMOVED. EXISTING CONDITIONS SHALL BE VERIFIED BEFORE DEMOLITION.
3. CARE SHOULD BE TAKEN DURING DEMOLITION NOT TO DAMAGE FINISH MATERIALS AND STRUCTURE TO REMAIN IN AREAS ADJACENT TO THE DEMOLITION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ANY FINISHES OR STRUCTURE DAMAGED BY DEMOLITION.
4. THE GENERAL CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL TEMPORARY SHORING FOR STRUCTURAL ELEMENTS THAT ARE AFFECTED BY TOTAL OR PARTIAL REMOVAL OF PARTS OF THE STRUCTURAL SYSTEMS.
5. ALL FIRE EXIST. RATED ASSEMBLIES SHALL BE PATCHED TO MAINTAIN FIRE RATING INTEGRITY.
6. SEE STRUCTURAL AND MEP DRAWINGS FOR THE EXTENT OF WORK TO BE PERFORMED.

ARCHITECT
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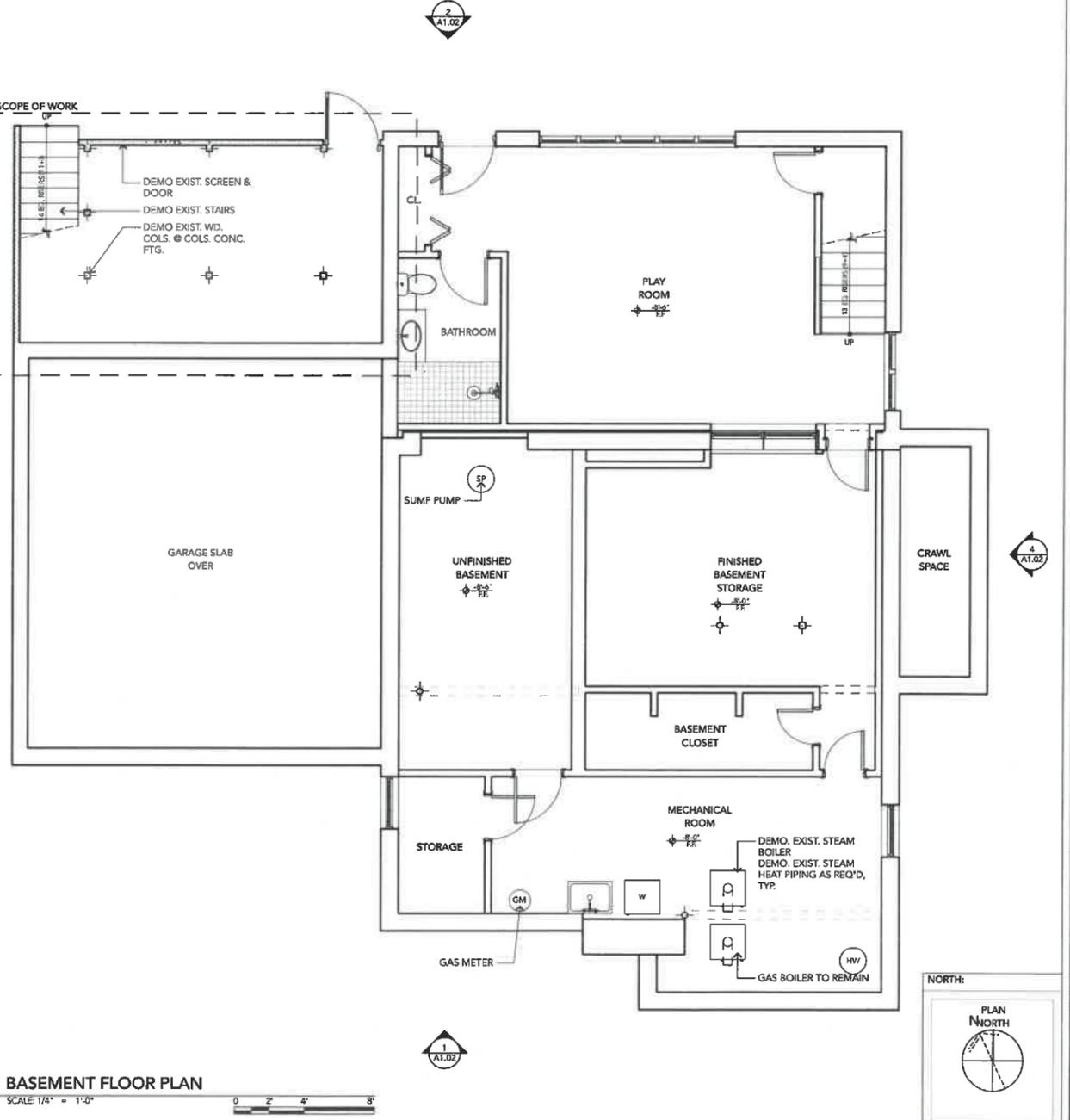
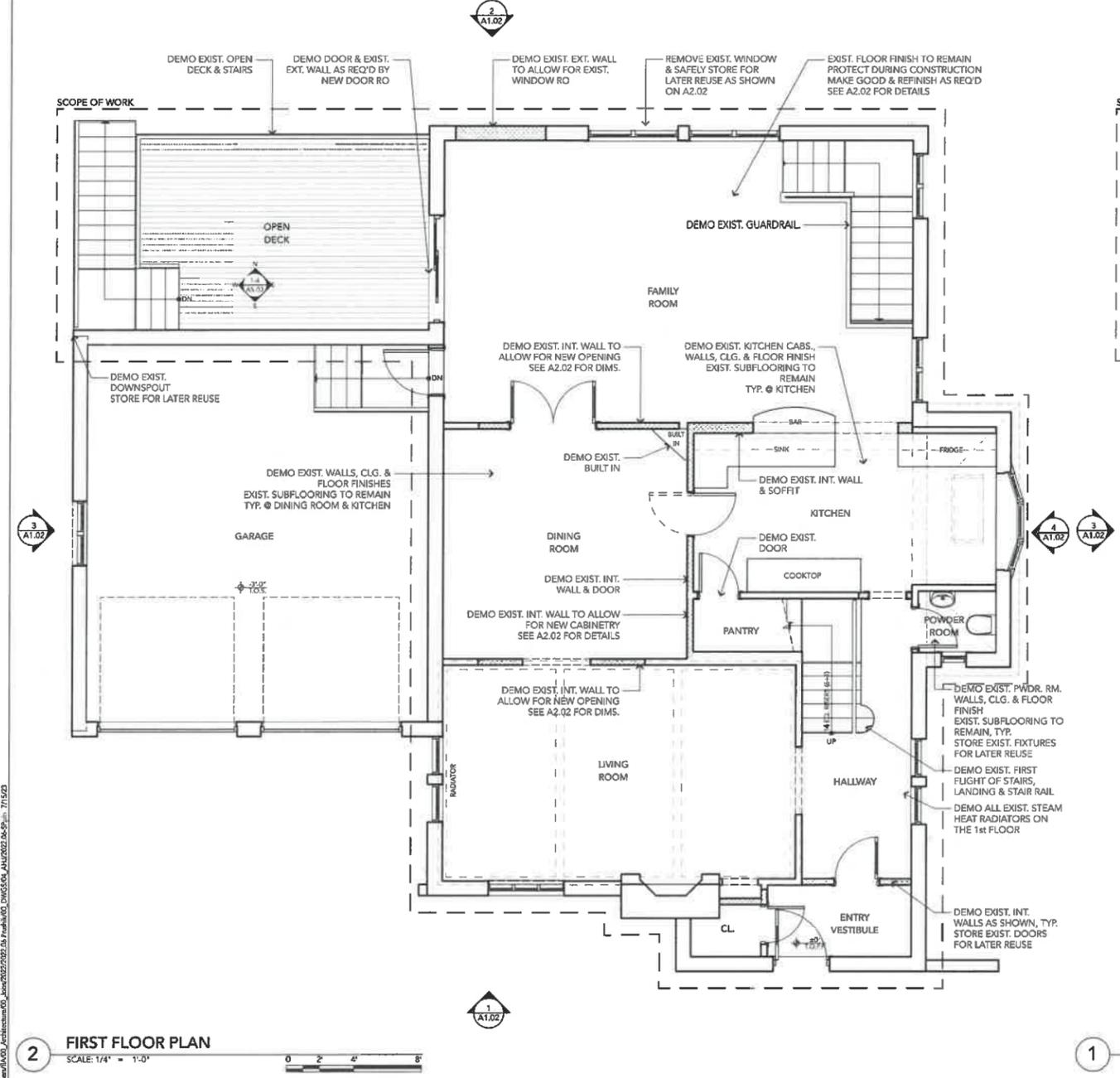
ISSUE SET

CONSTRUCTION DOCUMENTS

TITLE
**EXISTING &
 DEMOLITION
 FLOOR PLANS**

DATE: JULY 15, 2023
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER

A1.01



A:\2023\2023_07_15\2023_07_15_211 Dorset Road - Residence Renovation.dwg, 7/15/23



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 3/16" = 1'-0"



4 EAST ELEVATION
SCALE: 3/16" = 1'-0"



1 SOUTH (STREET) ELEVATION
SCALE: 3/16" = 1'-0"

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REVISIONS

ISSUE SET

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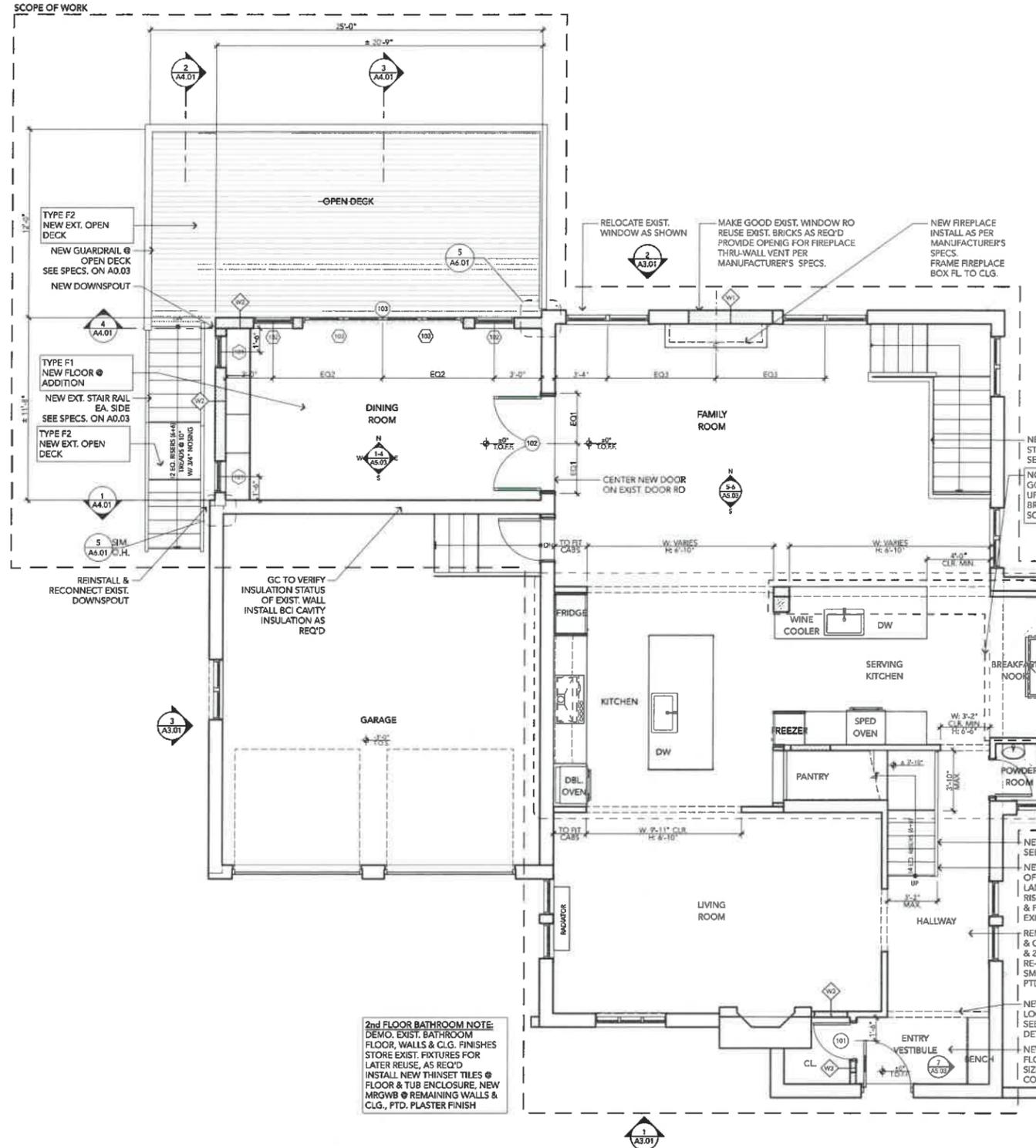
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EXISTING ELEVATIONS

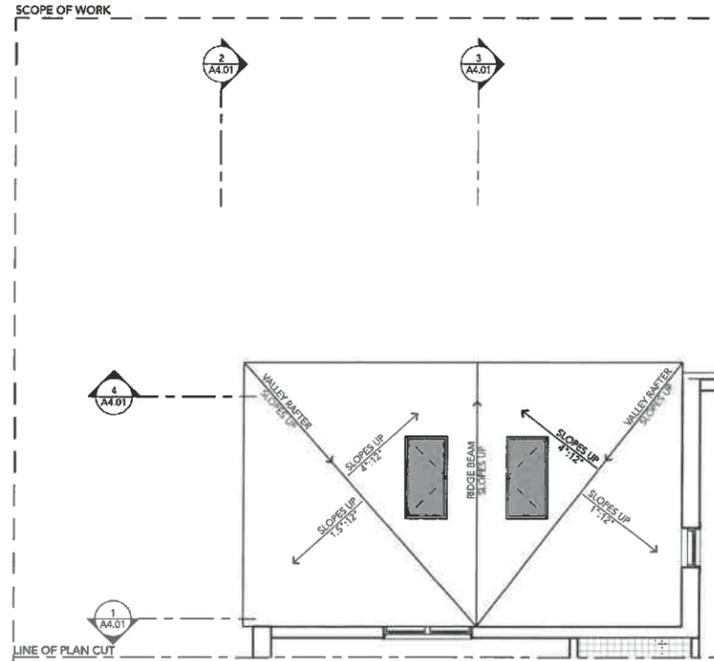
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SCALE: 3/16" = 1'-0"
SHEET NUMBER

A1.02

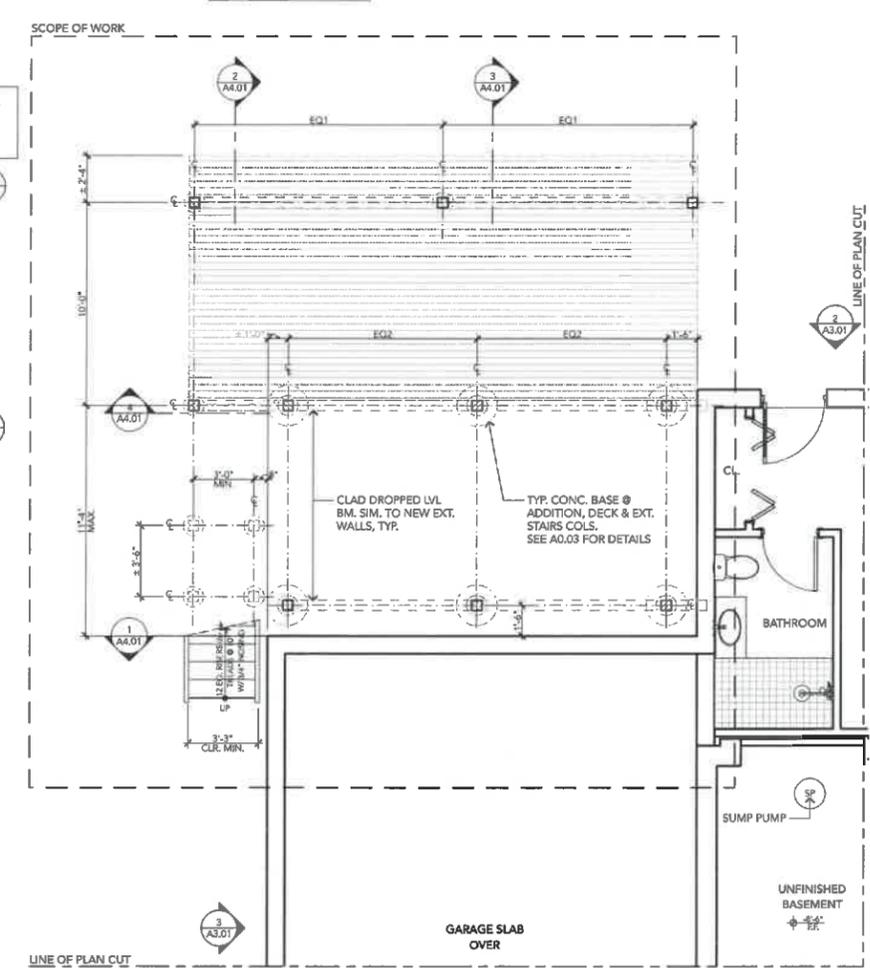
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2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



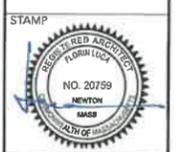
1 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. ALL EXISTING DIMENSIONS SHALL BE VERIFIED IN FIELD. ALL EXISTING DIMENSIONS SHALL BE TO THE FINISHED FACE OF THE RESPECTIVE BUILDING COMPONENT.
2. ALL NEW DIMENSIONS TO INTERIOR / EXTERIOR WALLS SHALL BE FROM FACE OF STUD OR FACE OF CONCRETE / CMU UNO.
3. ALL DOORS, WINDOWS, & WALL OPENINGS DIMENSIONS SHALL BE TO THE CENTER LINE OF THE ROOM.
4. ALL CLEAR DIMENSIONS SHALL BE FROM FINISHED FACE TO FINISHED FACE AND SHALL TAKE PRECEDENCE OVER ANY OTHER DIMENSION.
5. ENERGY CODE REQUIREMENTS, CLIMATE ZONE 5:
 - CEILING R-VALUE: 49
 - WOOD FRAME WALL R-VALUE: 20 OR 13+5
 - MASS WALL R-VALUE: 13/17
 - FLOOR R-VALUE: 30
 - BASEMENT WALL R-VALUE: 15/19
 - SLAB R-VALUE & DEPTH: 10 & 2 FT.
 - CRAWL SPACE WALL R-VALUE: 15/19 (AS AN ALTERNATIVE TO FLOOR INSULATION & IF CRAWL SPACE IS UNVENTED)
6. STRETCH ENERGY CODE REQUIREMENTS, CLIMATE ZONE 5, MIN. R-VALUES:
 - CEILING: 60
 - WOOD FRAME WALL: 30/(20+5C)/(13+10C)/(0+20C)
 - MASS WALL: 13/17
 - FLOOR R-VALUE: 30
 - BASEMENT WALL: 15C/19/(13+5C)
 - SLAB (R-VALUE & DEPTH): 10C & 4 FT.
 - CRAWL SPACE WALL: 15C/19/(13+5C)
7. FOR INFORMATION TYP. WALLS, FLOORS, CLGS. & ROOFS, REFER TO A0.03 PROJECT ASSEMBLY TYPES.

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REVISIONS

ISSUE SET

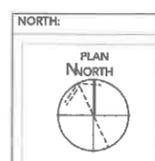
CONSTRUCTION DOCUMENTS

TITLE

PROPOSED FLOOR PLANS

DATE: JULY 15, 2023
SCALE: 1/4" = 1'-0"
SHEET NUMBER

A2.01



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