VILLAGE OF CHESTNUT HILL, MASSACHUSETTS

THE STREET REDEVELOPMENT

CHESTNUT HILL SHOPPING CENTER

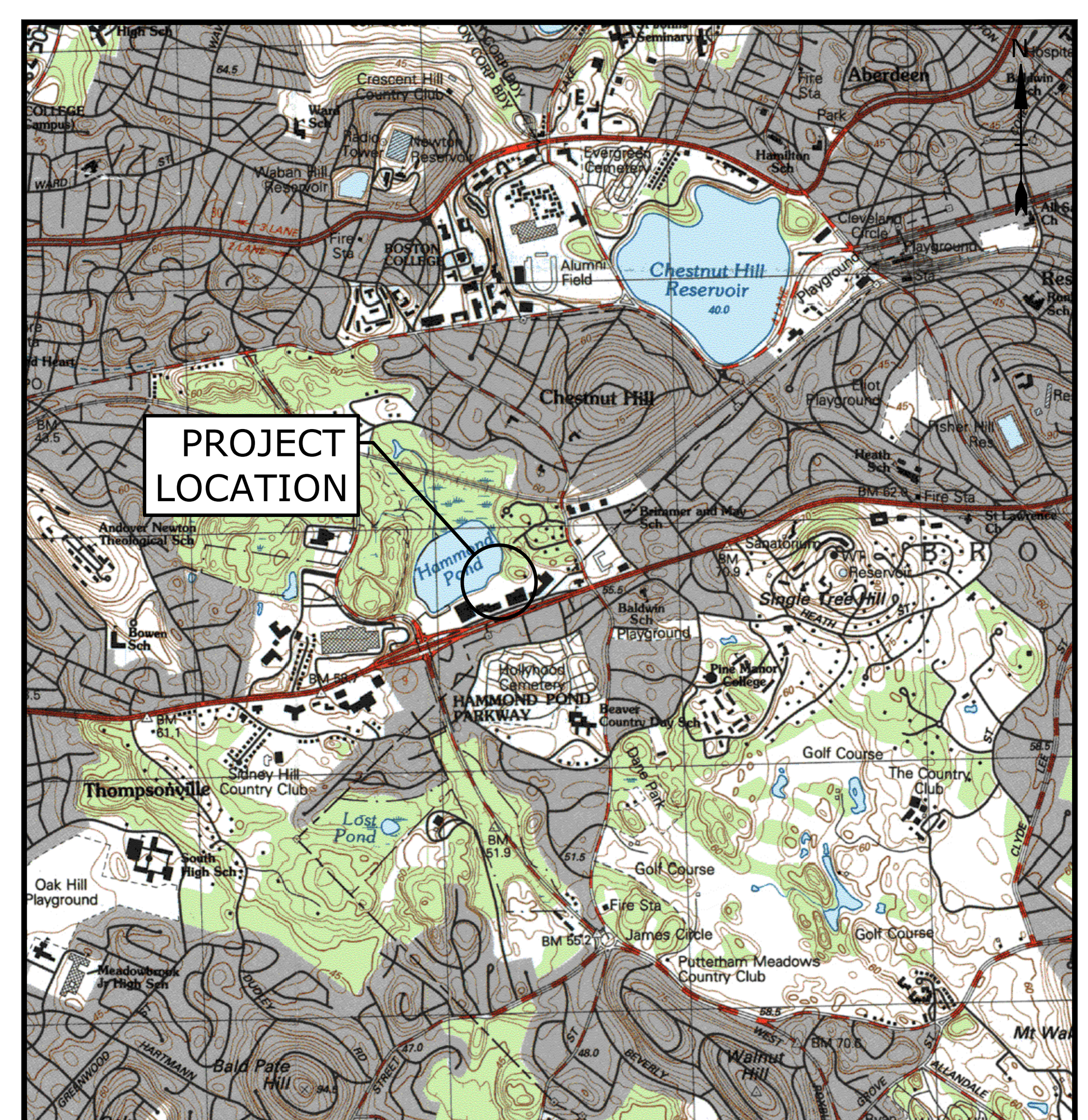
PAVING MAINTENANCE

OCTOBER 23, 2023

DRAFT

LIST OF DRAWINGS

SHEET NO.	SHEET TITLE	LAST REVISED
	COVER SHEET	10/23/2023
C-100	EXISTING CONDITIONS & DEMOLITION PLAN	10/23/2023
C-200	SITE PLAN	10/23/2023
C-300	GRADING, DRAINAGE & EROSION CONTROL PLAN	10/23/2023
C-400	LANDSCAPE PLAN	10/23/2023
C-500	EROSION CONTROL NOTES & DETAILS	10/23/2023
C-501	DETAILS	10/23/2023



LOCATION MAP
SCALE: 1" = 2,000'

PREPARED BY:

Tighe&Bond

177 CORPORATE DRIVE
PORTSMOUTH, NH 03801
603-433-8818

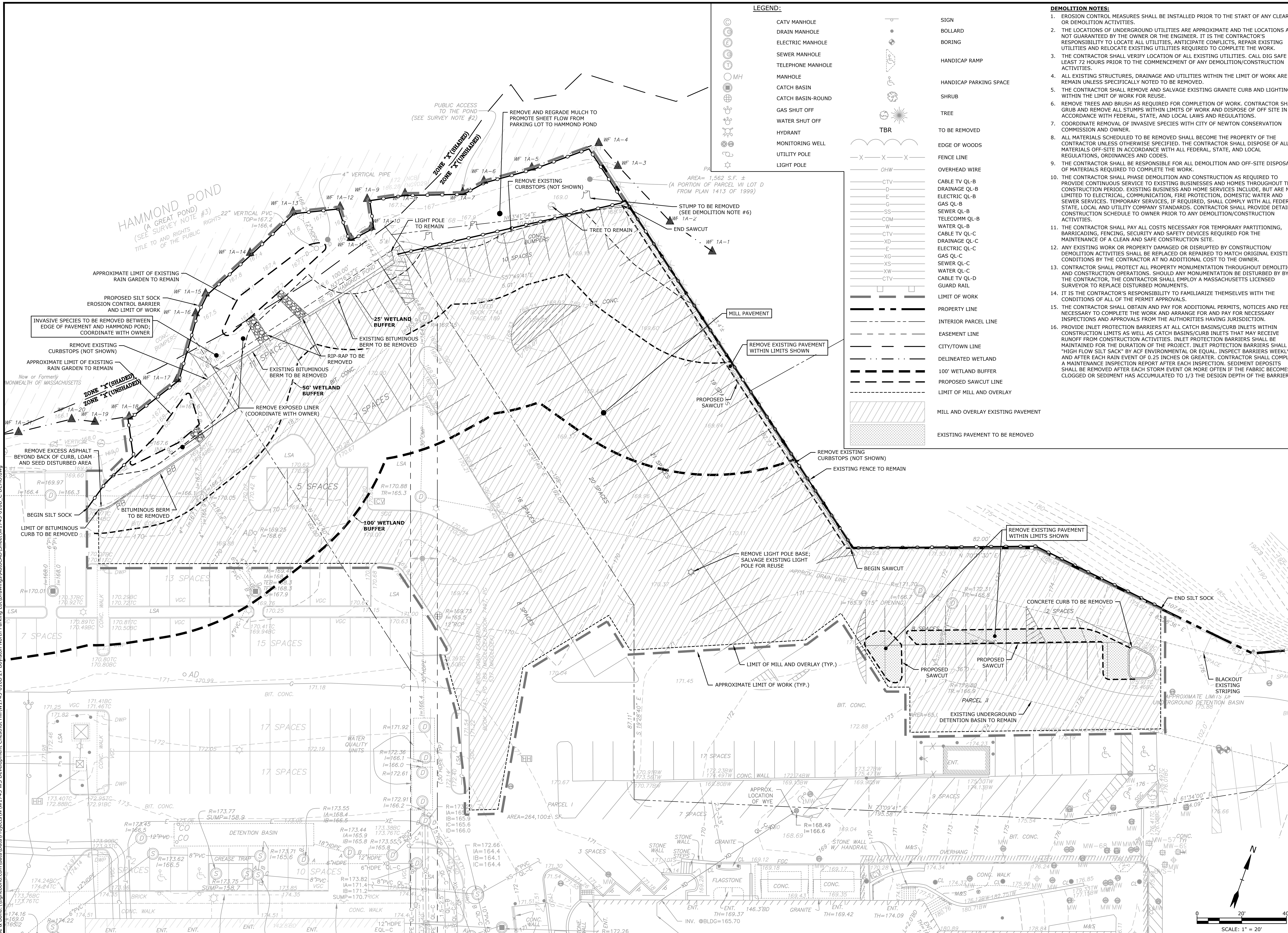
APPLICANT:

CHESTNUT HILL SHOPPING CENTER LLC
C/o WS Development Associates LLC
33 Boylsyton Street, Suite 3000
Chestnut Hill, Masschusetts 02467

SURVEY CONSULTANT:

Feldman Professional Land Surveyors
Harry R Feldman, Inc.
112 Shawmut Avenue, 4th Floor
Boston, Massachusetts 02115

COMPLETE SET 7 SHEETS



LEGEND:

- CATV MANHOLE
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- MANHOLE
- CATCH BASIN
- CATCH BASIN-ROUND
- GAS SHUT OFF
- WATER SHUT OFF
- HYDRANT
- MONITORING WELL
- UTILITY POLE
- LIGHT POLE
- SIGN
- BOLLARD
- BORING
- HANDICAP RAMP
- HANDICAP PARKING SPACE
- SHRUB
- TREE
- TBR — TO BE REMOVED
- EDGE OF WOODS
- FENCE LINE
- OVERHEAD WIRE
- CABLE TV QL-B
- DRAINAGE QL-B
- ELECTRIC QL-B
- GAS QL-B
- SEWER QL-B
- TELECOMM QL-B
- WATER QL-B
- CABLE TV QL-C
- DRAINAGE QL-C
- ELECTRIC QL-C
- GAS QL-C
- SEWER QL-C
- WATER QL-C
- CABLE TV QL-D
- GUARD RAIL
- LIMIT OF WORK
- PROPERTY LINE
- INTERIOR PARCEL LINE
- EASEMENT LINE
- CITY/TOWN LINE
- DELINEATED WETLAND
- 100' WETLAND BUFFER
- PROPOSED SAWCUT LINE
- LIMIT OF MILL AND OVERLAY
- MILL AND OVERLAY EXISTING PAVEMENT
- EXISTING PAVEMENT TO BE REMOVED

DEMOLITION NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY CLEARING OR DEMOLITION ACTIVITIES.
2. THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE AND THE LOCATIONS ARE NOT GUARANTEED BY THE OWNER OR THE ENGINEER. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UTILITIES, ANTICIPATE CONFLICTS, REPAIR EXISTING UTILITIES AND RELOCATE EXISTING UTILITIES REQUIRED TO COMPLETE THE WORK.
3. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES. CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
4. ALL EXISTING STRUCTURES, DRAINAGE AND UTILITIES WITHIN THE LIMIT OF WORK ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED.
5. THE CONTRACTOR SHALL REMOVE AND SALVAGE EXISTING GRANITE CURB AND LIGHTING WITHIN THE LIMIT OF WORK FOR REUSE.
6. REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS.
7. COORDINATE REMOVAL OF INVASIVE SPECIES WITH CITY OF NEWTON CONSERVATION COMMISSION AND OWNER.
8. ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
10. THE CONTRACTOR SHALL PHASE DEMOLITION AND CONSTRUCTION AS REQUIRED TO PROVIDE CONTINUOUS SERVICE TO EXISTING BUSINESSES AND HOMES THROUGHOUT THE CONSTRUCTION PERIOD. EXISTING BUSINESS AND HOME SERVICES INCLUDE, BUT ARE NOT LIMITED TO ELECTRICAL, COMMUNICATION, FIRE PROTECTION, DOMESTIC WATER AND SEWER SERVICES. TEMPORARY SERVICES, IF REQUIRED, SHALL COMPLY WITH ALL FEDERAL, STATE, LOCAL AND UTILITY COMPANY STANDARDS. CONTRACTOR SHALL PROVIDE DETAILED CONSTRUCTION SCHEDULE TO OWNER PRIOR TO ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
11. THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
12. ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. CONTRACTOR SHALL PROTECT ALL PROPERTY MONUMENTATION THROUGHOUT DEMOLITION AND CONSTRUCTION OPERATIONS. SHOULD ANY MONUMENTATION BE DISTURBED BY BY THE CONTRACTOR, THE CONTRACTOR SHALL EMPLOY A MASSACHUSETTS LICENSED SURVEYOR TO REPLACE DISTURBED MONUMENTS.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL OF THE PERMIT APPROVALS.
15. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR NECESSARY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION.
16. PROVIDE INLET PROTECTION BARRIERS AT ALL CATCH BASINS/CURB INLETS WITHIN CONSTRUCTION LIMITS AS WELL AS CATCH BASINS/CURB INLETS THAT MAY RECEIVE RUNOFF FROM CONSTRUCTION ACTIVITIES. INLET PROTECTION BARRIERS SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. INLET PROTECTION BARRIERS SHALL BE "HIGH FLOW SILT SACK" BY ACF ENVIRONMENTAL OR EQUAL. INSPECT BARRIERS WEEKLY AND AFTER EACH RAIN EVENT OF 0.25 INCHES OR GREATER. CONTRACTOR SHALL COMPLETE A MAINTENANCE INSPECTION REPORT AFTER EACH INSPECTION. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED OR SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE BARRIER.

Tighe&Bond

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NOT FOR CONSTRUCTION

CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

PROJECT NO:	W1743-010B
DATE:	10/22/2023
FILE:	W1743-010B_C-DEMO.dwg
DRAWN BY:	EGD
CHECKED BY:	JMP
APPROVED BY:	JMP

EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: AS SHOWN

C-100

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Plotted On:Oct 22, 2023-7:39pm By: EDoremus
Tighe & Bond:\\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-010B 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\W1743-010B_C-DEMO.dwg

SITE NOTES:

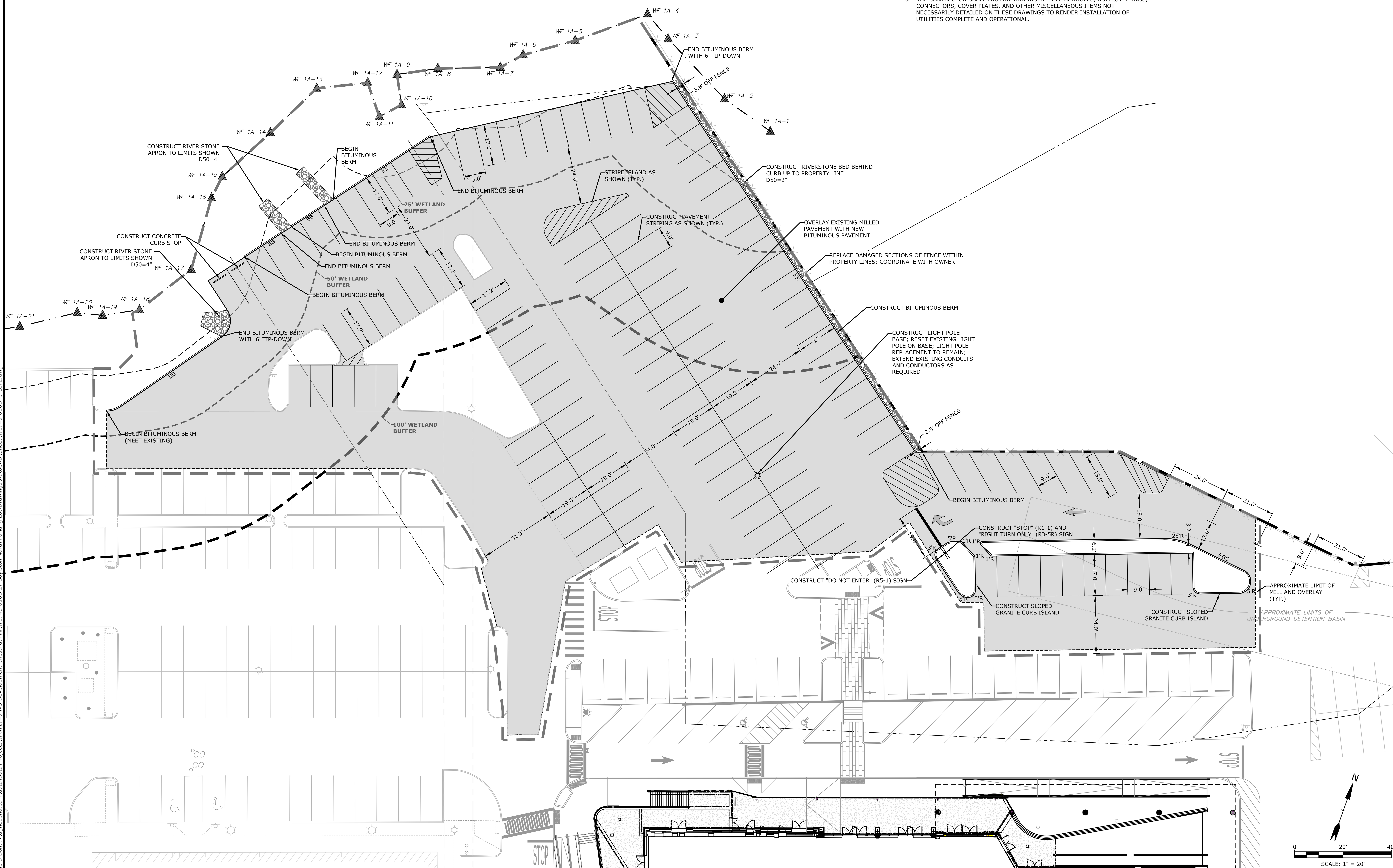
1. STRIPE PARKING AREAS AS SHOWN.
2. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND/OR CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS CODES & SPECIFICATIONS.
3. CONTRACTOR TO SUBMIT AS-BUILT PLANS IN DIGITAL FORMAT (.DWG & .PDF FILE) ON DISK TO THE OWNER AND ENGINEER UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A MASSACHUSETTS LICENSED LAND SURVEYOR OR PROFESSIONAL ENGINEER. AS-BUILTS SHALL INCLUDE A FULL TOPOGRAPHY SURVEY WITHIN THE LIMIT OF WORK INCLUDING BUT NOT LIMITED TO SITE TOPOGRAPHY, SITE FEATURES (BUILDINGS, ROADS, CURBS, SIDEWALKS), STORM DRAINAGE, AND SURFACE AND SUBSURFACE UTILITIES.

UTILITY NOTES:

1. COORDINATE ALL UTILITY WORK WITH APPROPRIATE UTILITY COMPANY.
2. ALL ELECTRICAL MATERIAL WORKMANSHIP SHALL CONFORM TO THE NATIONAL ELECTRIC CODE, LATEST EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES.
3. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER INSTALLATION OF UTILITIES COMPLETE AND OPERATIONAL.

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- 100' WETLAND BUFFER
- PROPOSED SAWCUT LINE
- LIMIT OF MILL AND OVERLAY
- LIMIT OF BITUMINOUS PAVEMENT OVERLAY
- BB — PROPOSED BITUMINOUS BERM
- SGC — PROPOSED SLOPED GRANITE CURB



CONSTRUCT RIVER STONE APRON TO LIMITS SHOWN D50=4"
BEGIN BITUMINOUS BERM
END BITUMINOUS BERM WITH 6' TIP-DOWN
3.8' OFF FENCE
END BITUMINOUS BERM
STRIPE ISLAND AS SHOWN (TYP.)
CONSTRUCT RIVERSTONE BED BEHIND CURB UP TO PROPERTY LINE D50=2"
25' WETLAND BUFFER
CONSTRUCT PAVEMENT STRIPING AS SHOWN (TYP.)
CONSTRUCT CONCRETE CURB STOP
OVERLAY EXISTING MILLED PAVEMENT WITH NEW BITUMINOUS PAVEMENT
REPLACE DAMAGED SECTIONS OF FENCE WITHIN PROPERTY LINES; COORDINATE WITH OWNER
50' WETLAND BUFFER
CONSTRUCT BITUMINOUS BERM
CONSTRUCT LIGHT POLE BASE; RESET EXISTING LIGHT POLE ON BASE; LIGHT POLE REPLACEMENT TO REMAIN; EXTEND EXISTING CONDUITS AND CONDUCTORS AS REQUIRED
BEGIN BITUMINOUS BERM (MEET EXISTING)
100' WETLAND BUFFER
2.5' OFF FENCE
CONSTRUCT "STOP" (R1-1) AND "RIGHT TURN ONLY" (R3-5R) SIGN
CONSTRUCT "DO NOT ENTER" (R5-1) SIGN
CONSTRUCT SLOPED GRANITE CURB ISLAND
APPROXIMATE LIMIT OF MILL AND OVERLAY (TYP.)
APPROXIMATE LIMITS OF UNDERGROUND DETENTION BASIN
SCALE: 1" = 20'

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CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

PROJECT NO:	W1743-010B
DATE:	10/22/2023
FILE:	W1743-010B_C-SITE.dwg
DRAWN BY:	EGD
CHECKED BY:	JMP
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SITE PLAN

SCALE: AS SHOWN

C-200

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Tighe & Bond:\\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-010B 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\W1743-010B_C-SITE.dwg

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- 100' WETLAND BUFFER
- PROPOSED SAWCUT
- PROPOSED CONTOUR LINE
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF CURB ELEVATION
- EXISTING SPOT GRADE
- PROPOSED SLOPE

TC:173.70
BC:173.20
(173.70)

EROSION CONTROL NOTES:

1. PRIOR TO ANY WORK OR SOIL DISTURBANCE COMMENCING ON THE SUBJECT PROPERTY, INCLUDING MOVING OF EARTH, THE APPLICANT SHALL INSTALL ALL EROSION AND SILTATION MITIGATION AND CONTROL MEASURES AS REQUIRED BY STATE AND LOCAL PERMITS AND APPROVALS.
2. SEE GENERAL EROSION CONTROL NOTES ON DETAIL SHEETS.
3. PROVIDE INLET PROTECTION AROUND ALL EXISTING AND PROPOSED CATCHBASIN INLETS WITHIN THE WORK LIMITS. MAINTAIN FOR THE DURATION OF THE PROJECT UNTIL PAVEMENT HAS BEEN INSTALLED.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
5. INSPECT INLET PROTECTION AND SILT FENCES DAILY AND AFTER EACH RAIN STORM OF 0.25 INCH OR GREATER. REPAIR/MODIFY PROTECTION AS NECESSARY TO MAXIMIZE EFFICIENCY OF FILTER. REPLACE ALL FILTERS WHEN SEDIMENT IS 1/3 THE FILTER HEIGHT.
6. CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE CONSTRUCTION PERIOD. DUST CONTROL MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, SPRINKLING WATER ON UNSTABLE SOILS SUBJECT TO ARID CONDITIONS.
7. THE CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION.
8. TEMPORARY SOIL STOCKPILE SHALL BE SURROUNDED BY SILT FENCE AND SHALL BE STABILIZED BY TEMPORARY EROSION CONTROL SEEDING. STOCKPILE AREAS TO BE LOCATED AS FAR AS POSSIBLE FROM THE DELINEATED EDGE OF WETLAND.
9. SAFETY FENCING SHALL BE PROVIDED AROUND STOCKPILES OVER 10 FT.

GRADING AND DRAINAGE NOTES:

1. COMPACTION REQUIREMENTS:

BELOW PAVED OR CONCRETE AREAS	95%
TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL	95%
BELOW LOAM AND SEED AREAS	90%

* ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM-2922.

2. ADJUST ALL MANHOLES, CATCHBASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE.
3. CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE AND LAWN AREAS FREE OF LOW SPOTS AND PONDING AREAS.
4. CONTRACTOR SHALL THOROUGHLY CLEAN ALL CATCHBASINS AND DRAIN LINES, WITHIN THE LIMIT OF WORK, OF SEDIMENT IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
5. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER AND MULCH.
6. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM WITH APPLICABLE FEDERAL, STATE AND CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS AND CONSTRUCTION SPECIFICATIONS, LATEST REVISIONS.

PUBLIC ACCESS TO THE POND (SEE SURVEY NOTE #2)
HAMMOND POND (A GREAT POND) (SEE SURVEY NOTE #3)
4" VERTICAL PIPE
22" VERTICAL PVC TOP=167.2 I=166.4
APPROXIMATE LIMIT OF EXISTING RAIN GARDEN
RECONSTRUCT EXISTING BERM: GRADE TO DRAIN TOWARDS EXISTING RAIN GARDEN
CONSTRUCT SILT SOCK TO LIMITS SHOWN
SILT SOCK TO REMAIN UNTIL DOWN GRADIENT AREA IS FULLY STABILIZED
CONSTRUCT RIVER STONE APRON TO LIMITS SHOWN D50=4"
25' WETLAND BUFFER
50' WETLAND BUFFER
100' WETLAND BUFFER
BEGIN SILT SOCK
END SILT SOCK
TC:170.10 BC:(168.84)
TC:170.00 BC:(169.49)
TC:169.36 BC:(168.86)
TC:172.50 BC:(172.00)
TC:172.60 BC:(172.10)
TC:172.87 BC:(172.37)
TC:172.76 BC:(172.26)
TC:175.65 BC:(175.15)
TC:175.60 BC:(175.10)
TC:176.01 BC:(175.51)
APPROXIMATE LIMITS OF UNDERGROUND DETENTION BASIN
DETENTION BASIN
WATER QUALITY UNITS
GREASE TRAP
APPROX. DRAIN LINE
INV. @BLDG=165.70
OUTLET FROM

SCALE: 1" = 20'

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NOT FOR CONSTRUCTION

CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

PROJECT NO:	W1743-010B
DATE:	10/22/2023
FILE:	W1743-010B_C-GRAD.dwg
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GRADING, DRAINAGE, & EROSION CONTROL PLAN

SCALE: AS SHOWN

C-300

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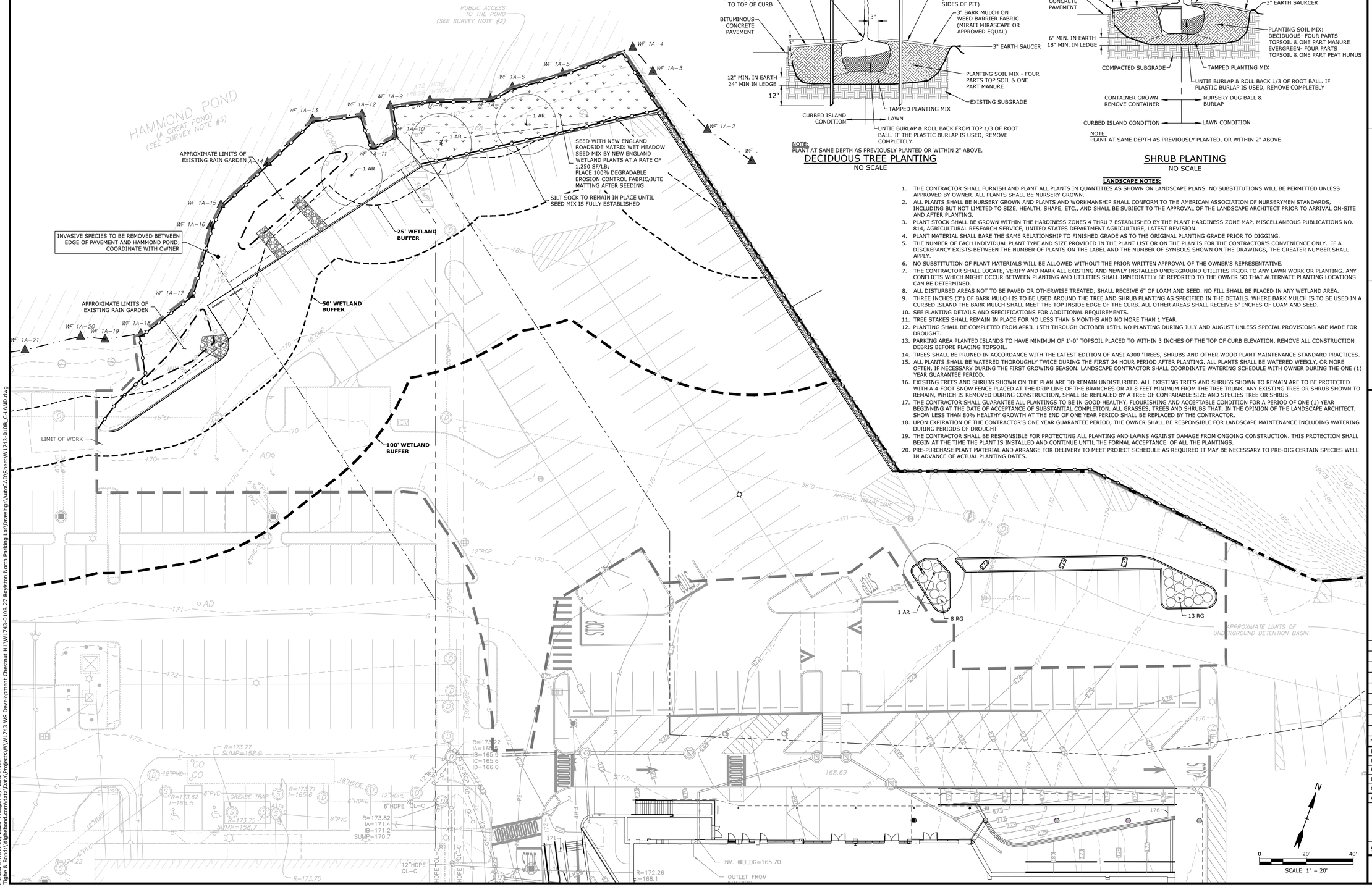
Tighe & Bond:\\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-010B 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\W1743-010B_C-GRAD.dwg

LEGEND

LIMIT OF WORK
PROPERTY LINE
100' WETLAND BUFFER
PROPOSED TREE
PROPOSED SHRUB/FERN

PARKING LOT PLANTING SCHEDULE

TREES				
	AR	*Acer freemanii 'Autumn Blaze'*	Autumn Blaze Maple	3" CAL.
SHRUBS				
	RG	*Rhus aromatica 'Grow-Low'*	Grow Low Sumac	3 GAL 48"



NOTE:
PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED OR WITHIN 2" ABOVE.

DECIDUOUS TREE PLANTING
NO SCALE

NOTE:
PLANT AT SAME DEPTH AS PREVIOUSLY PLANTED, OR WITHIN 2" ABOVE.

SHRUB PLANTING
NO SCALE

LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS IN QUANTITIES AS SHOWN ON LANDSCAPE PLANS. NO SUBSTITUTIONS WILL BE PERMITTED UNLESS APPROVED BY OWNER. ALL PLANTS SHALL BE NURSERY GROWN.
2. ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, INCLUDING BUT NOT LIMITED TO SIZE, HEALTH, SHAPE, ETC., AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO ARRIVAL ON-SITE AND AFTER PLANTING.
3. PLANT STOCK SHALL BE GROWN WITHIN THE HARDINESS ZONES 4 THRU 7 ESTABLISHED BY THE PLANT HARDINESS ZONE MAP, MISCELLANEOUS PUBLICATIONS NO. 814, AGRICULTURAL RESEARCH SERVICE, UNITED STATES DEPARTMENT AGRICULTURE, LATEST REVISION.
4. PLANT MATERIAL SHALL BARE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL PLANTING GRADE PRIOR TO DIGGING.
5. THE NUMBER OF EACH INDIVIDUAL PLANT TYPE AND SIZE PROVIDED IN THE PLANT LIST OR ON THE PLAN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF A DISCREPANCY EXISTS BETWEEN THE NUMBER OF PLANTS ON THE LABEL AND THE NUMBER OF SYMBOLS SHOWN ON THE DRAWINGS, THE GREATER NUMBER SHALL APPLY.
6. NO SUBSTITUTION OF PLANT MATERIALS WILL BE ALLOWED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR SHALL LOCATE, VERIFY AND MARK ALL EXISTING AND NEWLY INSTALLED UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR PLANTING. ANY CONFLICTS WHICH MIGHT OCCUR BETWEEN PLANTING AND UTILITIES SHALL IMMEDIATELY BE REPORTED TO THE OWNER SO THAT ALTERNATE PLANTING LOCATIONS CAN BE DETERMINED.
8. ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED, SHALL RECEIVE 6" OF LOAM AND SEED. NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
9. THREE INCHES (3") OF BARK MULCH IS TO BE USED AROUND THE TREE AND SHRUB PLANTING AS SPECIFIED IN THE DETAILS. WHERE BARK MULCH IS TO BE USED IN A CURBED ISLAND THE BARK MULCH SHALL MEET THE TOP INSIDE EDGE OF THE CURB. ALL OTHER AREAS SHALL RECEIVE 6" INCHES OF LOAM AND SEED.
10. SEE PLANTING DETAILS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
11. TREE STAKES SHALL REMAIN IN PLACE FOR NO LESS THAN 6 MONTHS AND NO MORE THAN 1 YEAR.
12. PLANTING SHALL BE COMPLETED FROM APRIL 15TH THROUGH OCTOBER 15TH. NO PLANTING DURING JULY AND AUGUST UNLESS SPECIAL PROVISIONS ARE MADE FOR DROUGHT.
13. PARKING AREA PLANTED ISLANDS TO HAVE MINIMUM OF 1'-0" TOPSOIL PLACED TO WITHIN 3 INCHES OF THE TOP OF CURB ELEVATION. REMOVE ALL CONSTRUCTION DEBRIS BEFORE PLACING TOPSOIL.
14. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE LATEST EDITION OF ANSI A300 'TREES, SHRUBS AND OTHER WOOD PLANT MAINTENANCE STANDARD PRACTICES.
15. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN, IF NECESSARY DURING THE FIRST GROWING SEASON. LANDSCAPE CONTRACTOR SHALL COORDINATE WATERING SCHEDULE WITH OWNER DURING THE ONE (1) YEAR GUARANTEE PERIOD.
16. EXISTING TREES AND SHRUBS SHOWN ON THE PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES AND SHRUBS SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE OR SHRUB SHOWN TO REMAIN, WHICH IS REMOVED DURING CONSTRUCTION, SHALL BE REPLACED BY A TREE OF COMPARABLE SIZE AND SPECIES TREE OR SHRUB.
17. THE CONTRACTOR SHALL GUARANTEE ALL PLANTINGS TO BE IN GOOD HEALTHY, FLOURISHING AND ACCEPTABLE CONDITION FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF ACCEPTANCE OF SUBSTANTIAL COMPLETION. ALL GRASSES, TREES AND SHRUBS THAT, IN THE OPINION OF THE LANDSCAPE ARCHITECT, SHOW LESS THAN 80% HEALTHY GROWTH AT THE END OF ONE YEAR PERIOD SHALL BE REPLACED BY THE CONTRACTOR.
18. UPON EXPIRATION OF THE CONTRACTOR'S ONE YEAR GUARANTEE PERIOD, THE OWNER SHALL BE RESPONSIBLE FOR LANDSCAPE MAINTENANCE INCLUDING WATERING DURING PERIODS OF DROUGHT
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PLANTING AND LAWNS AGAINST DAMAGE FROM ONGOING CONSTRUCTION. THIS PROTECTION SHALL BEGIN AT THE TIME THE PLANT IS INSTALLED AND CONTINUE UNTIL THE FORMAL ACCEPTANCE OF ALL THE PLANTINGS.
20. PRE-PURCHASE PLANT MATERIAL AND ARRANGE FOR DELIVERY TO MEET PROJECT SCHEDULE AS REQUIRED IT MAY BE NECESSARY TO PRE-DIG CERTAIN SPECIES WELL IN ADVANCE OF ACTUAL PLANTING DATES.

Tighe&Bond

DRAFT
NOT FOR CONSTRUCTION

CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

PROJECT NO:	W1743-010B
DATE:	10/22/2023
FILE:	W1743-010B_C-LAND.dwg
DRAWN BY:	EGD
CHECKED BY:	JMP
APPROVED BY:	JMP

LANDSCAPING PLAN

SCALE: AS SHOWN

C-400

N

0 20' 40'
SCALE: 1" = 20'

Last Saved: 9/21/2023
Plotted: Oct 22, 2023 - 7:55pm By: EDoremus
Tighe & Bond:\\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-010B 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\W1743-010B_C-LAND.dwg

PROJECT NAME AND LOCATION
CHESTNUT HILL SHOPPING CENTER PAVING IMPROVEMENTS
NEWTON, MASSACHUSETTS

LATITUDE 42°-19'-23"
LONGITUDE 71°-10'-09"

DESCRIPTION
THE PROJECT INVOLVES MILL AND OVERLAY OF THE EXISTING PARKING LOT BEHIND 27 BOYLSTON ST., CONSTRUCTION OF NEW LANDSCAPED ISLANDS, AND INVASIVE SPECIES CONTROL ALONG HAMMOND POND.

DISTURBED AREA
THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 1.3 ACRES.

SOIL CHARACTERISTICS
THE EXISTING SITE IS AN EXTENSIVELY DEVELOPED URBAN AREA. BASED ON THE NRCS MAPS AND SURVEY THE UNDERLYING SOILS CONSIST OF GLACIAL TILL AND FILL.

NAME OF RECEIVING WATERS
THE STORM WATER RUNOFF WILL BE DISCHARGED INTO HAMMOND POND.

SEQUENCE OF MAJOR ACTIVITIES
1. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS THAT WILL INFLUENCE STORMWATER RUNOFF SUCH AS:
   - NEW CONSTRUCTION
   - DISPOSAL OF SEDIMENT SPOIL, STUMP AND OTHER SOLID WASTE
   - CONTROL OF DUST
   - NEARNESS OF CONSTRUCTION SITE TO RECEIVING WATERS
   - CONSTRUCTION DURING LATE WINTER AND EARLY SPRING
2. CLEAR AND DISPOSE OF DEBRIS.
3. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS AS REQUIRED.
4. GRADE AND GRAVEL PARKING AREAS - ALL PARKING AREA SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
5. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER THEIR CONSTRUCTION.
6. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT SOCKS, SEDIMENT TRAPS, ETC., MULCH AND SEED AS REQUIRED.
7. FINISH PAVING ALL DRIVE AISLES AND PARKING LOTS.
8. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES.
9. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
10. REMOVE TRAPPED SEDIMENTS FROM COLLECTOR DEVICES AS APPROPRIATE AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE SITE IS FULLY STABILIZED.

NOTE: THE CONSTRUCTION SEQUENCE MUST LIMIT THE DURATION AND AREA OF DISTURBANCE.

EROSION CONTROL NOTES
1. GENERAL - THESE ARE THE GENERAL INSPECTION AND MAINTENANCE PRACTICES THAT WILL BE USED TO IMPLEMENT THE PLAN.
   A. THE SMALLEST PRACTICAL PORTION OF THE SITE SHALL BE DENUDED AT ONE TIME.
   B. ALL CONTROL MEASURES SHALL BE INSPECTED AT LEAST ONCE EACH WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCH OR GREATER.
   C. ALL MEASURES SHALL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.
   D. BUILT UP SEDIMENT SHALL BE REMOVED FROM SILT SOCK OR SILT SACKS WHEN IT HAS REACHED ONE THIRD THE HEIGHT OF THE SOCK OR SACK.
   E. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION.
   F. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORT.
   G. THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF RESOURCE PROTECTION.
   H. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE, OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES OR SPECIFICATIONS.
   I. THE USE OF SAND FOR THE PURPOSE OF PEDESTRIAN SAFETY AND SAFE DRIVING CONDITION SHALL BE MINIMIZED.

STABILIZATION
1. AN AREA SHALL BE CONSIDERED STABLE WHEN ONE OF THE FOLLOWING HAS OCCURRED:
   A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
   B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
   C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
   D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
2. WINTER STABILIZATION PRACTICES:
   A. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY NOVEMBER 15TH, OR WHICH ARE DISTURBED AFTER NOVEMBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHOR NETTING, ELSEWHERE.
   B. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITION.
   C. AFTER NOVEMBER 15TH, INCOMPLETE ROAD SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
3. STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA. STABILIZATION MEASURES TO BE USED INCLUDE:
   A. TEMPORARY SEEDING
   B. MULCHING
4. WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN THESE AREAS, SILT SOCK BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.
5. SHEET RUNOFF FROM THE SITE SHALL BE FILTERED THROUGH SILT SOCKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY NOVEMBER 15.

DUST CONTROL:
1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST THROUGHOUT THE CONSTRUCTION PERIOD.
2. DUST CONTROL METHODS SHALL INCLUDE, BUT BE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.
3. DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ABUTTING AREAS.

STOCKPILES
1. LOCATE STOCKPILES OUTSIDE OF RESOURCE AREAS AND THE 100-FOOT WETLAND BUFFER ZONE AND A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
2. ALL STOCKPILES SHALL BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
3. PERIMETER BARRIERS SHALL BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHALL BE INSPECTED AT THE END OF EACH WORKING DAY.
4. PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

OFF SITE VEHICLE TRACKING
THE CONTRACTOR SHALL CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE(S) AS NEEDED PRIOR TO ANY EXCAVATION ACTIVITIES.

VEGETATION
1. TEMPORARY GRASS COVER
   A. SEEDBED PREPARATION:
      APPLY PHOSPHORUS FREE FERTILIZER PER THE MANUFACTURERS RECOMMENDATION. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF THREE (3) TONS PER ACRE.
   B. SEEDING
   C. UTILIZE ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE.
   D. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF TWO (2) INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED.
   E. APPLY SEED UNIFORMLY BY HAND, CYCLONE SEEDER, OR HYDROSEEDER (SLURRY INCLUDING SEED AND FERTILIZER). HYDROSEEDINGS, WHICH INCLUDE MULCH, MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10% WHEN HYDROSEEDING.
   F. MAINTENANCE:
      TEMPORARY SEEDING SHALL BE PERIODICALLY INSPECTED. AT A MINIMUM, 95% OF THE SOIL SURFACE SHOULD BE COVERED BY VEGETATION. IF ANY EVIDENCE OF EROSION OR SEDIMENTATION IS APPARENT, REPAIRS SHALL BE MADE AND OTHER TEMPORARY MEASURES USED IN THE INTERIM (MULCH, FILTER BARRIERS, CHECK DAMS, ETC.).
2. VEGETATIVE PRACTICE FOR PERMANENT MEASURES AND PLANTINGS.
   A. LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF THREE (3) TONS PER ACRE IN ORDER TO PROVIDE A PH VALUE OF 5.5 TO 6.5.
   B. FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. PHOSPHORUS FREE FERTILIZER SHALL BE APPLIED PER MANUFACTURERS RECOMMENDATION.
   C. SOIL CONDITIONERS AND FERTILIZER SHALL BE APPLIED AT THE RECOMMENDED RATES AND SHALL BE THOROUGHLY WORKED INTO THE LOAM. LOAM SHALL BE RAKED UNTIL THE SURFACE IS FINELY PULVERIZED, SMOOTH AND EVEN, AND THEN COMPACTED TO AN EVEN SURFACE CONFORMING TO THE REQUIRED LINES AND GRADES WITH APPROVED ROLLERS WEIGHING BETWEEN 4-1/2 POUNDS AND 5-1/2 POUNDS PER INCH OF WIDTH.
   D. SEED SHALL BE SOWN AT THE RATE SHOWN BELOW. SOWING SHALL BE DONE ON A CALM, DRY DAY, PREFERABLY BY MACHINE, BUT IF BY HAND, ONLY BY EXPERIENCED WORKMEN. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH.
   E. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AS INDICATED ABOVE.
   F. THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED WITH GRASS SHALL BE RESEEDED, AND ALL NOXIOUS WEEDS REMOVED.
   G. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE SEEDED AREAS UNTIL ACCEPTED.
   H. A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE APPLIED AT THE INDICATED RATE:

SEEDING RATE	% BY WEIGHT
"REBEL II" TALL FESCUE	70
"BARON" KENTUCKY BLUEGRASS	10
"PALMER" PERENNIAL RYEGRASS	20

   IN NO CASE SHALL THE WEED CONTENT EXCEED ONE (1) PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH STATE AND FEDERAL SEED LAWS. SEEDING SHALL BE DONE NO LATER THAN SEPTEMBER 15. IN NO CASE SHALL SEEDING TAKE PLACE OVER SNOW.
3. DORMANT SEEDING (SEPTEMBER 15 TO FIRST SNOWFALL) FOLLOW PERMANENT MEASURES SLOPE, LIME, FERTILIZER AND GRADING REQUIREMENTS. APPLY SEED MIXTURE AT TWICE THE INDICATED RATE. APPLY MULCH AS INDICATED FOR PERMANENT MEASURES.

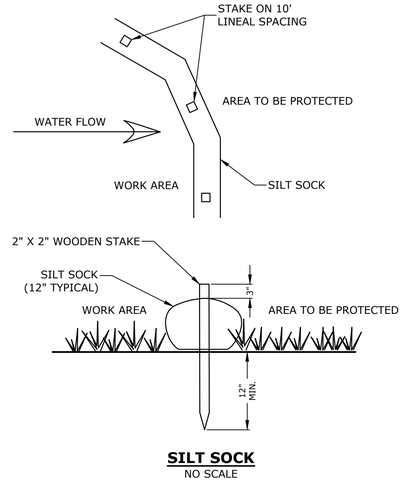
ALLOWABLE NON-STORMWATER DISCHARGES
1. DISCHARGES FROM FIRE-FIGHTING ACTIVITIES
2. WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED
3. WATER USED TO CONTROL DUST
4. POTABLE WATER INC. UNCONTAMINATED WATER LINE FLUSHINGS
5. ROUTINE EXTERNAL BUILDING WASH DOWN -NO DETERGENTS
6. PAVEMENT WASH WATERS -NO SPILLS OR DETERGENTS
7. UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATE
8. UNCONTAMINATED GROUND WATER OR SPRING WATER
9. FOUNDATION OR FOOTING DRAINS -NOT CONTAMINATED
10. UNCONTAMINATED EXCAVATION DEWATERING
11. LANDSCAPE IRRIGATION

WASTE DISPOSAL
1. WASTE MATERIALS
   A. ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER.
   B. NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE.
   C. ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
2. HAZARDOUS WASTE
   A. ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER.
   B. SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
3. SANITARY WASTE
   A. ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

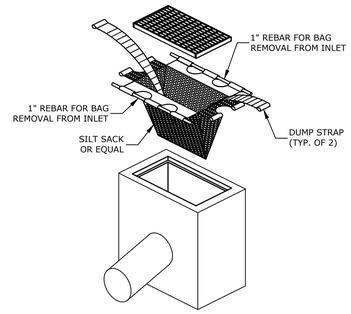
SPILL PREVENTION
1. CONTRACTOR SHALL BE FAMILIAR WITH SPILL PREVENTION MEASURES REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES. AT A MINIMUM, CONTRACTOR SHALL FOLLOW THE BEST MANAGEMENT SPILL PREVENTION PRACTICES OUTLINED BELOW.
2. THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT SHALL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES DURING CONSTRUCTION TO STORMWATER RUNOFF:
   A. GOOD HOUSEKEEPING - THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
      a. ONLY SUFFICIENT AMOUNTS OF PRODUCTS TO DO THE JOB SHALL BE STORED ON SITE.
      b. ALL MATERIALS STORED ON SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR PROPER (ORIGINAL IF POSSIBLE) CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
      c. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
      d. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.
      e. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
      f. WHENEVER POSSIBLE ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
   B. HAZARDOUS PRODUCTS - THE FOLLOWING PRACTICES SHALL BE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS:
      a. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
      b. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED FOR IMPORTANT PRODUCT INFORMATION.
      c. SURPLUS PRODUCT THAT MUST BE DISPOSED OF SHALL BE DISCARDED ACCORDING TO THE MANUFACTURER'S RECOMMENDED METHODS OF DISPOSAL.
   C. PRODUCT SPECIFICATION PRACTICES -THE FOLLOWING PRODUCT SPECIFIC PRACTICES SHALL BE FOLLOWED ON SITE:
      a. PETROLEUM PRODUCTS:
      - ALL ON SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE LEAKAGE.
      - PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT BASED SUBSTANCES USED ON SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
      b. FERTILIZERS:
      - FERTILIZERS USED SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS DIRECTED BY THE SPECIFICATIONS.
      - ONCE APPLIED FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORMWATER.
      - STORAGE SHALL BE IN A COVERED SHED OR ENCLOSED TRAILERS. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
      c. PAINTS:
      - ALL CONTAINERS SHALL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.
      - EXCESS PAINT SHALL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM.
      - EXCESS PAINT SHALL BE DISPOSED OF PROPERLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
   D. SPILL CONTROL PRACTICES - IN ADDITION TO GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
      a. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE CLEARLY POSTED AND SITE PERSONNEL SHALL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
      b. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS SHALL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST AND PLASTIC OR METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
      c. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
      d. THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND PERSONNEL SHALL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
      e. SPILLS OF TOXIC OR HAZARDOUS MATERIAL SHALL BE REPORTED TO THE APPROPRIATE LOCAL, STATE OR FEDERAL AGENCIES AS REQUIRED.
      f. THE SITE SUPERINTENDENT RESPONSIBLE FOR DAY-TO-DAY SITE OPERATIONS SHALL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.
   E. VEHICLE FUELING AND MAINTENANCE PRACTICE:
      a. CONTRACTOR SHALL MAKE AN EFFORT TO PERFORM EQUIPMENT/VEHICAL FUELING AND MAINTENANCE AT AN OFF-SITE FACILITY.
      b. CONTRACTOR SHALL PROVIDE AN ON-SITE FUELING AND MAINTENANCE AREA THAT IS CLEAN AND DRY.
      c. IF POSSIBLE THE CONTRACTOR SHALL KEEP AREA COVERED.
      d. CONTRACTOR SHALL KEEP A SPILL KIT AT THE FUELING AND MAINTENANCE AREA.
      e. CONTRACTOR SHALL VEHICLES SHALL BE INSPECTED REGULARLY FOR LEAKS AND DAMAGE.
      f. CONTRACTOR SHALL USE DRIP PANS, DRIP CLOTHS, OR ABSORBENT PADS WHEN REPLACING SPENT FLUID.

EROSION CONTROL OBSERVATIONS AND MAINTENANCE PRACTICES
THIS PROJECT EXCEEDS ONE (1) ACRE OF DISTURBANCE AND THUS DOES REQUIRE A SWPPP. THE SWPPP SHALL BE PREPARED BY THE GENERAL CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE FAMILIAR WITH THE SWPPP AND KEEP AN UPDATED COPY OF THE SWPPP ONSITE AT ALL TIMES.

THE FOLLOWING REPRESENTS THE GENERAL OBSERVATION AND REPORTING PRACTICES THAT SHALL BE FOLLOWED AS PART OF THIS PROJECT.
1. OBSERVATIONS OF THE PROJECT FOR COMPLIANCE WITH THE SWPPP SHALL BE MADE BY THE ENGINEER (CONTRACTOR) AT LEAST ONCE A WEEK OR WITHIN 24 HOURS OF A STORM 0.25 INCHES OR GREATER.
2. AN OBSERVATION REPORT SHALL BE MADE AFTER EACH OBSERVATION AND DISTRIBUTED TO THE ENGINEER, THE OWNER, AND THE CONTRACTOR.
3. A REPRESENTATIVE OF THE SITE CONTRACTOR, SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES.
4. IF A REPAIR IS NECESSARY, IT SHALL BE INITIATED WITHIN 24 HOURS OF REPORT.

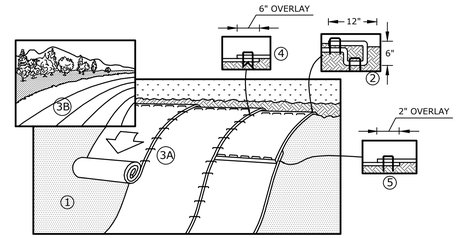


SILT SOCK
NO SCALE



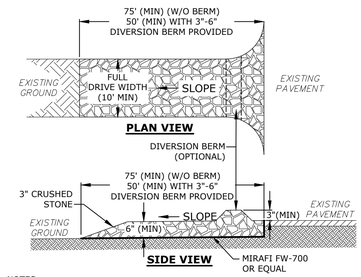
NOTES:
1. INLET PROTECTION BARRIER SHALL BE SILT SACK BY ACF ENVIRONMENTAL OR APPROVED EQUAL.
2. INLET PROTECTION BARRIER SHALL BE INSTALLED IN ALL EXISTING AND PROPOSED CATCH BASINS LOCATED WITHIN THE LIMIT OF WORK.
3. SILT SACK SHALL BE INSPECTED REGULARLY AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

INLET PROTECTION
NO SCALE



NOTES:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE, 36" OVER THE GRADE BREAK, BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UPSLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF TAPLES/STAKES 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES SPACED 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS DOWN THE SLOPE. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SOIL SURFACE BY PLACING STAPLES IN APPROPRIATE LOCATIONS AS SHOWN ON THE STAPLE PATTERN GUIDE.
4. STAPLE LENGTHS SHALL BE A MINIMUM OF 8 INCHES.

EROSION CONTROL BLANKET
NO SCALE



NOTES:
1. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT FROM THE SITE. WHEN WASHING IS REQUIRED, IT SHALL BE DONE SO RUNOFF DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERWAYS

STABILIZED CONSTRUCTION EXIT
NO SCALE

Tighe&Bond

DRAFT
NOT FOR CONSTRUCTION

CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

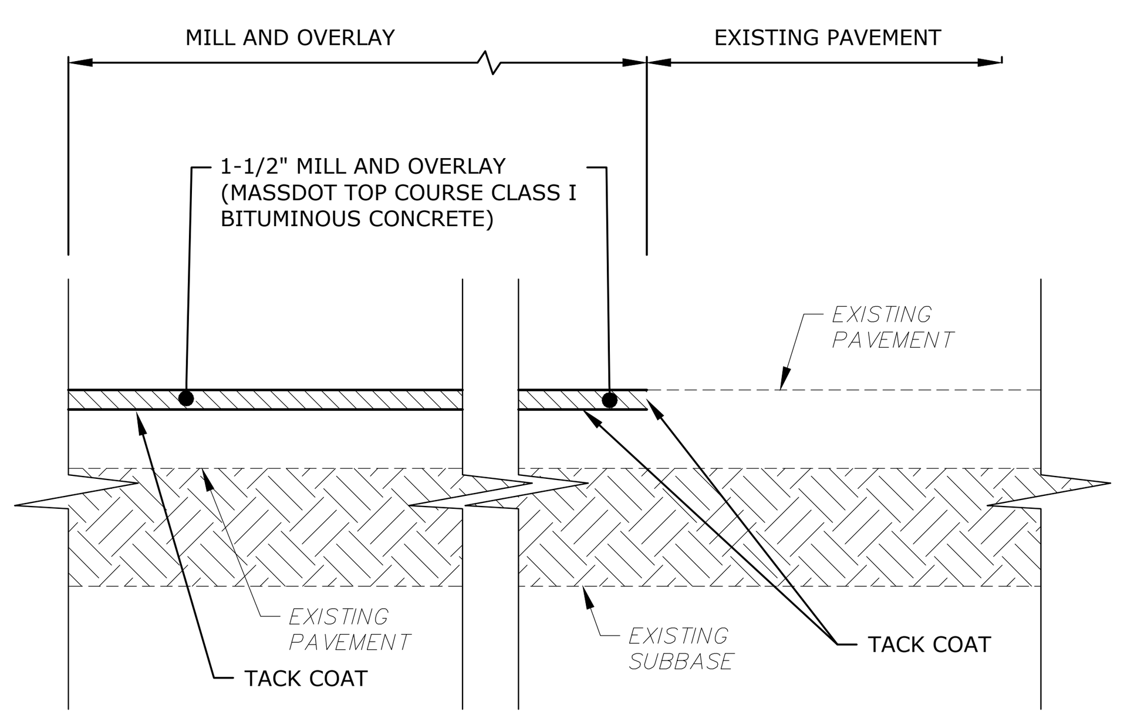
PROJECT NO:	W1743-010B
DATE:	10/22/2023
FILE:	W1743-010B_C-DTLS.dwg
DRAWN BY:	EGD
CHECKED BY:	JMP
APPROVED BY:	JMP

EROSION CONTROL NOTES & DETAILS

SCALE: AS SHOWN

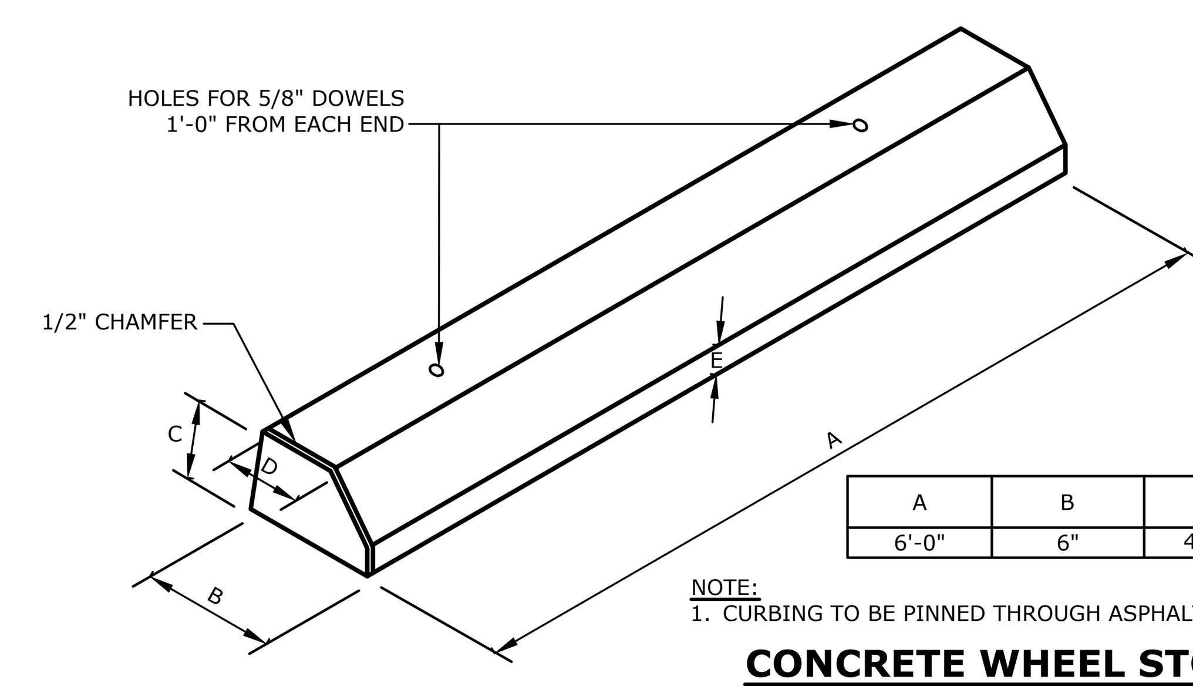
C-500

Last Saved: 9/21/2023
Plotted: Oct 22, 2023 - 7:40pm By: EDoremus
Tighe & Bond:\\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-010B 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\W1743-010B_C-DTLS.dwg



NOTES:
1. TACK COAT (MHD M3.03.0) (0.05 GALLONS PER SQUARE YARD) SHALL BE APPLIED TO THE EXISTING MILLED SURFACE PRIOR TO INSTALLING TOP COURSE.

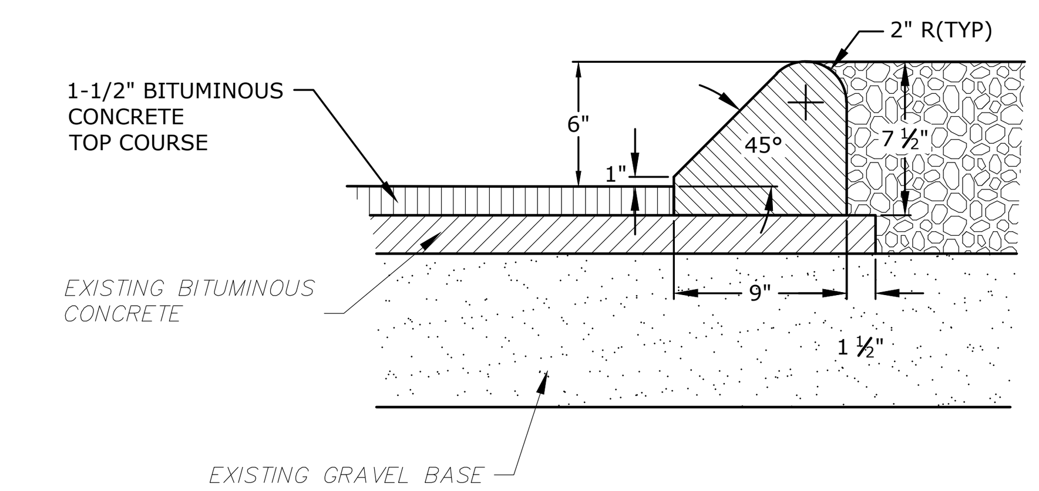
MILL AND OVERLAY
NO SCALE



A	B	C	D	E	WEIGHT PER FOOT	REINFORCING SCHEDULE
6'-0"	6"	4 1/2"	2 1/2"	1 3/4"	23 LBS.	4 - #3 BARS

NOTE:
1. CURBING TO BE PINNED THROUGH ASPHALT PAVEMENT.

CONCRETE WHEEL STOP
NO SCALE



BITUMINOUS CONCRETE BERM
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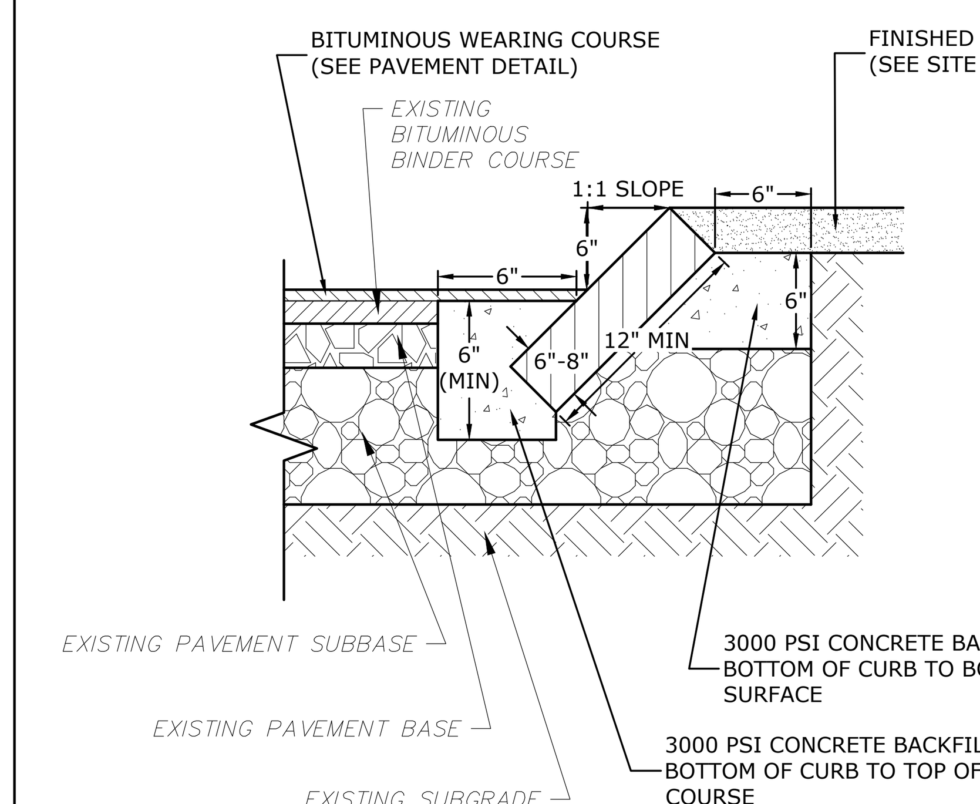
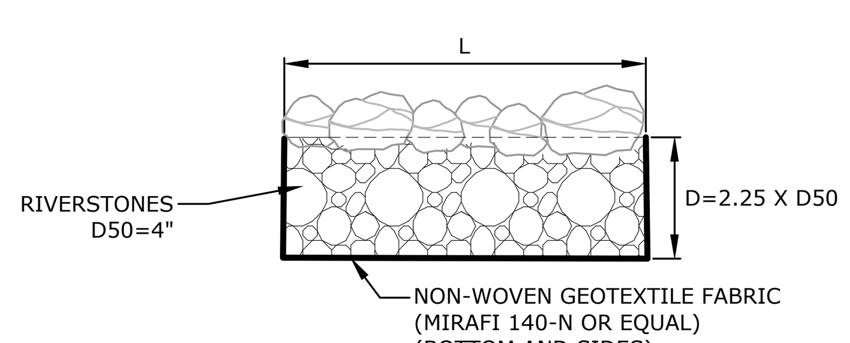


CURB RADIUS TABLE	
RADIUS	MAX LENGTH
<2'	USE CURVED CURB
2'-15'	USE RADIAL JOINTS
16'-28'	1'-6"
29'-41	2'
42'-55'	3'
56'-68'	4'
69'-82'	5'
83'-96'	6'
97'-110'	7'
>110'	8'

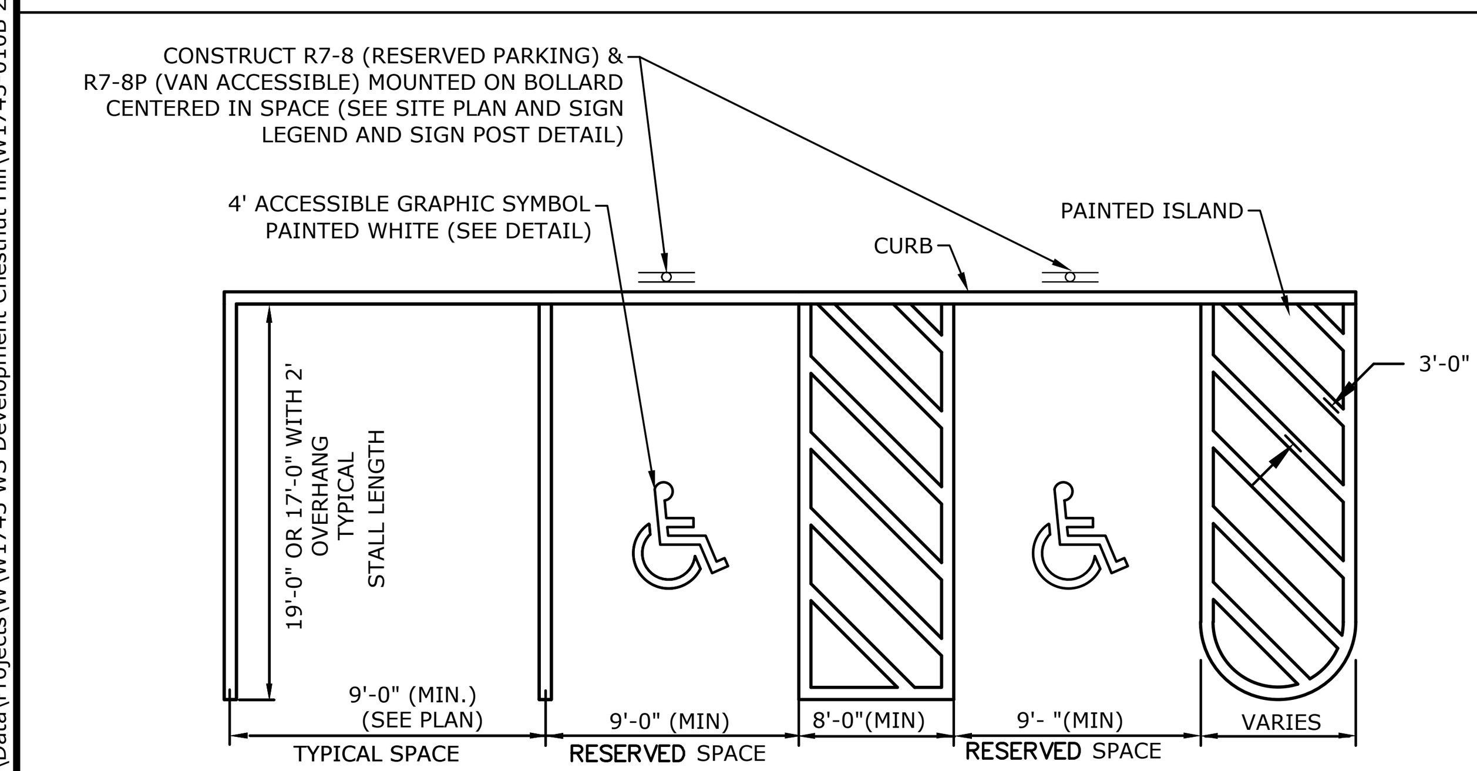
NOTES:
1. SEE SITE PLAN(S) FOR LIMITS OF SLOPED GRANITE CURB (SGC).
2. ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.
3. MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
4. MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
5. MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES (SEE TABLE).
6. JOINTS BETWEEN STONES SHALL HAVE A MAXIMUM SPACING OF 1/2" AND SHALL BE MORTARED.

SLOPED GRANITE CURB
NO SCALE



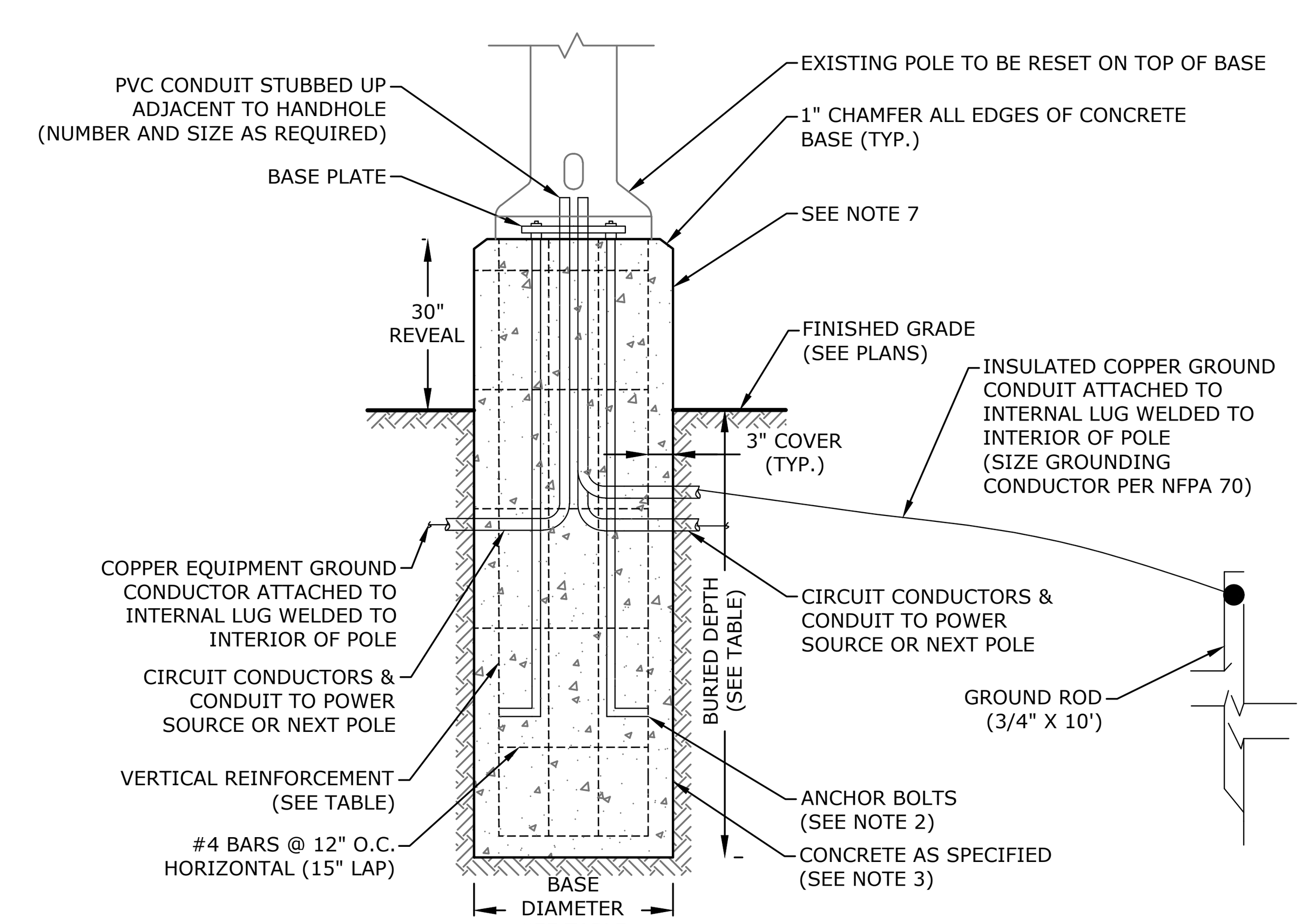
NOTES:
1. SEE DIMENSIONS DETAILED ON PLANS.
2. THE STONE SHALL BE COMPOSED OF A WELL-GRADED MIXTURE DOWN TO THE ONE-INCH SIZE PARTICLE SUCH THAT 50 PERCENT OF THE MIXTURE BY WEIGHT SHALL BE LARGER THAN THE D50 SIZE SPECIFIED. A WELL-GRADED MIXTURE IS DEFINED AS A MIXTURE COMPOSED PRIMARILY OF THE LARGER STONE SIZE BUT WITH A SUFFICIENT MIXTURE OF OTHER SIZES TO FILL THE PROGRESSIVELY SMALLER VOIDS BETWEEN THE STONES. THE DIAMETER OF THE LARGEST STONE SIZE IN SUCH A MIXTURE SHALL BE 1.5 TIMES THE D50 SIZE.

RIVERSTONE APRON
NO SCALE



NOTE:
1. ALL PAINT SHALL BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248-TYPE F. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND LOCAL AND STATE REQUIREMENTS.
3. FINISH PAVEMENT GRADES AT ALL HANDICAP ACCESSIBLE STALLS AND PAINTED ACCESS AISLES SHALL NOT EXCEED 2% IN ANY DIRECTION.

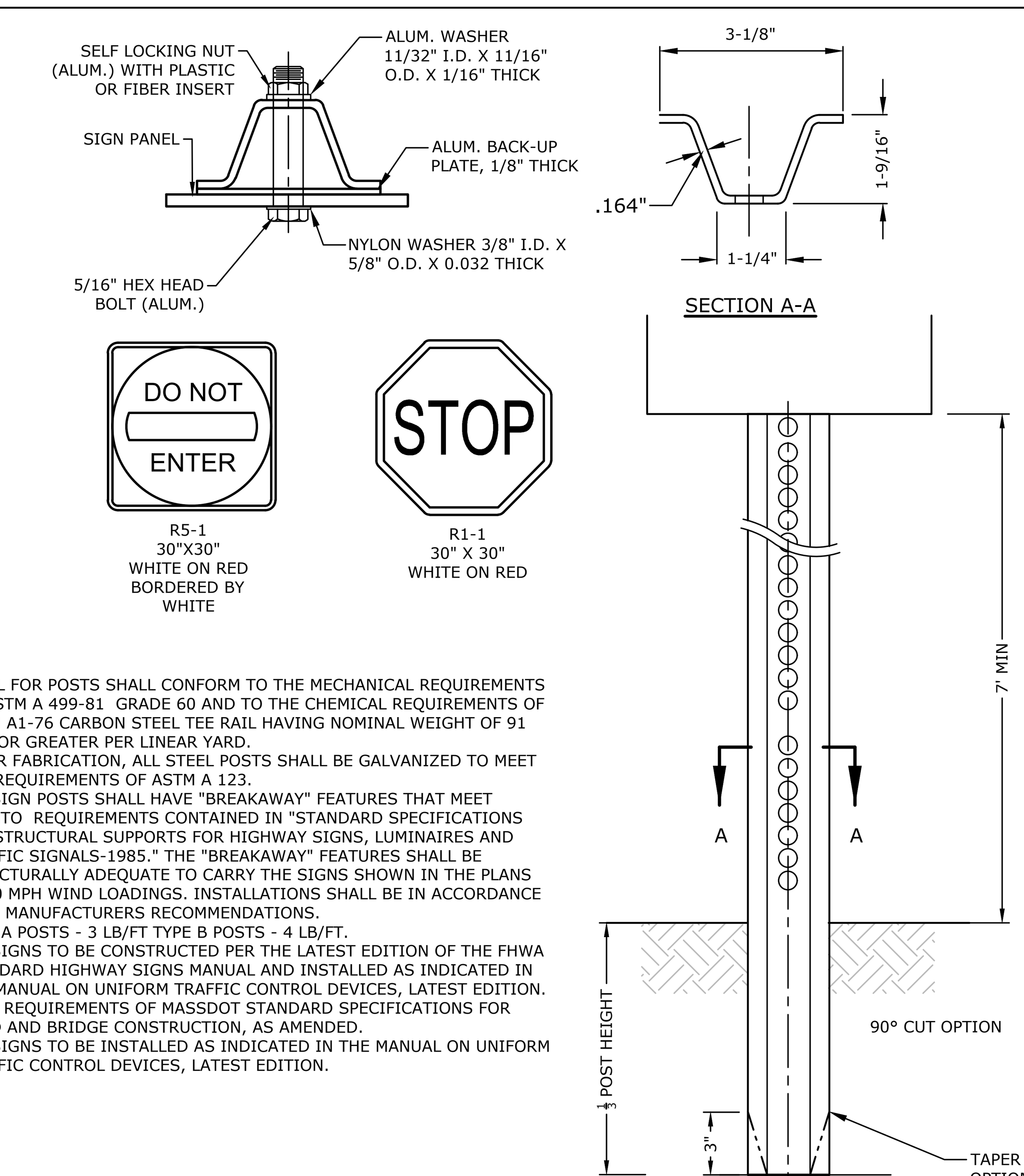
STALL STRIPING-SINGLE STRIPE
NO SCALE



POLE HEIGHT	DEPTH (BURIED)	BASE DIAMETER	VERTICAL REINFORCEMENT	VERTICAL REINFORCEMENT LENGTH
16'>	72"	18"	6 - #6	5'-9"
16'<	72" (MIN.)	24"	6 - #8	5'-9"

NOTES:
1. ALL LIGHT POLES, LUMINARIES AND WIRE TO BE FURNISHED BY THE CONTRACTOR UNLESS OTHERWISE DIRECTED.
2. CONTRACTOR SHALL VERIFY BOLT TEMPLATE AND ANCHOR BOLT SIZE WITH POLE MANUFACTURER PRIOR TO CONSTRUCTION.
3. CONCRETE SHALL BE 4,000 PSI CLASS A, PRE-CAST CONCRETE.
4. REINFORCEMENT SHALL BE ASTM A615, GRADE 60.
5. FOR LIGHT POLES GREATER THAN 20' IN HEIGHT, THE LIGHT POLE BASE SHALL BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS.
6. EXTENDED LIGHT POLE BASE TO BE USED IN VEHICULAR AREAS.
7. PAINT LIGHT POLE BASE SAFETY YELLOW WHERE NOT PROTECTED BY CURB.

EXTENDED LIGHT POLE BASE
NO SCALE



NOTES:
1. STEEL FOR POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499-81 GRADE 60 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1-76 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT OF 91 LBS. OR GREATER PER LINEAR YARD.
2. AFTER FABRICATION, ALL STEEL POSTS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A 123.
3. ALL SIGN POSTS SHALL HAVE "BREAKAWAY" FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS-1985." THE "BREAKAWAY" FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 MPH WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
4. TYPE A POSTS - 3 LB/FT TYPE B POSTS - 4 LB/FT.
5. ALL SIGNS TO BE CONSTRUCTED PER THE LATEST EDITION OF THE FHWA STANDARD HIGHWAY SIGNS MANUAL AND INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
6. MEET REQUIREMENTS OF MASSDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS AMENDED.
7. ALL SIGNS TO BE INSTALLED AS INDICATED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

SIGN LEGEND AND SIGN POST WITH BREAKAWAY MOUNT
NO SCALE

Tighe&Bond

DRAFT
NOT FOR CONSTRUCTION

CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

PROJECT NO:	W1743-010B
DATE:	10/22/2023
FILE:	W1743-010B_C-DTLS.dwg
DRAWN BY:	EGD
CHECKED BY:	JMP
APPROVED BY:	JMP

DETAILS

SCALE: AS SHOWN

C-501

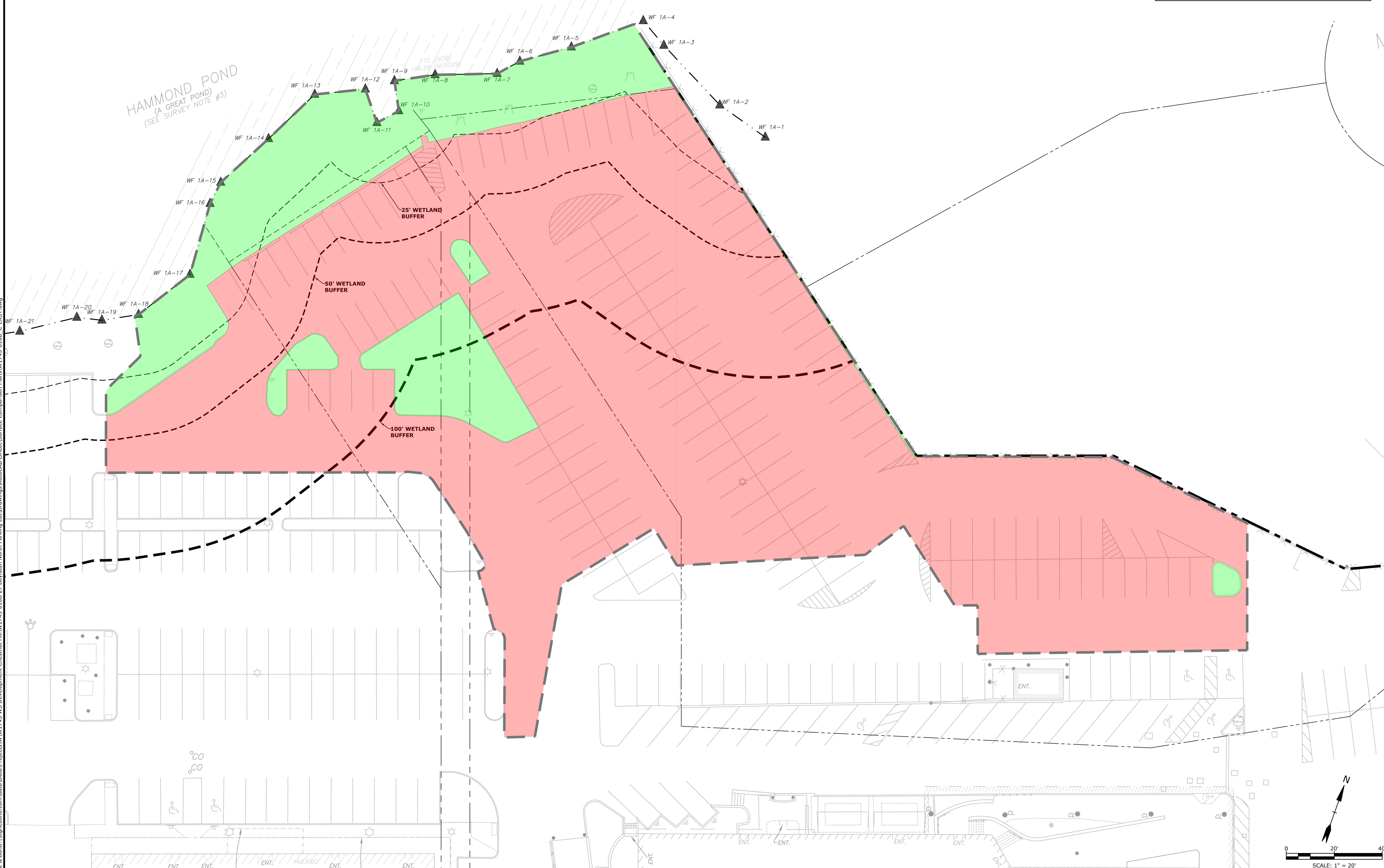
Last Saved: 9/21/2023
Plotted On:Oct 22, 2023-7:40pm By: EDoremus
Tighe & Bond:\\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-010B 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\W1743-010B_C-DTLS.dwg

LEGEND

PERVIOUS SURFACE

IMPERVIOUS SURFACE

EXISTING PERVIOUS: 10,669 SF
EXISTING IMPERVIOUS: 49,952 SF



Tighe&Bond

DRAFT
NOT FOR CONSTRUCTION

CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

PROJECT NO:	W1743-010B
DATE:	10/23/2023
FILE:	W1743-010B_C-EXST.dwg
DRAWN BY:	EGD
CHECKED BY:	JMP
APPROVED BY:	JMP

EXISTING
SURFACE COMPARISON PLAN

SCALE: AS SHOWN

1.0

Last Saved: 9/19/2023
Plotted On:Oct 22, 2023-8:17pm By: EDoremus
Tighe & Bond:\\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-010B 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\Surface Comparison Plans\W1743-010B_C-EXST.dwg

LEGEND

PERVIOUS SURFACE

IMPERVIOUS SURFACE

PROPOSED PERVIOUS: 11,643 SF*
PROPOSED IMPERVIOUS: 48,608 SF

***PERVIOUS CALCULATION EXCLUDES 370 SF OF NEW GREENSPACE SHOWN AS A PORTION OF THIS WORK WAS INCLUDED AS PART OF THE 27 BOYLSTON PROJECT.**

WF 1A-1
WF 1A-2
WF 1A-3
WF 1A-4
WF 1A-5
WF 1A-6
WF 1A-7
WF 1A-8
WF 1A-9
WF 1A-10
WF 1A-11
WF 1A-12
WF 1A-13
WF 1A-14
WF 1A-15
WF 1A-16
WF 1A-17
WF 1A-18
WF 1A-19
WF 1A-20
WF 1A-21

285 SF NEW PERVIOUS AREA WITHIN 100' WETLAND BUFFER

25' WETLAND BUFFER

50' WETLAND BUFFER

100' WETLAND BUFFER

APPROXIMATE LOCATION OF PREVIOUSLY COUNTED 370 SF NEW PERVIOUS AREA*

STOP

0 20' 40'
SCALE: 1" = 20'

Tighe&Bond

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NOT FOR CONSTRUCTION

CHESTNUT HILL SHOPPING CENTER PAVING MAINTENANCE

CHESTNUT HILL SHOPPING CENTER, LLC

Chestnut Hill, MA

MARK	DATE	DESCRIPTION

PROJECT NO:	W1743-010B
DATE:	10/23/2023
FILE:	W1743-010B_C-PROP.dwg
DRAWN BY:	EGD
CHECKED BY:	JMP
APPROVED BY:	JMP

PROPOSED
SURFACE COMPARISON PLAN

SCALE: AS SHOWN

2.0

Last Saved: 01/9/2023
Plotted: Oct 27, 2023 - 8:15pm By: EDoremus
Tighe & Bond: \\tighebond.com\data\Data\Projects\W\W1743 WS Development Chestnut Hill\W1743-0108 27 Boylston North Parking Lot\Drawings\AutoCAD\Sheet\Surface Comparison Plans\W1743-010B_C-PROP.dwg