

City of Newton Planning and Development

Petition #317-23

Special Permit/Site Plan Approval to demolish the existing dwelling and construct six single-family attached dwellings in three separate structures

October 17, 2023



280 Nevada Street

Zoning Relief

317-23

Zoning Relief Required		
<i>Ordinance</i>	<i>Requested Relief</i>	<i>Action Required</i>
§3.4.1	To allow attached single-family dwellings	S.P. per §7.3.3
§3.2.4	To allow reduced side setbacks	S.P. per §7.3.3
§5.1.8.A.1 §5.1.13	To allow parking in the front and side setbacks	S.P. per §7.3.3
§5.1.8.C §5.1.13	To allow a reduced maneuvering aisle width	S.P. per §7.3.3
§5.1.9 §5.1.13	To waive the perimeter screening requirements	S.P. per §7.3.3
§5.1.10.A §5.1.13	To waive the lighting requirements	S.P. per §7.3.3
§5.4.2.B	To allow a retaining wall of four feet in height within a setback	S.P. per §7.3.3
§6.2.3.B.2	To allow parking within twenty feet of the front and side lot line and a driveway within 10 feet of the side lot line	S.P. per §7.3.3

- + Proposed left- and right- side setbacks measure 23.4 and 16.2 ft., respectively, where 25 ft. is required
- + A parking stall is located nine feet from the back of the sidewalk 22 ft from left side property line, both less than the required 25 ft. setback.
- + Proposed maneuvering aisle is 18 ft. wide where 24 ft. is required
- + Front parking stall is nine feet from the front property line, less than required twenty feet; the driveway is located four feet from the left property line, less than the required 10 ft.

Criteria to Consider

When reviewing this request, the Council should consider whether:

1. The specific site with a lot area of 29,550 square feet is an appropriate location for the proposed six attached single-family dwellings in three structures, as designed with a reduced side setback; a parking facility with a parking stall in the front and side setbacks, reduced maneuvering aisle width, waived perimeter screening and lighting requirements, and parking within twenty feet of the front and side setback, and a driveway within 10 feet of the side lot line; and a retaining wall with a height of four feet or more in a setback (§7.3.3.C.1)
2. The proposed six attached single-family dwellings in three structures, as designed with a reduced side setback; a parking facility with a parking stall in the front and side setbacks, reduced maneuvering aisle width, waived perimeter screening and lighting requirements, and parking within twenty feet of the front and side setback, and a driveway within 10 feet of the side lot line; and a retaining wall with a height of four feet or more in a setback, will not adversely affect the neighborhood. (§7.3.3.C.2)
3. There will be no nuisance or serious hazard to vehicles or pedestrians. (§7.3.3.C.3)
4. Access to the site over streets is appropriate for the types and numbers of vehicles involved. (§7.3.3.C.4)
5. Granting exceptions to certain requirements provided by §3.2.4 requiring a minimum side setback of 25 feet is appropriate as literal compliance is impractical due to the nature of the use, or the location, size, frontage, depth, shape, or grade of the lot, or that such exceptions would be in the public interest, or in the interest of safety, or protection of environmental features. (§3.2.4)

Criteria to Consider (cont.)

When reviewing this request, the Council should consider whether:

6. Granting exceptions to certain requirements provided by §3.2.4 requiring a minimum side setback of 25 feet is appropriate as literal compliance is impractical due to the nature of the use, or the location, size, frontage, depth, shape, or grade of the lot, or that such exceptions would be in the public interest, or in the interest of safety, or protection of environmental features. (§3.2.4)
7. Granting exceptions to certain requirements provided by §5.1 pertaining to the location of parking stalls in the front and side setbacks, minimum maneuvering aisle widths, perimeter screening and lighting requirements, and parking within twenty feet of the front and side setback, and a driveway within 10 feet of the side lot line, would be appropriate as literal compliance is impracticable due to the nature of the use, or the location, size, width, depth, shape, or grade of the lot, or that such exceptions would be in the public interest, or in the interest of safety, or protection of environmental features. (§5.1.13)
8. Granting exceptions to certain requirements provided by Sec. 6.2.3.B.2 not allowing the location of parking within 20 feet of a lot line and/or a driveway within 10 feet of the side lot line would be appropriate as literal compliance is impracticable due to the nature of the use, or the location, size, width, depth, shape, or grade of the lot, or that such exceptions would be in the public interest, or in the interest of safety, or protection of environmental features. (§6.2.3.B.2)

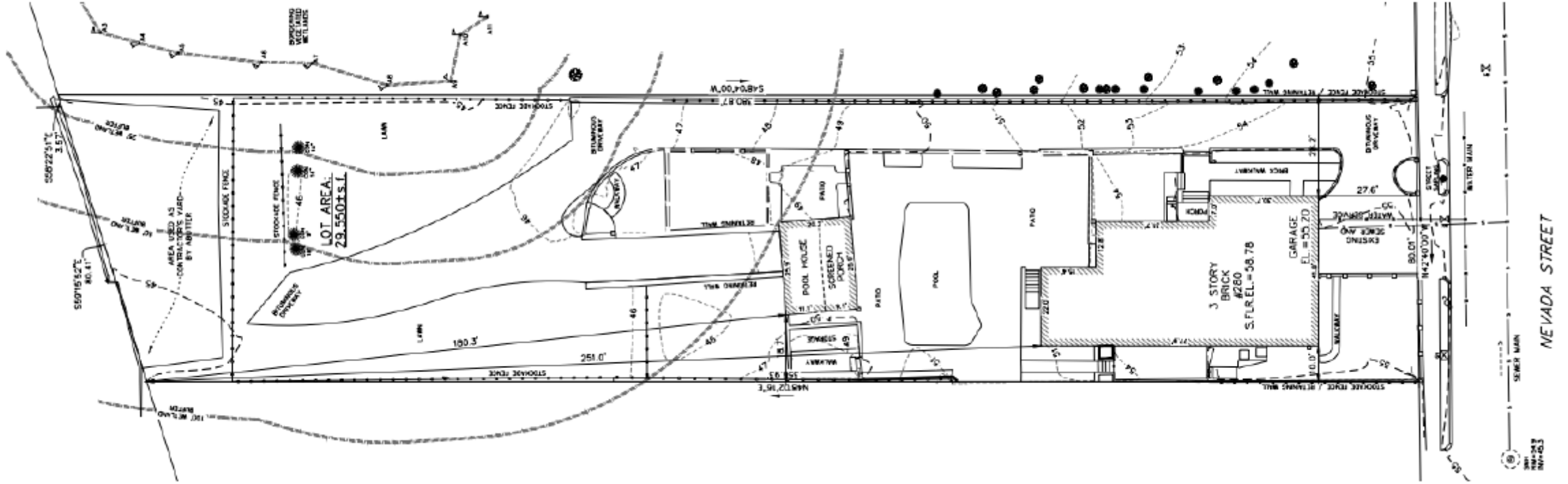
Aerial Map

317-23

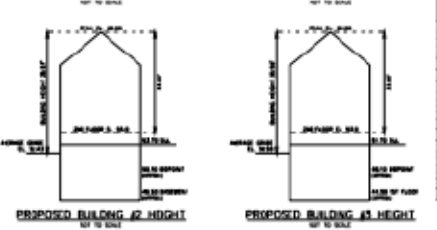
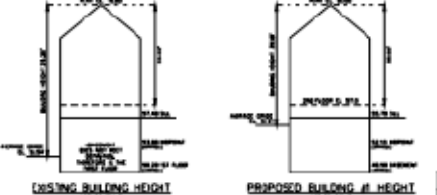
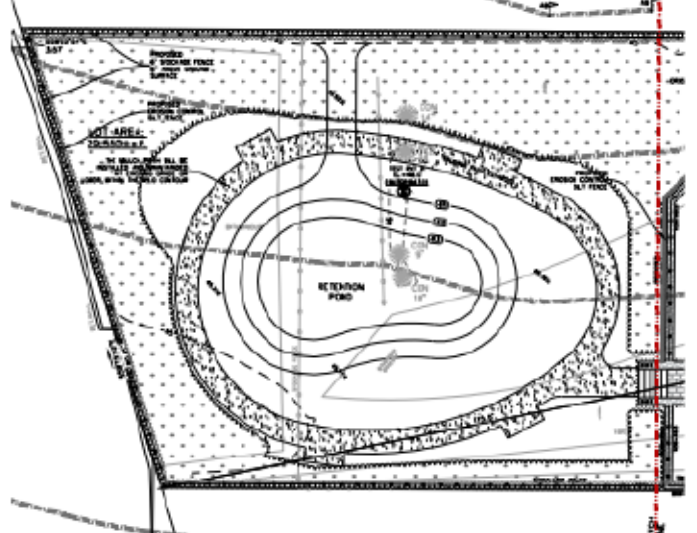
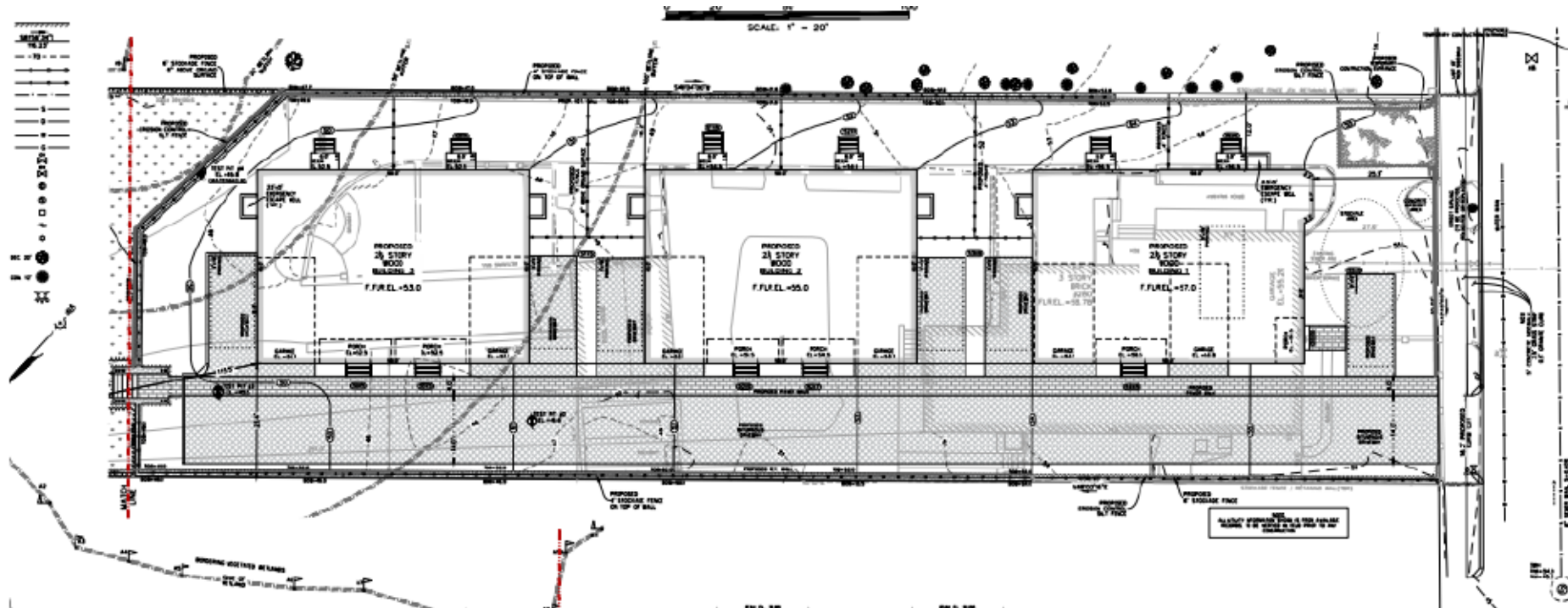


Site Plan- Existing

317-23



Site Plan- Proposed



Zone	Length	Weight	Average	Grade
Zone 1	100'	1.0	100'	11.00'
Zone 2	100'	1.0	100'	11.00'
Zone 3	100'	1.0	100'	11.00'
Total	300'	3.0	300'	11.00'

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Zone 1	100'	1.0	100'	11.00'
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Total	300'	3.0	300'	11.00'

NEWTON, MASSACHUSETTS				
ZONE: MR-1 (03)		SUBMISSION: BUILDING PERMIT		
REGULATION	REMARKS	EXISTING	PROPOSED	%/C
LOT AREA		20,000.0	20,000.0	100%
LOT FRONTAGE		150'	150'	100%
LOT WIDTH		133.3	133.3	100%
OPEN SPACE		10,000.0	10,000.0	50%
FRONT SETBACK		25'	25'	100%
SIDE SETBACK		10'	10'	100%
REAR SETBACK		10'	10'	100%
MAXIMUM BUILDING HEIGHT		35'	35'	100%
MAXIMUM NUMBER OF STOREYS		6	6	100%
MAXIMUM OVERHEAD CLEARANCE		13.5'	13.5'	100%
MAXIMUM STAIR WIDTH		5'	5'	100%
MAXIMUM STAIR HEADROOM		6'	6'	100%
MAXIMUM STAIR RISER		7"	7"	100%
MAXIMUM STAIR TREAD		10"	10"	100%

ZONING PLAN
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT
800 NEVADA STREET

SCALE: 1/4"=10'-0" DATE: AUGUST 7, 2003

PROJECT: 22283

VTP
ASSOCIATES

1234 SOUTHWEST CORNERS DRIVE, SUITE 200
322 BOWEN STREET AND FLOOR SUITE 3
NEWTON, MA 02459

Elevations- Proposed Left & Front

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3

Left Side Elevation



1

Front Elevation

1/8" = 1'-0"

Project:	280 NEVADA ST, NEWTON MA
Owner:	EDGE BUILDERS
Architect:	SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402
Structural Engineer:	

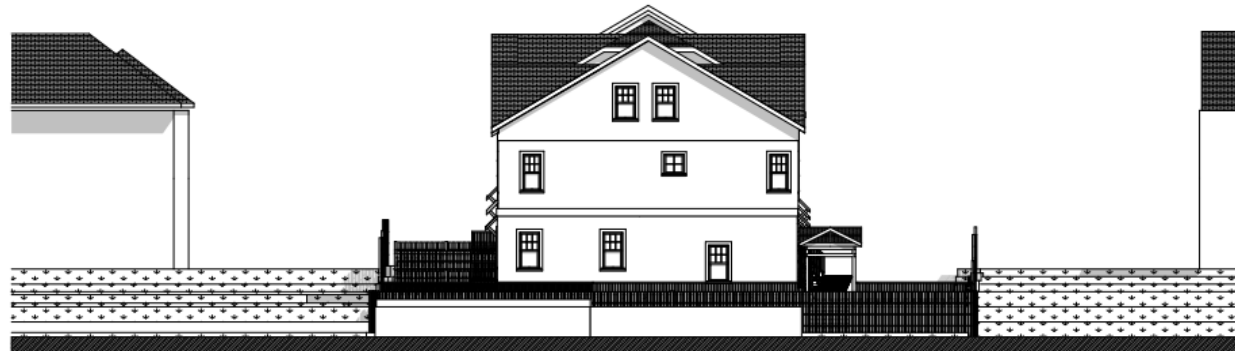
Elevations- Proposed Right & Rear

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Right Side Elevation

1/8" =



4

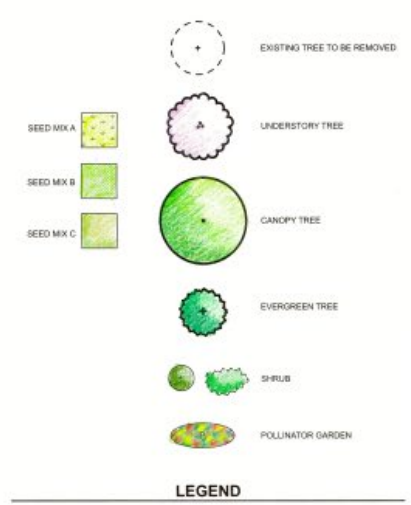
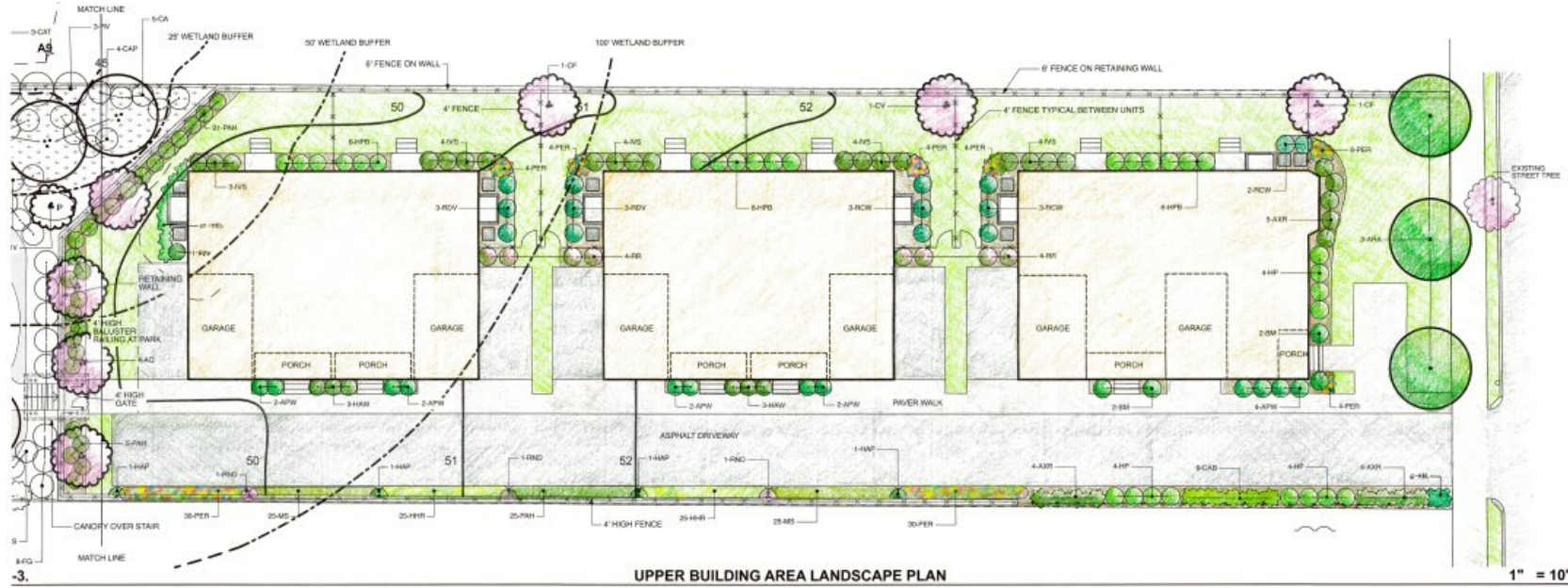
4 Rear Elevation

1/8" = 1'-0"

Project:	280 NEVADA ST, NEWTON MA	
Owner:	EDGE BUILDERS	Date
Architect:	SANGIOLLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402	Revi

Plans- Landscaping

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Project: 280 NEVADA ST, NEWTON MA		Date: 6-4-23
Owner: EDGE BUILDERS	Architect: SANGIOLLO ASSOCIATES, ARCHITECTS 9 Skeacheconet Way, W. Harwich, MA 017 272 5402	Revisions:
Structural Engineer:		
Civil Engineer: YIP ASSOCIATES 132 Adams Street, Suite 3, Newton MA 617 332 8271		
Drawing: Landscape Plan		L2

- 1) The specific site is an appropriate location for the proposed six attached single-family dwellings in three structures, as designed with a reduced side setback; a parking facility with a parking stall in the front and side setbacks, reduced maneuvering aisle width, waived perimeter screening and lighting requirements, and parking within twenty feet of the front and side setback, and a driveway within 10 feet of the side lot line; and a retaining wall with a height of four feet or more in a setback, given its location in a neighborhood with a mix of residential uses including single-, two-, and multi- family dwellings, commercial, and public uses. (§7.3.3.C.1)
- 2) The proposed six attached single-family dwellings in three structures, as designed with a reduced side setback; a parking facility with a parking stall in the front and side setbacks, reduced maneuvering aisle width, waived perimeter screening and lighting requirements, and parking within twenty feet of the front and side setback, and a driveway within 10 feet of the side lot line; and a retaining wall with a height of four feet or more in a setback, will not adversely affect the neighborhood given the mixed use nature of the neighborhood which features several residence types, commercial uses and public facilities. (§7.3.3.C.2)
- 3) There will be no nuisance or serious hazard to vehicles or pedestrians. (§7.3.3.C.3)
- 4) Access to the site over streets is appropriate for the types and numbers of vehicles involved. (§7.3.3.C.4)

Findings (cont.)

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- 5) Granting exceptions to certain requirements provided by §3.2.4 requiring a minimum side setback of 25 feet is appropriate as literal compliance is impractical given the long, narrow shape of the lot. (§3.2.4)
- 6) Granting exceptions to certain requirements provided by §5.1 pertaining to the location of parking stalls in the front and side setbacks, minimum maneuvering aisle widths, perimeter screening and lighting requirements, and parking within twenty feet of the front and side setback, and a driveway within 10 feet of the side lot line, is appropriate as literal compliance is impracticable due to the long, narrow shape of the lot and will be in the public interest as it will facilitate the protection of environmental features as the rear of the lot will be improved per requirements of the Conservation Commission, and, as it pertains to the lighting requirements, limit excessive lighting. (§5.1.13)
- 7) Granting exceptions to certain requirements provided by Sec. 6.2.3.B.2 that do not allow the location of parking within 20 feet of a lot line and/or a driveway within 10 feet of the side lot line, is appropriate as literal compliance is impracticable due to the long narrow shape of the lot and will be in the public interest as it will facilitate the protection of environmental features as the rear of the lot will be improved per requirements of the Conservation Commission. (§6.2.3.B.2)

- + *Plan Referencing Condition*
- + *Operations & Management Plan (O&M)*
- + *Pest control*
- + *Construction Management Plan (CMP)*
- + *Vibration control*
- + *Inflow & Infiltration (I&I) fee*
- + *Standard Building Permit Condition*
 - + *Final landscape plan*
- + *Standard Final Inspection/Certificate of Occupancy Condition*
 - + *Landscape architect compliance statement*
- + *Landscape maintenance requirement*