

City of Newton
Zoning & Planning Committee

Village Center Rezoning Implementation Guide

March 04, 2024



Agenda

1. How We Got Here

- a. Zoning Approach

2. Site Plan Review

- a. Approval Process: by-right, site plan review, special permit
- b. Timeline
- c. Example Project

3. Next Steps

Zoning Approach

The figures below represent by-right zoning allowances for new construction



MRT

2.5 Stories

40 Feet tall, max.

1,500 SF, max. footprint

Residential development allowed



VC2

3.5 Stories

58 Feet tall, max.

10,000 SF, max. footprint

Mixed Use/Commercial, & Residential development allowed



VC3

4.5 Stories

71 Feet tall, max.

15,000 SF, max. footprint

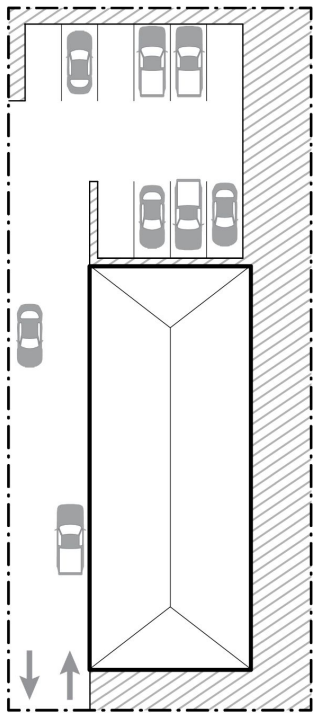
Mixed Use/Commercial, & Residential development allowed

This code regulates urban form through the following principal mechanisms:

1

Building Footprint

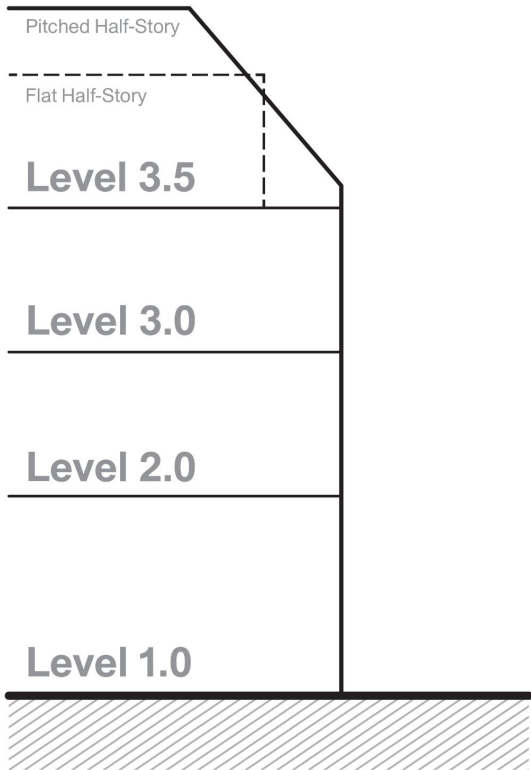
Sets the maximum area per story



2

Building Height

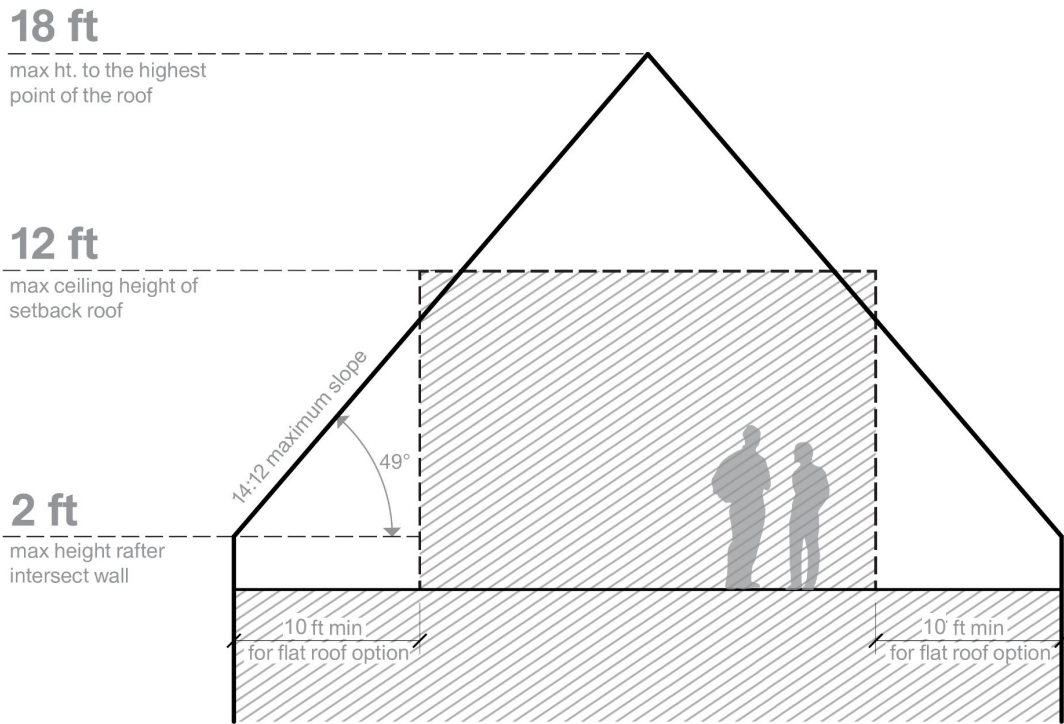
Sets the maximum height in stories/feet



3

Roof Form

Provides options for a flat or pitched roof half-story



Design Requirements Ensure Quality Buildings

Shaping the Building

- Building Footprint** (area in square feet)
- Building Height** (number of stories*)
- Half-Story**
 - Height, max. (in feet)
 - Stepback (10', min.)
- Pitched Roof Slope** (max. pitch 14:12)
- Ground Story Height**, min./max. (in feet)
- Ground Story Active Uses**
 - Front Elevation width (100%)
 - Fenestration (% of Front Elevation area)
 - Glazing Standards (% VLT, % VLR)
- Facade Articulation** (max. continuous facade length)
- Architectural Features**, controlled by dim. standards
 - Awnings
 - Canopies
 - Bays
 - Balconies
- Building Entrances** (number, location, and articulation)
- Roof Features** (list of allowed features)
- Mechanical Equipment**
 - Roof Screening and Setbacks (10', min.)
 - Location of wall-mounted equipment

*max height capped in feet

Building Placement

- Building Setbacks** (distance in feet)
- Building Separation** (distance in feet)
- Building Placement**
 - Facade Build-Out Ratio, min. (% of lot width)
 - Sidewalk width (12', min.)

Site Standards

- Usable Open Space**, lots greater than 30k sf (% of lot)
- Parking Placement**
 - Parking Setbacks (distance in feet)
 - Access (allowed location)
- Curb Cuts and Driveways**
 - Access (allowed location)
 - Width, max. (in feet)
 - Number per street frontage
 - Distance from intersection (in feet)
- Surface Parking Lot Design**
 - Landscaped strip, controlled by dimensional standards
 - Screening requirements
- Loading**
 - Access (allowed location)
 - Screening requirements
- Service Areas**
 - Location
 - Screening requirements

Village Center Zoning Implementation

1. How We Got Here
- 2. Site Plan Review**
3. Next Steps

The following pages present the process and criteria to consider when conducting Site Plan Review. One recently submitted sample project (from within the past two years) will be shared with high-level analysis to understand the considerations taken during Site Plan Review.

Approval Process

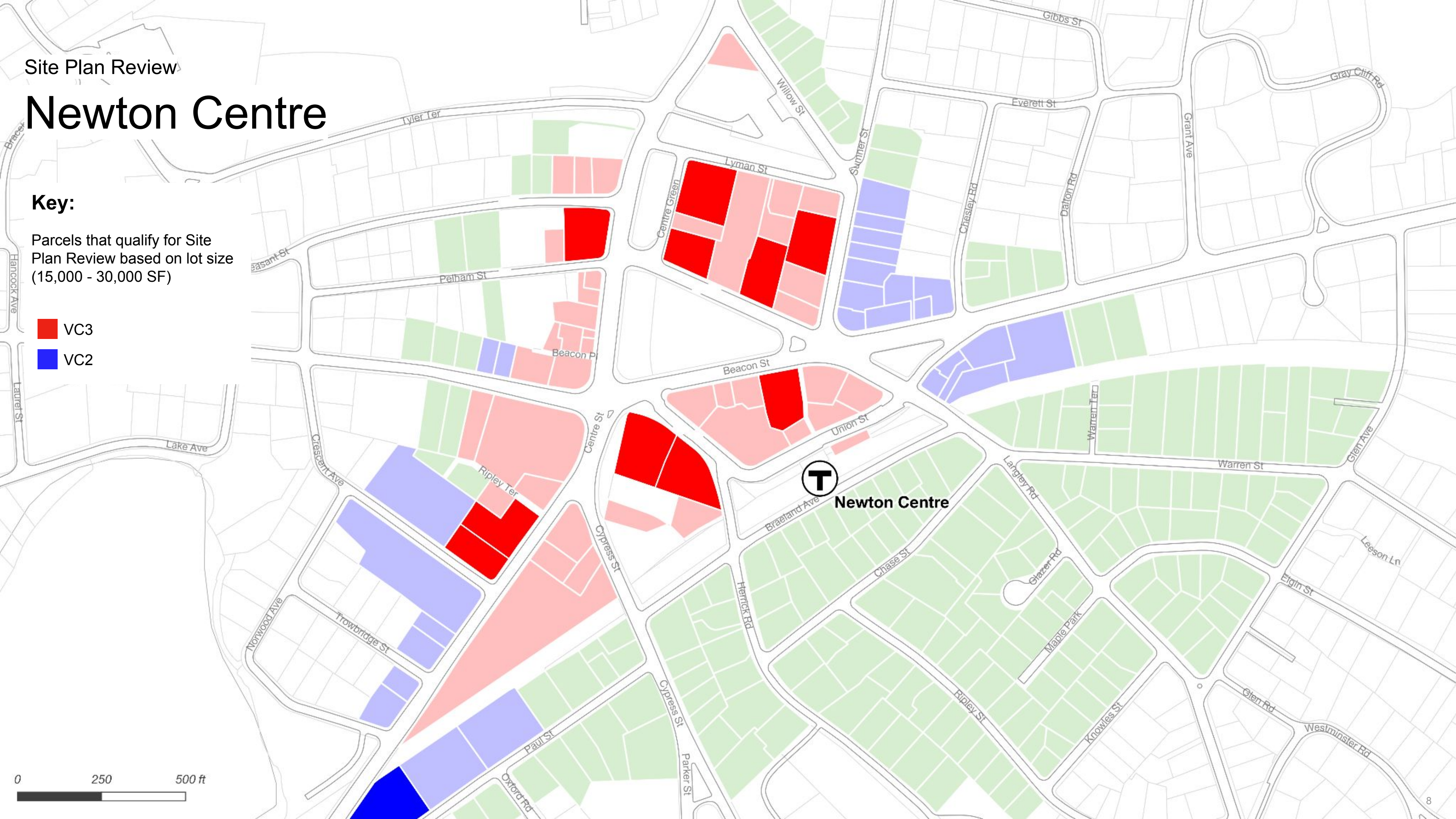
	By - Right Development <i>(Administrative)</i>	Site Plan Review <i>(Planning Board)</i>	Special Permit <i>(City Council)</i>
Multi-Residence Transit (MRT)	Adaptive Reuse or new construction of one building	Construction of more than one building when retaining an existing building through Adaptive Reuse	New construction of more than one building
			Construction of more than 6 units
Village Center 2 (VC2) Village Center 3 (VC3)	New development on lots less than 15,000 sf	New development on lots between 15,000 sf and 30,000 sf	New development on lots greater than 30,000 sf
All Districts			Parking waivers <i>(planning board review)</i>
			Certain uses
			Retaining walls greater than 4’ anywhere on lot
			Extension of non-conformities (dimensional controls only)

Newton Centre

Key:

Parcels that qualify for Site Plan Review based on lot size (15,000 - 30,000 SF)

- VC3
- VC2



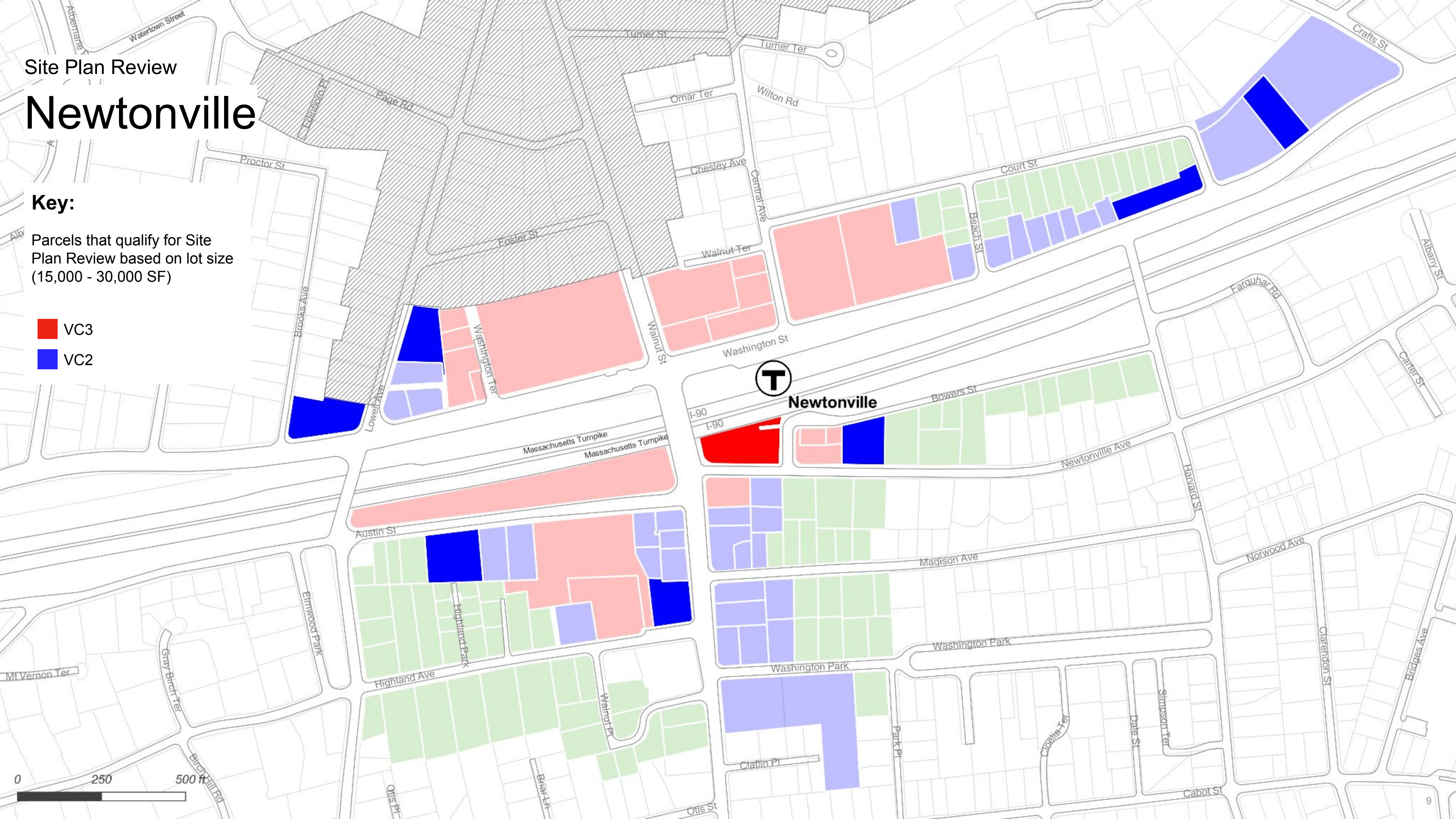
Site Plan Review

Newtonville

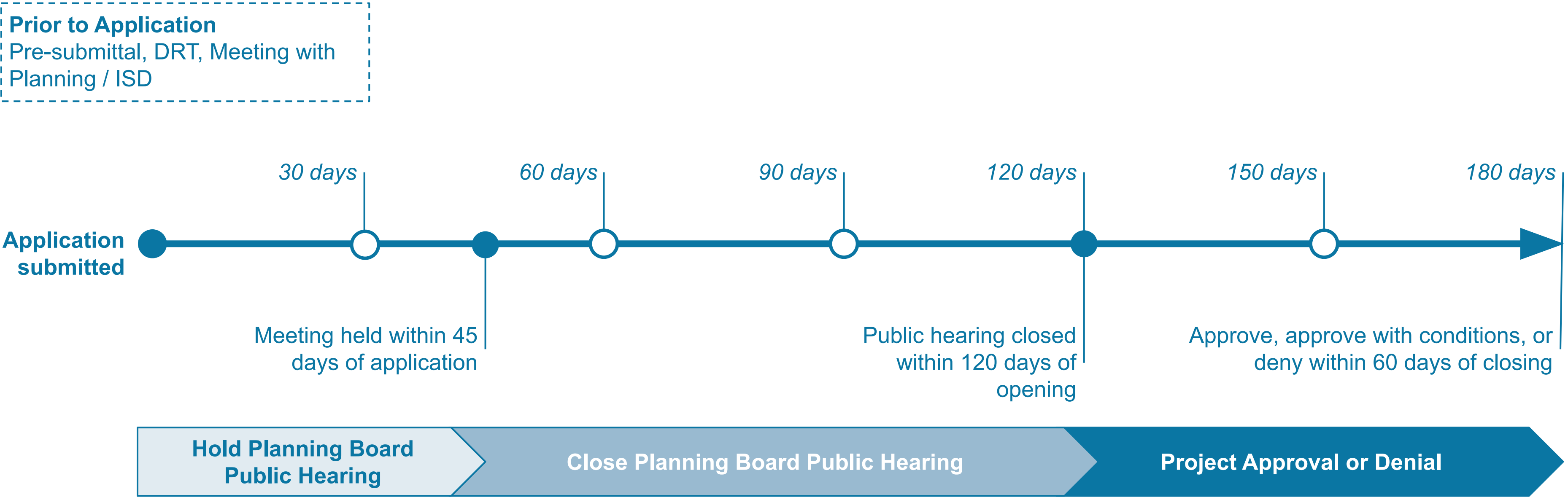
Key:

Parcels that qualify for Site Plan Review based on lot size (15,000 - 30,000 SF)

- VC3
- VC2



Timeline



Review Criteria

Circulation

- Maximize convenience and safety of vehicular, bicycle, and pedestrian movement within the site and in relation to adjacent streets
- Encourage sharing of access driveways on adjoining sites

Screening and Loading

- Parking areas, exposed storage areas, exposed machinery installations, service and loading areas, utility buildings and structures shall be screened
- Screening can be by planting, fences, walls or other means

Landscape and Topography

- Avoidance of major topographical changes, including minimizing tree removal
- Any topographic change shall be contextual with neighboring developed areas

Environmental Sustainability

- Projects should propose efficient use and conservation of natural resources and energy

Historic Preservation

- Avoid removal or disruption of historic resources, including designated historical structures or sites, historical architectural elements, or archaeological sites

Design

- Projects shall use high quality materials that create a strong relationship between the proposed building and its surroundings, including other buildings and the public realm
- The project shall positively contribute to the pedestrian experience and enhance the village center context in which it's sited

Application Requirements

Narrative of Compliance

- Indicate applicable review criteria

Site Plans

- Boundaries
- Dimensions
- Lot Area
- Vehicular and pedestrian access/circulation to/from site
- Location of utilities
- Location/dimension of bike and vehicular parking
- Location/screening of dumpsters
- Exterior lighting detail
- Landscape treatments

Elevations and Floor Plans

- Architectural design/layout of the building

3D model or rendered perspective drawings

- Show relationship of project to its surroundings

1149-1151 Walnut St

Site Plan

- 4-story residential building with ground floor retail
- Adjacent to Lincoln Street retail corridor
- Walking distance to Newton Highlands T Stop



1149-1151 Walnut Street

Newton, MA | February 22, 2021 | 19100 | © The Architectural Team, Inc.

Site Plan

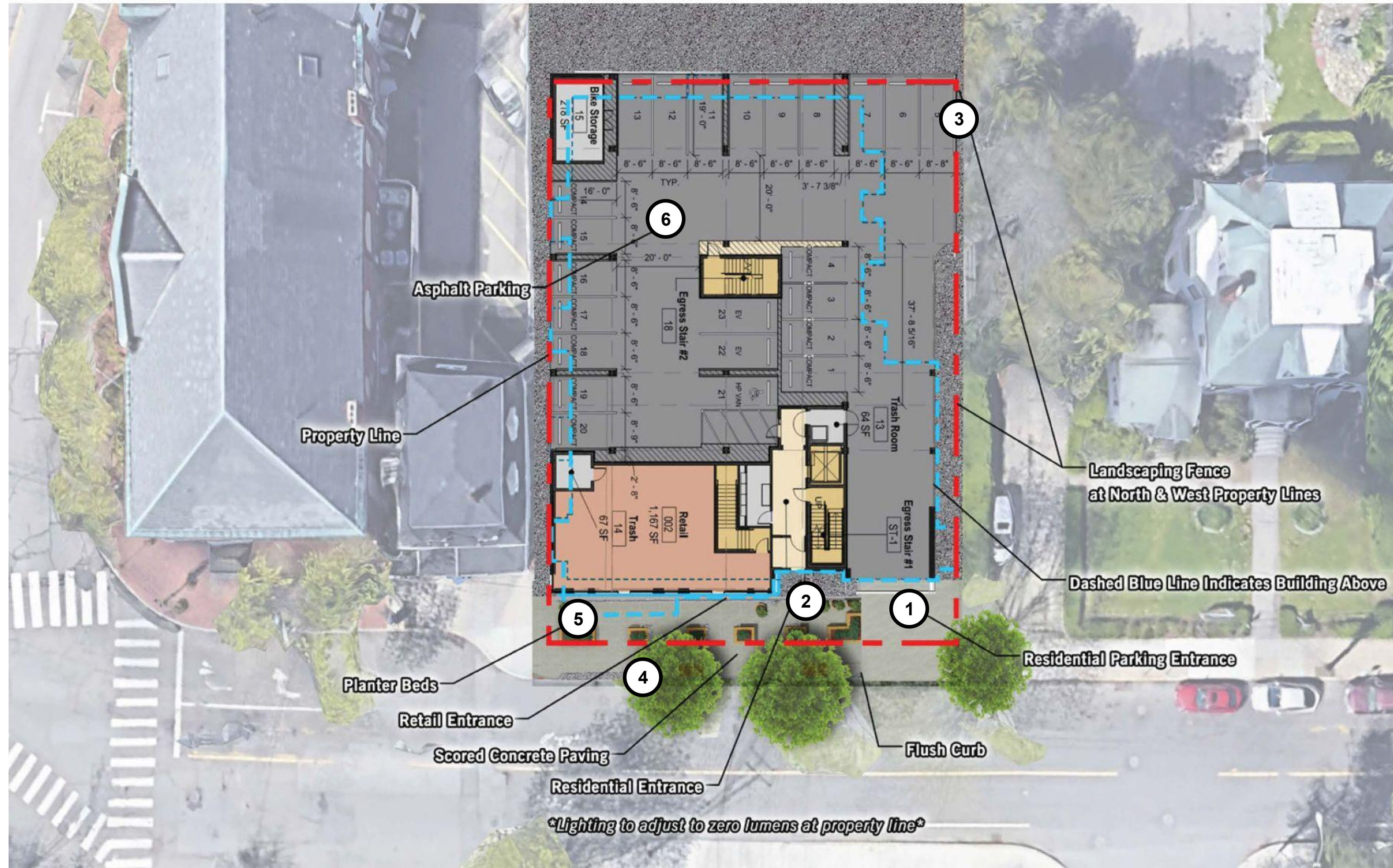


C. ALANIAN REALTY CO. INC. **tat**

1149-1151 Walnut St

Landscape Plan

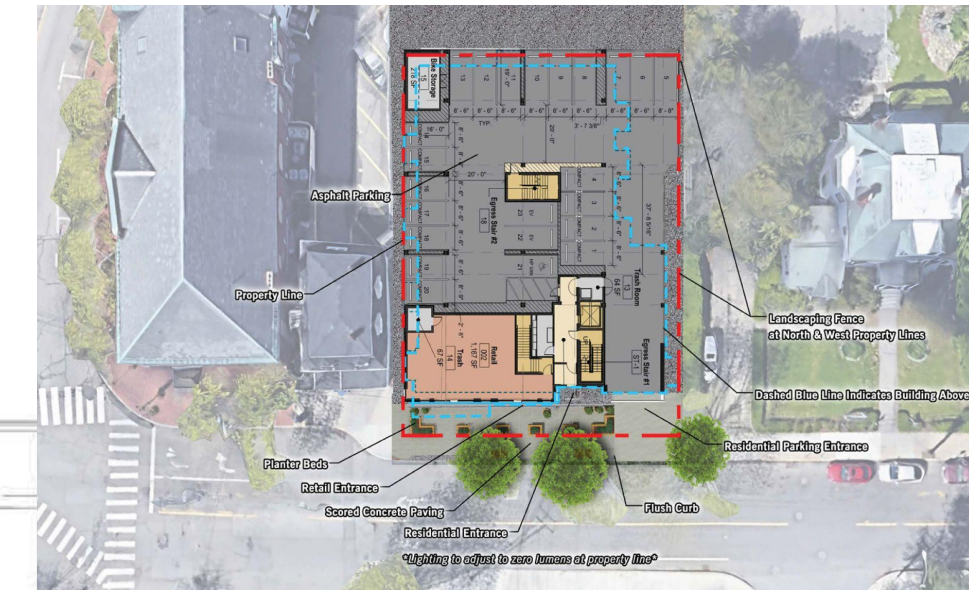
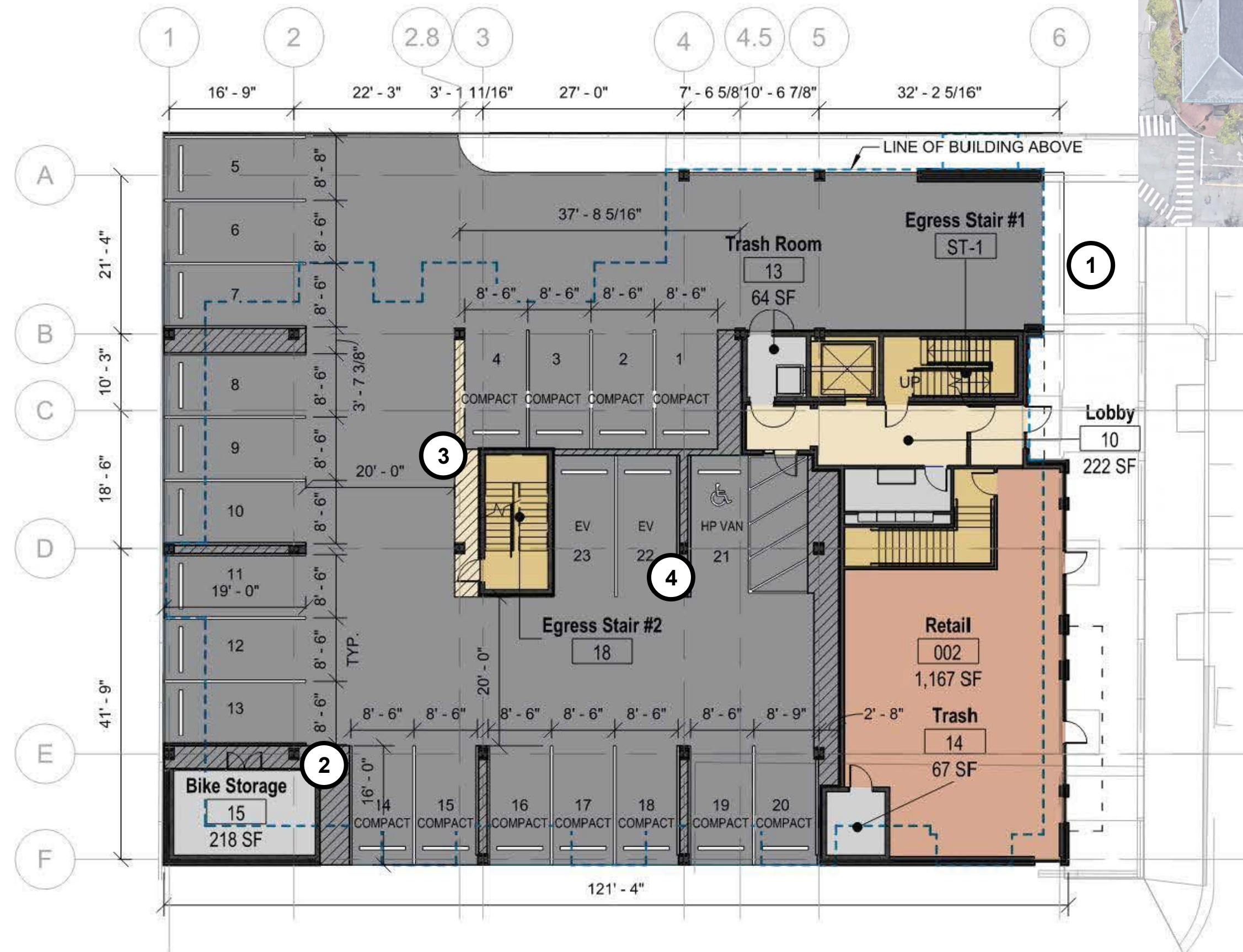
1. Separate parking entrance, with parking tucked under building toward rear of lot
2. Separate, recessed residential entrance
3. Landscape fence screens parking from neighboring property
4. Existing street trees protected during construction
5. Planter beds define a front patio area and create a better pedestrian experience
6. Project could consider alternatives to asphalt parking, such as permeable paving



1149-1151 Walnut St

Parking Plan

1. Driveway should indicate width of curb cut and drive access aisle
2. Secure bicycle storage provided toward rear of site. Additional documentation (elevations) needed to demonstrate shelter from elements
3. Project should ideally have pedestrian access to parking via paved sidewalk or walkway that connects back to the lobby
4. Project has 2 EV charging spaces



Walnut Street
(Front of Building)

1149-1151 Walnut St

Elevations

1. Ground story active use demonstrates good amount of fenestration. For mixed-use priority development, active use must be placed along entire width of building front elevation
2. The building makes use of architectural features like bay windows and balconies
3. Wood fence is provided to screen the parking area along all affected elevations



East Elevation



South Elevation



North Elevation



West Elevation

1149-1151 Walnut St

Front Elevation

1. The proposed building relates well to the height and material character of the adjacent 3-21 Lincoln Street building (built 1905)
2. The storefront window system along the ground floor continues the pattern and language of active use frontage on the street
3. The project proposes high-quality building materials, including a facade with brick veneer and copper clad paneling



1149-1151 Walnut St

Aerial View

1. The proposed building relates well to the height and material character of the adjacent 3-21 Lincoln Street building (built 1905)
2. Rooftop mechanical area is set back from the building edge and screened
3. Solar panels are arrayed on the roof, facing south



1149-1151 Walnut St

Aerial View

1. Stepbacks in the massing allow for roof deck amenity spaces
2. Rooftop mechanical area is set back from the building edge and screened
3. Solar panels are arrayed on the roof, facing south
4. Wood fence is provided to screen the parking area from the adjacent property



1149-1151 Walnut St

Aerial View

1. Stepbacks in the massing allow for roof deck amenity spaces
2. Rooftop mechanical area is set back from the building edge and screened



1149-1151 Walnut St

Street View

1. The project proposes high-quality building materials, including a facade with brick veneer and copper clad paneling
2. Rooftop mechanical area and solar panels are set back and out of view from the street
3. Parking is located to the rear of the lot, out of view from the street
4. The residential entrance could be more generously set back or have an awning to provide more cover



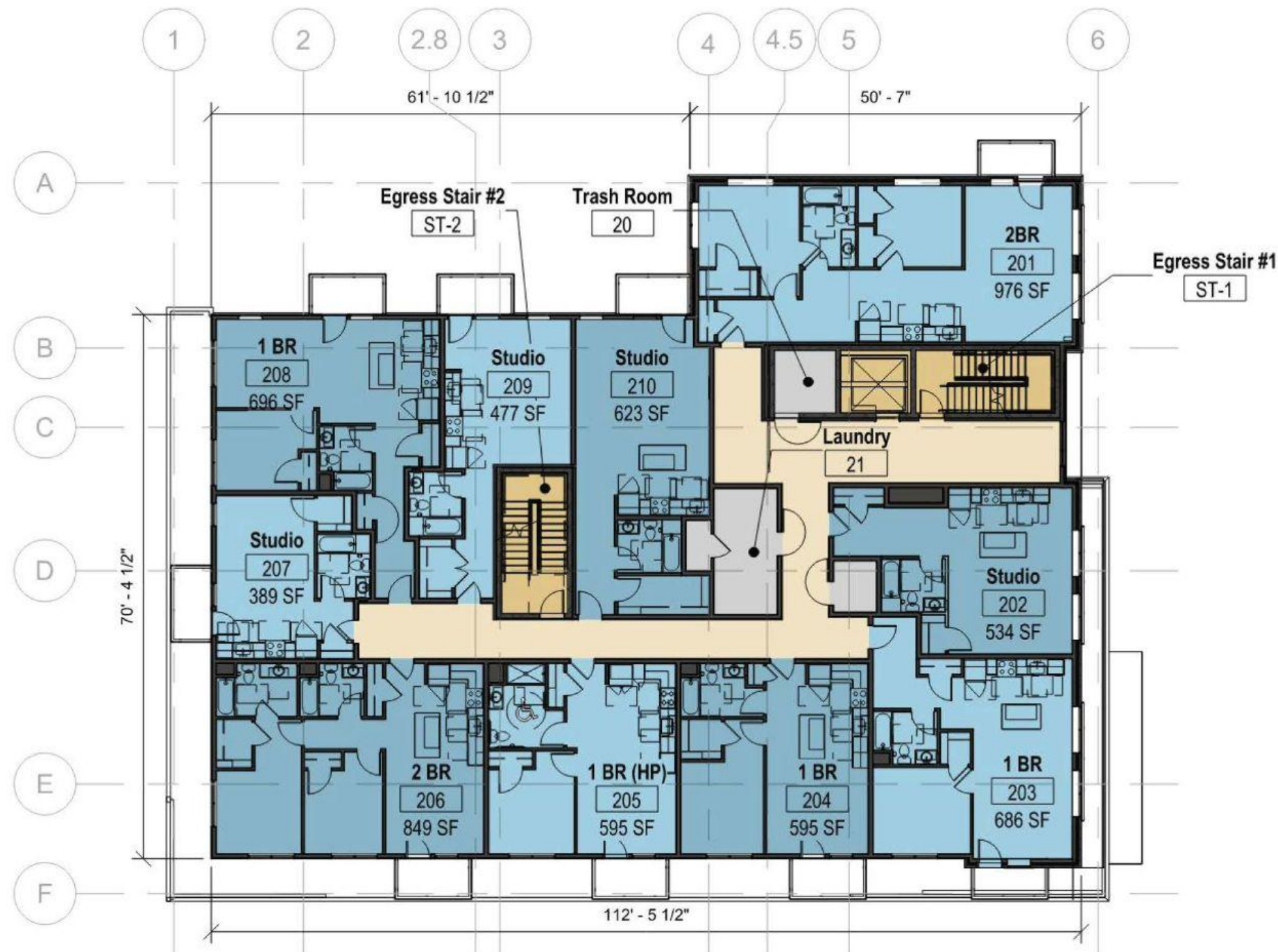
Village Center Zoning Implementation

1. How We Got Here
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3. **Next Steps**

We will come back in early April to walk you through two detailed case studies: one MRT adaptive reuse project, and one VC3 residential project. Each case study will be supported by drawing materials and analysis based on the criteria for Site Plan Review.

1149-1151 Walnut St

Floor Plans

**Second Floor Plan****Fourth Floor Plan**