

CITY OF NEWTON, MASSACHUSETTS
PURCHASING DEPARTMENT
purchasing@newtonma.gov
Fax (617) 796-1227

April 19, 2024

ADDENDUM #1
INVITATION FOR BID #24-65

**NEWTON COMMONWEALTH GOLF COURSE MAINTENANCE FACILITY
IMPROVEMENTS AND RENOVATIONS**

THIS ADDENDUM IS TO: CONFIRM THE BID OPENING TIME FOR FILED SUB BIDS AND ANSWER THE QUESTIONS BELOW:

**THE BID OPENING FOR FILED SUB BIDS IS
THURSDAY, APRIL 25, 2024 AT 10:00 AM
NEWTON CITY HALL, ROOM 108**

Q1. Please advise if the plumbing & gas permit fees will be waived.

A1. Fees are waived for city buildings projects.

Q2. Page C1.0 Who is the Vendor to remove/reinstall existing 1,000 gallon gas tank?

A2. Meco Environmental Services, 1119 Washington Street, Weymouth MA 02189. The contractor is to own this work within the scope of the work of this project. The vendor identified in this response is who the contractor shall use to execute the work.

Q3. Who is responsible to remove all equipment/items currently stored in the facility?

A3. The Owner.

Q4. Page A4.0 Scope: Doors; For opening 10 the door schedule is showing a hollow metal door but on the hardware schedule and plans its showing a bifold door. Is this suppose to be a wood bifold door?

A4. These doors will be hollow metal bi-fold doors and frame

Q5. Page 4.0 Scope: Doors; The Frame Type for Opening 11 is showing ½ and there is not ½ Frame Type...Please clarify.

A5. The Frame type 1/2 is describing the type of frame that will be used pending the type of wall construction

Q6. Scope: Shades; Roller shades on all windows?

A6. Shades on all exterior windows except eastside of building and on vision panels in office. This shall include exterior doors with glass.

Q7. Page A1.1 Scope: Epoxy/Polished Concrete; A1.1 shows Repair Bay 101, Vestibule 102, Utility 104, and Open Storage 106 to receive both epoxy floor and sealed & polished concrete. Please clarify which flooring is required in these areas.

A7. Areas where epoxy floor coating is shown, provide troweled smooth finish concrete as per the epoxy floor manufacturers requirements for prep of surface.

Q8. I wanted to ask whether you are considering the possibility of approving equal retaining wall systems for the Newton Commonwealth Golf Course Improvements project. We manufacture the Stoneterra retaining wall system, which is very similar to Redi-Rock. Is there someone to whom I could send the technical information for that system for potential approval, or is this the kind of thing that will be dealt with after the bid?

A8. Other manufacturers of retaining wall systems can be submitted for evaluation / approval if the Architect finds it equal to the basis of design. This submission would occur during the construction period after award of contract as a shop drawing submittal.

Q9. Is there any alternate in this project?

Electrical 260000 page 3

1.4 ALTERNATES

A. Refer to Section 01 23 00 for Alternates affecting this section.

B. Include in your bid a separate price for amounts to be added or deducted from base bid amount for the following areas of Electrical work.

1. Alternate #4 Photovoltaic system - Add photovoltaic array & Lightning protection System. Provisions only for PV System, including conduit, to be included in base bid.

A9. There are no alternates on this project. The is no photovoltaic scope on this project. Paragraph 1.4 of section 26 00 00 Electrical shall be deleted.

Q10. Is a builder's risk policy required, if so, will the cost be the responsibility of the owner or the GC?

A10. Insurance requirements are set forth at pp.75-80 of Invitation For Bids #24-65 (IFB). The costs of any bond and any insurance required in the IFB are the responsibility of the bidder; such costs will not be reimbursed by City and should be included in your bid.

Q11. Are there any liquidated damages?

A11. Yes. The provisions relating to liquidated damages are set forth at pp. 32 and 94 of the IFB.

Q12. This project has liquidated damages. At time of award will the owner work with the contractor to establish an agreeable schedule based on long lead items, and the contractor will not be penalized by liquidated damages for any long lead items that we cannot control delivery on?

A12. The parties have a legal obligation to deal in good faith. The City will not promise to make exceptions to the terms of the IFB on the basis of hypothetical situations.

Q13. Will any fire review fees be paid for by the owner?

A13. Fees are waived for city buildings projects.

Q14. Will permit fees be waived for this project?

A14. Fees are waived for city buildings projects.

Q15. Is there an OPM on this project, if so, what is the firm?

A15. The City is using an in-house OPM.

Q16. Is there an MBE goal for this project?

A16. The City does not have goals *per se*. Article 3 of the IFB (p. 5) cites two City policies: (1) an Affirmative Action Plan for the City of Newton and (2) a Newton Minority/Women Business Enterprise Plan and the Supplemental Equal Employment Opportunity Anti-Discrimination and Affirmative Action Program, encouraging the use of WBE/MBE vendors and contractors, The Plans are available at www.newtonma.gov/government/purchasing.

Q17. Are any mockups required?

A17. Stand-alone mockups are not included in this project. Mockups will consist of the initial in place work to determine level of quality and approval by Architect. That initial approved in place work will be the basis for the quality of work to be performed throughout the rest of that work performed.

Q18. Will all FFE be relocated by the owner?

A18. Yes, anything left will be demolished and disposed of by the Contractor.

Q19. What is the access for work at the East elevation?

A19. The Contractor will open the fence for access to the east elevation. The fence will be repaired and reinstalled by the contractor at completion of work.

Q20. Are file sub bidders responsible for scaffold, staging and hoisting of their work?

A20. Yes, all filed Sub-Bid Contractors are responsible for their own scaffolding, staging and hoisting of their work.

All other terms and conditions of the IFB remain unchanged.

**PLEASE ENSURE THAT YOU ACKNOWLEDGE ALL ADDENDA ON YOUR
BID FORM. FAILURE TO ACKNOWLEDGE ALL ADDENDA COULD
RESULT IN REJECTION OF YOUR BID AS NONRESPONSIVE.**

Thank you.



Nicholas Read
Chief Procurement Officer



Raymond Design Associates, Inc.
60 Ledgewood Place, Rockland, Massachusetts 02370
Telephone 1-781-421-3480
Fax 1-339-461-1293

Addendum to the Bidding Documents
Newton Commonwealth Golf Course
Maintenance Facility Improvements & Renovations

Addendum No. 1
April 19, 2024

To: Prospective Bidders

The Contractor Questions and Answers provided shall become part of the Contract Documents and are binding to all Filed Sub Bid Subcontractors, Subcontractors and the General Contractor. It is the responsibility of each Subcontractor and the General Contractor to review the questions and answers set forth and to incorporate and include this information within their Bid Submittal.

This Addendum forms a part of the Contract Documents and modifies the Bidding Documents dated April 21, 2024 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification. This Addendum consists of two (2) pages and thirteen (13) attachments, which are to be incorporated into the Bidding Documents:

Attachments:

- D1.0 DEMOLITION / SELECTED REMOVAL FLOOR PLAN** dated 2/19/2024
- A1.1 PROPOSED WORK – ENLARGED FLOOR PLANS** dated 2/19/2024
- C0.1- SITE LEGEND NOTES & DETAILS** dated 2/19/2024
- C0.2- SITE DETAILS** dated 2/19/2024
- C1.0- SITE DEMOLITION & PREPARATION PLAN** dated 2/19/2024
- C1.1- SITE LAYOUT & MATERIALS PLAN** dated 2/19/2024
- C2.1- SITE UTILITY PLAN** dated 2/19/2024
- FP0.1- LEGEND, NOTES AND DETAILS – FIRE PROTECTION** dated 2/19/2024
- P0.1 – LEGEND, NOTES & DETAILS – PLUMBING** dated 2/19/2024
- P1.1 – FLOOR PLANS – PLUMBING** dated 2/19/2024
- ED1.0- ELECTRICAL DEMOLITION PLANS** dated 2/19/2024
- E0.3- ELECTRICAL SITE PLAN AND SITE DETAILS** dated 2/19/2024
- E2.0- ELECTRICAL POWER FLOOR PLANS** dated 2/19/2024

Changes to the Project Manual:

Item No. A-1.01 – Section 05 50 00 Metal Fabrications, 1.5, B., ADD: 4. Work Benches.

ADD the Following:

2.10 WORK BENCHES

A. Prefabricated Painted Powder coated steel work Benches, 96 inches long, 36 inches deep, 34 inches high.

1. Basis of Design: ULINE – Welded Steel Work Bench – 96"x36", Model H3626, 12 Gauge, 3000 lb capacity, weight 270lbs., All welded construction, 2 inch square legs, with predrilled mounting pads, 12 gauge 1 ½ inch steel top with square edges, with 18 inch deep steel bottom shelf (500 lbs. capacity).

Item No. E-1.01- Section 26 00 00 Electrical, paragraph 1.4: **DELETE** sub paragraph B in its entirety.

Item No. E-1.02 - Section 26 00 00 Electrical, paragraph 1.19: ADD sub paragraph D to read as follows: Electrical Contractor to provide 120V, 60A single phase feeder to owner provided storage unit utilizing temporary power, provided by the general contractor.

Changes to the Drawings:

Item No. A-1.02 - Drawing “**D1.0 DEMOLITION / SELECTED REMOVAL FLOOR PLAN**”, REPLACE with Drawing “**D1.0 DEMOLITION / SELECTED REMOVAL FLOOR PLAN** dated 2/19/2024” in its entirety.

Item No. A-1.03 - Drawing “**A1.1 PROPOSED WORK – ENLARGED FLOOR PLANS**”, REPLACE with Drawing “**A1.1 PROPOSED WORK – ENLARGED FLOOR PLANS** dated 2/19/2024” in its entirety.

Item No. C-1.01 - Drawing “**C0.1- SITE LEGEND NOTES & DETAILS**”: REPLACE with Drawing “**C0.1- SITE LEGEND NOTES & DETAILS** dated 2/19/2024” in its entirety.

Item No. C1.02 - Drawing “**C0.2- SITE DETAILS**”: REPLACE with Drawing “**C0.2- SITE DETAILS** dated 2/19/2024” in its entirety.

Item No. C1.03 - Drawing “**C1.0- SITE DEMOLITION & PREPARATION PLAN**”: REPLACE with Drawing “**C1.0- SITE DEMOLITION & PREPARATION PLAN** dated 2/19/2024” in its entirety.

Item No. C1.04 - Drawing “**C1.1- SITE LAYOUT & MATERIALS PLAN**”: REPLACE with Drawing **C1.1- SITE LAYOUT & MATERIALS PLAN** dated 2/19/2024” in its entirety.

Item No. C1.05 - Drawing “**C2.1- SITE UTILITY PLAN**”: REPLACE with Drawing “**C2.1- SITE UTILITY PLAN** dated 2/19/2024” in its entirety.

Item No. FP1.01 - Drawing “**FP0.1- LEGEND, NOTES AND DETAILS – FIRE PROTECTION**”: REPLACE with Drawing “**FP0.1- LEGEND, NOTES AND DETAILS – FIRE PROTECTION** dated 2/19/2024” in its entirety.

Item No. P1.01 - Drawing “**P0.1 – LEGEND, NOTES & DETAILS – PLUMBING**”: REPLACE with Drawing “**P0.1 – LEGEND, NOTES & DETAILS – PLUMBING** dated 2/19/2024” in its entirety.

Item No. P1.02 - Drawing “**P1.1 – FLOOR PLANS – PLUMBING**”: REPLACE with Drawing “**P1.1 – FLOOR PLANS – PLUMBING** dated 2/19/2024” in its entirety.

Item No. E1.03 - Drawing “**ED1.0- ELECTRICAL DEMOLITION PLANS**”: REPLACE with Drawing “**ED1.0- ELECTRICAL DEMOLITION PLANS** dated 2/19/2024” in its entirety.

Item No. E1.04 - Drawing “**E0.3- ELECTRICAL SITE PLAN AND SITE DETAILS**”: REPLACE with Drawing “**E0.3- ELECTRICAL SITE PLAN AND SITE DETAILS** dated 2/19/2024” in its entirety.

Item No. E1.05 - Drawing “**E2.0- ELECTRICAL POWER FLOOR PLANS**”: REPLACE with Drawing “**E2.0- ELECTRICAL POWER FLOOR PLANS** dated 2/19/2024” in its entirety.

END OF ADDENDUM

Revisions:

No.	Date	Description
1	4/19/2024	LIFT / TANKS

Drawn By: MMW
Checked By: JRY
Approved By: JRY

Drawing Scale: As Noted

Project Number: NEW2202

Date: March 21, 2024

DEMOLITION GENERAL NOTES

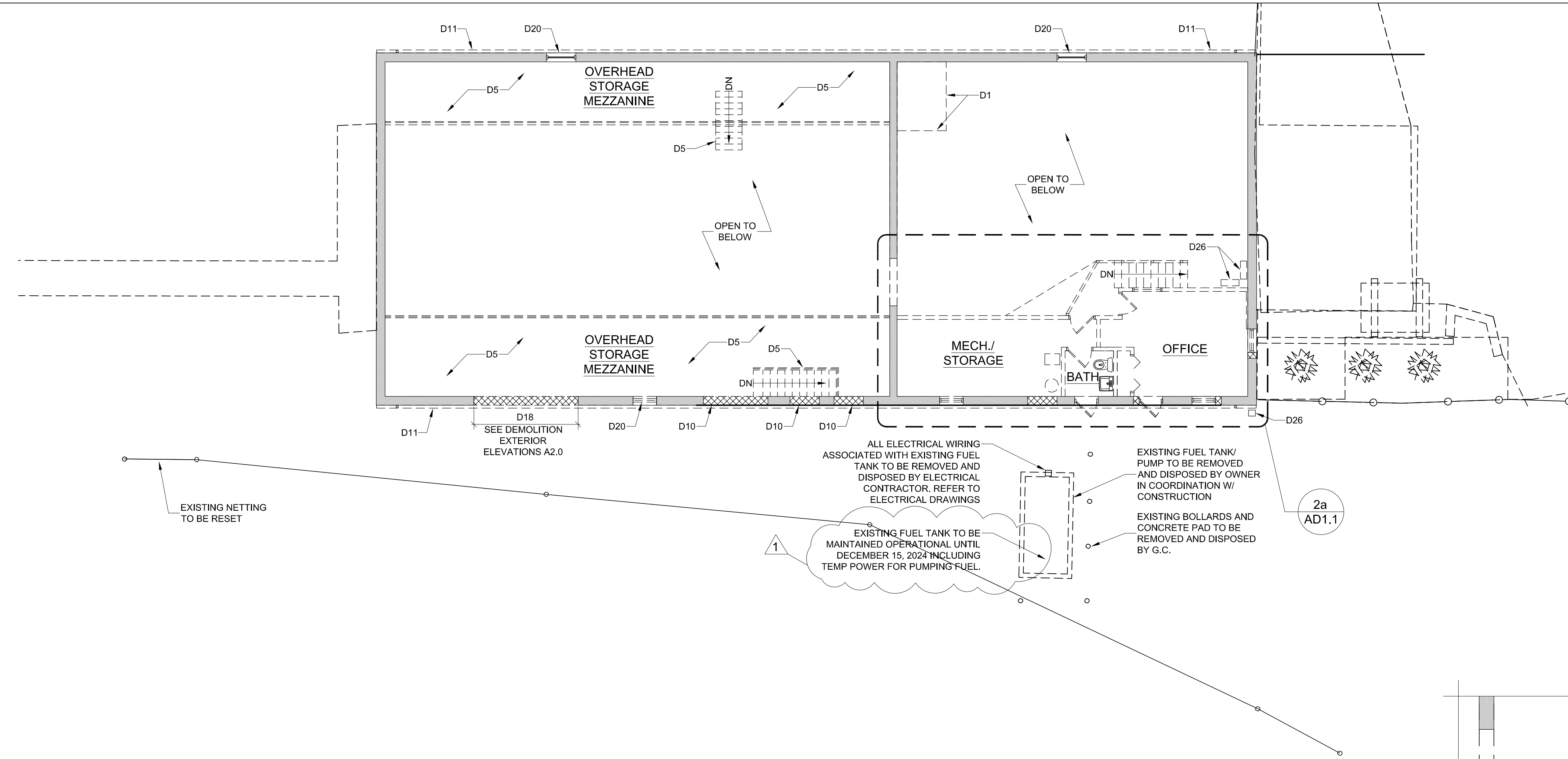
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE.
- THE INFORMATION SHOWN DRAWINGS ARE DERIVED FROM CONSTRUCTION DOCUMENTATION, PHOTOGRAPHS AND SITE VISITS. DUE TO THE NATURE OF AS BUILT CONSTRUCTION, ALL DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED.
- SEE STRUCTURAL AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- REFER TO SPECIFICATION SECTION 02 28 20 FOR HAZARDOUS MATERIALS DEMOLITION CONDITIONS.
- ALL EXISTING SHELVING, BRACKETS, CASEWORK, STORAGE UNITS, PEG/TACK/WHITE BOARDS AND ABANDONED FURNITURE, NOT INDICATED ON DRAWINGS, TO BE REMOVED AND DISPOSED BY GENERAL CONTRACTOR, COORDINATE WITH OWNER.
- ALL EXISTING CEILINGS TO BE REMOVED AND DISPOSED INCLUDING GWB SURFACES, STRAPPING, ACT TILES, GRIDS, HANGERS AND ASSOCIATED CEILING MATERIALS. REFER TO M.E.P. DRAWINGS FOR ALL MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION WITHIN EXISTING CEILINGS. THIS IS TYPICAL FOR THE ENTIRE BUILDING.

DEMOLITION WORK NOTES

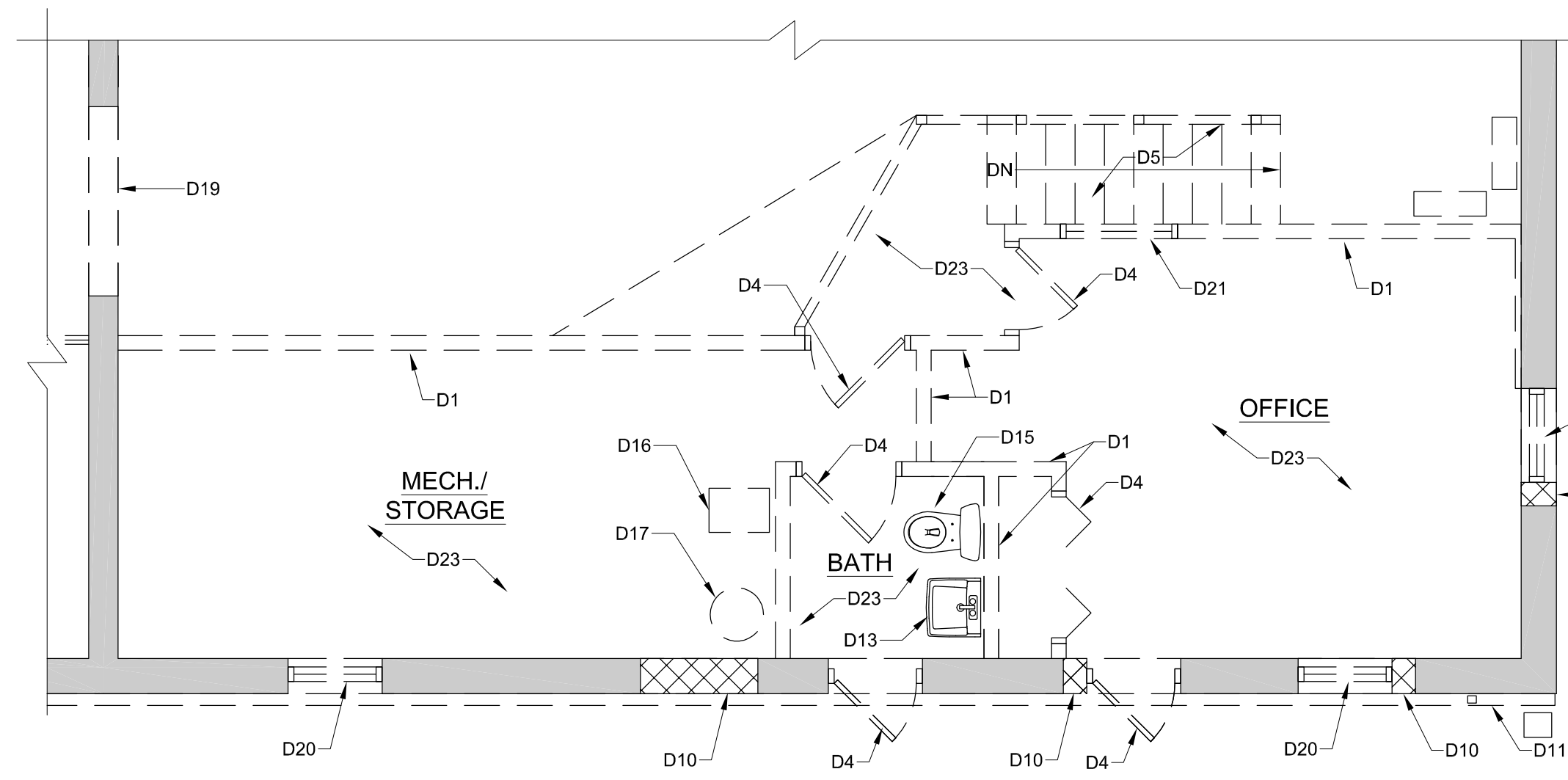
- D1 EXISTING INTERIOR WOOD STUD PARTITION TO BE REMOVED & DISPOSED.
- D2 EXISTING WOOD SHELVES TO BE REMOVED & DISPOSED.
- D3 EXISTING WALL CABINET TO BE REMOVED & DISPOSED.
- D4 EXISTING DOOR, FRAME & ASSOCIATED MATERIALS TO BE REMOVED & DISPOSED.
- D5 EXISTING WOOD MEZZANINE INCLUDING FLOORING, FRAMING, POSTS, STAIRS, RAILINGS AND ASSOCIATED MATERIALS TO BE REMOVED AND DISPOSED.
- D6 EXISTING APPLIANCE TO BE REMOVED AND DISPOSED.
- D7 EXISTING WOOD COLUMNS TO BE REMOVED AND DISPOSED.
- D8 EXISTING GRINDING MACHINE TO BE REMOVED AND SALVAGED FOR FUTURE RE-LOCATION.
- D9 EXISTING OVERHEAD GARAGE DOOR TO BE REMOVED AND DISPOSED.
- D10 EXISTING EXTERIOR CMU WALL TO BE REMOVED FOR THE INSTALLATION OF NEW DOOR/WINDOW & FRAMING, PROVIDE TEMPORARY SHORING AS REQUIRED.
- D11 EXISTING ALUMINUM GUTTERS & DOWNSPOUTS TO BE REMOVED.
- D12 EXISTING ELECTRICAL PANEL BOARD CABINET TO BE DISCONNECTED AND DISPOSED. REFER TO ELECTRICAL FOR MORE INFORMATION.
- D13 EXISTING TOILET TO BE REMOVED AND DISPOSED. ALL ASSOCIATED PLUMBING TO BE CUT BACK AND CAPPED. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- D14 EXISTING SHOWER STALL TO BE REMOVED AND DISPOSED. ALL ASSOCIATED PLUMBING TO BE CUT BACK AND CAPPED. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.

DEMOLITION LEGEND

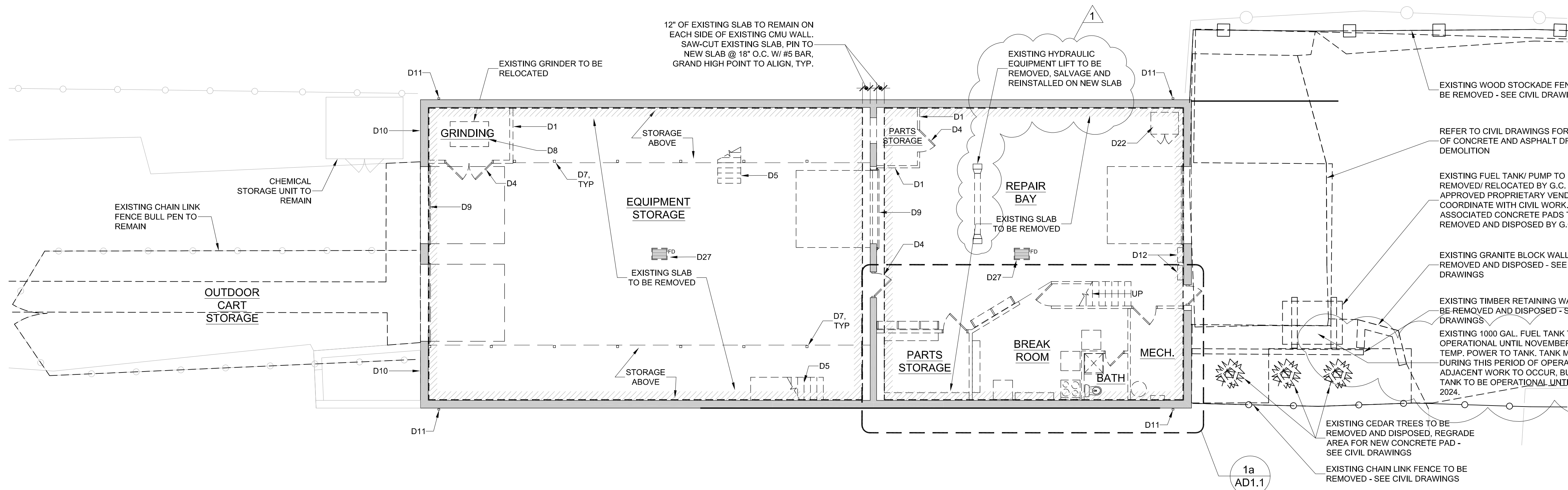
- - - - - INDICATES ITEMS TO BE REMOVED
- [Hatched Box] INDICATES LIMIT OF SLAB REMOVAL FOR NEW PIER & FOOTING INSTALLATION - COORDINATE WITH STRUCTURAL
- D15 EXISTING SINK TO BE REMOVED AND DISPOSED. ALL ASSOCIATED PLUMBING TO BE CUT BACK AND CAPPED. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- D16 EXISTING HVAC HEATER/FURNACE TO BE REMOVED AND DISPOSED. ALL ASSOCIATED PLUMBING AND DUCTWORK TO BE CUT BACK AND CAPPED. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
- D17 EXISTING WATER HEATER/FURNACE TO BE REMOVED AND DISPOSED. ALL ASSOCIATED PLUMBING AND DUCTWORK TO BE CUT BACK AND CAPPED. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- D18 EXISTING CMU EXTERIOR WALL TO BE REMOVED AND DISPOSED AS INDICATED. PROVIDE TEMPORARY SHORING AS REQUIRED.
- D19 EXISTING CMU INTERIOR WALL TO BE REMOVED AND DISPOSED AS INDICATED. PROVIDE TEMPORARY SHORING AS REQUIRED.
- D20 EXISTING EXTERIOR WINDOW, FRAME AND ASSOCIATED MATERIALS TO BE REMOVED AND DISPOSED.
- D21 EXISTING INTERIOR WINDOW, FRAME AND ASSOCIATED MATERIALS TO BE REMOVED AND DISPOSED.
- D22 EXISTING FLAMMABLE STORAGE CABINET TO BE REMOVED AND SALVAGED FOR FUTURE RELOCATION. COORDINATE WITH OWNER.
- D23 EXISTING SECOND FLOOR ASSEMBLY, INCLUDING ALL FRAMING, POSTS, SUB-FLOORING, FINISH FLOORING AND ASSOCIATED MATERIALS TO BE REMOVED AND DISPOSED.
- D24 DISCONNECT, REMOVE AND STORE EXISTING AIR COMPRESSOR ASSEMBLY FOR RELOCATION.
- D25 DISCONNECT, REMOVE AND STORE EXISTING METER/CONTROL FOR FUTURE REINSTALLATION.
- D26 EXISTING IRRIGATION LINE PROTECTION SYSTEM TO BE REMOVED, SALVAGED AND RE-INSTALLED BY ELECTRICAL - SEE ELECTRICAL DRAWINGS
- D27 EXISTING FLOOR DRAINS TO BE REMOVED - SEE PLUMBING DRAWINGS



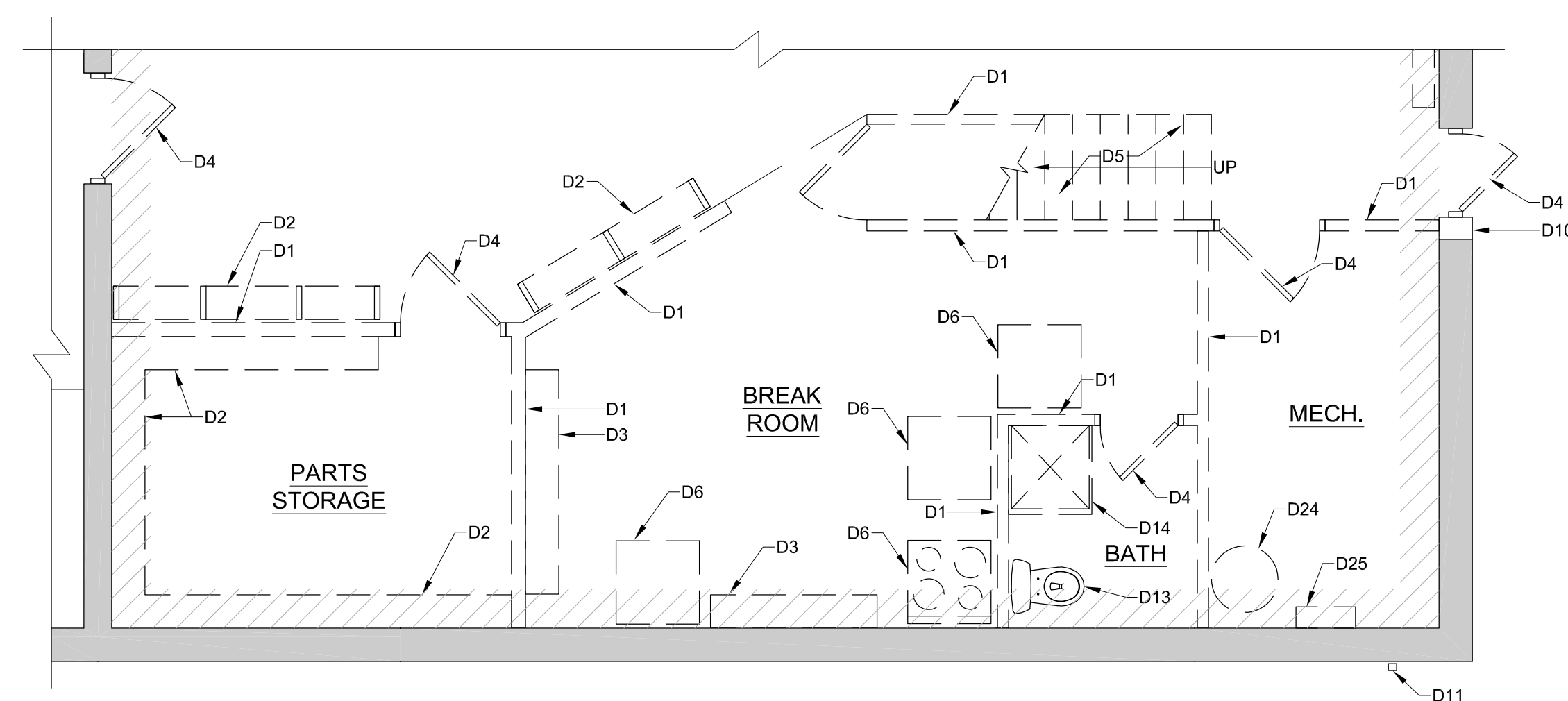
2 UPPER FLOOR OVERALL DEMOLITION PLAN
1/8" = 1'-0"



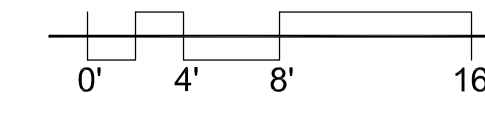
2a UPPER FLOOR ENLARGED DEMOLITION PLAN
1/4" = 1'-0"



1 GROUND FLOOR OVERALL DEMOLITION PLAN
1/8" = 1'-0"



1a GROUND FLOOR ENLARGED DEMOLITION PLAN
1/4" = 1'-0"



NEW WORK GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE MASSACHUSETTS BUILDING CODE.
- THE INFORMATION SHOWN DRAWINGS ARE DERIVED FROM CONSTRUCTION DOCUMENTATION, PHOTOGRAPHS AND SITE VISITS. DUE TO THE NATURE OF AS BUILT CONSTRUCTION, ALL DIMENSIONS AND CONDITIONS MUST BE FIELD VERIFIED.
- SEE STRUCTURAL AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- REFER TO SPECIFICATION SECTION 02 28 20 FOR HAZARDOUS MATERIALS DEMOLITION CONDITIONS.
- UNLESS NOTED OTHERWISE, THERE SHALL BE A NEW CONCRETE SLAB THROUGHOUT THE ENTIRE GROUND FLOOR LEVEL WITH A CONTINUOUS VAPOR BARRIER AND PITCHED TO FLOOR DRAINS.

NEW WORK LEGEND

- EXISTING WALLS AND DOORS TO BE REMAIN
- NEW CMU INTERIOR PARTITION & DOOR - SEE PLAN FOR TYPES
- NEW GWB INTERIOR PARTITION WALL & DOOR - SEE PLAN FOR TYPES
- NEW GUTTER (ABOVE) AND DOWNSPOUT - COORDINATE WITH CIVIL DWGS
- NEW FLOOR DRAIN - COORDINATE FLOOR DRAIN LOCATION WITH PLUMBING DRAWINGS; SEE PLUMBING DRAWINGS FOR MORE INFORMATION
- INDICATES FLOOR SLOPE (TO DRAIN)
- INDICATES EPOXY OVER FLOORING OVER NEW CONCRETE SLAB W/ CONTINUOUS VAPOR BARRIER WITH EPOXY FLOORING OVER CONCRETE SLAB

FINISH GENERAL NOTES

- SEE THE PROJECT MANUAL FOR ADDITIONAL SCOPE REQUIREMENTS FOR ALL FINISH TRADES.
- ALL EXISTING EXPOSED SURFACES TO BE CLEANED, PREPPED AND EPOXY PAINTED.
- ALL CMU OUTSIDE CORNERS ARE TO BE BULL-NOSED, TYPICAL
- ALL EXPOSED TO VIEW GWB AND CMU SURFACES ARE TO BE PAINTED.
- ALL EXPOSED TO VIEW SURFACES OF GWB CEILINGS AND SOFFITS ARE TO BE PAINTED.
- SEE REFLECTED CEILING PLANS FOR THE EXTENT OF CEILING TYPES AND SOFFITS.
- SEE INTERIOR ELEVATIONS AND ENLARGED PLANS FOR THE EXTENT, PATTERNS AND LAYOUT OF WALL TILES.

ROOM FINISH SCHEDULE

FLOORING:

- EPOXY FLOOR COATING W/6" INTEGRAL BASE
- NEW CONCRETE SLAB/FLOOR THROUGHOUT. SEALED & POLISHED
- 12x12 PORCELAIN FLOOR TILE
- RUBBER TILE FLOORING
- CARPET TILE FLOORING
- RUBBER SAFETY THREADS & RISERS
- ENTRY WALK-OFF MAT

FLOORING:

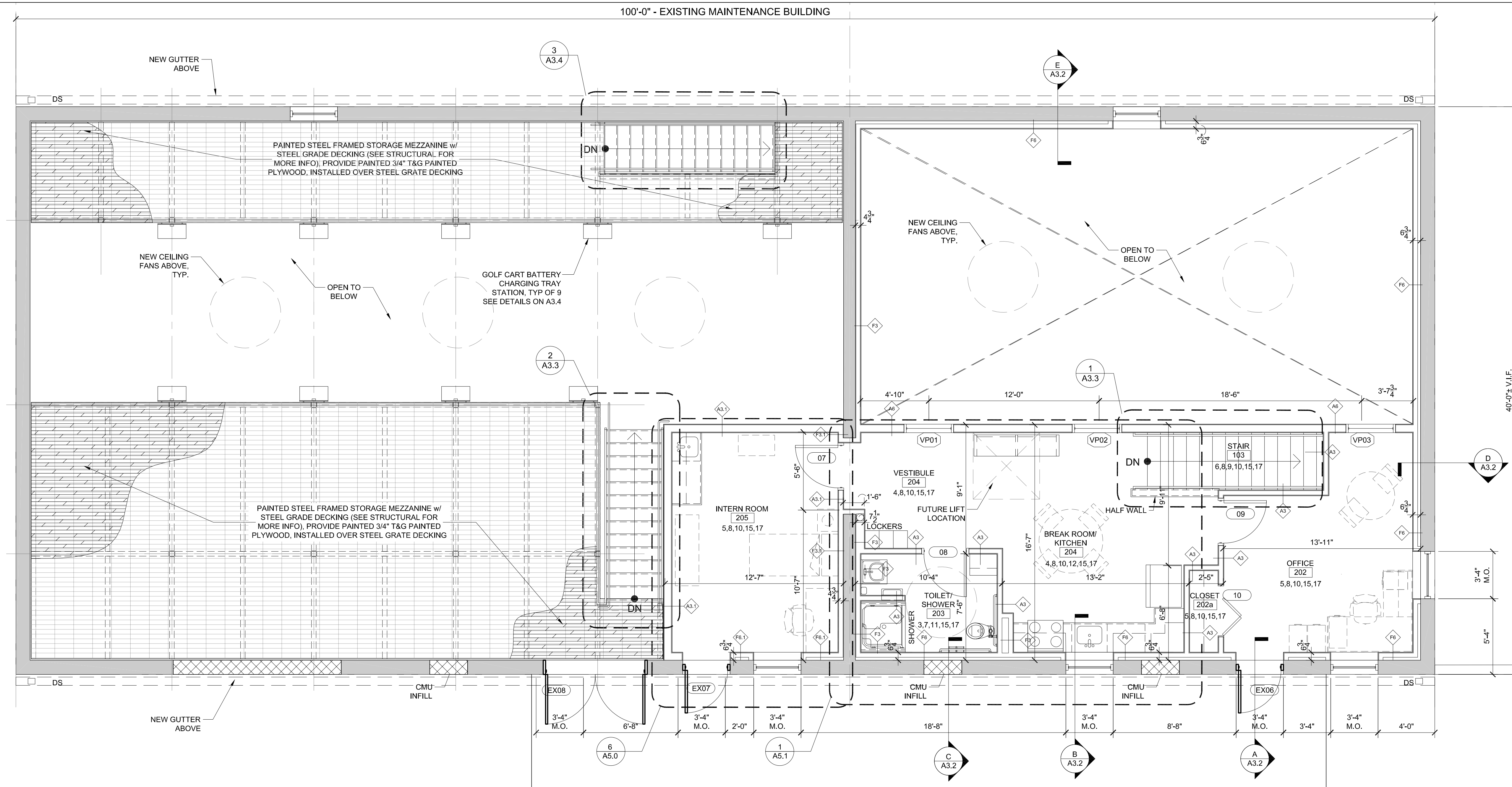
- PORCELAIN TILE BASE
- 4" RUBBER BASE (ON GWB WALLS ONLY)

WALLS:

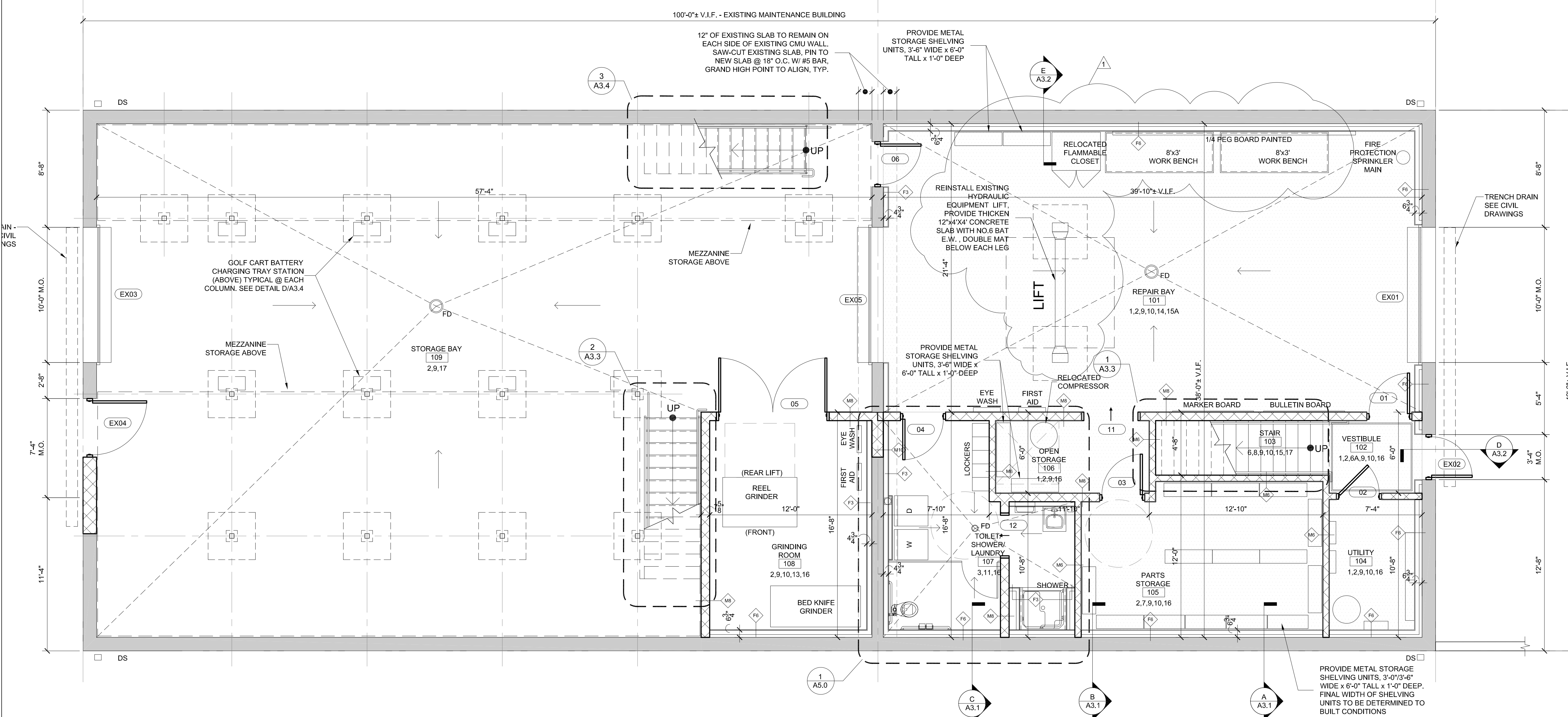
- EPOXY PAINT ON ALL NEW CMU & CIP CONCRETE WALL SURFACES
- EPOXY PAINT ON ALL NEW GWB WALL SURFACES
- 12x12 PORCELAIN WALL TILE, FULL HEIGHT
- 6x6 PORCELAIN BACK-SPLASH, FULL HEIGHT OF WALL (IN KITCHEN ONLY)
- 3/4" A/C PLYWOOD WAINSCOTING, FULL HEIGHT @ GWB WALL ONLY
- 3/4" A/C PLYWOOD WAINSCOTING @ 8'-0" AFF @ GWB WALLS ONLY

CEILINGS:

- SUSPENDED ACOUSTICAL CEILING TILES AND GRID
- SUSPENDED VINYL FACED GYPSUM CEILING TILES AND GRID
- EPOXY PAINT ON ALL NEW GWB CEILING SURFACES
- PAINT EXISTING ROOF TRUSSES, UNDERSIDE OF ROOF DECK AND ALL OTHER EXPOSED CONDUITS, DUCTS AND MISCELLANEOUS EQUIPMENT



2 ENLARGED UPPER FLOOR PLAN - EXISTING MAINTENANCE BUILDING
1/4" = 1'-0"



1 ENLARGED GROUND FLOOR PLAN - EXISTING MAINTENANCE BUILDING
1/4" = 1'-0"

Revisions:

No.	Date	Description
1	4/19/2024	REPAIR BAY

Drawn By:

MMW

Checked By:

JRY

Approved By:

JRY

Drawing Scale:

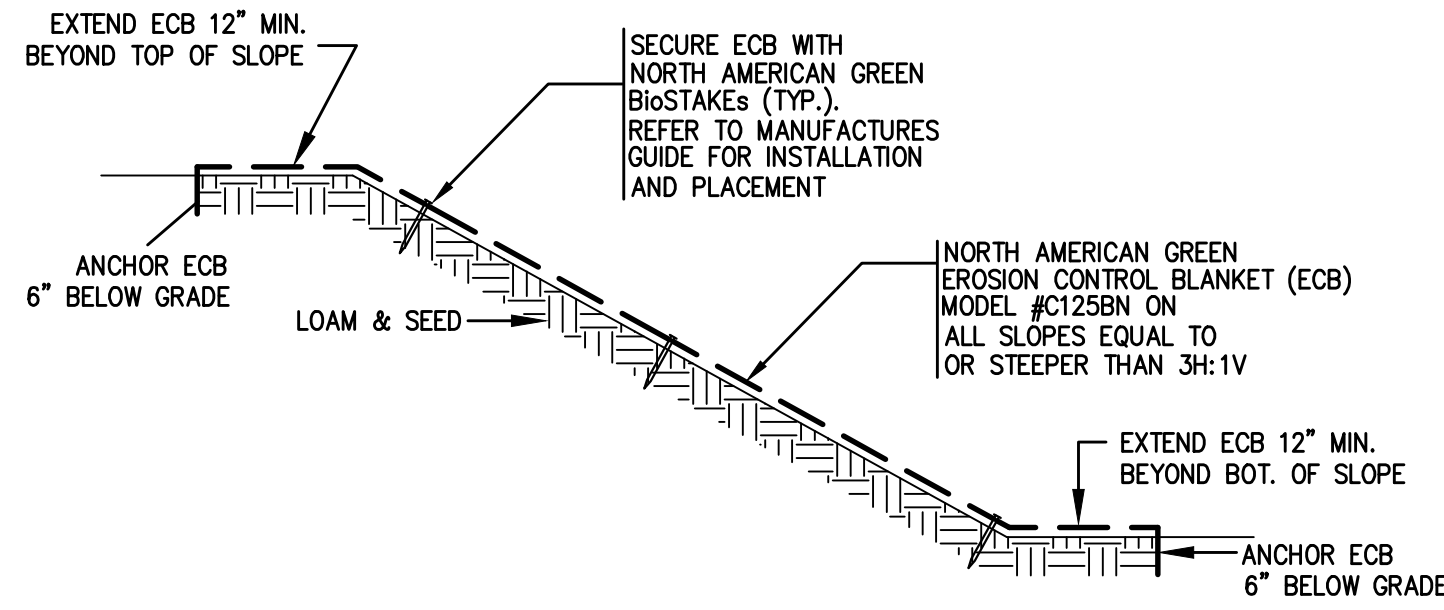
As Noted

Project Number:

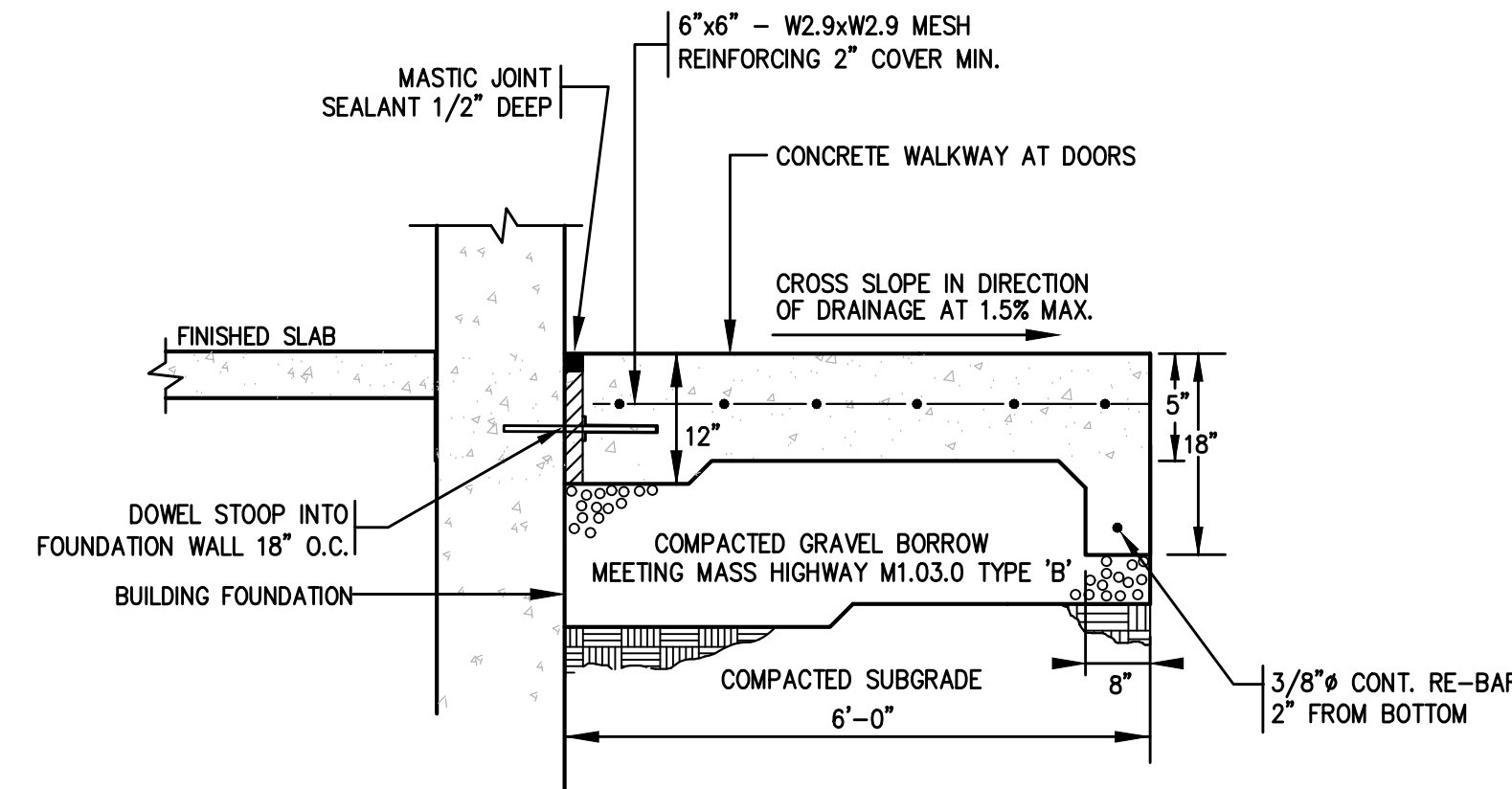
NEW2202

Date:

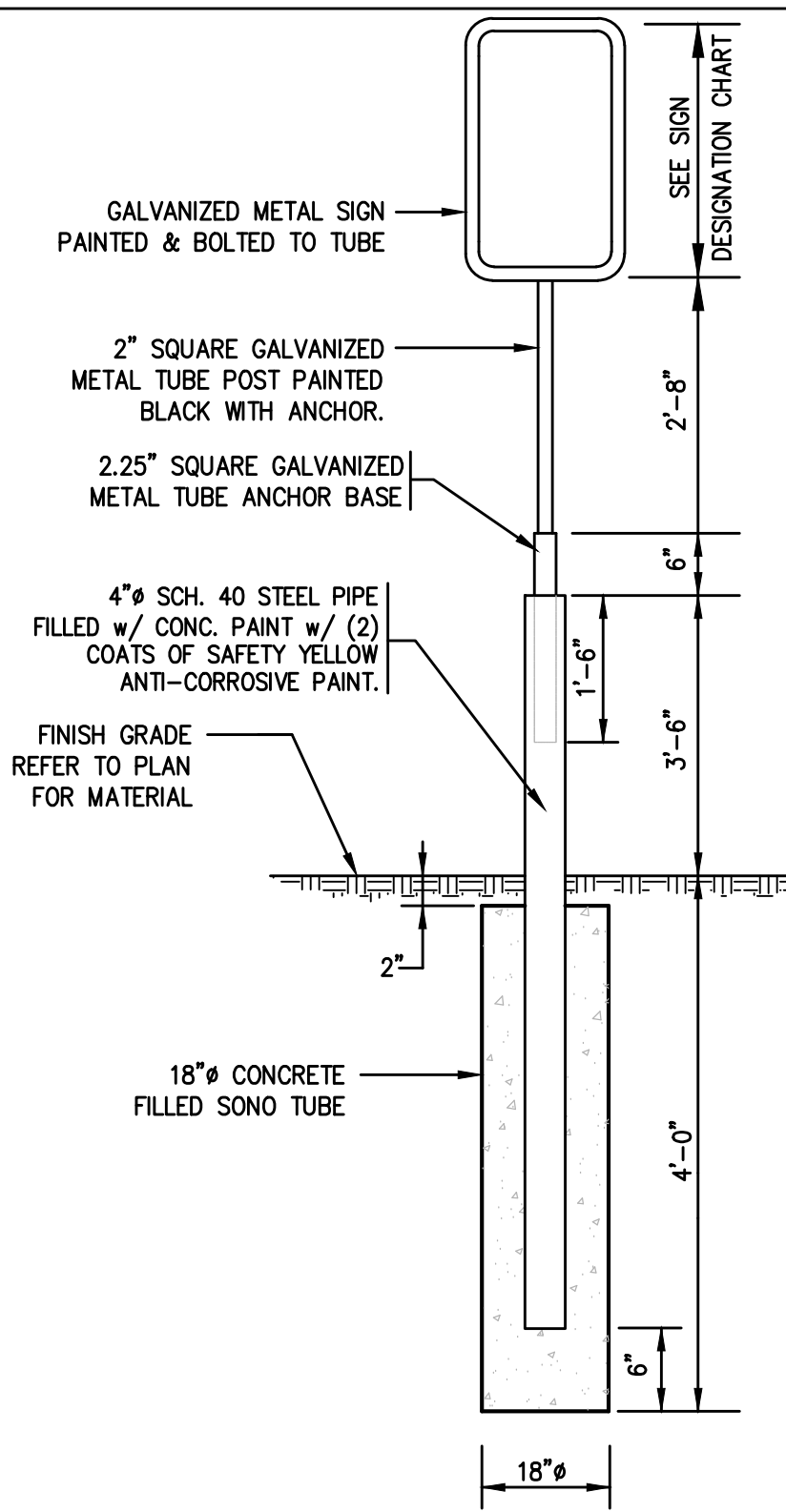
March 21, 2024



1
CO.2 N.T.S.



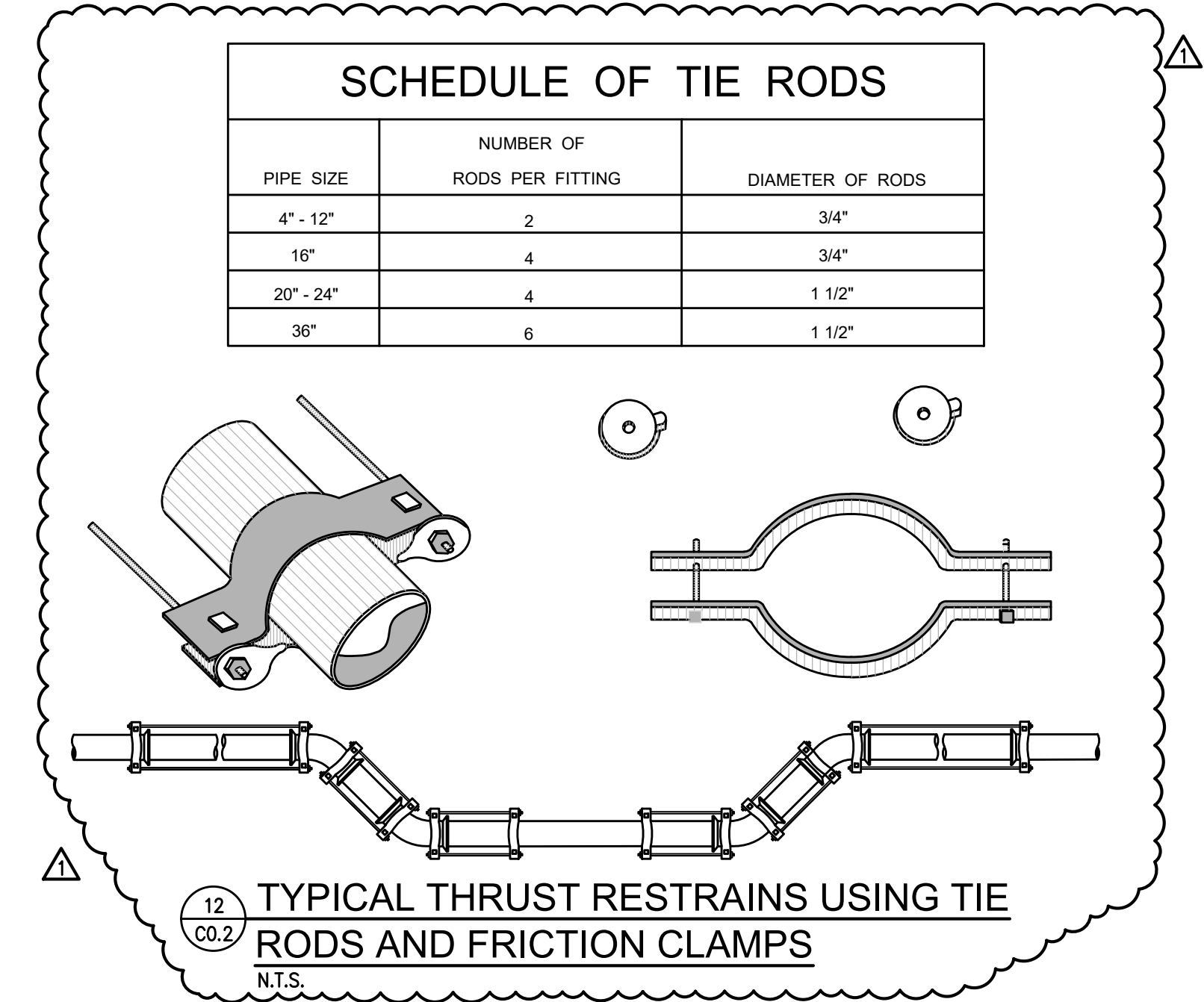
5
CO.2 N.T.S.



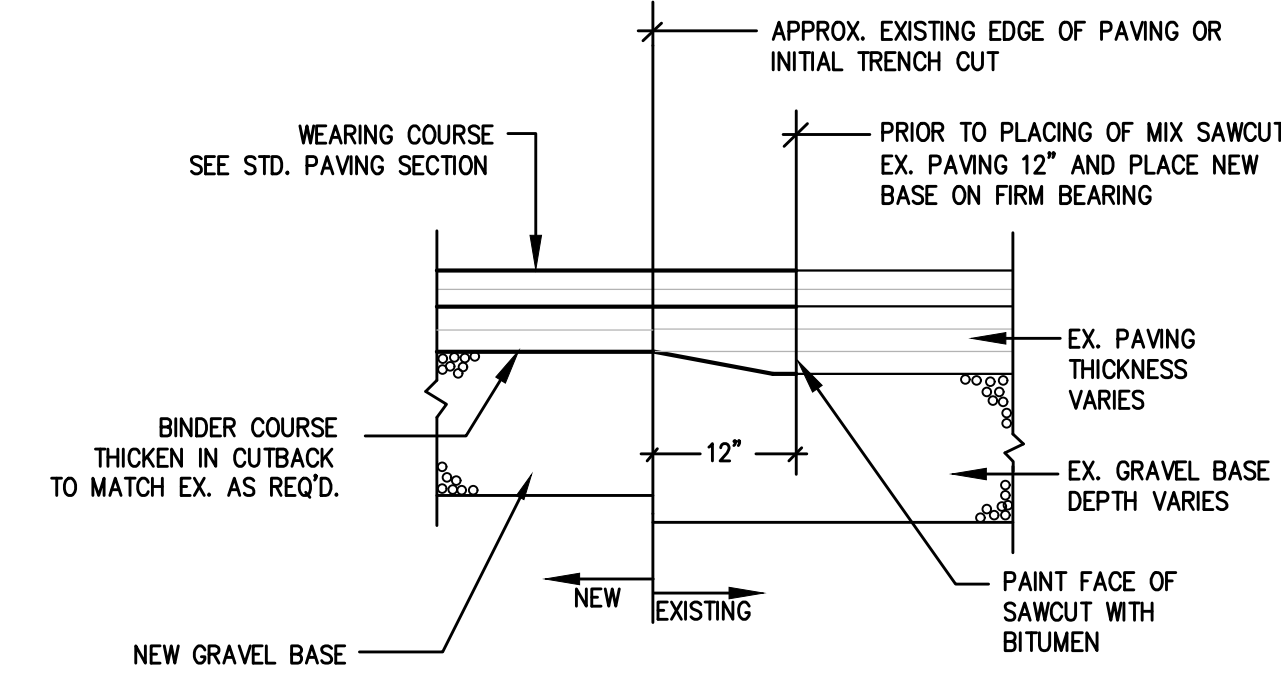
SIGN DESIGNATION CHART			
SIGN DESIGNATION	HEIGHT	WIDTH	SIGN
R7-8 (ACCESSIBLE PARKING)	18"	12"	
R7-8b (VAN ACCESSIBLE)	6"	12"	

9
CO.2 N.T.S.

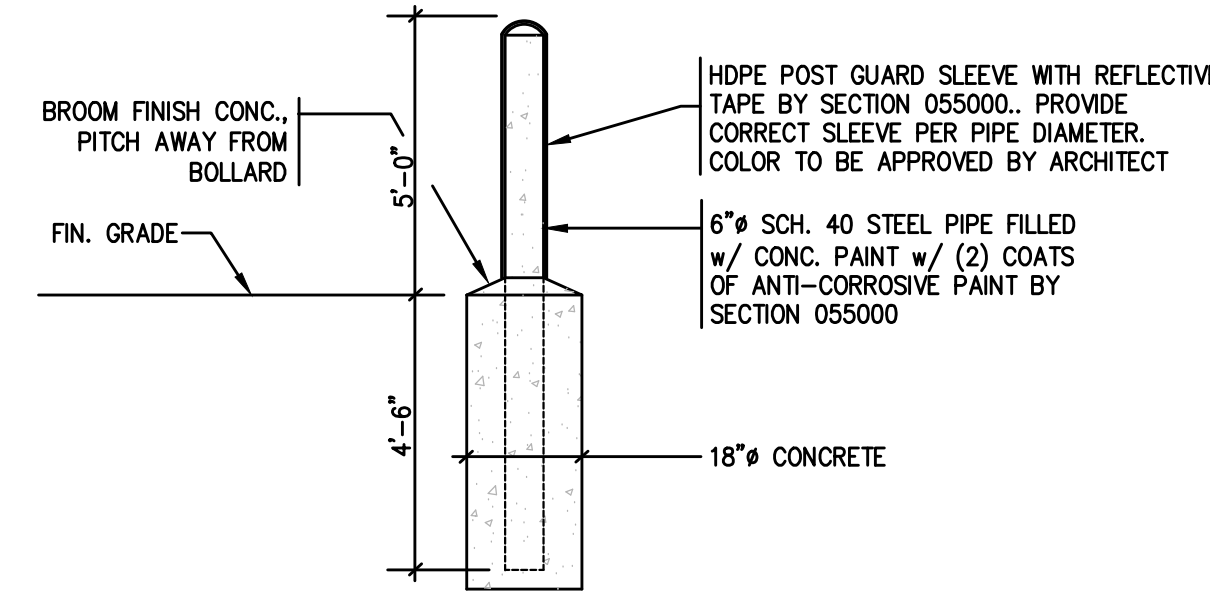
- NOTES:
- ALL TRAFFIC CONTROL AND WARNING SIGNS SHALL MEET THE MATERIAL REQUIREMENTS OF "ALUMINUM TYPE A" AS DEFINED IN SECTION 828 "TRAFFIC SIGNS" OF THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, LATEST EDITION.
 - ALL SIGNS SHALL CONSIST OF A WHITE BACKGROUND WITH HIGH CONTRAST BLACK LETTERS UNLESS OTHERWISE NOTED.
 - SIGN DESIGNATIONS TAKEN FROM THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).



12
CO.2 N.T.S.

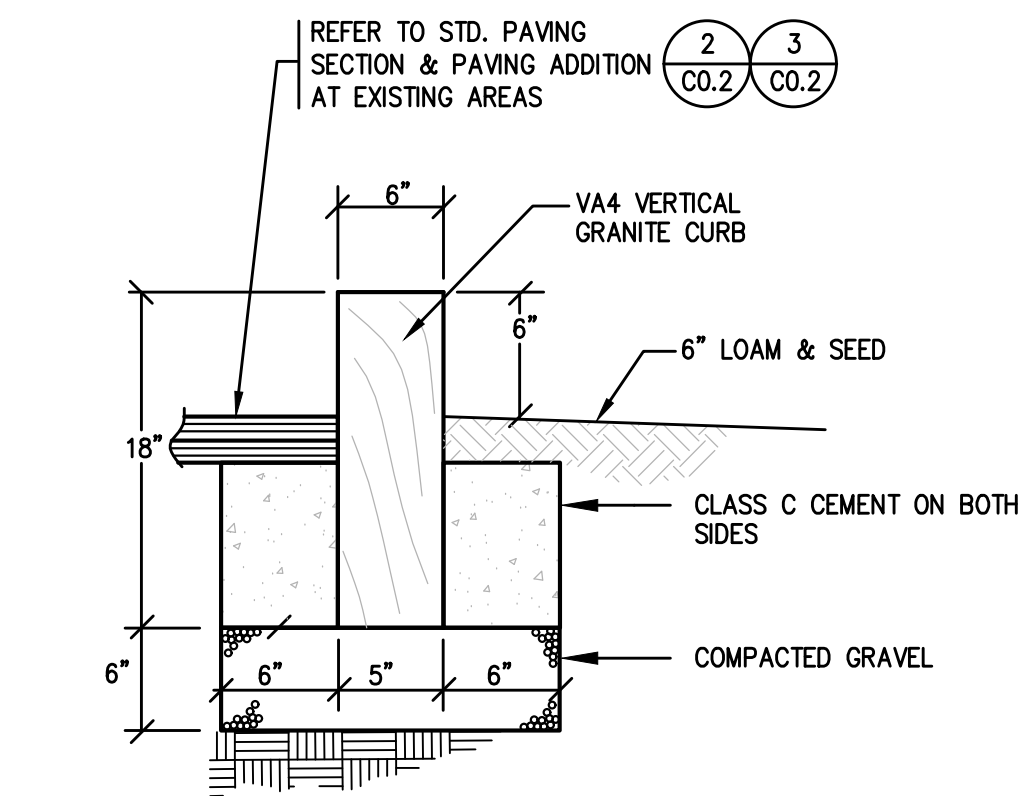


2
CO.2 N.T.S.

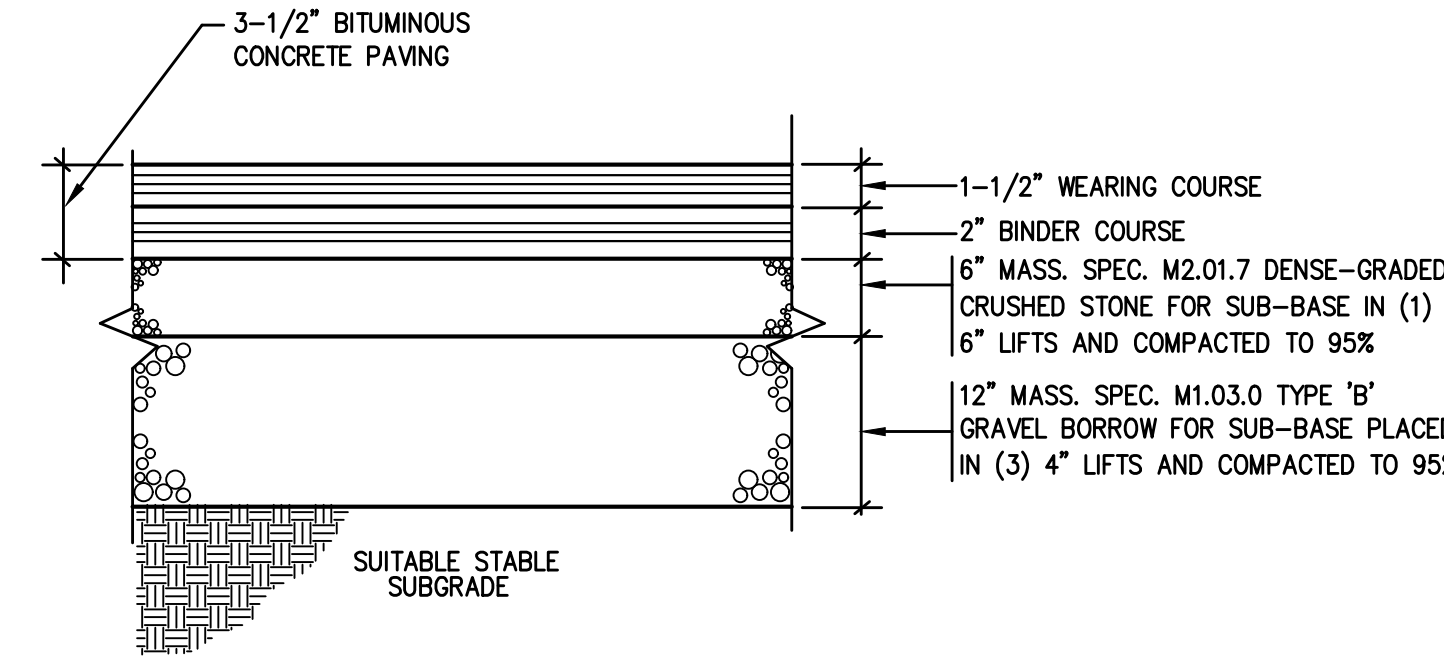


6
CO.2 N.T.S.

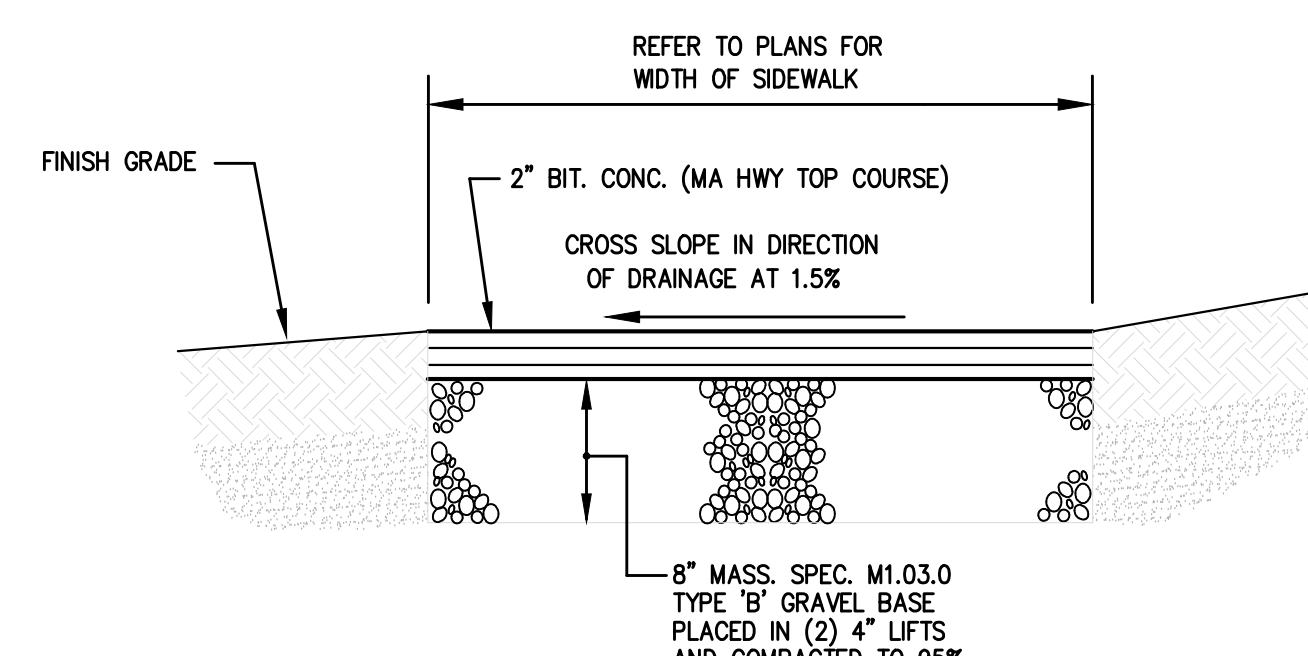
- NOTE:
- BOLLARD, GALVANIZED & PRIME COATED AND COVER BY SECTION 055000.
 - HDPE POST GUARDS TO BE FITTED TO THE DIAMETER OF THE POSTS. TWO REFLECTIVE SAFETY STRIPES ON EACH BOLLARD.
 - HDPE POST GUARDS SHALL BE STANDARD BUMPER POST BY STOR-QUIP SYSTEMS, INC., BOLLARDGARD BY INNOPLAST, POST GUARD BY ENCORE COMMERCIAL PRODUCTS, INC. OR APPROVED EQUAL.



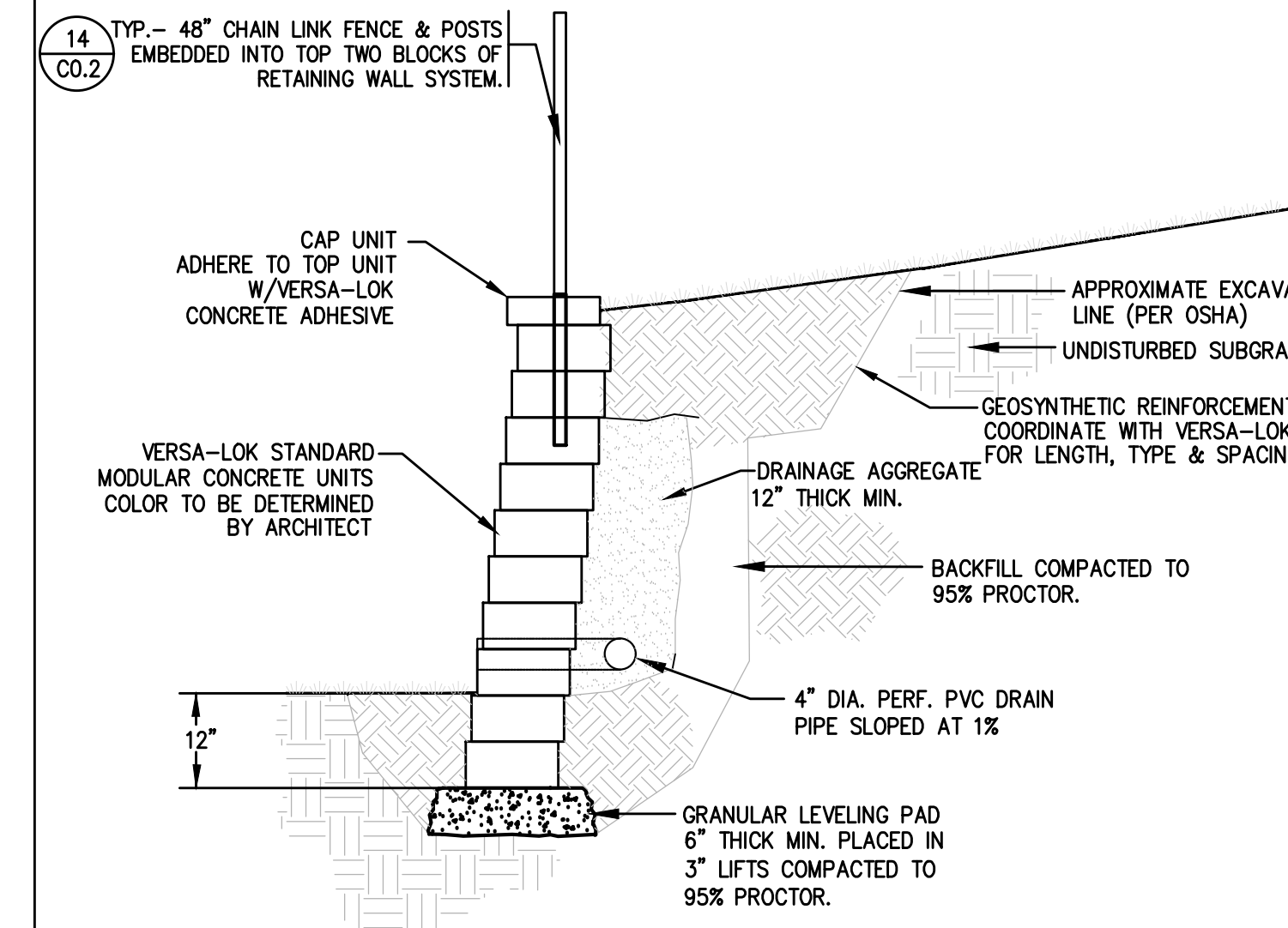
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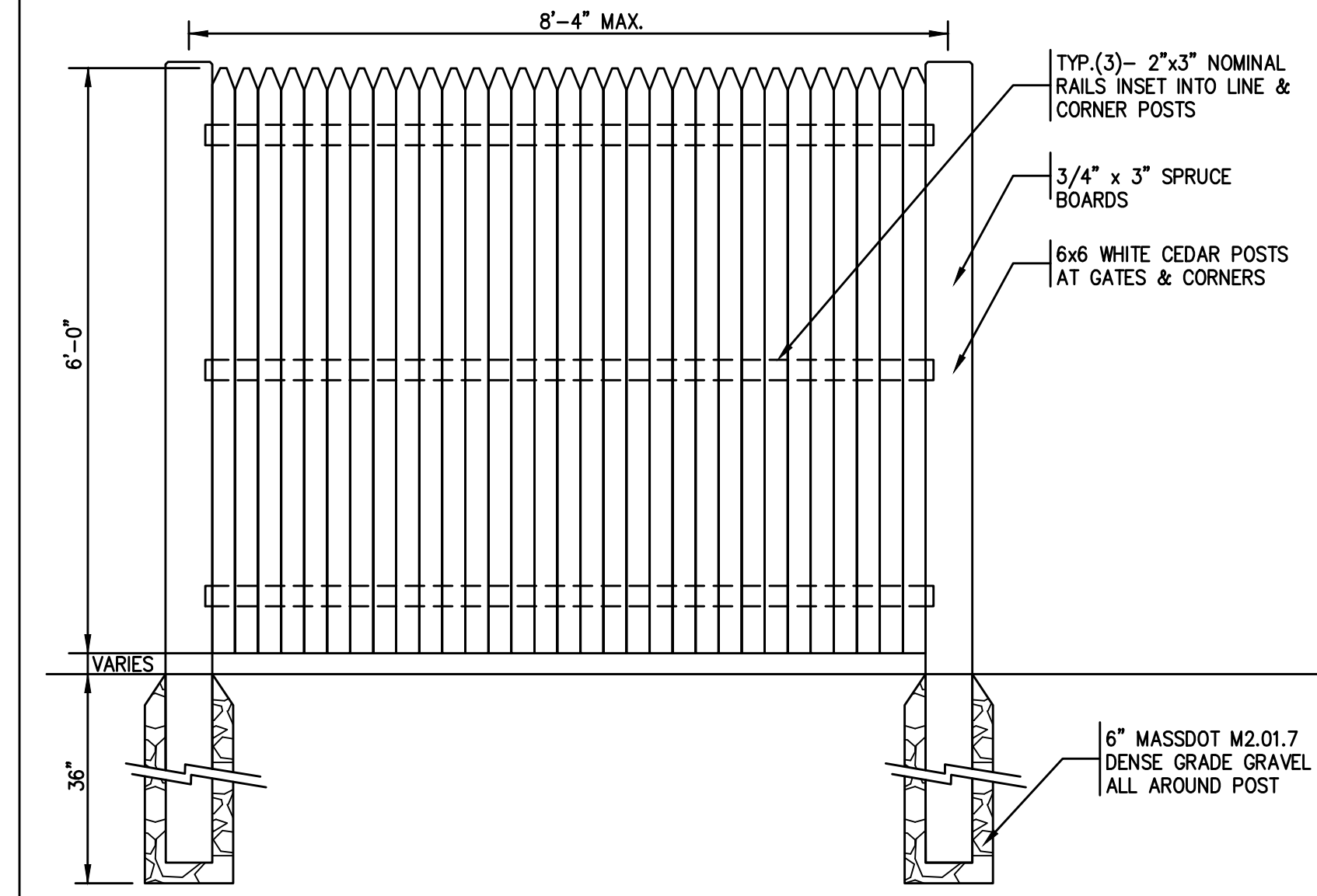
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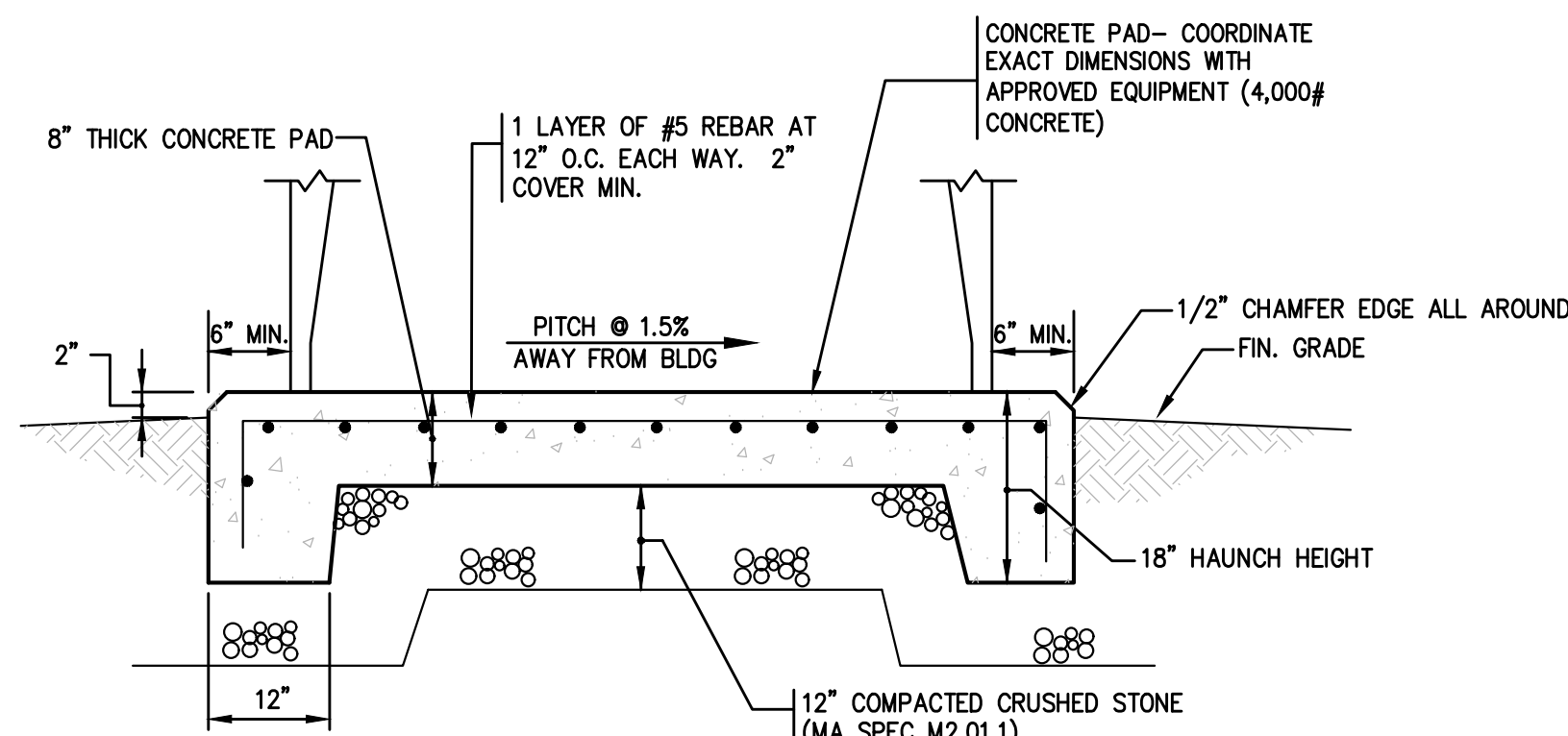
7
CO.2 N.T.S.



13
CO.2 N.T.S.

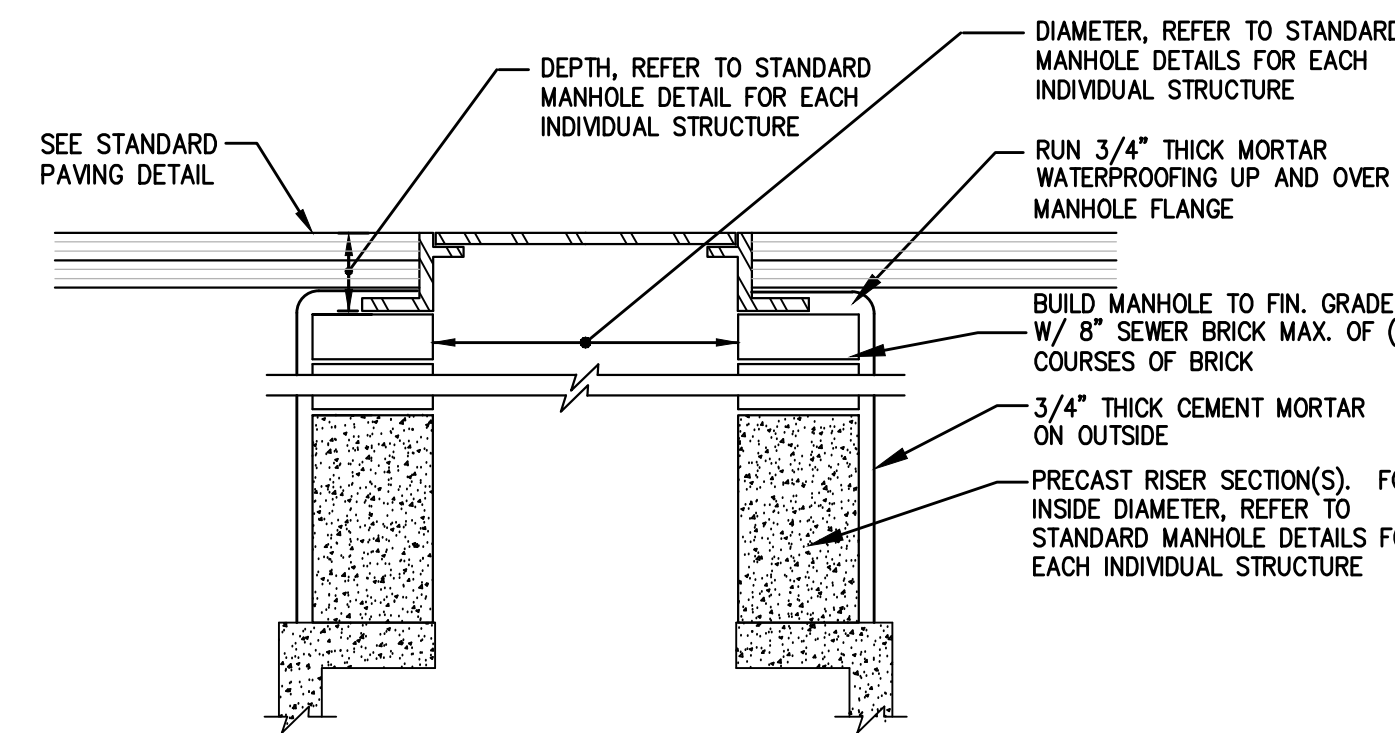


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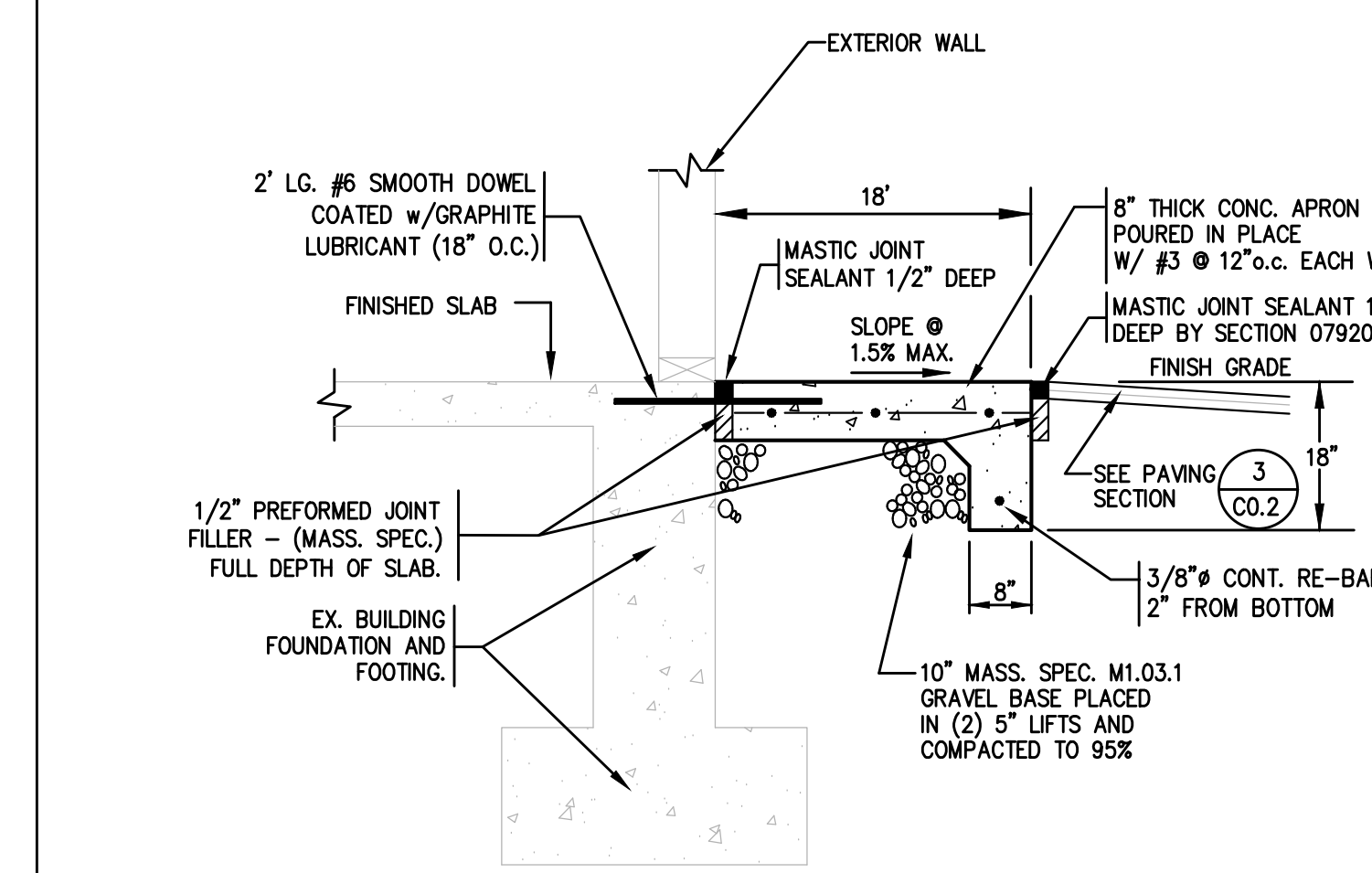


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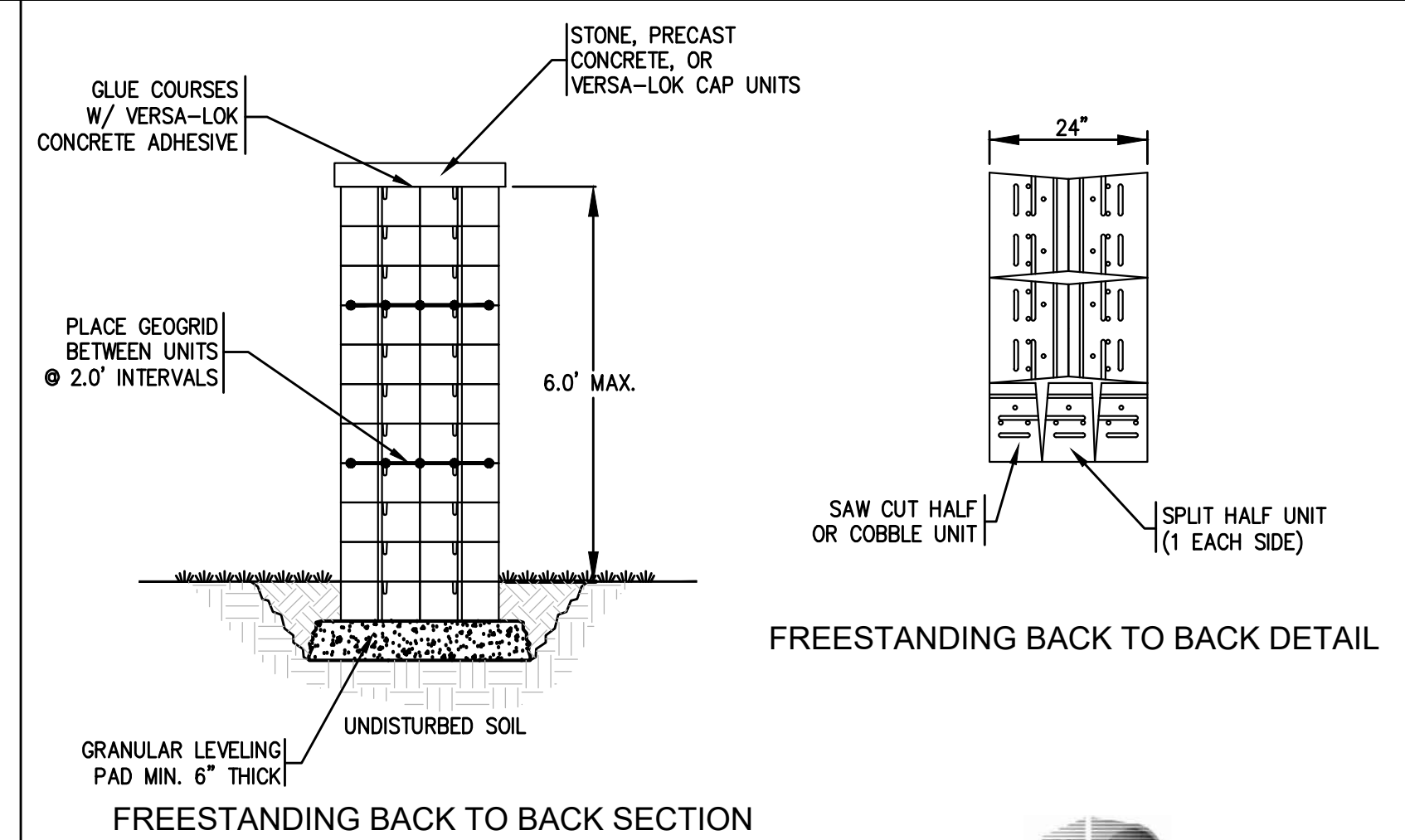
- NOTE:
- CONTRACTOR TO FURNISH & INSTALL ALL REQUIRED MATERIALS FOR CAST-IN-PLACE PADS WITH THE FOLLOWING DIMENSIONS:
PAD 1: 7.0'W x 18.5'L (FUEL TANKS)
PAD 2: 12.0'W x 12.0'L (SAND STORAGE AREA)
 - EXACT DIMENSIONS TO BE COORDINATED WITH THE APPROVED EQUIPMENT DIMENSIONS.



8
CO.2 N.T.S.



11
CO.2 N.T.S.



15
CO.2 N.T.S.

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Rockland, MA
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NEWTON COMMONWEALTH GOLF COURSE
MAINTENANCE FACILITY IMPROVEMENTS & RENOVATIONS

212 KENRICK STREET, NEWTON, MA 02458

SITE DETAILS

Revisions:

No.	Date	Description
1	4/19/24	ADDENDUM 1

Drawn By: NCK
Checked By: CMG
Approved By: CMG

Drawing Scale: As Noted

Project Number: NEW2202

Date: March 21, 2024

C0.2

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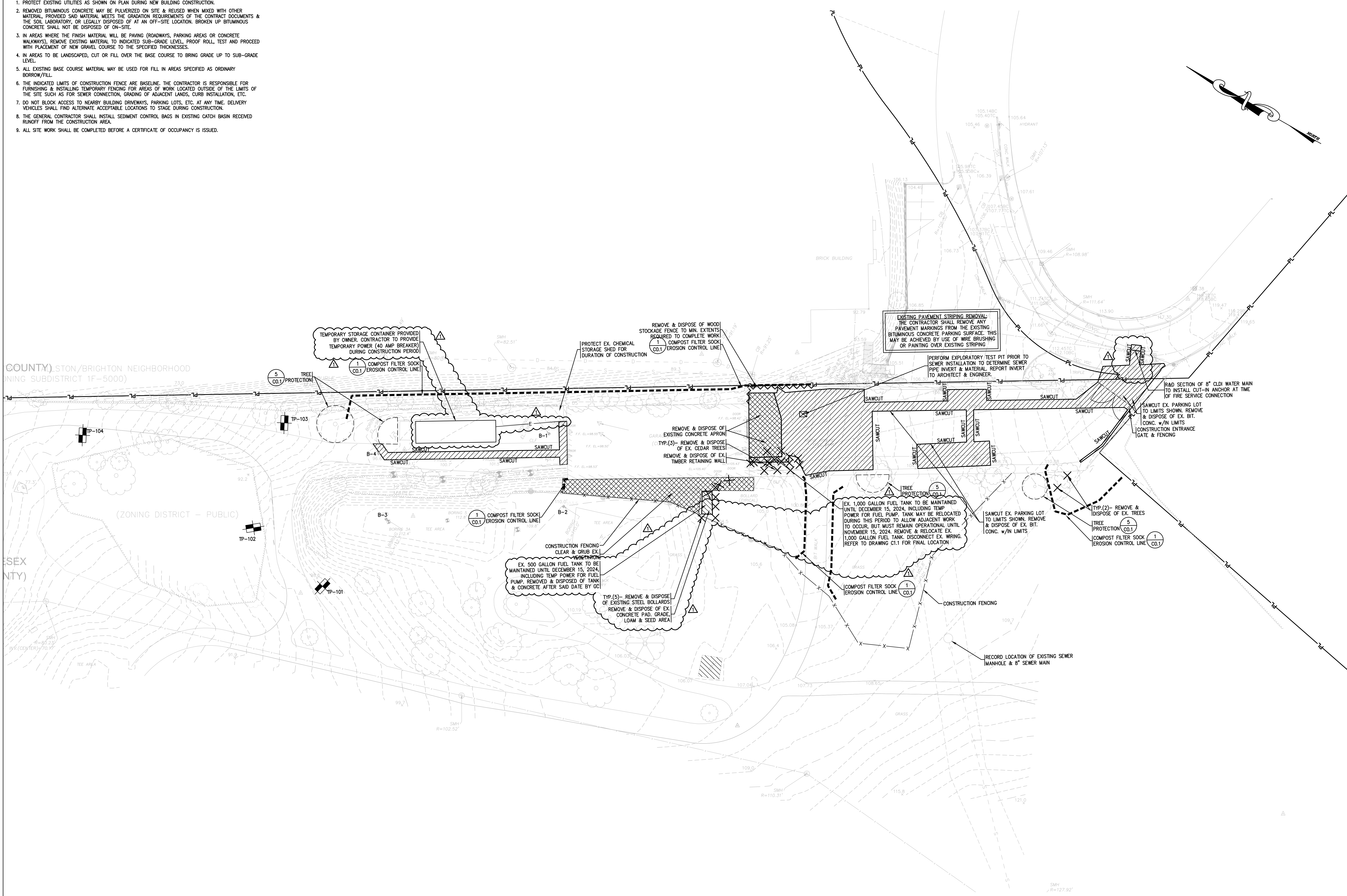
SITE DEMOLITION NOTES:

- PROTECT EXISTING UTILITIES AS SHOWN ON PLAN DURING NEW BUILDING CONSTRUCTION.
- REMOVED BITUMINOUS CONCRETE MAY BE PULVERIZED ON SITE & REUSED WHEN MIXED WITH OTHER MATERIAL, PROVIDED SAID MATERIAL MEETS THE GRADATION REQUIREMENTS OF THE CONTRACT DOCUMENTS & THE SOIL LABORATORY, OR LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION. BROKEN UP BITUMINOUS CONCRETE SHALL NOT BE DISPOSED OF ON-SITE.
- IN AREAS WHERE THE FINISH MATERIAL WILL BE PAVING (ROADWAYS, PARKING AREAS OR CONCRETE WALKWAYS), REMOVE EXISTING MATERIAL TO INDICATED SUB-GRADE LEVEL, PROOF ROLL, TEST AND PROCEED WITH PLACEMENT OF NEW GRAVEL COURSE TO THE SPECIFIED THICKNESSES.
- IN AREAS TO BE LANDSCAPED, CUT OR FILL OVER THE BASE COURSE TO BRING GRADE UP TO SUB-GRADE LEVEL.
- ALL EXISTING BASE COURSE MATERIAL MAY BE USED FOR FILL IN AREAS SPECIFIED AS ORDINARY BORROW/FILL.
- THE INDICATED LIMITS OF CONSTRUCTION FENCE ARE BASELINE. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING & INSTALLING TEMPORARY FENCING FOR AREAS OF WORK LOCATED OUTSIDE OF THE LIMITS OF THE SITE SUCH AS FOR SEWER CONNECTION, GRADING OF ADJACENT LANDS, CURB INSTALLATION, ETC.
- DO NOT BLOCK ACCESS TO NEARBY BUILDING DRIVEWAYS, PARKING LOTS, ETC. AT ANY TIME. DELIVERY VEHICLES SHALL FIND ALTERNATE ACCEPTABLE LOCATIONS TO STAGE DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL INSTALL SEDIMENT CONTROL BAGS IN EXISTING CATCH BASIN RECEIVED RUNOFF FROM THE CONSTRUCTION AREA.
- ALL SITE WORK SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.

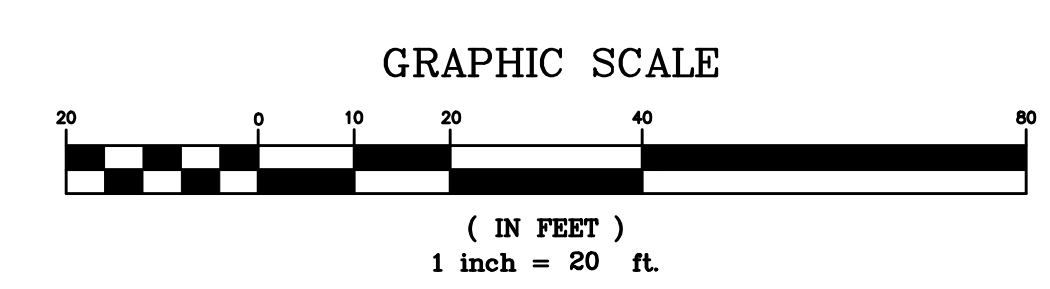
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MAINTENANCE FACILITY IMPROVEMENTS & RENOVATIONS**
212 KENRICK STREET, NEWTON, MA 02458

SITE DEMOLITION & PREPARATION PLAN



1 SITE DEMOLITION & PREPARATION PLAN
C1.0 SCALE: 1" = 20'



Revisions:

No.	Date	Description
1	4/19/24	ADDENDUM 1

Drawn By: NCK
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Approved By: CMG

Drawing Scale: As Noted

Project Number: NEW2202

Date: March 21, 2024



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C1.0

SITE LAYOUT & MATERIALS NOTES:

- BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY, AN AS BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL AND PAPER FORMAT. THE PLAN SHALL SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND IMPROVEMENTS AND LIMITS OF RESTORATION. THE PLAN SHALL INCLUDE PROFILES OF THE VARIOUS NEW UTILITIES INCLUDING BUT NOT LIMITED TO RM & INVERT ELEVATIONS (CITY OF NEWTON DATUM), SLOPES OF PIPES, PIPE MATERIALS, AND SWING TIES FROM PERMANENT BUILDING CORNERS. THE AS BUILT SHALL BE STAMPED BY BOTH A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR. ONCE THE AS BUILT PLAN IS RECEIVED THE ENGINEERING DIVISION SHALL PERFORM A FINAL SITE INSPECTION AND THEN MAKE A DETERMINATION TO ISSUE A CERTIFICATE OF OCCUPANCY.
- ALL SITE WORK SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.
- IF ANY CHANGES FROM THE FINAL APPROVED DESIGN PLAN THAT ARE REQUIRED DUE TO UNFORESEEN SITE CONDITIONS, THE CONTRACTOR OF RECORD SHALL CONTACT THE DESIGN ENGINEER OF RECORD AND SUBMIT REVISED DESIGN AND STAMPED FULL SCALE PLANS FOR REVIEW AND APPROVAL PRIOR TO CONTINUING WITH CONSTRUCTION.

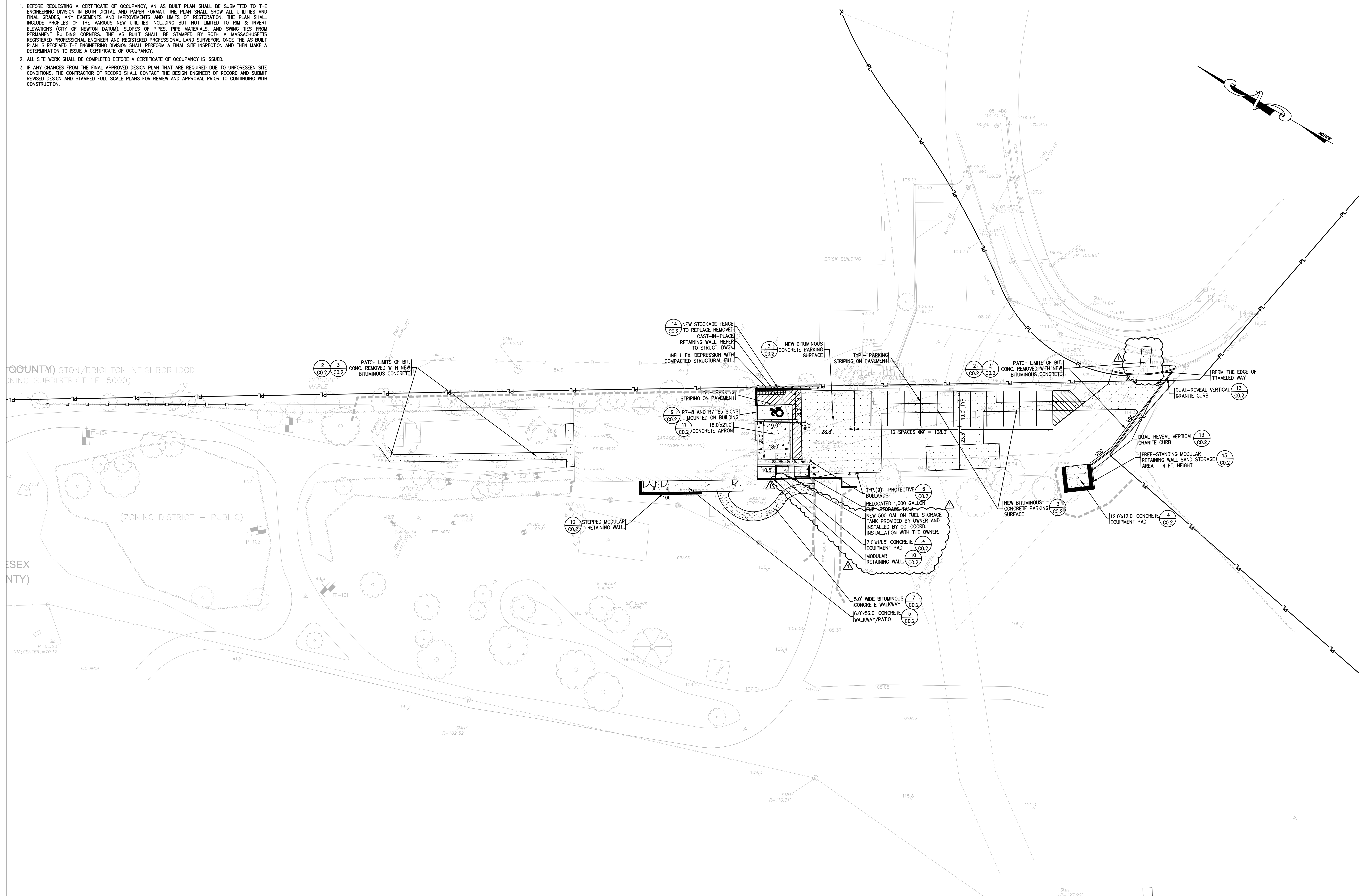
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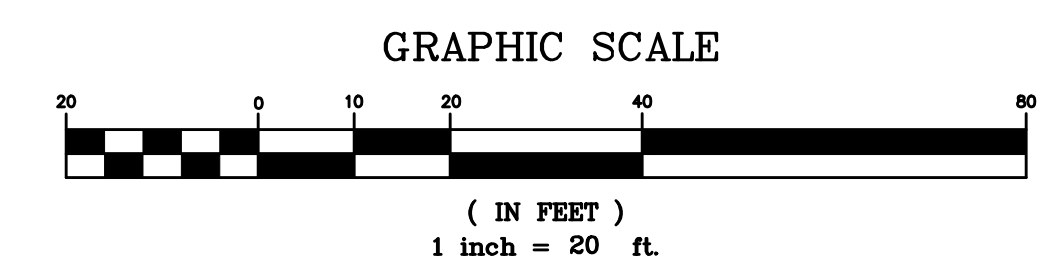
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SITE LAYOUT & MATERIALS PLAN



1 SITE LAYOUT & MATERIALS PLAN
SCALE: 1" = 20'



Revisions:

No.	Date	Description
1	4/19/24	ADDENDUM 1

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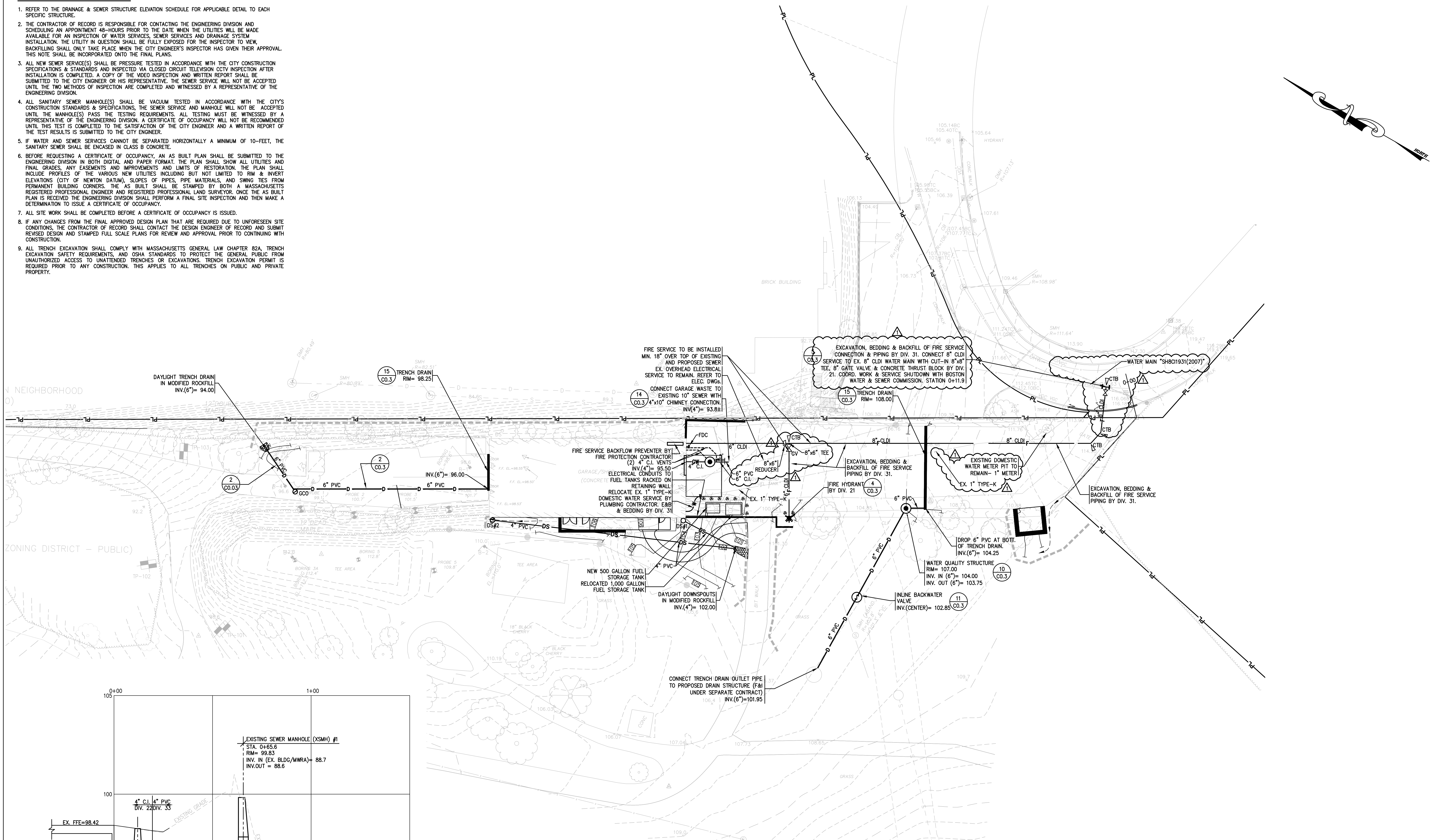


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C1.1

SITE UTILITY NOTES:

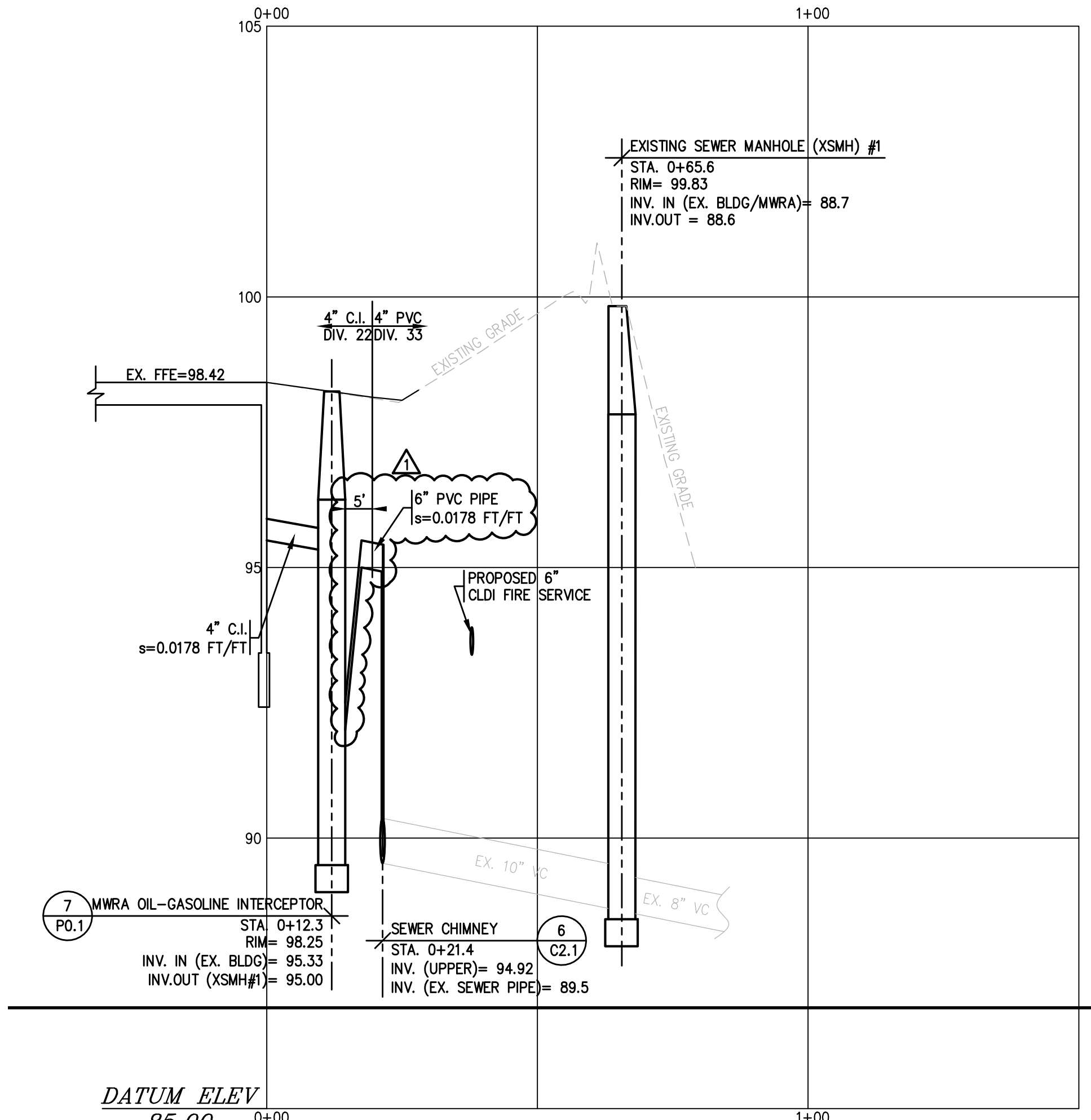
- REFER TO THE DRAINAGE & SEWER STRUCTURE ELEVATION SCHEDULE FOR APPLICABLE DETAIL TO EACH SPECIFIC STRUCTURE.
- THE CONTRACTOR OF RECORD IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48-HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICES AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACKFILLING SHALL ONLY TAKE PLACE WHEN THE CITY ENGINEER'S INSPECTOR HAS GIVEN THEIR APPROVAL. THIS NOTE SHALL BE INCORPORATED ONTO THE FINAL PLANS.
- ALL NEW SEWER SERVICE(S) SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE CITY CONSTRUCTION SPECIFICATIONS & STANDARDS AND INSPECTED VIA CLOSED CIRCUIT TELEVISION CCTV INSPECTION AFTER INSTALLATION IS COMPLETED. A COPY OF THE VIDEO INSPECTION AND WRITTEN REPORT SHALL BE SUBMITTED TO THE CITY ENGINEER OR HIS REPRESENTATIVE. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL THE TWO METHODS OF INSPECTION ARE COMPLETED AND WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION.
- ALL SANITARY SEWER MANHOLE(S) SHALL BE VACUUM TESTED IN ACCORDANCE WITH THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE AND MANHOLE WILL NOT BE ACCEPTED UNTIL THE MANHOLE(S) PASS THE TESTING REQUIREMENTS. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED TO THE SATISFACTION OF THE CITY ENGINEER AND A WRITTEN REPORT OF THE TEST RESULTS IS SUBMITTED TO THE CITY ENGINEER.
- IF WATER AND SEWER SERVICES CANNOT BE SEPARATED HORIZONTALLY A MINIMUM OF 10-FEET, THE SANITARY SEWER SHALL BE ENCASED IN CLASS B CONCRETE.
- BEFORE REQUESTING A CERTIFICATE OF OCCUPANCY, AN AS BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL AND PAPER FORMAT. THE PLAN SHALL SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND IMPROVEMENTS AND LIMITS OF RESTORATION. THE PLAN SHALL INCLUDE PROFILES OF THE VARIOUS NEW UTILITIES INCLUDING BUT NOT LIMITED TO RM & INVERT ELEVATIONS (CITY OF NEWTON DATA), SLOPES OF PIPES, PIPE MATERIALS, AND SWING TIES FROM PERMANENT BUILDING CORNERS. THE AS BUILT SHALL BE STAMPED BY BOTH A MASSACHUSETTS REGISTERED PROFESSIONAL ENGINEER AND REGISTERED PROFESSIONAL LAND SURVEYOR. ONCE THE AS BUILT PLAN IS RECEIVED THE ENGINEERING DIVISION SHALL PERFORM A FINAL SITE INSPECTION AND THEN MAKE A DETERMINATION TO ISSUE A CERTIFICATE OF OCCUPANCY.
- ALL SITE WORK SHALL BE COMPLETED BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED.
- IF ANY CHANGES FROM THE FINAL APPROVED DESIGN PLAN THAT ARE REQUIRED DUE TO UNFORESEEN SITE CONDITIONS, THE CONTRACTOR OF RECORD SHALL CONTACT THE DESIGN ENGINEER OF RECORD AND SUBMIT REVISED DESIGN AND STAMPED FULL SCALE PLANS FOR REVIEW AND APPROVAL PRIOR TO CONTINUING WITH CONSTRUCTION.
- ALL TRENCH EXCAVATION SHALL COMPLY WITH MASSACHUSETTS GENERAL LAW CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, AND OSHA STANDARDS TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES OR EXCAVATIONS. TRENCH EXCAVATION PERMIT IS REQUIRED PRIOR TO ANY CONSTRUCTION. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.



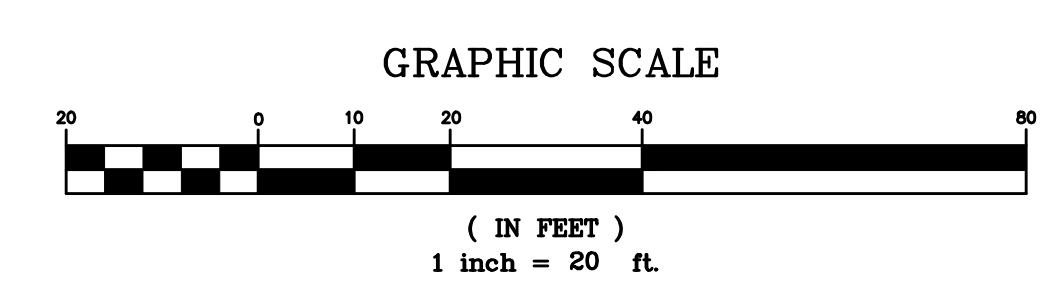
1 SITE UTILITY PLAN
SCALE: 1" = 20'

DOWNSPOUTS			
STRUCTURE #	FINISH GRADE	INV. OUT ELEV.	DOWNSPOUT DETAIL
DS #1	104.60	102.30	7/CO.3
DS #2	106.50	103.00	7/CO.3

3 DRAINAGE ELEVATION & INVERT SCHEDULE
SCALE: 1" = 20'



2 PROFILE OF SUBSURFACE SEWER SYSTEM
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



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SITE UTILITY PLAN

Revisions:

No.	Date	Description
1	4/19/24	ADDENDUM 1

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C2.1

LEGEND		
SYMBOL	ABBREV	DESCRIPTION
	FSP	STANDPIPE (WET)
	F	FIRE MAIN ABOVEGROUND
	F	FIRE MAIN UNDERGROUND
	SPR	SPRINKLER LINE (WET)
	DSP	SPRINKLER LINE (DRY)
	SD	SPRINKLER DRAIN
		SIDEWALL SPRINKLER HEAD
		PENDANT SPRINKLER HEAD
		CONCEALED UPRIGHT SPRINKLER HEAD
		CONCEALED PENDANT SPRINKLER HEAD IN CEILING
	D	DRY SIDEWALL SPRINKLER HEAD
	D	DRY PENDANT SPRINKLER HEAD IN CEILING
	DP, DN	PIPE DROP OR DOWN
	UP	PIPE RISE OR UP
		TEE LOOKING DOWN
		CAP ON END OF PIPE
		STRAINER
		UNION
	PG	PRESSURE GAGE
	CV	CHECK VALVE
	SCV	SUPERVISED CONTROL VALVE
	VV	VALVE ON VERTICAL
	FS	FLOW SWITCH
	CTB	CONCRETE THRUST BLOCK
	PRV	PRESSURE REDUCING VALVE
	GV	GATE VALVE
		PRESSURE RELIEF VALVE
		SLOPED PIPE
	ITC	INSPECTORS TEST CONNECTION
	TYP.	TYPICAL
	AC	CONCEALED ABOVE CEILING
	@C	EXPOSED AT CEILING
	AP	ACCESS PANEL
	AF	ABOVE FINISHED FLOOR
	AFG	ABOVE FINISHED GRADE
	PC	PLUMBING CONTRACTOR
	PA	PRE-ACTION
	FPC	FIRE PROTECTION CONTRACTOR
	GC	GENERAL CONTRACTOR
	HVAC	HEAT, VENT & AIR CONDITIONER CONTRACTOR
	EC	ELECTRICAL CONTRACTOR
	DCVA EXP	DOUBLE CHECK VALVE ASSEMBLY EXPOSED
	LPD	LOW POINT DRAIN
	ETR	EXISTING TO REMAIN
	ETR	EXISTING TO BE REMOVED
	CTE	CONNECT TO EXISTING
	FDC	FIRE DEPARTMENT CONNECTION (STORZ)
	FDC	FIRE DEPARTMENT CONNECTION (SIAMESE)
	FDV	FIRE DEPT. VALVE CABINET
	FDVC	FIRE DEPT. VALVE CABINET
	NAS	NO AUTOMATIC SPRINKLERS
	TS	TAMPER (SUPERVISORY) SWITCH
	FS	FLOW SWITCH
	PS	PRESSURE SWITCH
	LPS	LOW PRESSURE SWITCH
	ITS	REMOTE INSPECTORS TEST STATION

NOTE: NOT ALL SYMBOLS LISTED ARE APPLICABLE TO THIS PROJECT.

GENERAL NOTES

- THE WORK HEREIN REQUIRED INCLUDES A HYDRAULICALLY DESIGNED SPRINKLER SYSTEM AS SPECIFIED IN THE DOCUMENTS AND AS APPROVED BY THE ARCHITECT.
- THE FIRE PROTECTION DRAWINGS ARE DIAGRAMMATIC AND ARE TO BE USED FOR THE PURPOSE OF ESTABLISHING GENERAL LOCATIONS OF PIPING RUNS, SIZES OF PIPING, AND QUANTITIES OF FIXTURES AND EQUIPMENT TO BE FURNISHED HEREIN.
- ALL PIPING SHOWN ON THESE PLANS OR THOSE TO BE DESIGNED HEREIN SHALL BE RUN CONCEALED ABOVE SUSPENDED CEILINGS, IN CHASES, OR IN PARTITIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- ALL SPRINKLER HEADS IN CEILING TILES SHALL BE LOCATED IN THE EXACT CENTER OF TILE UNLESS SPECIFICALLY APPROVED OTHERWISE BY THE ARCHITECT.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING HEIGHTS AND CEILING MATERIALS AND LAYOUTS. REFER TO THE RESPECTIVE PLUMBING, HVAC AND ELECTRICAL DRAWINGS FOR LIGHTING, DIFFUSER AND REGISTER LAYOUTS IN CEILINGS AND FOR PIPING, DUCTWORK AND EQUIPMENT ABOVE CEILINGS FOR COORDINATION PURPOSES. IN THE EVENT OF CONFLICT OR IF DIMENSIONS ARE NOT SHOWN, OBTAIN FIELD DIRECTIVE FROM THE ARCHITECT AS TO THE LOCATIONS OF ALL VISIBLE EQUIPMENT.
- ATTENTION IS CALLED TO THE REQUIREMENT FOR THE PREPARATION OF COORDINATION DRAWINGS. IN ADDITION TO THE PREPARATION OF SHOP DRAWINGS ALSO PREPARE COORDINATION DRAWINGS AS OUTLINED IN THE SPECIFICATION, THE APPROVAL OF THE SHOP DRAWINGS INCLUDING DIMENSIONS SHOWN THEREIN DOES NOT RELIEVE THE CONTRACTOR.
- SPECIFIC ATTENTION IS DIRECTED TO THE REQUIREMENTS OF STATE BUILDING CODE AND NFPA 241-2013 REGARDING THE MAINTENANCE OF FIRE PROTECTION SYSTEMS DURING CONSTRUCTION. MAINTAIN THE SYSTEMS AS REQUIRED BY THESE STANDARDS AS A MINIMUM.
- REFER TO NFPA 13 TABLE 8.3.2.5(a) FOR TEMPERATURE RATING OF SPRINKLERS BASED ON DISTANCE FROM HEAT SOURCES SUCH AS HEATING DUCTS, DIFFUSERS AND UNIT HEATERS.
- COORDINATE LOCATION OF PIPING AND SPRINKLERS IN ELECTRIC ROOM. PIPING AND SPRINKLERS SHALL NOT BE LOCATED ABOVE ELECTRICAL EQUIPMENT.
- PROVIDE UPRIGHT SPRINKLERS WITH HEAD GUARDS IN MECHANICAL ROOMS AND BELOW MEZZANINES/ UPPER LEVEL.
- THE SPRINKLER CONTRACTOR SHALL PROVIDE AS PART OF THIS CONTRACT ALL SPRINKLERS, BELOW FIXED OBSTRUCTIONS 48" AND LARGER AS REQUIRED BY NFPA 13, 8.6.5.3. IT IS THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR TO PROVIDE THE REQUIRED SPRINKLERS AND ALL ASSOCIATED PIPING, FITTINGS, HANGERS, ETC. FOR A COMPLETE INSTALLATION.

FIRE PROTECTION CRITERIA

- THE PURPOSE OF THE FIRE PROTECTION DRAWINGS AND SPECIFICATIONS IS TO ESTABLISH THE CRITERIA FOR DESIGN, MATERIALS, AND LOCATIONS OF THE COMPLETE SPRINKLER SYSTEM. THE FIRE PROTECTION SUB-CONTRACTOR IS RESPONSIBLE FOR THE FINAL DESIGN OF THE SPRINKLER SYSTEM AND SAID DESIGN AND INSTALLATION SHALL INCLUDE ALL COMPONENTS TO PROVIDE FOR THE COMPLETE SYSTEM WITHOUT ANY ADDITIONAL EXPENSE TO THE OWNER. THE SUB-CONTRACTOR SHALL VERIFY THAT THE NUMBER OF HEADS SHOWN ON HIS WORKING PLANS AND HYDRAULIC CALCULATIONS ARE ADEQUATE TO PROTECT ALL AREAS OF THE BUILDING AND SHALL INCLUDE ANY COST FOR ADDITIONAL SPRINKLER HEADS AND PIPING NOT SHOWN ON THESE DRAWINGS IN HIS CONTRACT PRICE.
- THE BUILDING IS TO BE 100% SPRINKLERED INCLUDING ALL CLOSETS, TELEPHONE ROOMS, AND ELECTRIC ROOMS.
- THE BUILDING IS GENERALLY STEEL CONSTRUCTION. THE SPACE SHALL BE PROTECTED THROUGHOUT WITH WET AND DRY TYPE SPRINKLER SYSTEMS AND THE HEADS LOCATED WHERE SHOWN.
- CODE REQUIREMENTS:
 - BUILDING USE: S-1 STORAGE (MODERATE)
 - FLOOR AREA: EXISTING BUILDING = 4,700 S.F. +/-
 - CONSTRUCTION: 2B

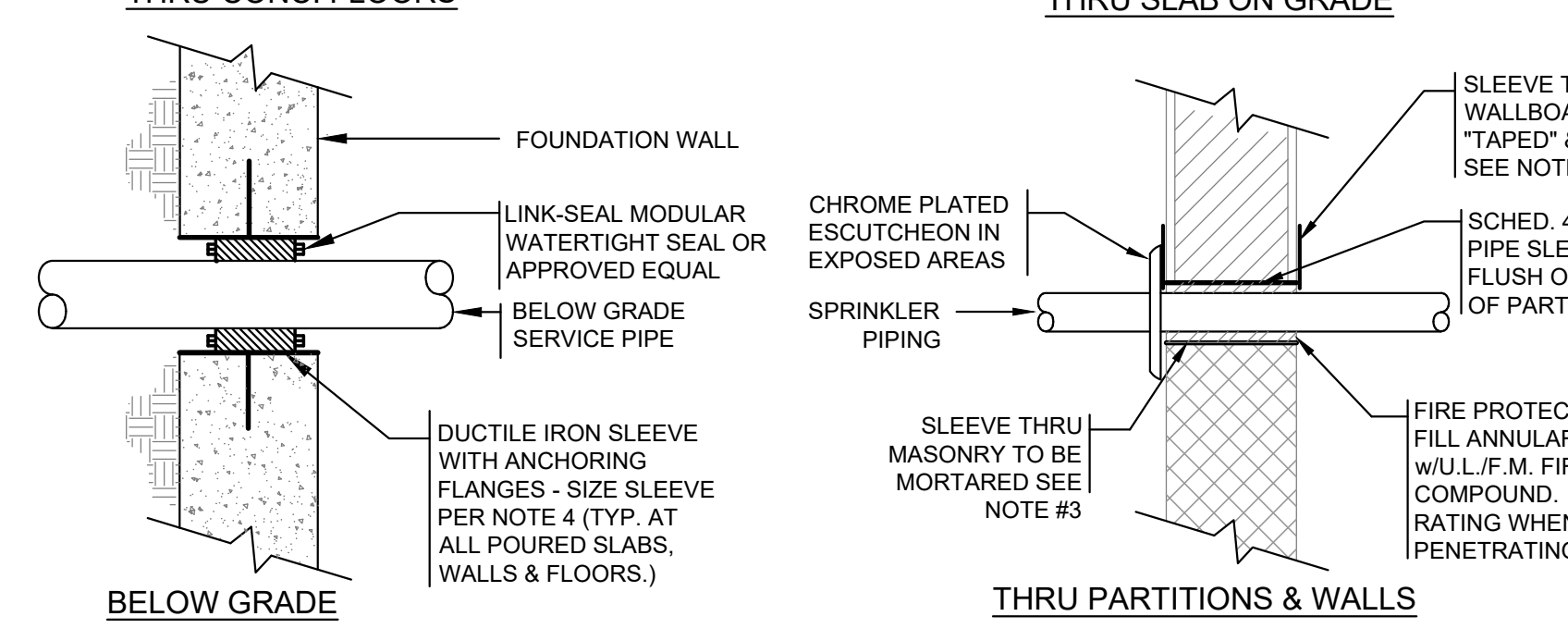
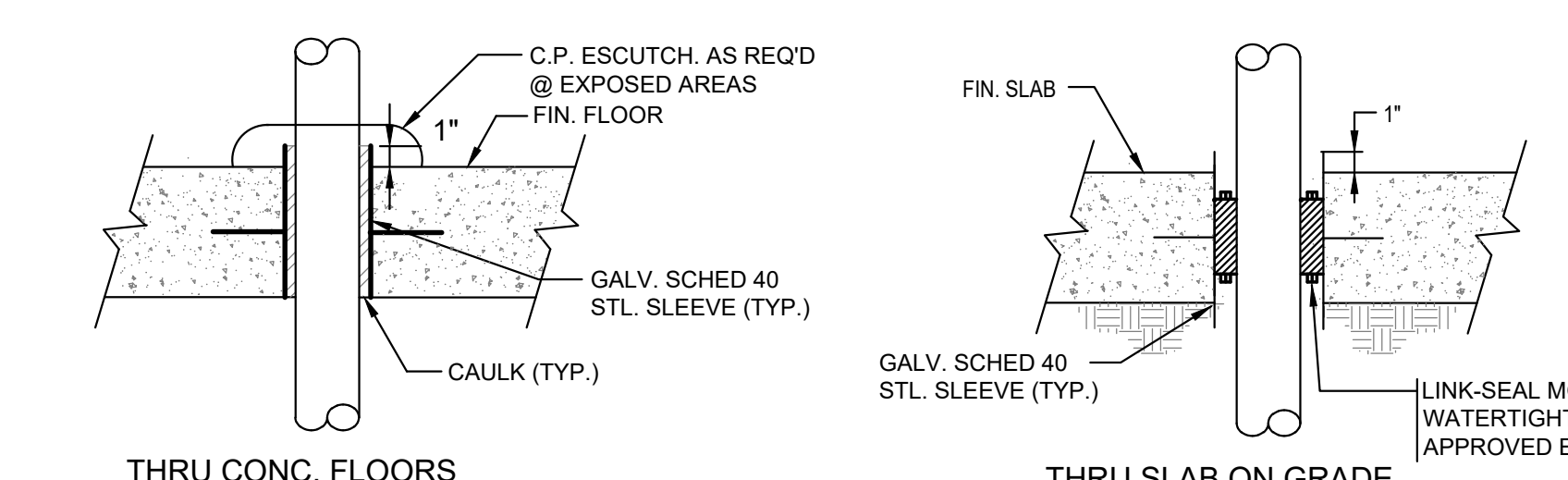
PER 780 CMR - 903.2 - SPRINKLERS ARE REQUIRED IN USE GROUP S-1, 5,000 S.F., WITH COMMERCIAL MOTOR VEHICLES

MGL-C148-S26G - REQUIRES SPRINKLERS IN COMMERCIAL EXISTING BUILDINGS WITH BUILDING ADDITION RESULTING IN GREATER THAN 7,500 S.F. GROSS FLOOR AREA

SYSTEM DESIGN PROVIDES FOR AN AUTOMATIC SPRINKLER SYSTEM.

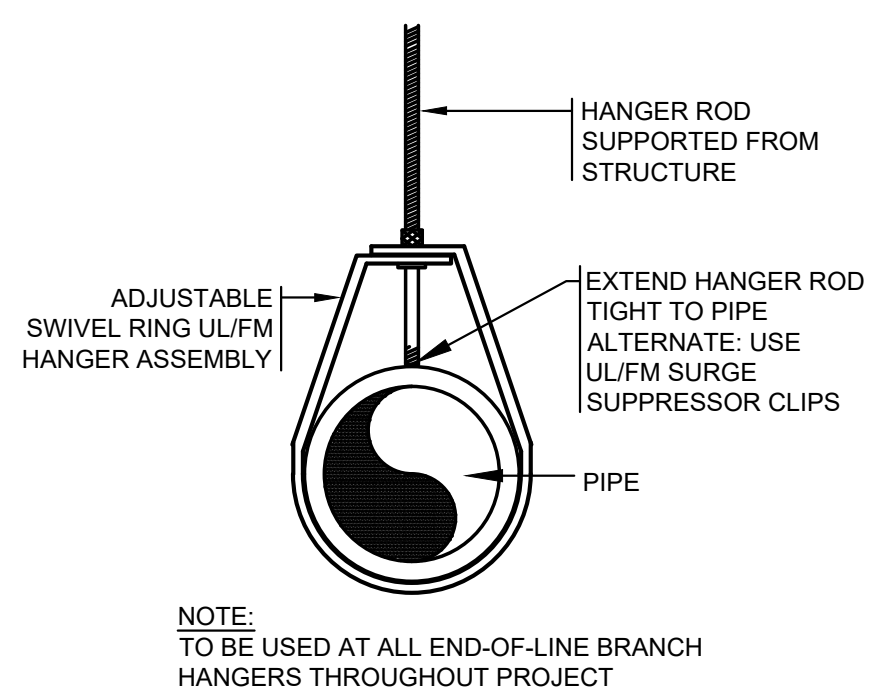
REFER TO ARCHITECT'S DRAWINGS FOR ADDITIONAL CODE SUMMARY INFORMATION AND DELINEATION OF FIRE SEPARATIONS.

REFER TO ELECTRICAL DRAWINGS FOR DETAILS OF THE FIRE ALARM SYSTEM.
- PROVIDE COMPLETE HYDRAULIC CALCULATIONS AND DISTRIBUTION SYSTEM DESIGN UTILIZING THE DESIGN CRITERIA ESTABLISHED ON THE CONTRACT DOCUMENTS. SYSTEM DESIGN SHALL BE BASED ON FLOW TEST PERFORMED BY THIS CONTRACTOR. THE RECORD TEST WAS CONDUCTED AT ON JANUARY 13, 2020 BY BOSTON WATER & SEWER COMMISSION, ON UNDINE ROAD. ELEVATION OF THE GAGE HYDRANT AT 61 UNDINE ROAD IS APPROXIMATELY 108'.
 - STATIC PRESSURE = 72 PSI
 - RESIDUAL PRESSURE = 66 PSI
 - FLOW = 1,786 GPM
 - AVAILABLE FLOW @ 20 PSI = 5,572 GPM
- REQUIRED DESIGN FLOWS:
 - A. DESIGN HAZARDS:
 - SERVICE BAYS = ORDINARY, GROUP 2
 - EXISTING STORAGE AREAS = ORDINARY, GROUP 2
 - GRINDING ROOM = ORDINARY HAZARD, GROUP 2
 - STORAGE AREAS = ORDINARY, GROUP 1
 - MECHANICAL ROOM = ORDINARY, GROUP 1
 - BREAK ROOM = LIGHT
 - OFFICES = LIGHT
 - REQUIRED DESIGN DENSITIES:
 - LIGHT HAZARD AREAS = 0.10 GPM OVER 1,500 S.F.
 - ORDINARY HAZARD GROUP 1 = 0.15 GPM OVER 1,500 S.F.
 - ORDINARY HAZARD GROUP 2 = 0.20 GPM OVER 1,500 S.F.
- SPRINKLER SPACING (MAX.):
 - LIGHT HAZARD AREAS = 225 S.F.
 - ORDINARY HAZARD AREAS = 130 S.F.
- PRELIMINARY CALCULATIONS ONLY. THESE ARE BASED ON THE INFORMATION ABOVE FOR THE DESIGNER'S PURPOSES ONLY AND TO ESTABLISH THE SYSTEM PERFORMANCE IN ACCORDANCE WITH 903.1. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR ANY DEVIATION.
 - ANALYSIS OF ORDINARY HAZARD AREA:
 - SPRINKLER FLOW:
 - MIN. FLOW = 0.20 GPM/S.F. x 1,500 x 1.3 = 390 GPM
 - HYDRAULIC FACTOR = 1.5
 - SPRINKLER FLOW = 760 GPM
 - ELEVATION = 124'
 - INSIDE HOSE = 0 GPM
 - OUTSIDE HOSE = 250 GPM
 - TOTAL HOSE = 250 GPM
 - TOTAL FLOW = 1,010 GPM
 - MINIMUM PRESSURE @ SPRINKLER HEAD:
 - (ASSUME K = 5.6) = 13 PSI
 - PRESSURE AVAILABLE @ 1,010 GPM @ EL. 108' = 68 PSI
 - GRAVITY LOSS = (124 - 108) x .433 = 7 PSI
 - D.C.V.A. = 5 PSI
 - DESIGN CUSHION = 10 PSI
 - AVAILABLE FOR PIPING LOSS (68 - 35) = 33 PSI
- FOLLOW THE HEAD LAYOUTS SHOWN (68 - 35) = 33 PSI

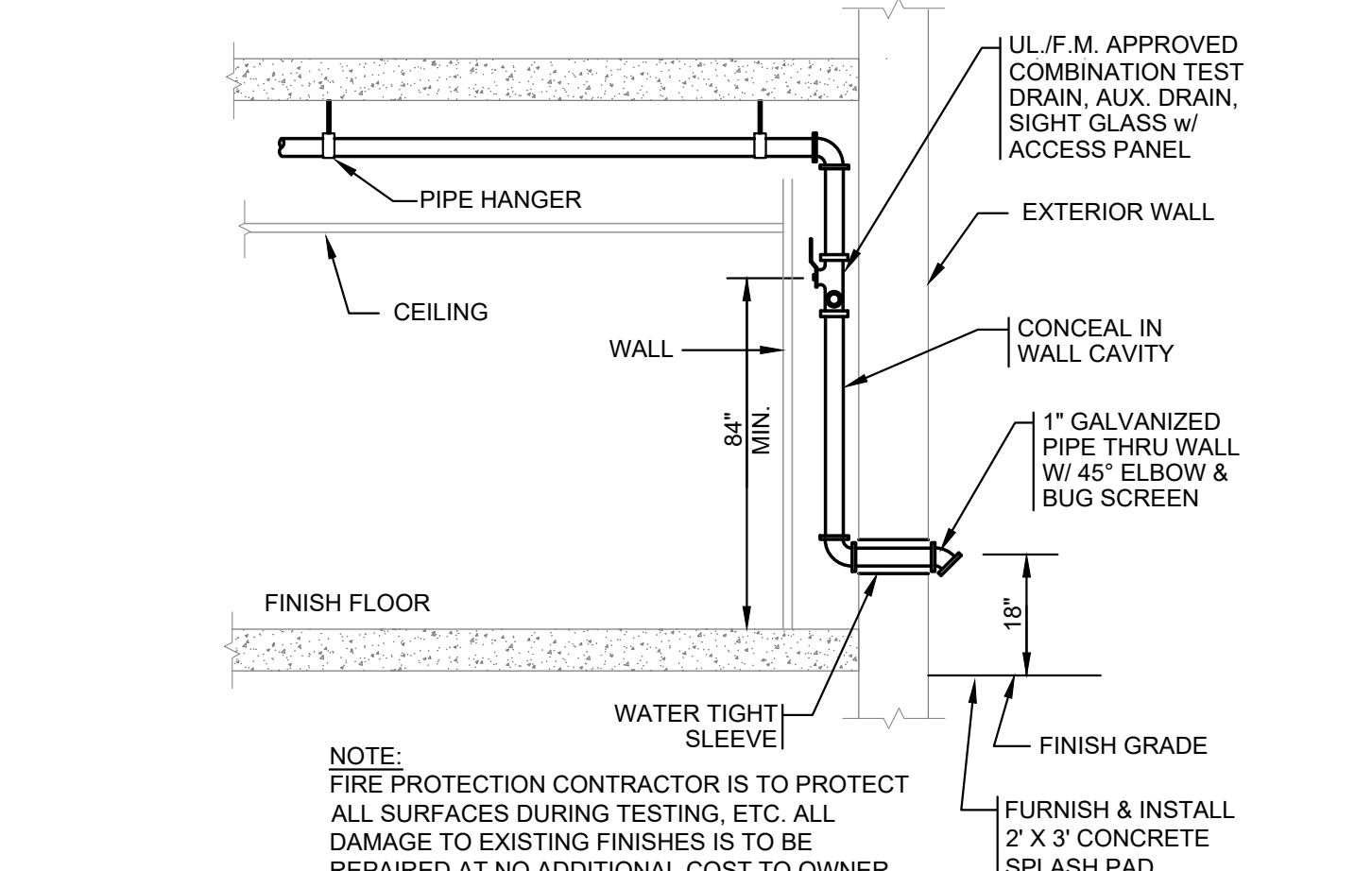


NOTE:
 1. ALL PIPING PENETRATING ALL PARTITIONS, WHETHER FIRE OR SMOKE RATED OR NOT, CONCEALED OR EXPOSED, SHALL BE SLEEVED AS DETAILED.
 2. WHERE CONCRETE WALLS, SLABS, ETC. ARE CORE DRILLED, INSTALL SLEEVE FLUSH WITH BOTH SIDES, CAULKED & LEADED IN PLACE.
 3. REFER TO DIVISION 4 & 9 FOR PROCEDURES & METHODS OF PATCHING AROUND SLEEVES AT GYPSUM, PLASTER & MASONRY. REFER TO SPECS FOR DELINEATION OF RESPONSIBILITY.
 4. SLEEVE SHALL BE SIZED TO PROVIDE MIN. 1" CLEARANCE BETWEEN PIPE O.D. & SLEEVE I.D. FOR PIPING UP TO 3" IN SIZE. PROVIDE 2" CLEARANCE BETWEEN PIPE O.D. & SLEEVE I.D. FOR PIPING 4" IN SIZE AND GREATER.

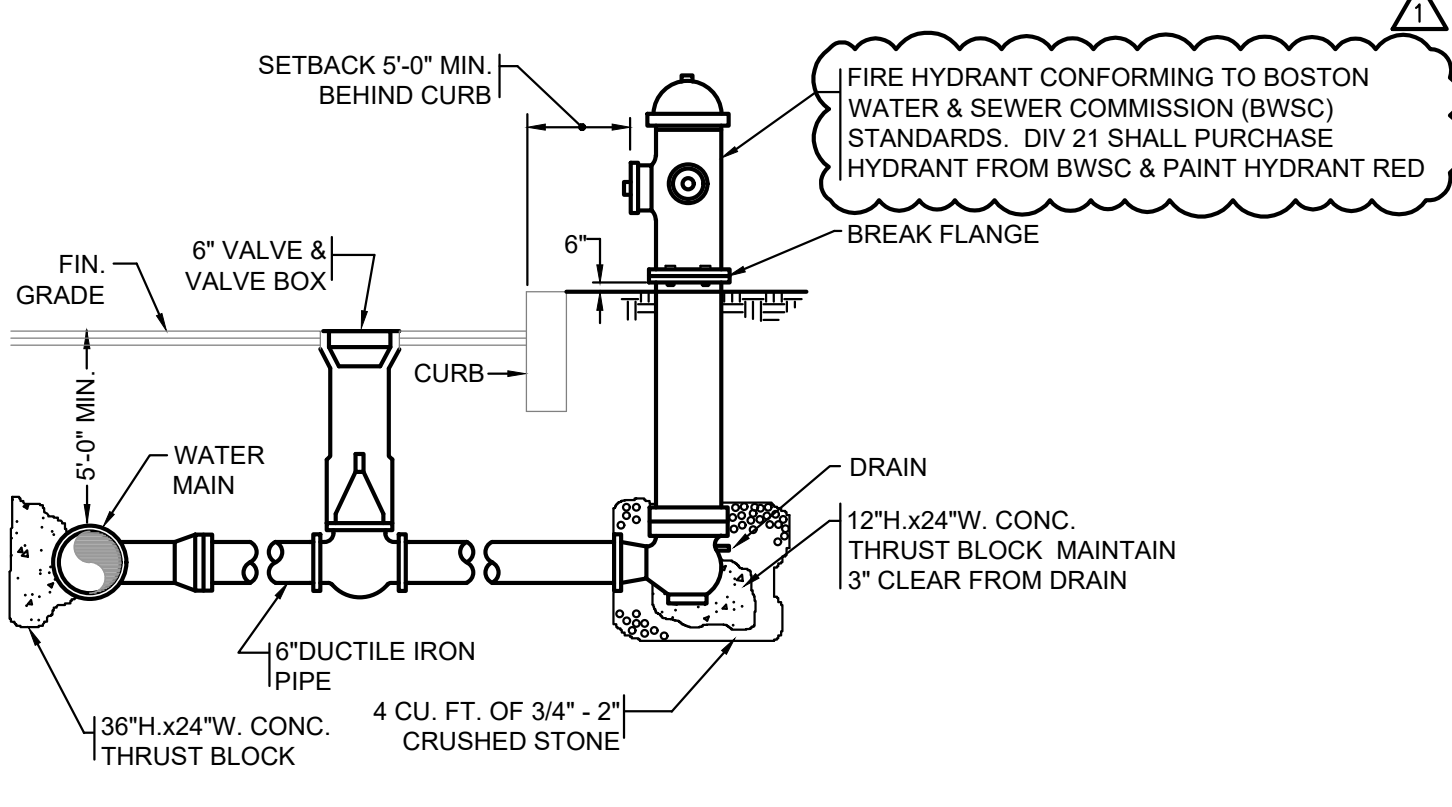
1 F0.1 TYPICAL SLEEVE CONDITION DETAILS N.T.S.



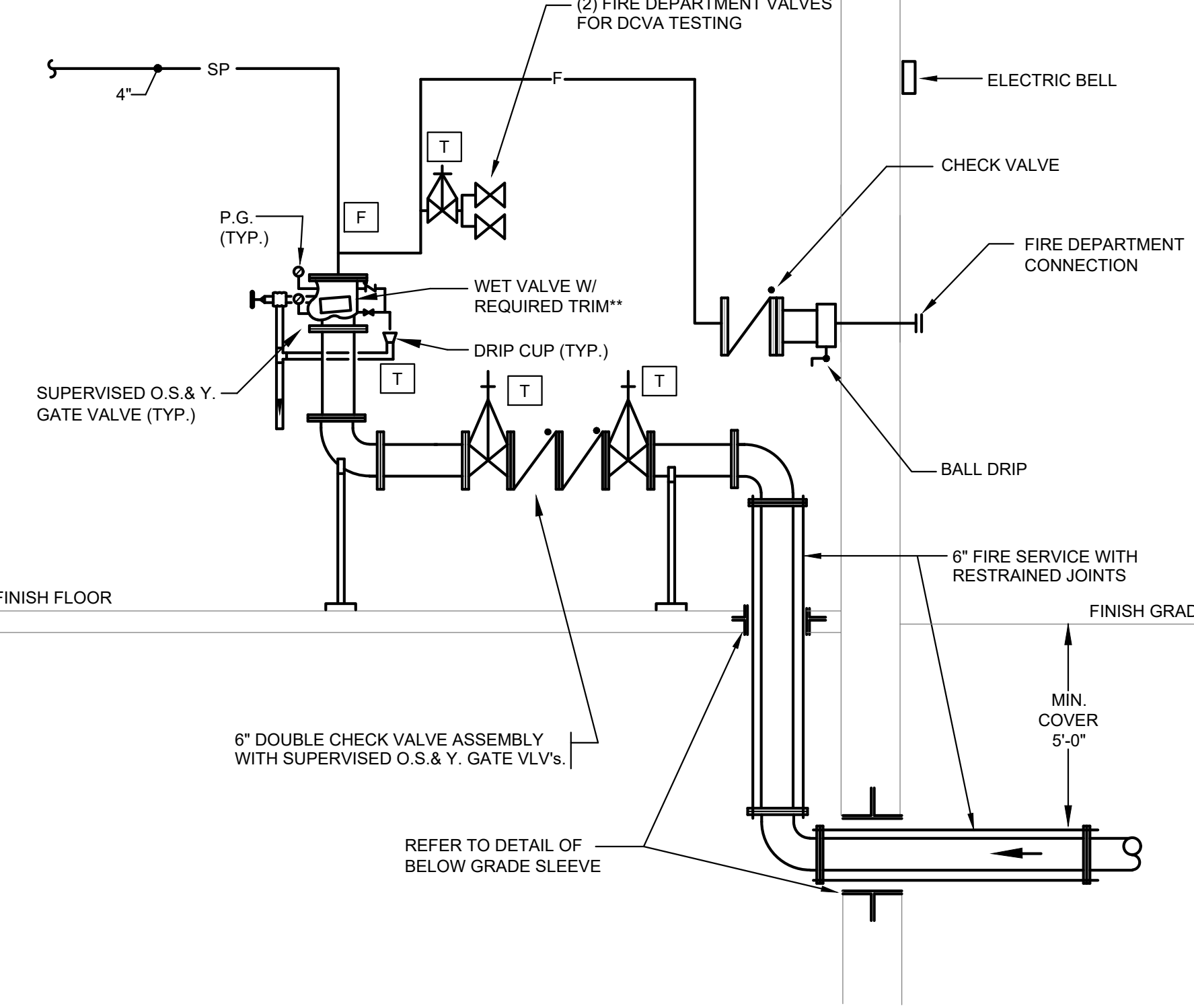
3 F0.1 TYPICAL END-OF-LINE BRANCH PIPE HANGER DETAIL N.T.S.



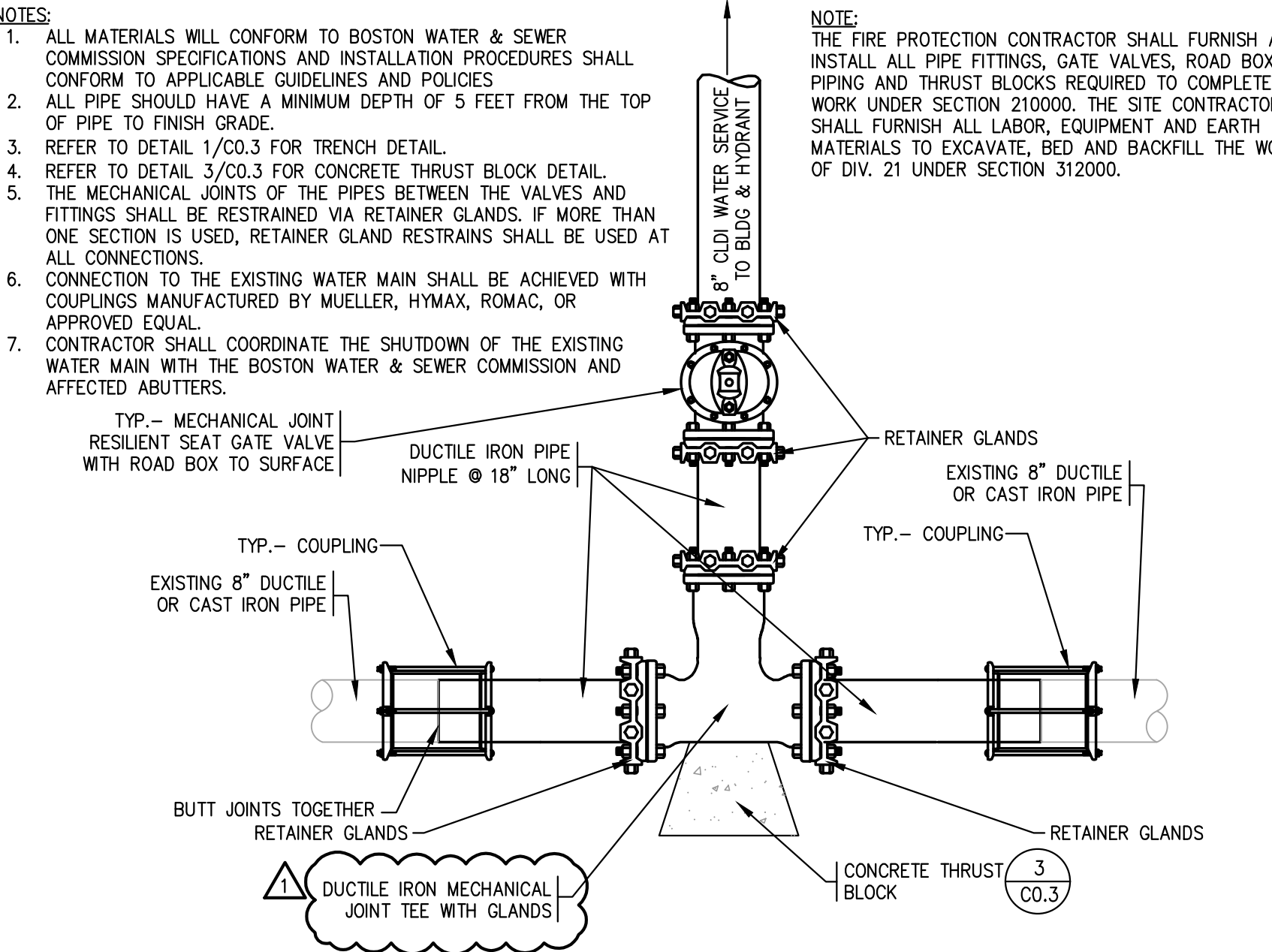
2 F0.1 INSPECTOR'S TEST STATION PIPING SCHEMATIC - WET SYSTEM N.T.S.



4 F0.1 FIRE HYDRANT DETAIL N.T.S.



5 F0.1 FIRE SERVICE RISER DIAGRAM N.T.S. *SIZE TO BE DETERMINED BY HYDRAULIC CALCULATIONS



5 CO.3 WATER SERVICE CONNECTION SCHEMATIC DETAIL N.T.S.

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LEGEND, NOTES AND DETAILS
 FIRE PROTECTION

Revisions:		
No.	Date	Description
1	4/19/24	ADDENDUM 1

Drawn By: RSN
 Checked By: WJA
 Approved By: CMG

Drawing Scale: As Noted

Project Number: NEW2202

Date: March 21, 2024

FP0.1

LEGEND

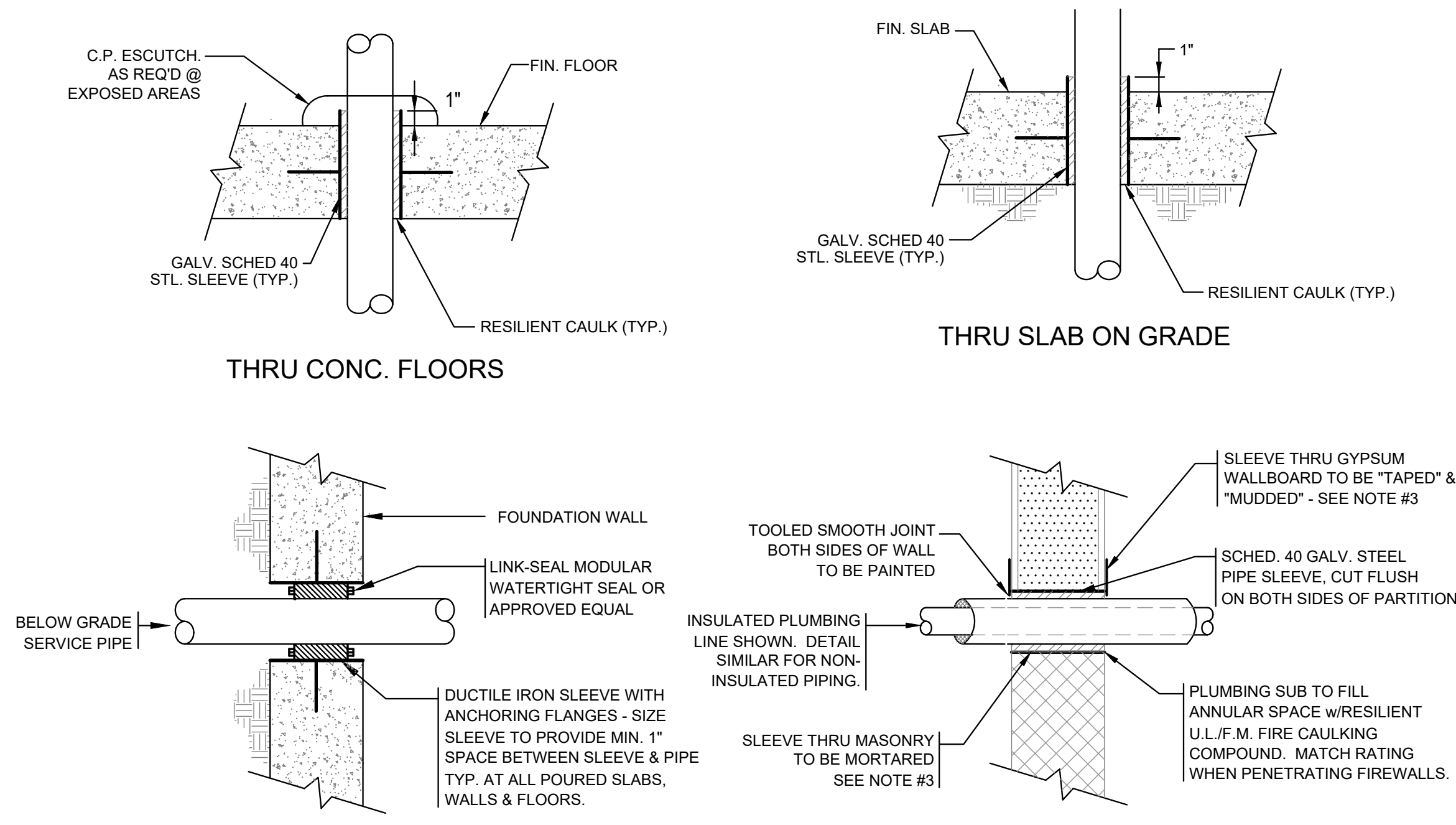
SYMBOL	ABBREVIATION	DESCRIPTION
	NEW	NEW WORK (DARK)
	EX	EXISTING WORK (LIGHT)
	SW	SOIL/WASTE ABV. GRADE
	SW	SOIL/WASTE UNDERGROUND
	V	VENT ABV. GRADE
	V	VENT UNDERGROUND
	GW	GARAGE WASTE UNDERGROUND
	GV	GARAGE VENT UNDERGROUND
	IW	INDIRECT WASTE
	RL	RAIN LEADER ABV. GRADE
	RL	RAIN LEADER UNDERGROUND
	SSD	SUB-SOIL DRAIN
	FD	FOOTING DRAIN
	CW	COLD WATER
	HW	HOT WATER
	HWR	HOT WATER RETURN
	HW 140°	HOT WATER 140°F
	HWR 140°	HOT WATER RETURN 140°F
	TW	TEMPERED WATER
	TP	TRAP PRIMER
	G	FUEL GAS PIPING
	DP, DN	PIPE DROP OR DOWN
	UP	PIPE RISE OR UP
	TEE	TEE LOOKING DOWN
	CP	CAP ON END OF PIPE
	FD, RD, AD	FLOOR DRAIN, ROOF DRAIN, AREA DRAIN
	STR	STRAINER
	UNION	UNION
	CO	CLEANOUT
	DCO	DANDY CLEANOUT
	FCO	FLOOR CLEANOUT
	PG/TG	PRESSURE GAGE/TEMPERATURE GAGE
	SA	SHOCK ABSORBER
	BV	BALANCING VALVE
	CV	BALL VALVE
	CV	CHECK VALVE
	GC	GAS COCK
	GR	GAS PRESSURE REGULATOR
	SV	SOLENOID VALVE
	GV	GATE VALVE
	PRV	PRESSURE REDUCING VALVE
	BV	BUTTERFLY VALVE
	GL	GAS COCK LUBRICATED
	GV	GLOBE VALVE
	VOV	VALVE ON VERTICAL
	PT	P-TRAP
	S&W	STOP & WASTE VALVE
	EL	EXPANSION LOOP
	PG	PIPE GUIDE
	PA	PIPE ANCHOR
	HBWH	HOSE BIB/WALL HYDRANT
	EX	EXISTING
	CTE	CONNECT TO EXISTING
	ETR	EXISTING TO REMAIN
	ETBR	EXISTING TO BE REMOVED
	S&W	STOP & WASTE
	TP	TYPICAL
	AC	CONCEALED ABOVE CEILING
	ACB	CONCEALED ABOVE CEILING BELOW
	@C	EXPOSED AT CEILING
	@CB	EXPOSED AT CEILING BELOW
	FFE	FINISHED FLOOR ELEVATION
	INV	INVERT ELEVATION
	VTR	VENT THRU ROOF
	GVTR	GARAGE VENT THRU ROOF
	AP	ACCESS PANEL
	AFF	ABOVE FINISHED FLOOR
	AFG	ABOVE FINISHED GRADE
	FG	FINISHED GRADE
	CI	CAST IRON
	CP	CHROME PLATED
	UC	UNDER COUNTER
	PC	PLUMBING CONTRACTOR
	F&I	FURNISH AND INSTALL
	FPC	FIRE PROTECTION CONTRACTOR
	GC	GENERAL CONTRACTOR
	HVAC	HEAT, VENT & AIR COND. CONTRACTOR
	DCVA	DOUBLE CHECK VALVE ASSEMBLY
	RBP	REDUCED PRESSURE BACKFLOW PREVENTOR
	STK	STACK
	STP	STANDPIPE
	FBO	FURNISHED BY OTHERS
	EXP	EXPOSED

NOTE: NOT ALL SYMBOLS LISTED ARE APPLICABLE TO THIS PROJECT

GENERAL NOTES

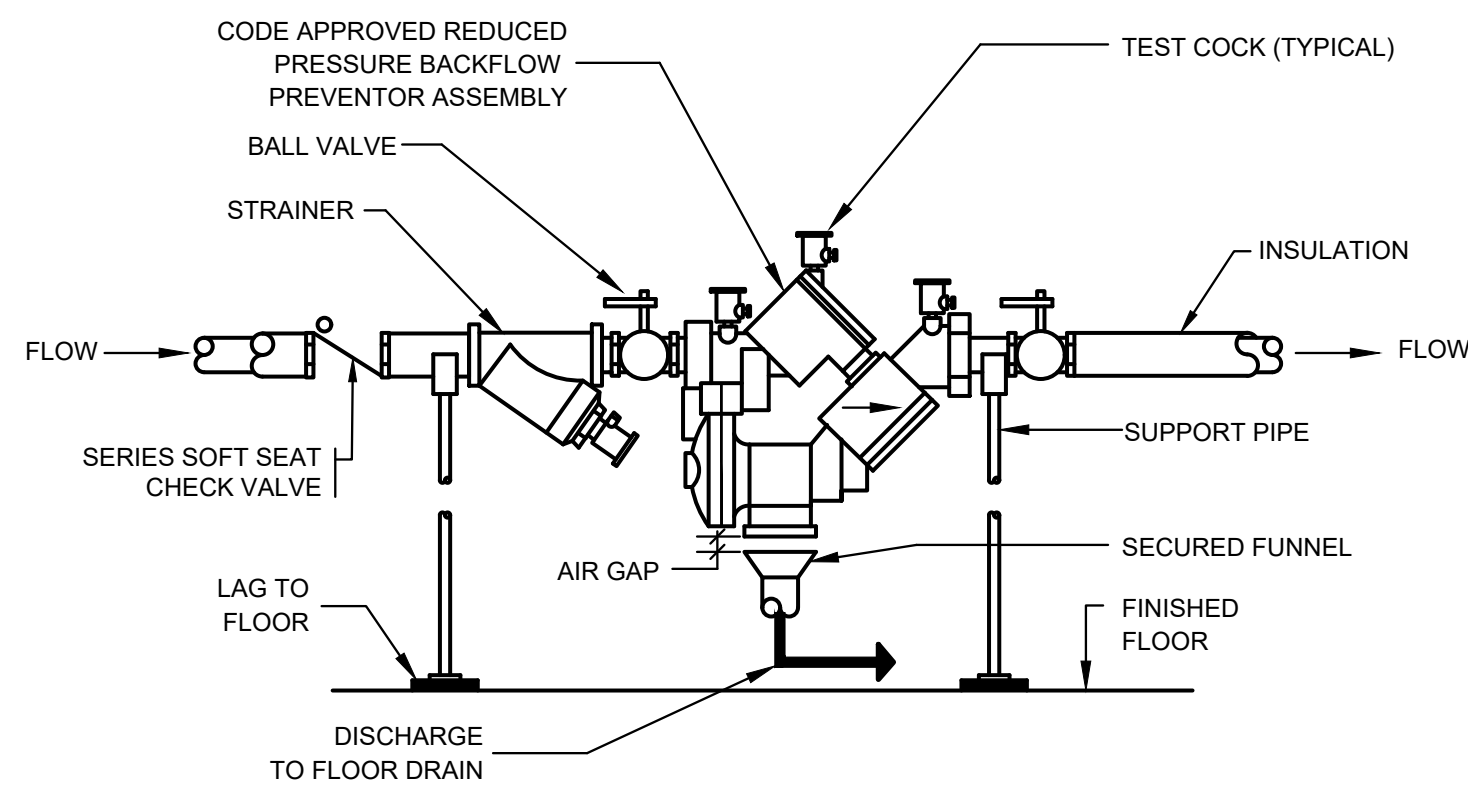
- THE PLUMBING DRAWINGS ARE DIAGRAMMATIC AND ARE TO BE USED FOR THE PURPOSE OF ESTABLISHING GENERAL LOCATIONS OF PIPING RUNS, SIZES OF PIPING, AND QUANTITIES OF FIXTURES AND EQUIPMENT TO BE FURNISHED HEREIN. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS FOR EXACT LOCATIONS OF ALL PLUMBING FIXTURES, AND EQUIPMENT, INCLUDING FLOOR DRAINS, AND MOUNTING HEIGHTS. IN THE EVENT OF CONFLICT OR IF DIMENSIONS ARE NOT SHOWN, OBTAIN FIELD DIRECTIVE FROM THE ARCHITECT AS TO THE LOCATIONS OF ALL VISIBLE EQUIPMENT. PAY PARTICULAR CARE TO COORDINATE WITH THE ARCHITECT'S FIELD REPRESENTATIVE ALL FLOOR DRAIN AND FLOOR CLEANOUT LOCATIONS.
- ALL PIPING SHOWN ON THIS PLAN SHALL BE RUN CONCEALED ABOVE SUSPENDED CEILINGS, IN CHASES, OR IN PARTITIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
- EXISTING CONDITIONS INDICATING PIPING AND EQUIPMENT LOCATIONS ARE TAKEN FROM ENGINEERING FIELD NOTES AND DRAWINGS OF THE ORIGINAL BUILDING CONSTRUCTION ARE TO BE CONSIDERED APPROXIMATE ONLY. FIELD VERIFY POINTS OF CONNECTIONS OF NEW TO EXISTING BEFORE INSTALLING ANY PIPE OR EQUIPMENT. BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT.
- INSTALL ALL NEW VALVES SO AS TO BE EASILY ACCESSIBLE AND OPERABLE.
- WHERE REMOVAL OF EXISTING FIXTURES, EQUIPMENT AND PIPING IS INDICATED CUT AND CAP ALL EXISTING PIPING TO BEYOND THE NEW FINISHED SURFACE SO NO EVIDENCE OF PREVIOUS INSTALLATION WILL REMAIN.
- MAINTAIN PLUMBING SYSTEMS IN OTHER BUILDING AREAS AT ALL TIMES DURING THE CONSTRUCTION. REFER TO PHASING PLANS AND SPECIFICATIONS ON THE ARCHITECT'S DRAWINGS & SPECIFICATIONS.
- THE PLUMBING DRAWINGS ARE INTENDED TO INDICATE THE SIZING AND DESIGN FOR THE MAIN SUPPLY AND WASTE PIPING AND FOCUSES ON RUNS AND SIZES OF THE MAIN RISERS, STACKS AND VENT TERMINATION. IT IS NOT INTENDED TO INDICATE EVERY TRAP AND FIXTURE CONNECTION. PARTICULARLY IN THE CASE OF GANG TOILETS. CONTRACTOR IS REQUIRED TO PROVIDE ALL CONNECTIONS. TO MAKE ALL CONNECTIONS TO ALL DRAINS AND FIXTURES WHICH ARE SHOWN AND SCHEDULED ON THE PLUMBING DRAWINGS.

SHOCK ABSORBER SCHEDULE						
PDI SYMBOL	A	B	C	D	E	F
ZURN SERIES 1250-XL OR EQ.						
FIXTURE UNITS	1-11	12-32	33-60	61-113	114-154	155-330



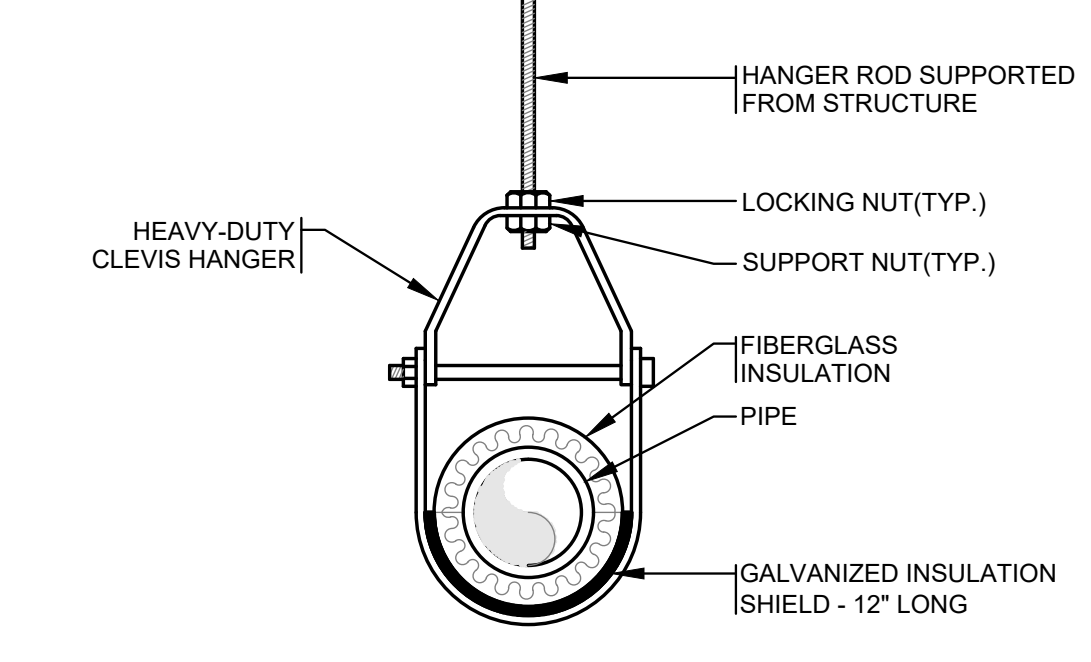
1 TYPICAL PLUMBING SLEEVE CONDITION DETAILS
P0.1 N.T.S.

- NOTE:
- ALL PIPING PENETRATING ALL PARTITIONS, WHETHER FIRE OR SMOKE RATED OR NOT, CONCEALED OR EXPOSED, SHALL BE SLEEVED AS DETAILED.
 - WHERE CONC. WALLS, SLABS, ETC., ARE CORE DRILLED, INSTALL SLEEVE FLUSH WITH BOTH SIDES, CAULKED & LEADED IN PLACE.
 - REFER TO DIVISION 4 & 9 FOR PROCEDURES & METHODS OF PATCHING AROUND SLEEVES AT GYPSUM, PLASTER & MASONRY. REFER TO SPECS FOR DELINEATION OF RESPONSIBILITY.
 - SLEEVES SHALL BE SIZED TO PROVIDE MIN. 1" CLEARANCE BETWEEN PIPE O.D. & SLEEVE I.D.



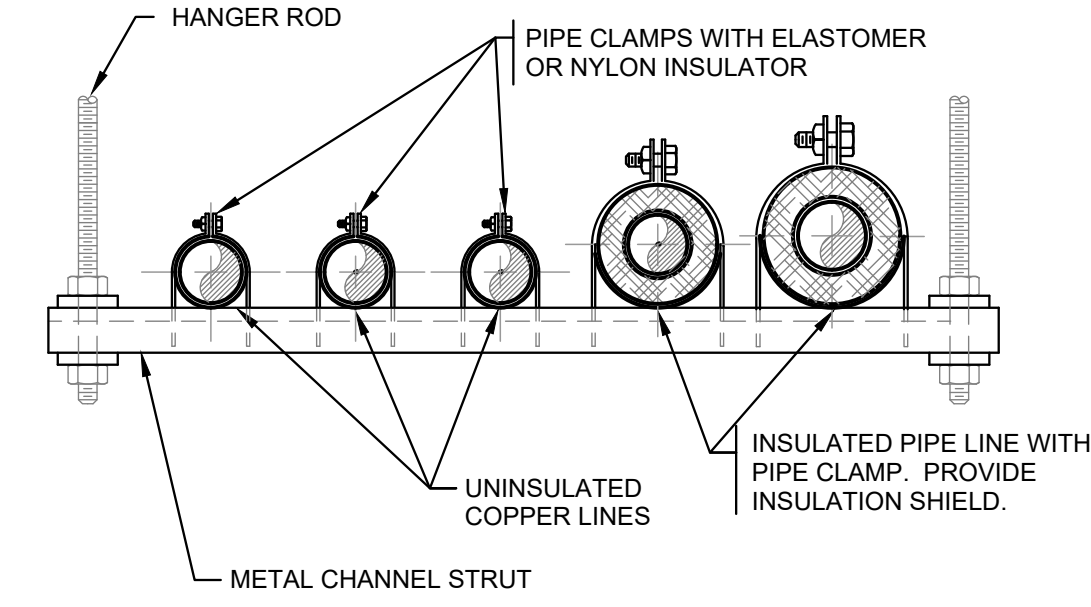
5 REDUCED PRESSURE BACKFLOW PREVENTOR ASSEMBLY (R.P.B.P.)
P0.1 N.T.S.

- NOTES:
- LOCATE BACKFLOW PREVENTOR 3' TO 4' ABOVE FINISHED FLOOR, 1' FROM WALL AND EASILY ACCESSIBLE.
 - MATERIALS AND METHODS FOR THIS INSTALLATION SHALL CONFORM TO ALL STATE AND U.S. PUBLIC HEALTH SERVICES CODES AND REGULATIONS.
 - FILE FOR AND OBTAIN ALL REQUIRED APPROVALS AND PERMITS PRIOR TO INSTALLATION

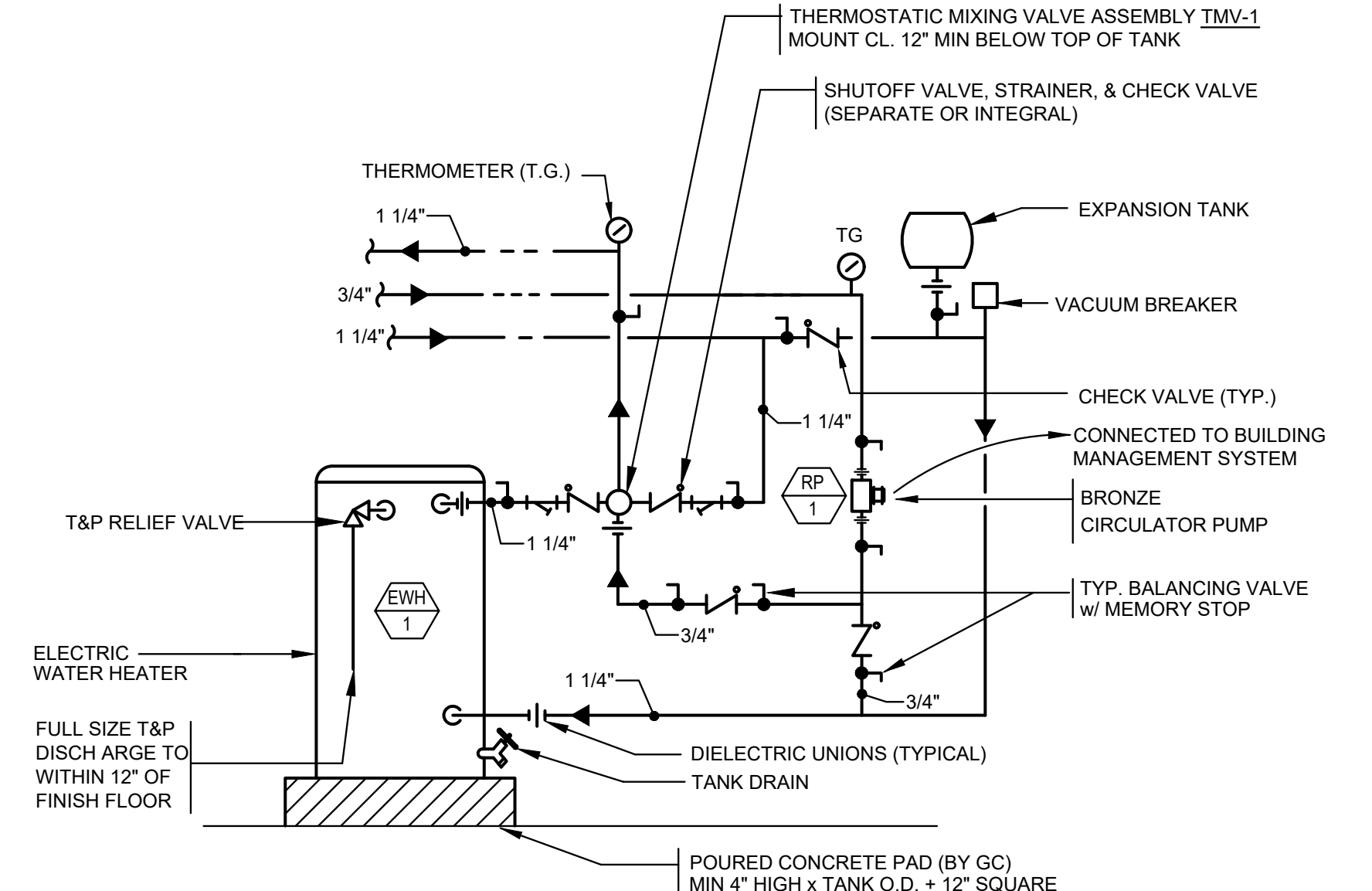


2 TYPICAL PIPE HANGER DETAIL
P0.1 N.T.S.

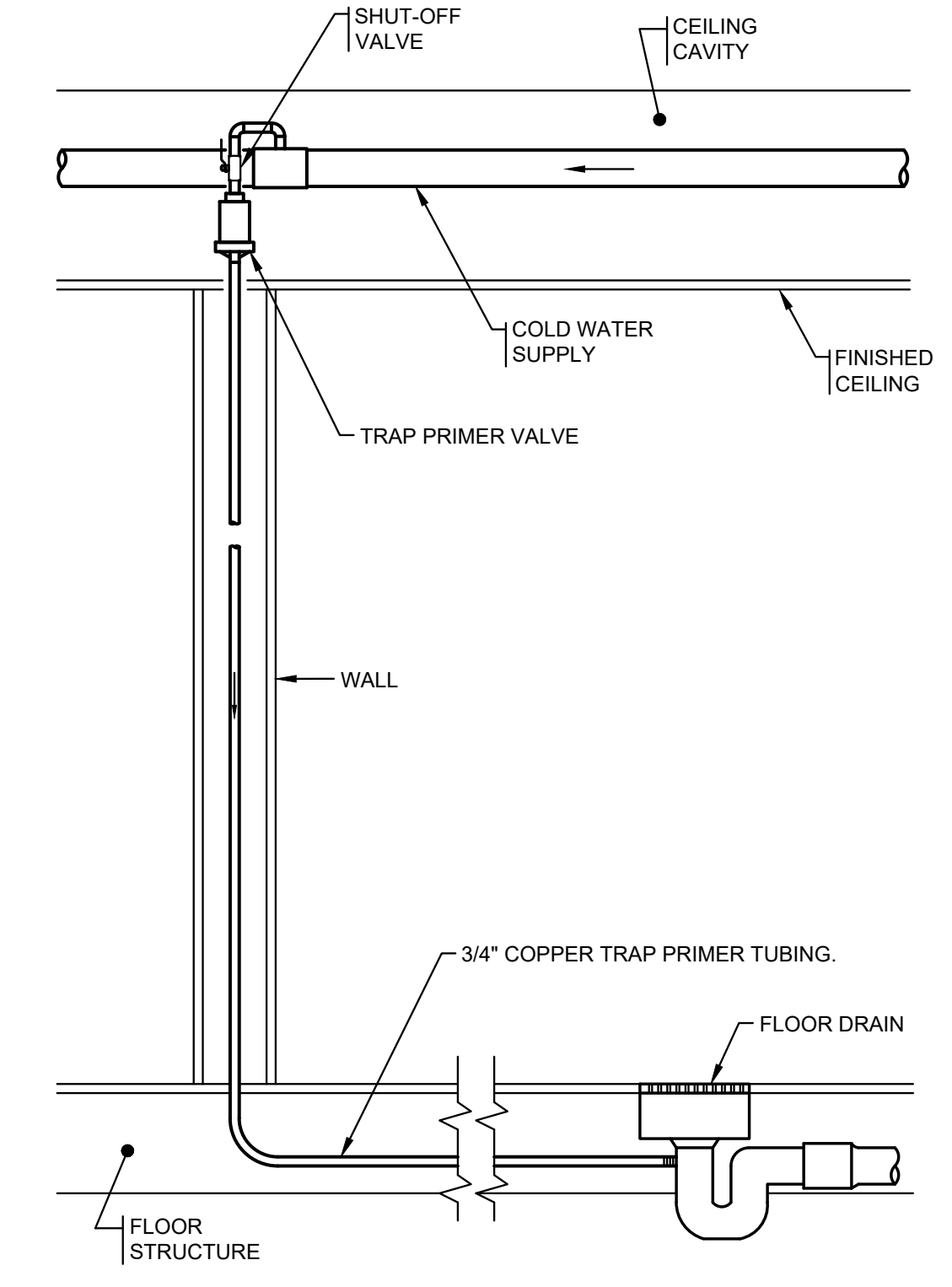
THIS DETAIL INDICATES HANGING OF INSULATED PIPING WHICH MAY BE EITHER WATER OR STORM DRAIN. CLEVIS HANGER DETAIL APPLIES TO ALL PLUMBING PIPING ON THIS PROJECT.



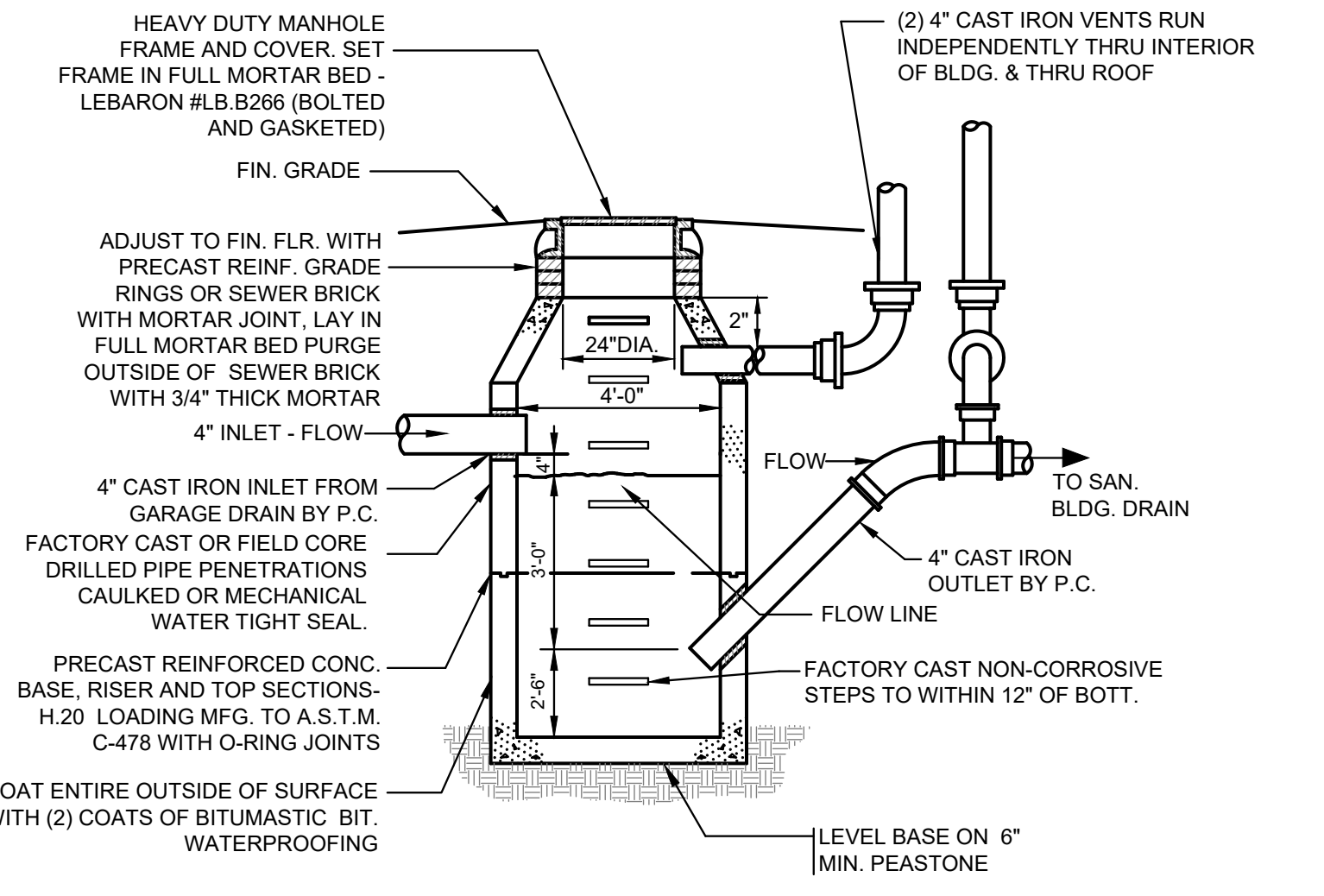
3 TRAPEZE PIPE HANGER
P0.1 N.T.S.



6 WATER HEATER PIPING DETAIL
P0.1 N.T.S.



4 TRAP PRIMER PIPING DETAIL
P0.1 N.T.S.



7 OIL/GASOLINE INTERCEPTOR DETAIL
P0.1 N.T.S.

NOTE: INTERCEPTOR STRUCTURE AND COMPONENTS TO BE FURNISHED AND SET BY DIVISION 22. DIVISION 22 SHALL FURNISH AND INSTALL INLET, OUTLET AND VENT PIPING. CO-ORDINATE PIPING PENETRATION SIZES AND INVERTS WITH G.C.

PIPE SIZE TO FIXTURE SCHEDULE						
P. NO.	FIXTURE	SW	VENT	CW	HW	REMARKS
P-1	WATER CLOSET, ACCESSIBLE	4"	2"	1 1/4"	-	WALL MOUNTED - SUPPLY RISER & 1" STUBOUT TO FLUSH VLV., 1.28 GALLON PER FLUSH
P-1A	WATER CLOSET, ACCESSIBLE	4"	2"	1 1/4"	-	FLOOR MOUNTED - SUPPLY RISER & 1" STUBOUT TO FLUSH VLV., 1.28 GALLON PER FLUSH
P-2	LAVATORY - WALL MOUNTED, ACCESSIBLE	2"	2"	1/2"	1/2"	0.3 GPM OUTLET
P-3	MOP SINK	3"	2"	1/2"	1/2"	
P-4	SHOWER	2"	2"	1/2"	1/2"	2.0 GPM FLOW
P-5	SINK (GENERAL)	2"	2"	1/2"	1/2"	0.5 GPM OUTLET
P-6	CLOTHES WASHER	2"	2"	1/2"	1/2"	1/2" AIR SUPPLY
P-7	BOTTLE FILLER	2"	2"	1/2"	1/2"	
P-8	EMERGENCY EYEWASH	2"	2"	1/2"	1/2"	WITH MIXING VALVE

COORDINATE ALL ROUGH-IN REQUIREMENTS WITH ARCHITECTURAL DRAWINGS, ACCESSIBLE HEIGHTS VARY.

PLUMBING ELECTRICAL EQUIPMENT						
UNIT NO.	UNIT FUNCTION	UNIT LOCATION	MOTOR			REMARKS
			HP	V	KW	
EWH-1	ELEC. WATER HEATER	MECH. ROOM	-	240	1	6.1
RP-1	RECIRC. PUMP	MECH. ROOM	1/6	120	1	-

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LEGEND, SCHEDULES, AND DETAILS - PLUMBING

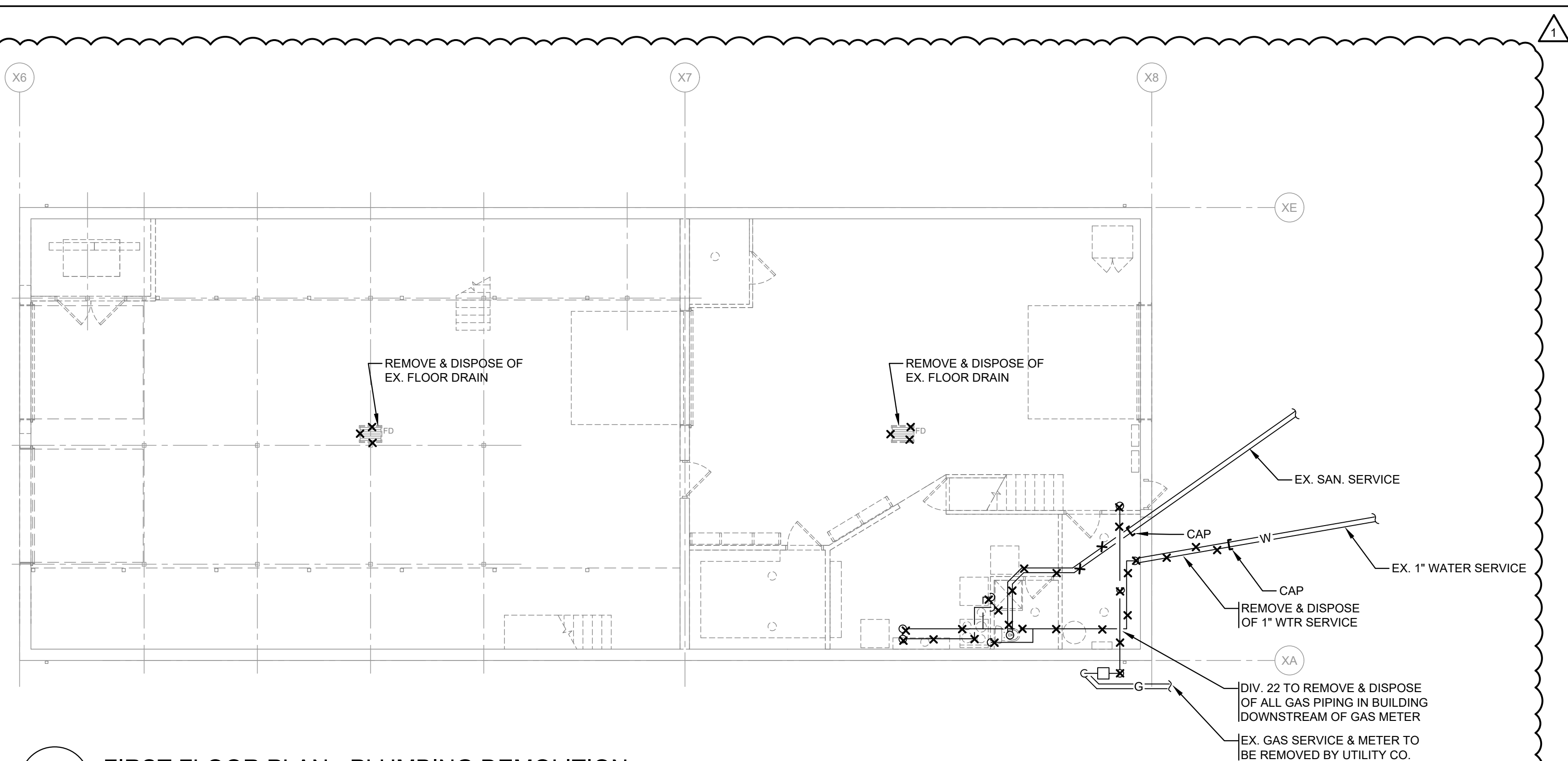
Revisions:		
No.	Date	Description
1	4/19/24	ADDENDUM 1

Drawn By: RCD
Checked By: WJA
Approved By: CMG

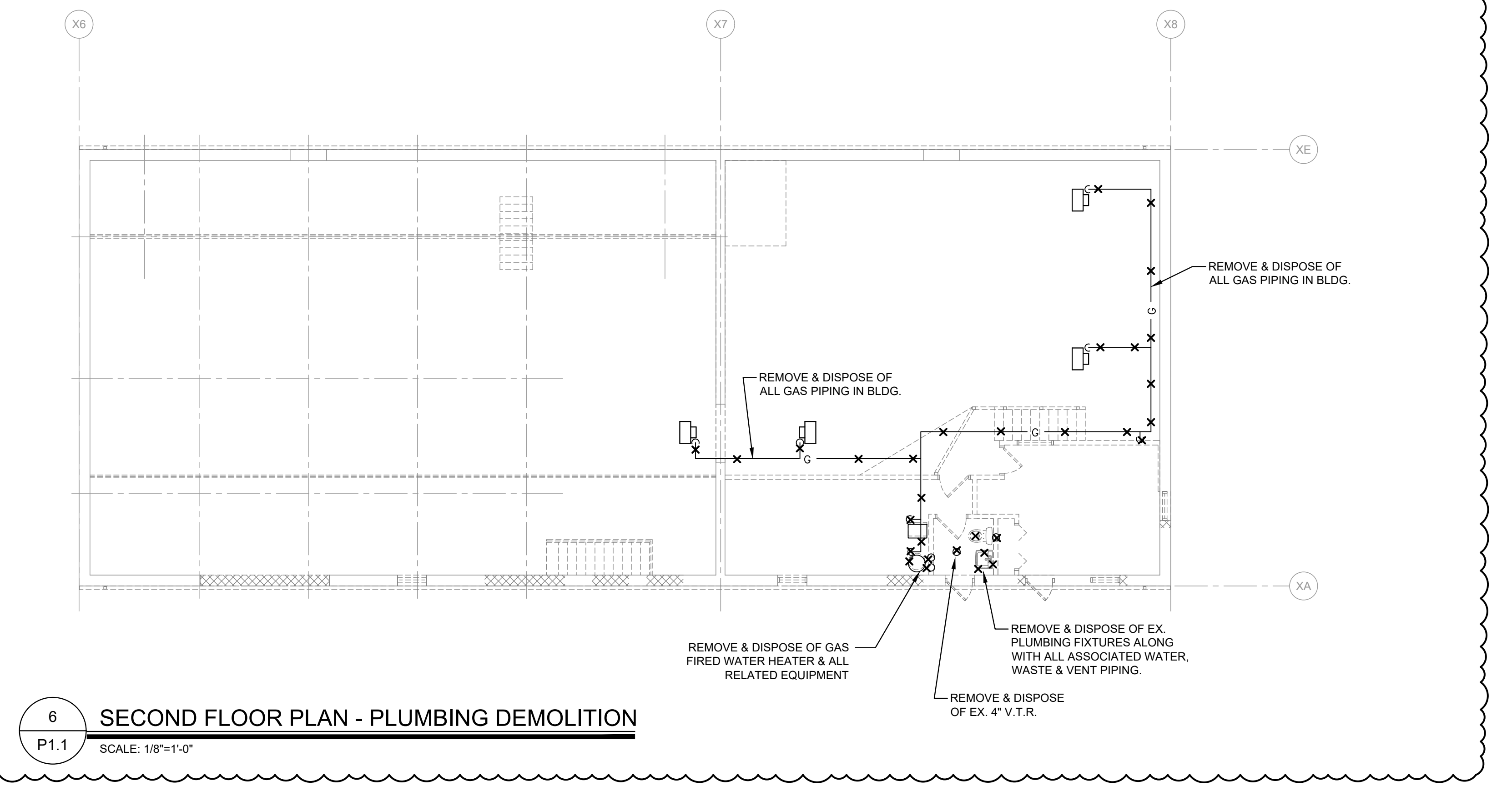
Drawing Scale: As Noted

Project Number: NEW2202

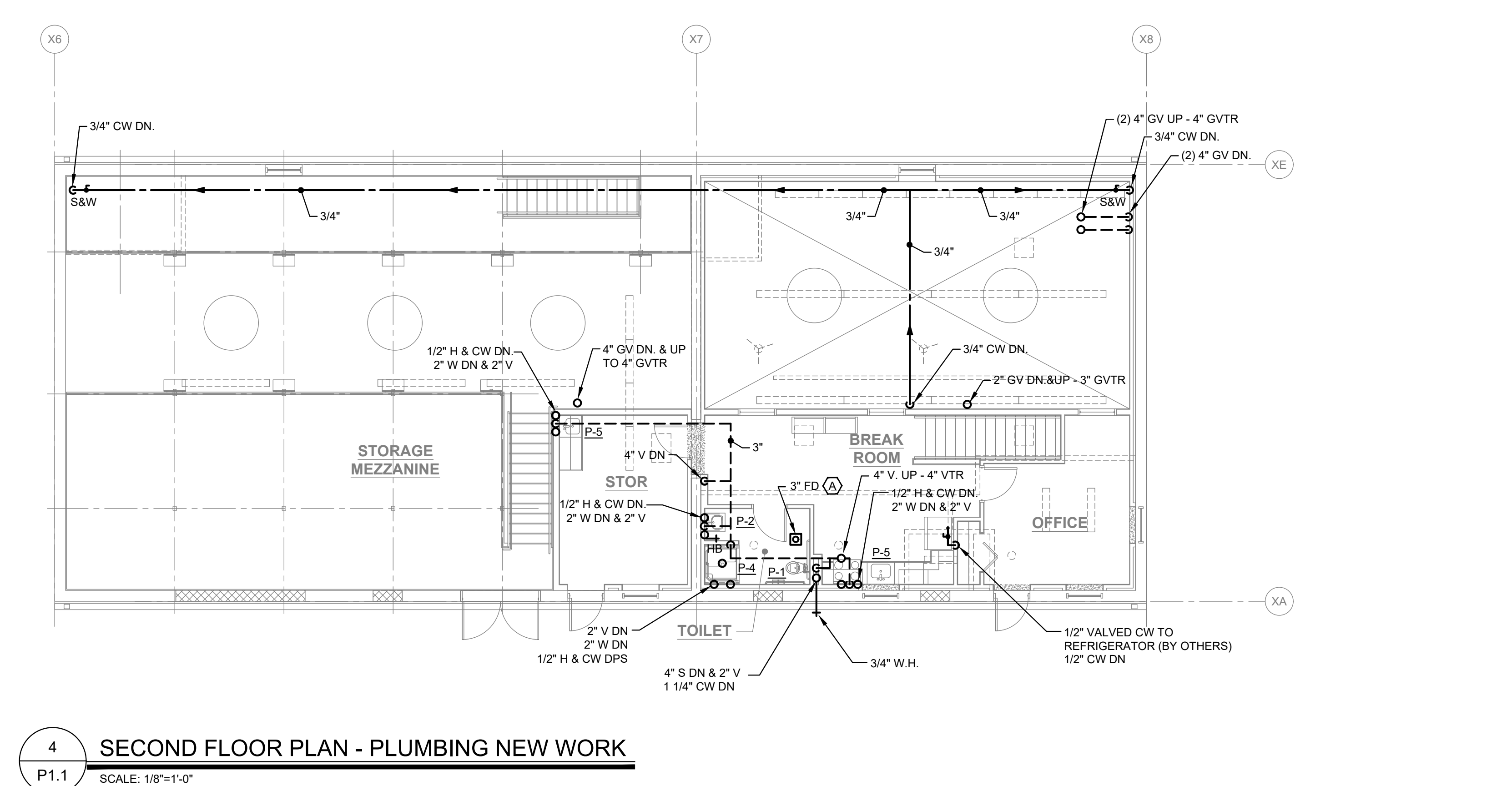
Date: March 21, 2024



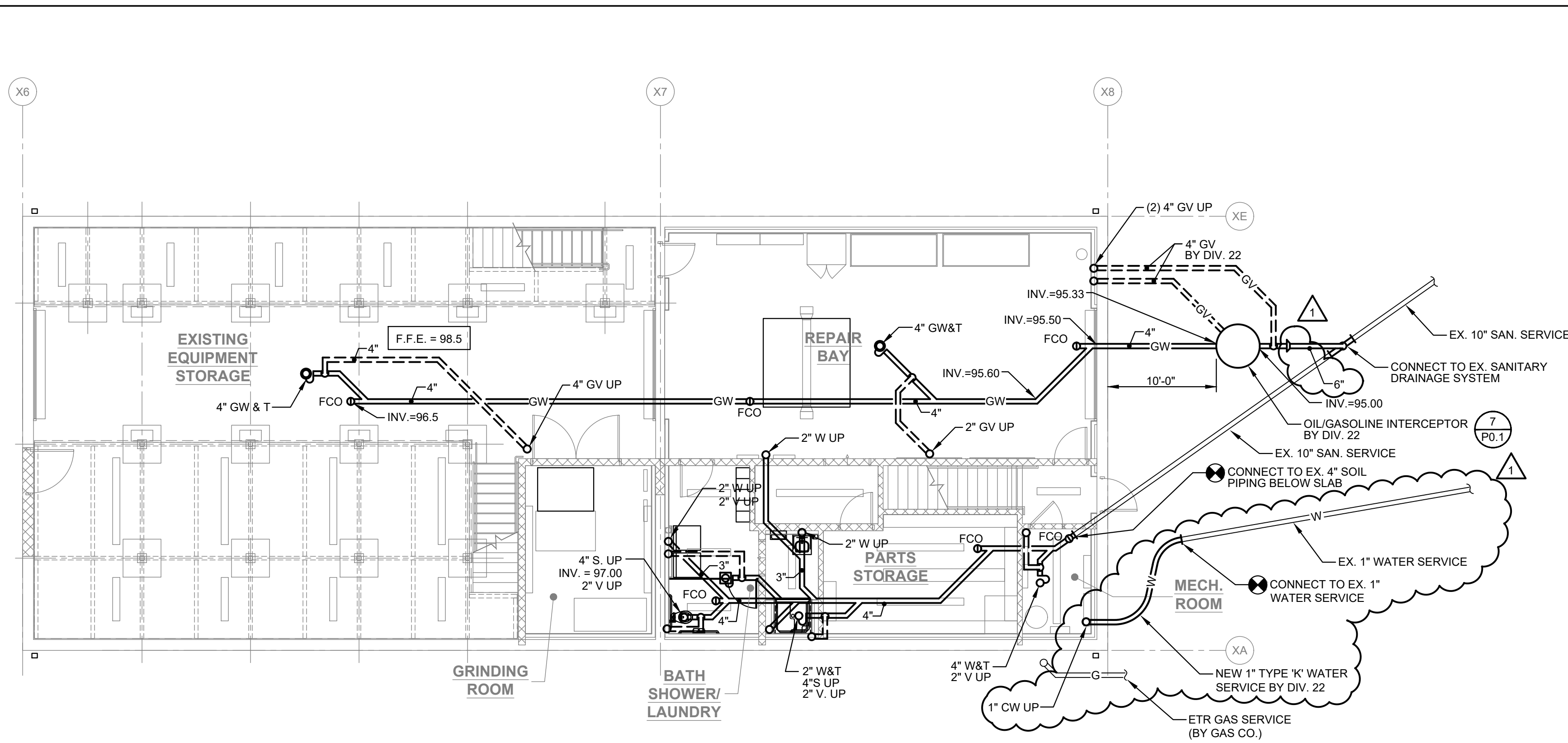
5 FIRST FLOOR PLAN - PLUMBING DEMOLITION
 P1.1 SCALE: 1/8"=1'-0"



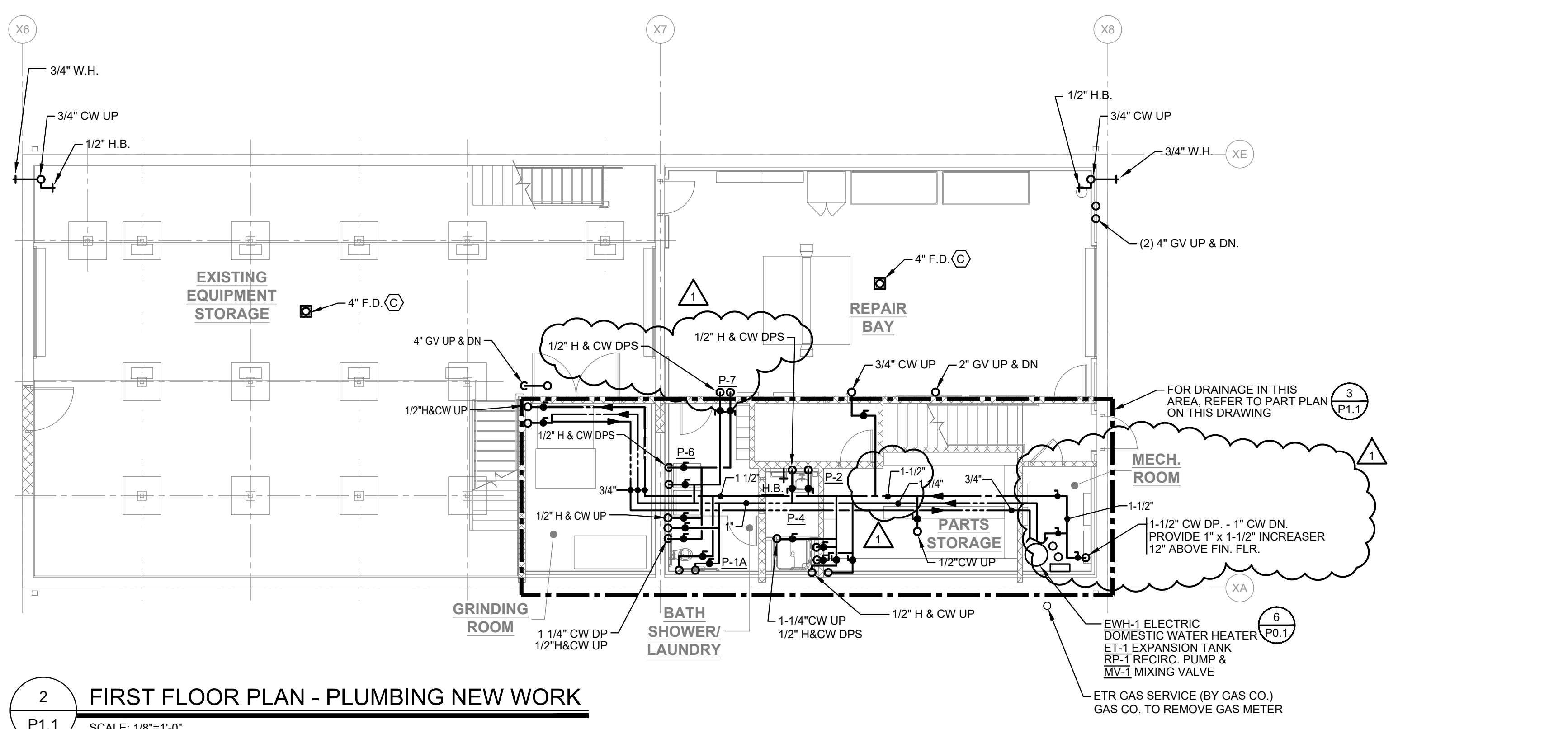
6 SECOND FLOOR PLAN - PLUMBING DEMOLITION
 P1.1 SCALE: 1/8"=1'-0"



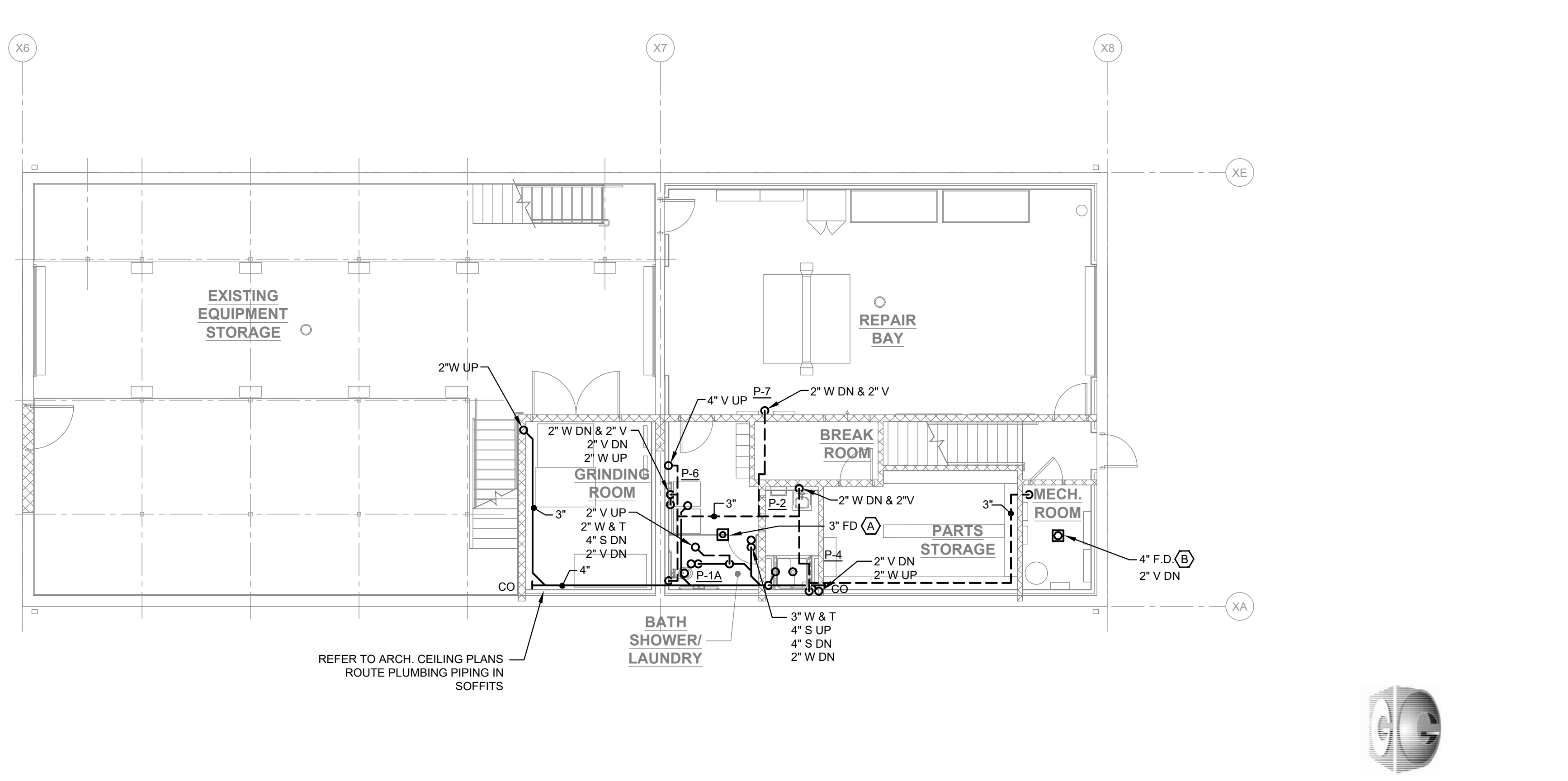
4 SECOND FLOOR PLAN - PLUMBING NEW WORK
 P1.1 SCALE: 1/8"=1'-0"



1 FIRST FLOOR PLAN BELOW SLAB - PLUMBING NEW WORK
 P1.1 SCALE: 1/8"=1'-0"



2 FIRST FLOOR PLAN - PLUMBING NEW WORK
 P1.1 SCALE: 1/8"=1'-0"



3 PARTIAL FIRST FLOOR PLAN - DRAINAGE
 P1.1 SCALE: 1/8"=1'-0"

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FLOOR PLANS - PLUMBING

Revisions:

No.	Date	Description
1	4/19/24	ADDENDUM 1

Drawn By: RCD
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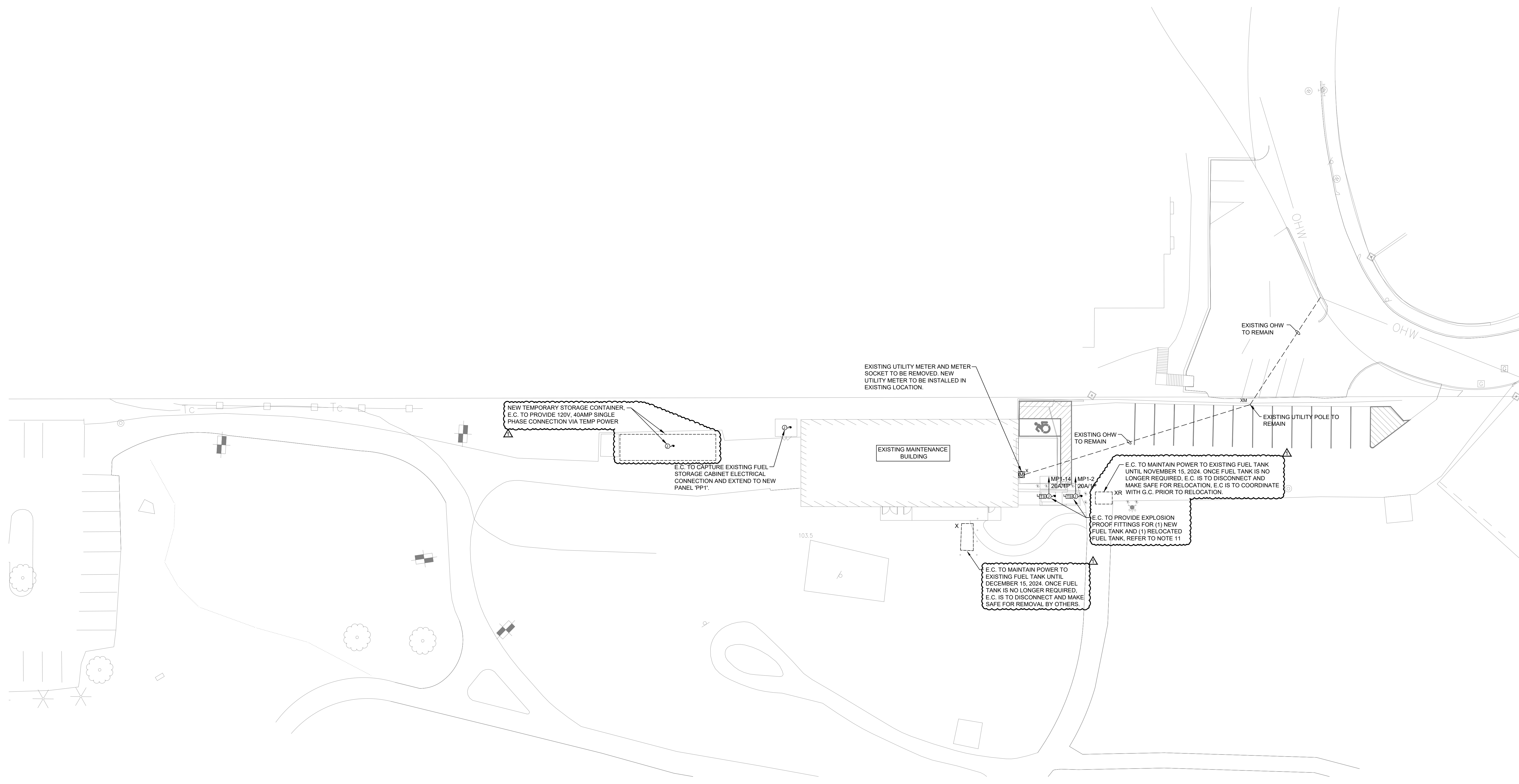


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P1.1

SITE NOTES:

- DO NOT RUN ANY UNDERGROUND RACEWAYS WITHIN PLANTING AREAS OR LEACHING FIELDS. REFER TO DRAWINGS FOR LOCATIONS. COORDINATE ROUTING WITH LANDSCAPE ARCHITECT.
- REFER TO CIVIL DRAWINGS FOR EXACT ROUTING OF UTILITIES. REFER TO LANDSCAPE DRAWINGS FOR EXACT LOCATION OF 'SITE' FIXTURES.
- ALL SITE WIRING SHALL BE #8j, 1" C MINIMUM UNLESS SHOWN OTHERWISE.
- ALL EXTERIOR LIGHTING TO BE PROGRAMMED FOR PHOTOCELL 'ON', TIMED 'OFF' AND DIMMED LEVELS (VIA 0-10V SIGNAL). PROVIDE INDIVIDUAL CONTROL FOR EACH CIRCUIT. COORDINATE PROGRAMMING WITH OWNER. (REFER TO ALC'S ONE-LINE DIAGRAM & SPECIFICATIONS).
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF EXTERIOR WALL MOUNTED LIGHTING.
- REMOVE ALL SITE ELECTRICS WHEN NO LONGER REQUIRED.
- PROVIDE 17"x30"x12"D GROUND MOUNTED PULL BOX (QUAZITE #PC1730BA12 WITH COVER #PC1730CA17) OR SAME BY CARSON, HIGHLINE, STRONGWELL, OR EQUAL. RUN ALL SITE LIGHTING VIA PULL BOX. ALSO PROVIDE (1) 1" SPARE WITH PULL LINE BETWEEN PULL BOX AND NEAREST ELECTRIC ROOM. LABEL @ EACH END.
- PROVIDE 12"x12"x12"D GROUND MOUNTED PULL BOX (QUAZITE #PC1212BG12 WITH COVER #PC1212HG00) OR SAME BY CARSON, HIGHLINE, STRONGWELL, OR EQUAL. ALSO PROVIDE (1) 1" SPARE WITH PULL LINE BETWEEN PULL BOX AND NEAREST ELECTRIC ROOM. LABEL @ EACH END.
- BELOW SLAB CONDUITS WITHIN THE FOOTPRINT OF THE BUILDING DO NOT REQUIRE CONCRETE ENCASEMENT.
- PROVIDE 24"x36"x24" DP DIVIDED GROUND MOUNTED PULL BOX EQUAL TO QUAZITE #PG2436BC-24 WITH TWO PIECE COVER #PG2436BG-17-12. CARSON, HIGHLINE, STRONGWELL, ARE CONSIDERED EQUALS.
- FUELING STATION IS CLASSIFIED AS A HAZARDOUS AREA MAINTAIN 20' RADIUS MINIMUM CLEARANCE AROUND DISPENSING FUEL PUMPS. PROVIDE SEAL FITTINGS AT BOTH ENDS FOR CONDUITS ENTERING THE CLASSIFIED CLASS 1, DIV 2 ZONE.



Revisions:

No.	Date	Description
1	4/18/2024	Addendum #1

Drawn By: JGD
Checked By: DMP
Approved By: DMP

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Project Number: NEW2202

Date: March 21, 2024



GENERAL POWER NOTES

- COORDINATE EXACT LOCATION OF ALL DEVICES AND EQUIPMENT WITH ARCHITECT PRIOR TO INSTALLATION.
- REFER TO MECHANICAL AND PLUMBING PLANS FOR ANY CHANGES AND FOR EXACT LOCATION OF ALL HVAC EQUIPMENT.
- WIRING IS SHOWN ON DRAWINGS ONLY FOR SPECIFIC ROUTES OR SPECIAL CONDITIONS.
- WIRING AND CONDUIT SHALL BE REQUIRED BETWEEN ALL OUTLETS INDICATED WITH CIRCUIT NUMBERS AND PANEL DESIGNATIONS.
- ALTHOUGH ALL BRANCH CIRCUIT WIRE AND CONDUIT IS NOT SHOWN, IT IS THE INTENT OF THESE DOCUMENTS THAT A COMPLETE BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED.
- ALL BRANCH CIRCUIT CONDUCTORS SHALL BE TYPE MC 89%Ni%K% CONDUCTIVITY, COPPER MINIMUM #12 AWG SIZE, THW/THHN INSULATION, 600 VOLTS RATED UNLESS OTHERWISE NOTED.
- REFER TO FIRE PROTECTION PLANS FOR ANY CHANGES AND FOR EXACT LOCATION OF ALL FLOW SWITCH, TAMPER SWITCH, ETC.
- DO NOT PENETRATE STAIRS WITH ANY UTILITIES EXCEPT FOR UTILITIES SPECIFICALLY SERVING THAT STAIR.
- WHERE CONDUITS AND/OR BOXES CANNOT BE FLUSH MOUNTED IN BUILDING PROVIDE A SYSTEM OF SURFACE METAL RACEWAYS AND BOXES IN ACCORDANCE WITH ARTICLE 386, EQUAL TO WIREMOLDS FOR ALL FINISH SPACES WHERE PUBLIC HAS ACCESS, INCLUDING CORRIDORS, CLASSROOMS, OFFICES, ETC.
- CONFIRM RATINGS & FINAL LOCATIONS OF EQUIPMENT WITH OWNER PRIOR TO ROUGHING.
- ALL OUTLETS ON EXTERIOR WALLS WITH CASEWORK SHALL BE MOUNTED 6" ABOVE CASEWORK. CONFIRM HEIGHT OF CASEWORK WITH HVAC AND ARCHITECT PRIOR TO ROUGHING.
- TYPICALLY PROVIDE GROUND FAULT INTERRUPTER TYPE RECEPTACLES WITHIN 6 FEET OF WATER SOURCES.
- PROVIDE ALL EMPTY CONDUITS WITH PULL-STRINGS.
- TYPICALLY PROVIDE (2) 4" SLEEVES OVER EACH CORRIDOR DOOR.
- PROVIDE (2) 2" THROUGH-WALL SLEEVE ABOVE CEILING OVER THE DOORS INTO EACH ROOM LEADING FROM THE CORRIDOR FOR COMMUNICATIONS/DATA WIRING.
- LOCATE ALL WALL TELEPHONE OUTLETS 12 INCHES AWAY FROM ALL OTHER OUTLETS/DEVICES.
- PROVIDE (2) 1" SLEEVES OVER EACH DOOR FOR TEL/DATA SECURITY AND SOUND SYSTEM WIRING. TEL/DATA SHALL BE DEDICATED TO (1) OF THE CONDUITS.
- TYPICALLY MOUNT LCD PROJECTOR "TYPE" DATA OUTLET ABOVE CEILING. MOUNT DUPLEX RECEPTACLE ON CEILING TILE, FACE DOWN CENTERED 10'-12" FROM SCREEN.

RDA

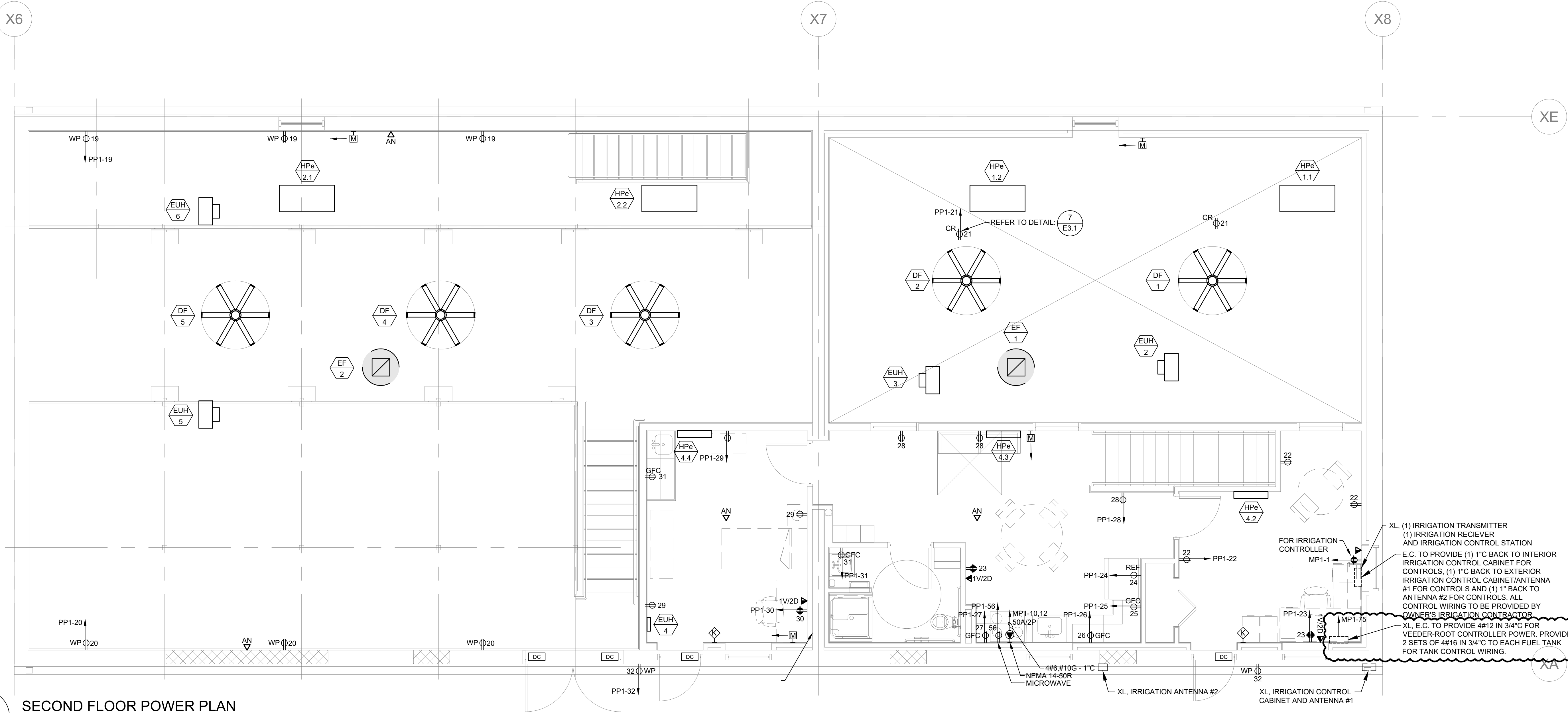
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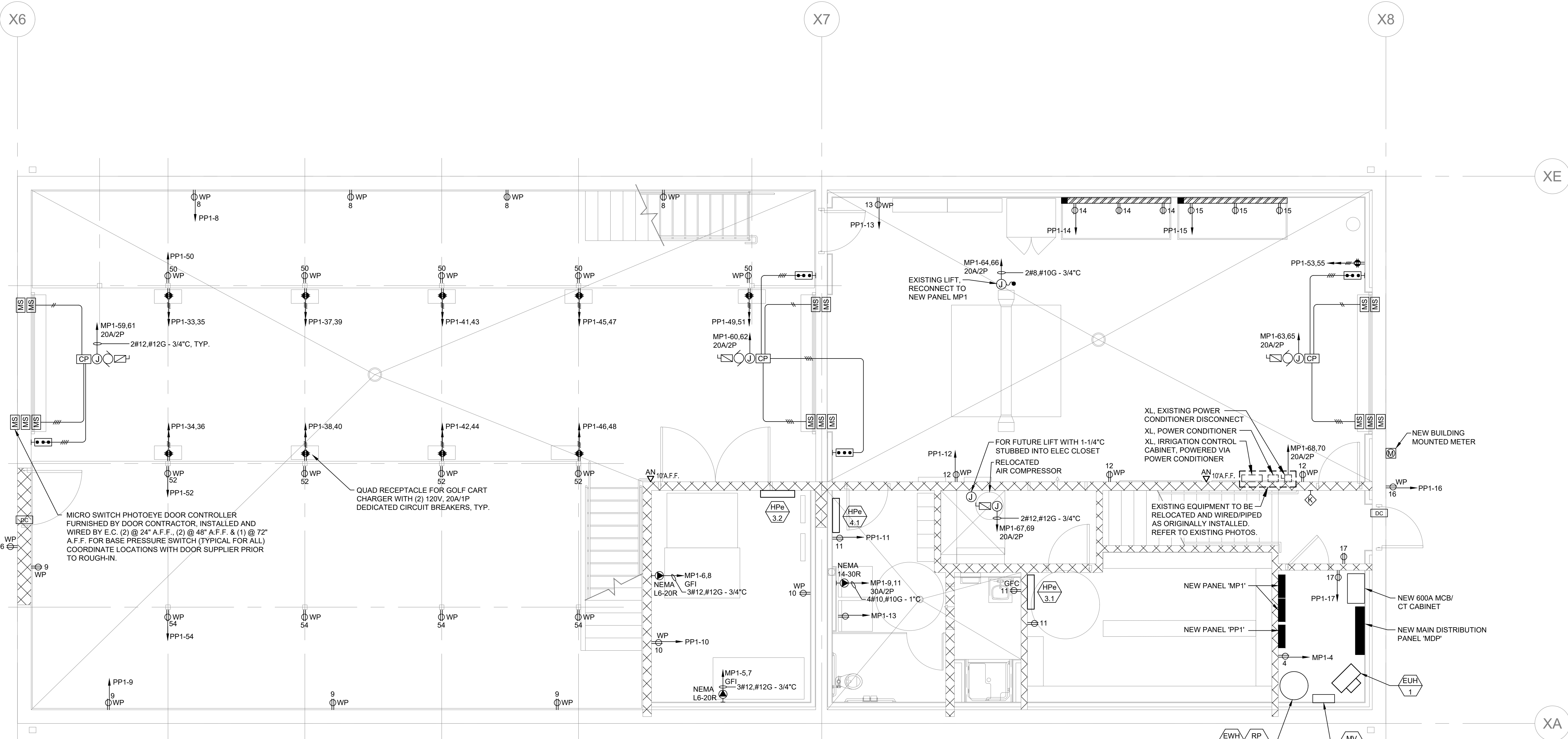
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POWER FLOOR PLANS



2 SECOND FLOOR POWER PLAN
E2.0

SCALE: 1/4" = 1'-0"
GENERAL SECOND FLOOR NOTE: ALL RECEPTACLES/CORDELS IN OPEN GARAGE AND MEZZANINE ARE TO BE FED VIA GFCI CIRCUIT BREAKER.



1 FIRST FLOOR POWER PLAN
E2.0

SCALE: 1/4" = 1'-0"
GENERAL FIRST FLOOR NOTE: ALL RECEPTACLES ARE TO BE FED VIA A GFCI CIRCUIT BREAKER.



3 EXISTING IRRIGATION POWER CONDITIONER
E2.0



4 EXISTING IRRIGATION CONTROL CABINET
E2.0

Revisions:

No.	Date	Description
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E2.0

GENERAL DEMOLITION NOTES

1. REFER TO DEMOLITION SECTION OF SPECIFICATION FOR ADDITIONAL REQUIREMENTS.
2. WHERE DOWNSTREAM DEVICES ARE AFFECTED BY THE DEMOLITION WORK THIS CONTRACTOR SHALL PROVIDE NEW SERVICES AS REQUIRED TO MAINTAIN SUCH DOWNSTREAM DEVICES.
3. ALL DEVICES AND/OR EQUIPMENT REMOVED BY THIS CONTRACTOR SHALL BE INSPECTED BY THE OWNER FOR DETERMINATION OF DISPOSAL OR STORAGE AS DIRECTED BY THE OWNER. FOR PURPOSES OF PRICING THIS CONTRACTOR SHALL ASSUME THAT NO DEVICE OR EQUIPMENT WILL BE RE-USED UNLESS SPECIFICALLY NOTED AS SUCH. TURN OVER ALL LIGHT FIXTURES TO OWNER IN GOOD CONDITION.
4. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW ALL EQUIPMENT TO BE DISCONNECTED AND/OR REMOVED.
5. PARTICULAR CARE SHALL BE TAKEN TO AVOID CREATING HAZARDS ON THE PROJECT OR CAUSING DISRUPTION OF SERVICES REMAINING.
6. ALL EXISTING EQUIPMENT INDICATED TO BE REMOVED SHALL BE DONE IN A NEAT AND WORKMANLIKE MANNER. ALL EXISTING EQUIPMENT INDICATED TO BE TURNED OVER TO THE OWNER SHALL BE PRESENTED TO THE OWNER IN GOOD CONDITION AT A LOCATION DESIGNATED BY THE OWNER. ALL OTHER EQUIPMENT SHALL BE REMOVED FROM THE SITE.
7. REMOVE ALL ABANDONED CONDUCTORS AND EQUIPMENT NOT BUILT INTO THE BUILDING CONSTRUCTION. WHERE CEILING AND WALLS ARE REMOVED, ABANDONED WIRING SHALL BE REMOVED, AND ENDS OF LIVE SERVICES TO BE DISCONNECTED AND CUT-OFF.
8. ABANDONED ELEMENTS BUILT INTO WALLS SHALL BE MARKED "ABANDONED".
9. REPLACE SMOKE DETECTORS WITH 135 DEGREE RATE OF RISE COMBINATION DETECTORS PRIOR TO CEILING DEMOLITION IN AREAS TO BE RENOVATED.
10. DISCONNECT AND DROP EQUIPMENT TO FLOOR IN CONDENSED PILE FOR REMOVAL BY GENERAL CONTRACTOR.

RDA

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**NEWTON COMMONWEALTH GOLF COURSE
MAINTENANCE FACILITY IMPROVEMENTS & RENOVATIONS**

212 KENRICK STREET, NEWTON, MA 02458

DEMOLITION FLOOR PLANS

Revisions:

No.	Date	Description
1	4/18/2024	Addendum #1

Drawn By: JGD
Checked By: DMP
Approved By: DMP

Drawing Scale: As Noted

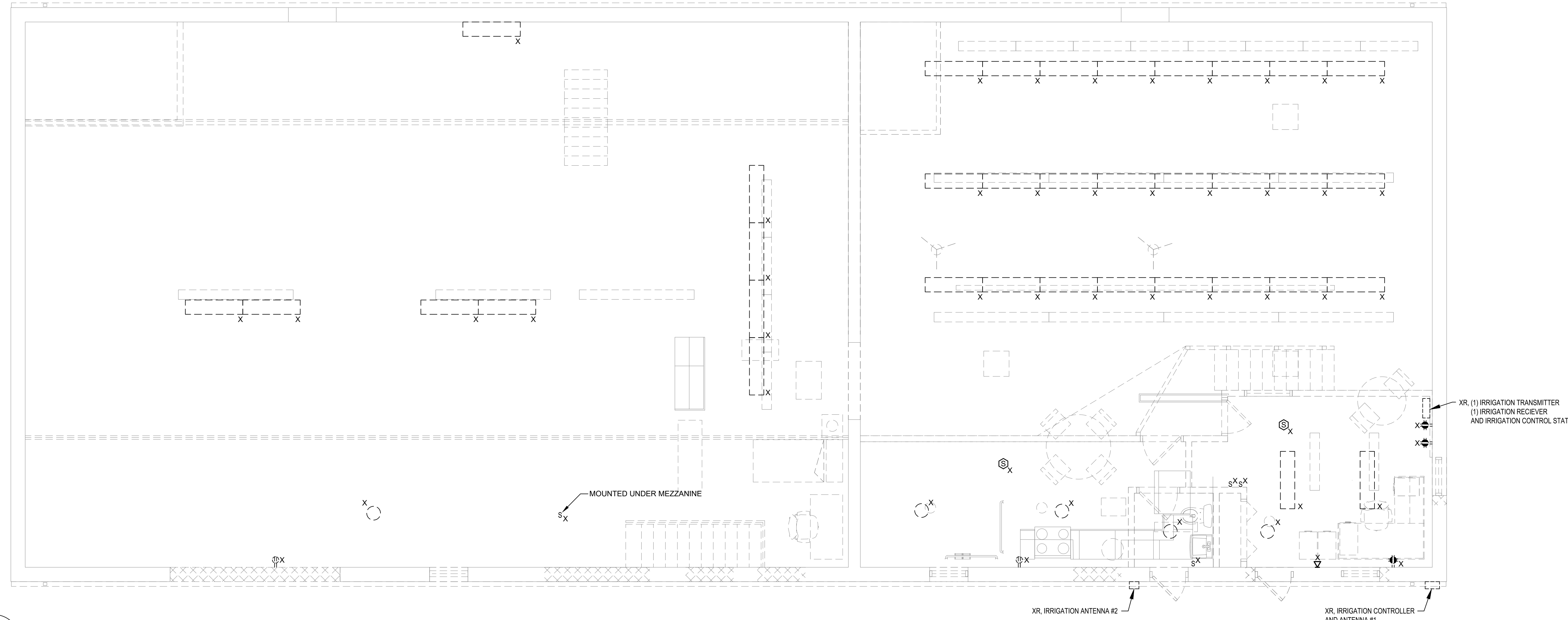
Project Number: NEW2202

Date: March 21, 2024

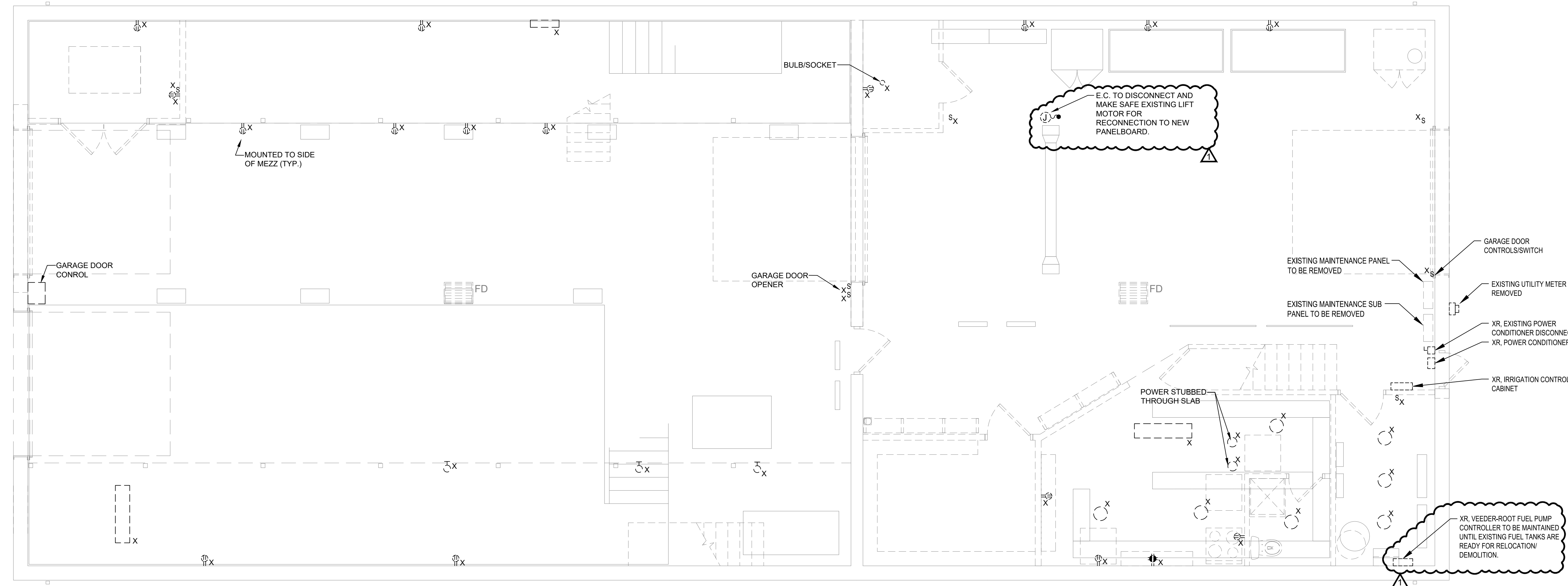
ED1.0



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2 SECOND FLOOR DEMOLITION PLAN
ED1.0 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR DEMOLITION PLAN
ED1.0 SCALE: 1/4" = 1'-0"