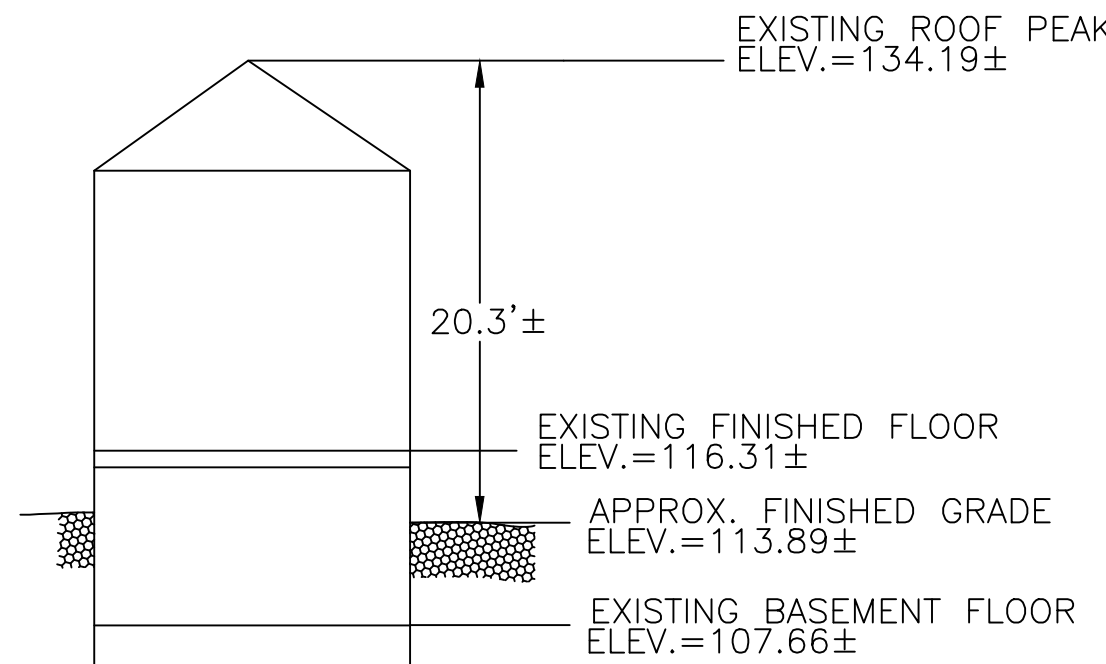


NOTES:

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3. DEED REFERENCE: BOOK 80872, PAGE 158
PLAN REFERENCE 1: PLAN 629 OF 1954
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
4. THIS PLAN IS NOT INTENDED TO BE RECORDED.
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6. THE SITE IS ALSO PARTIALLY LOCATED WITHIN AN ORDINANCE FLOOD PLAIN ASSOCIATED WITH PAUL BROOK AT ELEVATION 120.5 FEET CITY OF NEWTON DATUM [SECTION 22-22(g).1.(23)].
7. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
8. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
9. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
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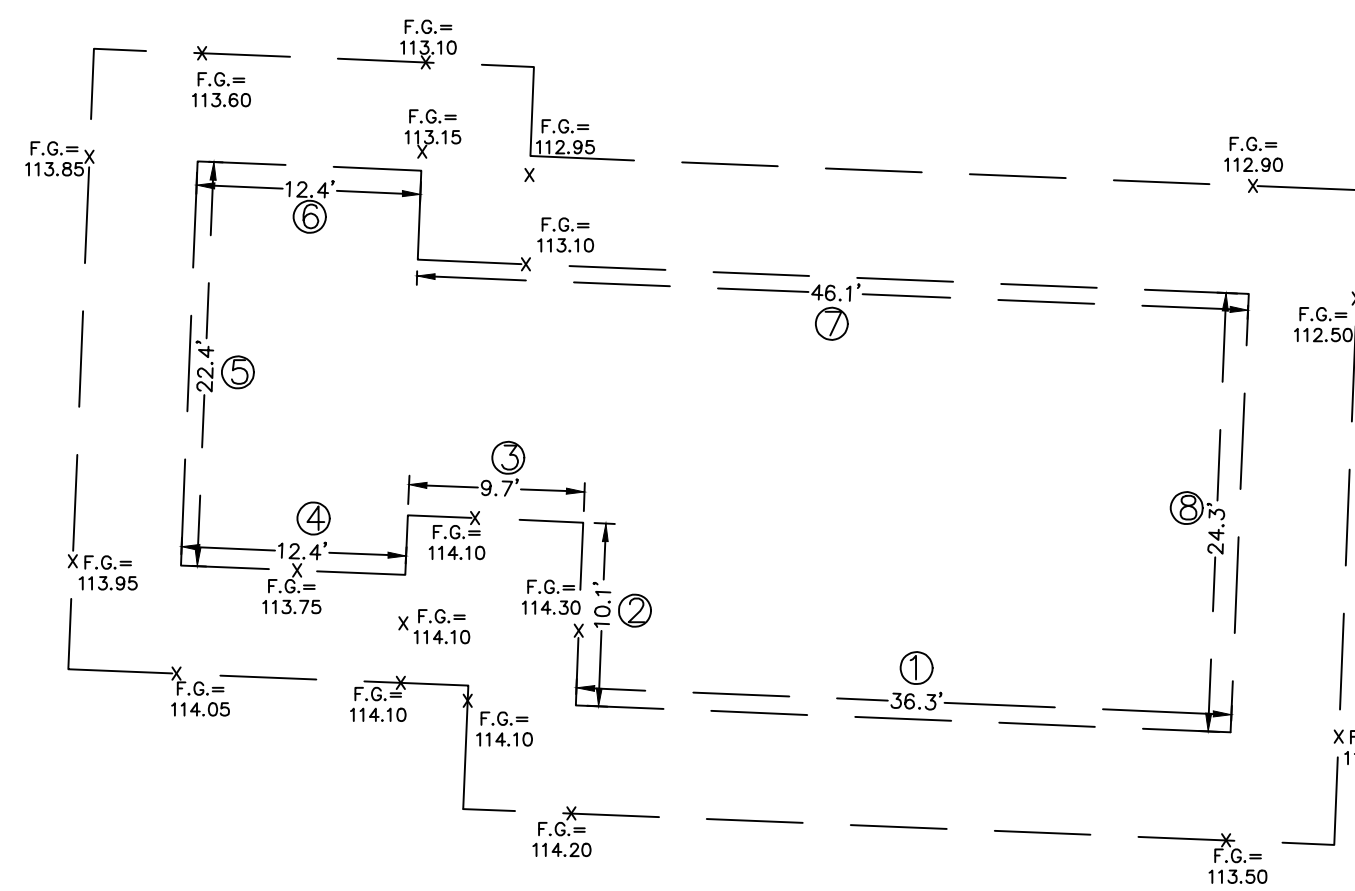


EXISTING PROFILE NOT TO SCALE

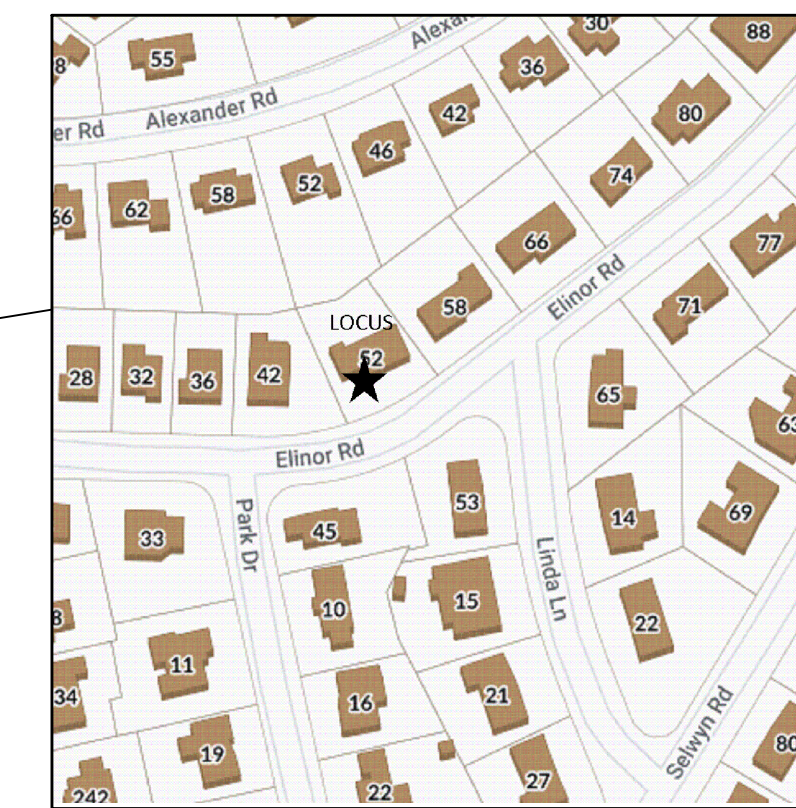
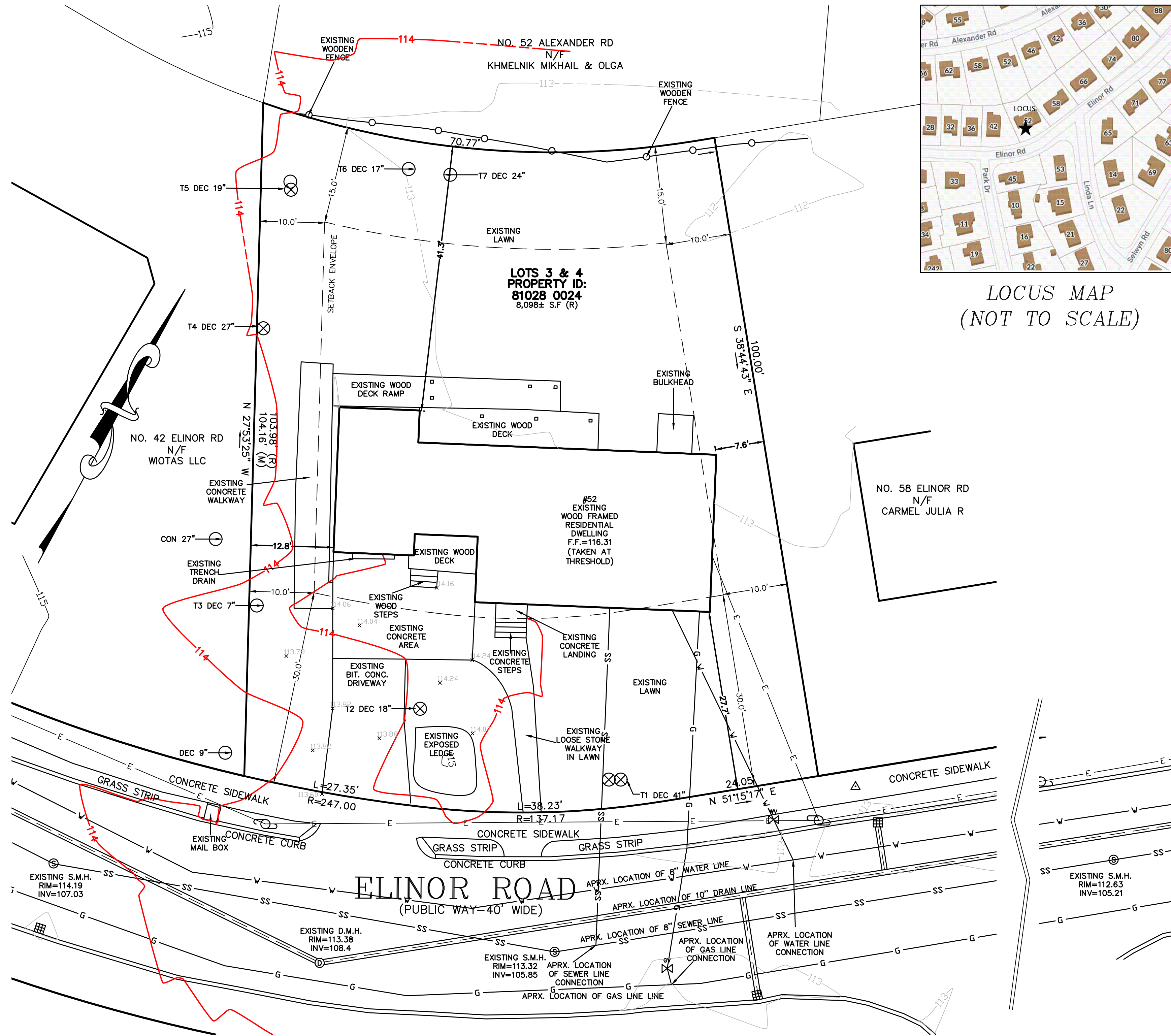
LEGEND table with symbols for BOUND, IRON PIN/PIPE, STONE POST, TREE, TREE STUMP, SHRUBS/FLOWERS, SIGN, BOLLARD, SEWER MANHOLE, DRAIN MANHOLE, CATCH BASIN, WATER MANHOLE, WATER VALVE, HYDRANT, GAS VALVE, ELECTRIC MANHOLE, ELECTRIC HANDHOLE, UTILITY POLE, LIGHT POLE, MANHOLE, SPOT GRADE, TOP OF WALL, BOTTOM OF WALL, EXISTING BUILDING, RETAINING WALL, STONE WALL, FENCE, TREE LINE, SEWER LINE, DRAIN LINE, WATER LINE, GAS LINE, UNDERGROUND ELECTRIC LINE, OVERHEAD WIRES, CONTOUR LINE (MJR), CONTOUR LINE (MNR).

ZONING LEGEND table: ZONING DISTRICT: SINGLE-RESIDENCE 3 (LOT CREATED AFTER DEC.7,1953). Table with columns: REQUIRED, EXISTING. Rows include: MIN. AREA (10,000 S.F vs 8,098 ± S.F), MIN. FRONTAGE (80' vs 89.63'), MIN. YARD FRONT SIDE (30' vs 7.6'), REAR (10' vs 41.3'), MAX. LOT COV. (30% vs 16%), MIN. OPEN SPACE (50% vs 70%).

AVERAGE GRADE PLAN



AVERAGE GRADE PLANE (ALL UNITS IN FEET) table with 8 segments. Columns: SEGMENT, LENGTH, POINT 1, POINT 2, MEAN 1 & 2, MEAN x LENGTH. Row 8: SUM = 103.30, 113.89. Formula: SUM OF MEAN x LENGTH/ SUM OF LENGTHS = AVERAGE GRADE PLANE = 113.89



LOCUS MAP (NOT TO SCALE)



Spruhan Engineering, P.C. 80 JEWETT ST., (SUITE 1) NEWTON, MA 02458. Tel: 617-816-0722. Email:edmond@spruhaneng.com

52 ELINOR ROAD NEWTON MASSACHUSETTS

SURVEY PLAN

REVISION BLOCK

REVISION BLOCK table with columns: DESCRIPTION, DATE.

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I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.



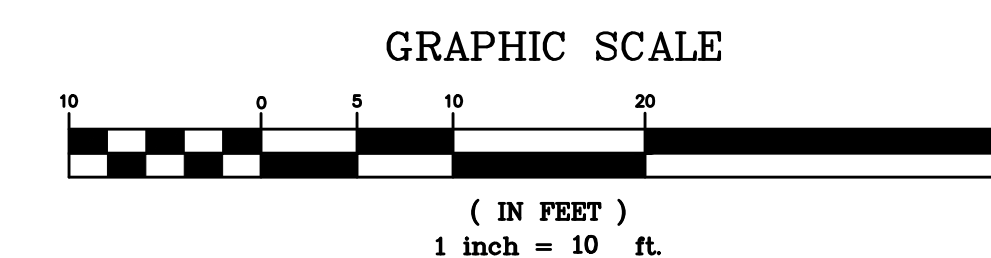
CHRISTOPHER C. CHARLTON, P.L.S. 04/30/2024 DATE



DATE: 04/30/2024 DRAWN BY: O.S. CHECKED BY: C.C. APPROVED BY: E.S.

EXISTING CONDITIONS

SHEET 1 OF 5



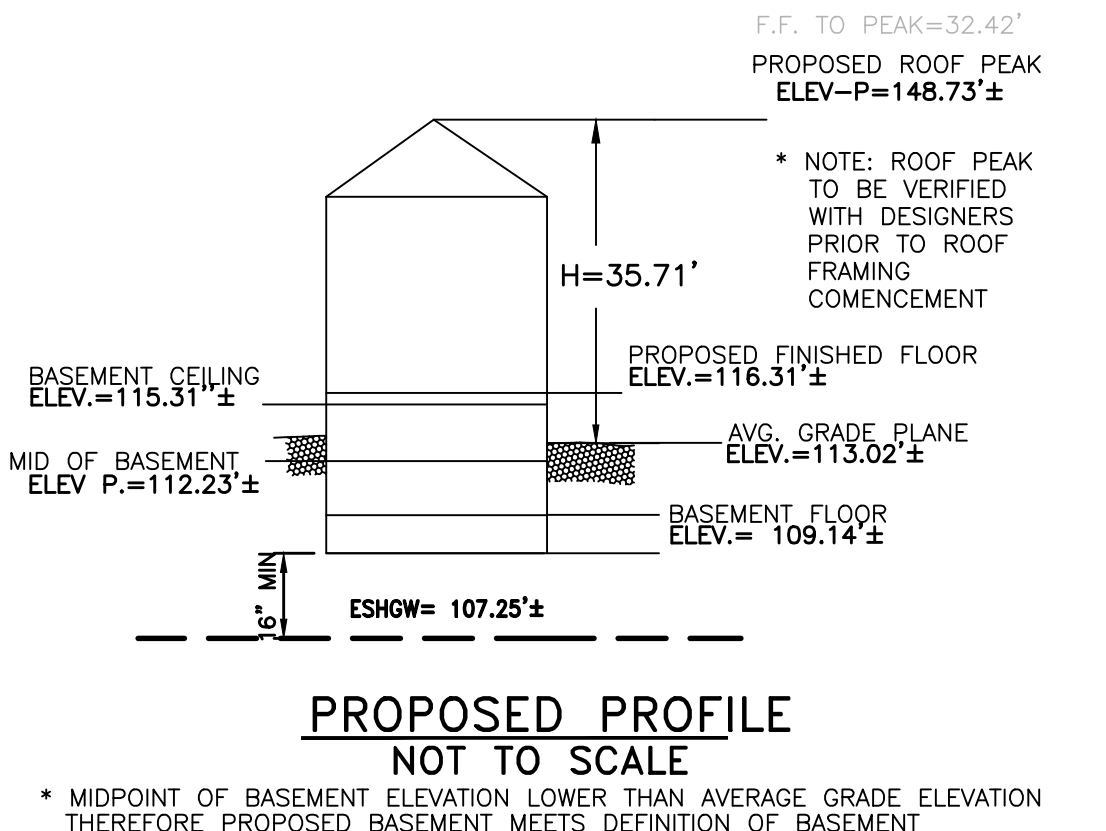
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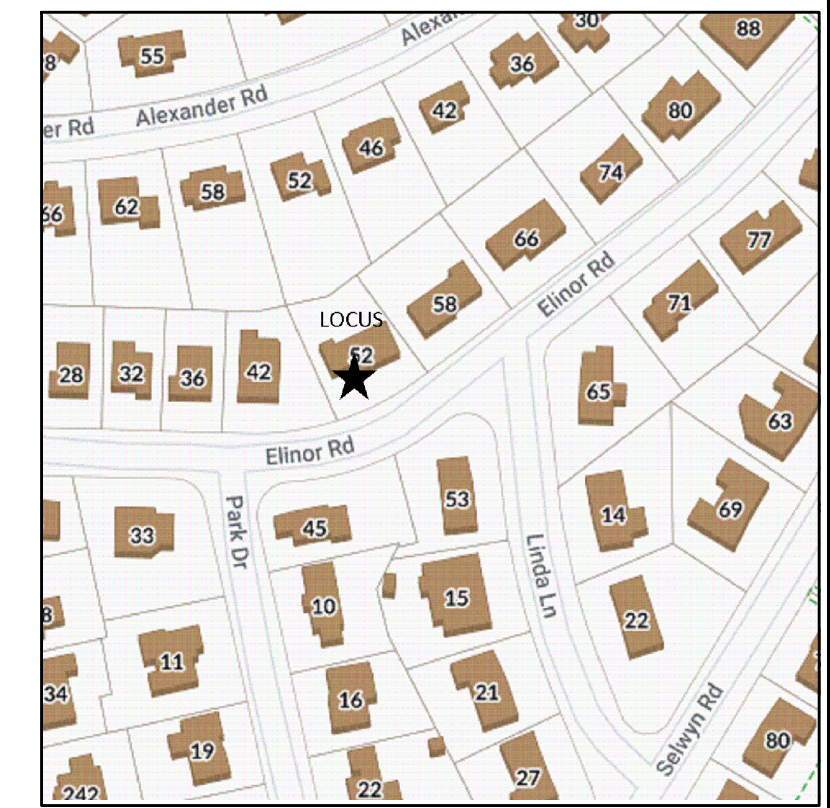
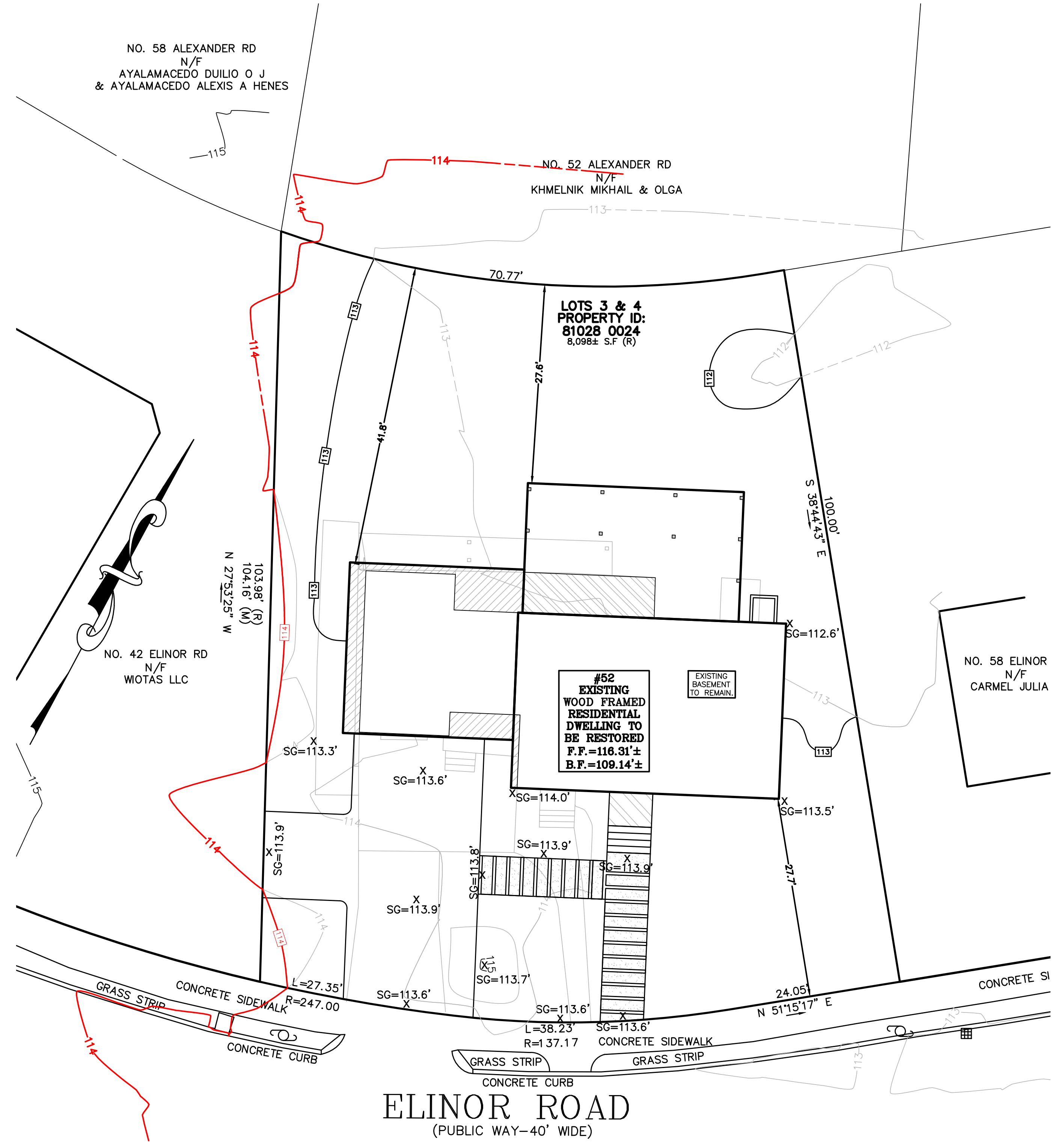
LEGEND

- UTILITY POLE
- WATER GATE
- ⊕ HYDRANT
- ⊕ GAS GATE
- ⊕ SEWER MANHOLE
- ⊕ CLEANOUT
- ⊕ DRAIN MANHOLE
- ⊕ CATCH BASIN
- ⊕ TREE
- ⊕ LIGHT POLE
- ⊕ SIGN
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- TOW TOP OF WALL
- BOW BOTTOM OF WALL
- FG FINISHED GRADE
- SG SPOT GRADE
- FF FIRST FLOOR
- TOF TOP OF FOUNDATION
- BF BASEMENT FLOOR
- GF GARAGE FLOOR
- THP DEEP TEST HOLE
- PTP PERCOLATION TEST
- 71.4 X SPOT ELEVATION
- 71 PROPOSED CONTOUR
- 71 EXISTING CONTOUR
- D DRAIN LINE
- W WATER LINE
- SS SEWER LINE
- G GAS LINE
- FENCE
- PROPOSED WALL

| AVERAGE GRADE PLANE (ALL UNITS IN FEET) | | | | |
|---|--------|---------|---------|------------|
| SEGMENT | LENGTH | POINT 1 | POINT 2 | MEAN 1 & 2 |
| 1 | 37.20 | 113.60 | 113.90 | 113.75 |
| 2 | 6.60 | 113.60 | 113.90 | 113.75 |
| 3 | 23.60 | 113.90 | 113.40 | 113.65 |
| 4 | 23.70 | 113.30 | 113.10 | 113.20 |
| 5 | 24.20 | 112.80 | 112.60 | 112.70 |
| 6 | 12.00 | 112.70 | 112.50 | 112.60 |
| 7 | 30.00 | 112.40 | 112.10 | 112.25 |
| 8 | 18.00 | 112.60 | 112.20 | 112.40 |
| 9 | 6.60 | 112.40 | 112.50 | 112.45 |
| 10 | 24.30 | 113.40 | 112.60 | 113.00 |
| SUM = | 206.20 | | | 23,304.54 |
| SUM OF MEAN x LENGTH / SUM OF LENGTHS = AVERAGE GRADE PLANE = | | | | 113.02 |



* MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT



LOCUS MAP (NOT TO SCALE)



Spruhan Engineering, P.C.
80 JEWETT ST. (SUITE 11)
NEWTON, MA 02458
Tel: 617-816-0722
Email: edmond@spruhaneng.com

52 ELINOR ROAD
NEWTON
MASSACHUSETTS

CIVIL PLAN

REVISION BLOCK

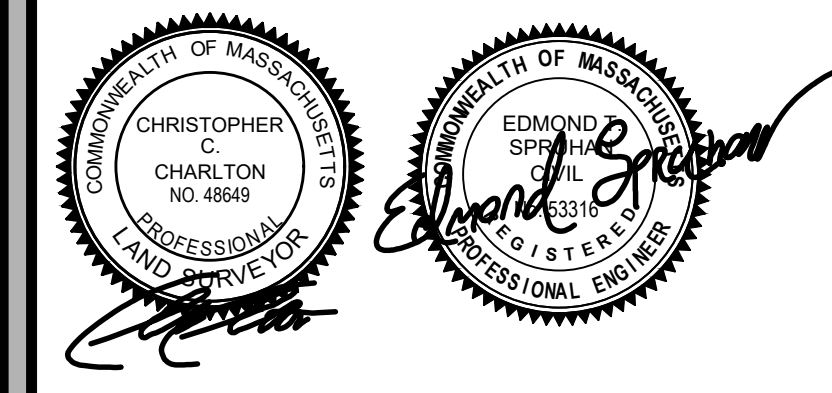
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| ZONING LEGEND | | |
|--|------------|-------------|
| ZONING DISTRICT: SINGLE-RESIDENCE 3 (LOT CREATED AFTER DEC.7,1953) | | |
| | REQUIRED | PROPOSED |
| MIN. AREA | 10,000 S.F | 8,098 ± S.F |
| MIN. FRONTAGE | 80' | 89.63' |
| MIN. YARD FRONT | 30' | 27.7' * |
| SIDE REAR | 10' | 7.6' * |
| | 15' | 27.6' |
| MAX. LOT COV. | 30% | 24.78% |
| MIN. OPEN SPACE | 50% | 64.18% |
| MAX. BLDG. HEIGHT | 36' | 35.71' |

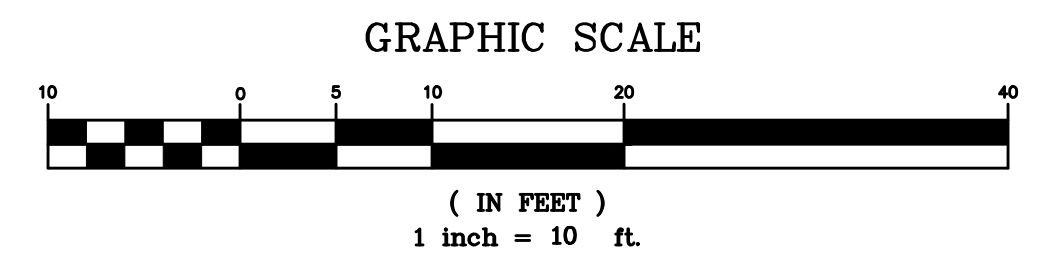
LOT COV.
ROOF: 2,007.00 S.F
2,007.00 S.F / 8,098 SF x 100 = 24.78%

OPEN SPACE
LANDSCAPE: 5,012.00 S.F + WALKWAY: 185.0 S.F
5,197.00 S.F / 8,098 SF x 100 = 64.18%



DATE: 04/30/2024
DRAWN BY: O.G.
CHECKED BY: C.C.
APPROVED BY: E.S.

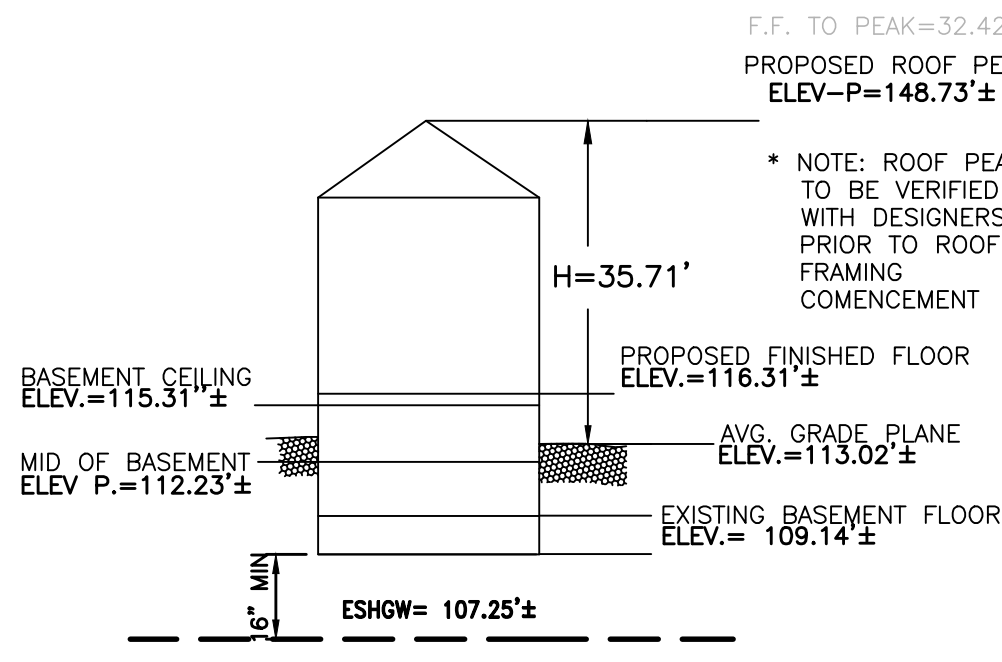
PROPOSED ZONING, LAYOUT AND MATERIALS



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- LEGEND
UTILITY POLE
WATER GATE
HYDRANT
GAS GATE
SEWER MANHOLE
CLEANOUT
DRAIN MANHOLE
CATCH BASIN
TREE
LIGHT POLE
SIGN
TBR TO BE REMOVED
TBA TO BE ABANDONED
TOW TOP OF WALL
BOW BOTTOM OF WALL
FG FINISHED GRADE



FLOODPLAIN IMPACT & MITIGATION SUMMARY table with columns for ELEVATION (FT), FLOODPLAIN IMPACT (CF), FLOOD MITIGATION (CF), and FLOODPLAIN NET (CF).

THIS PROJECT IS LOCATED ON FLOODPLAIN, THE APPROVED GRADING MUST BE FOLLOWED WITH COMPLETE PRECISION, THE CUT AND FILL CALCULATIONS IN THE APPROVED PLAN MUST MATCH THE AS-BUILT.

FLOODPLAIN NET = FLOODPLAIN CUT - FLOODPLAIN FILL;
FLOODPLAIN FILL IS SUM OF FILL VOLUME FROM TABLE BELOW FOR PROPOSED BUILDING AND PIERS;

FOR EXIST. BUILDING (CONCRETE AREA/LANDING, STEPS) table with columns for ELEVATION (FT), CUT AREA (SF), HEIGHT (FT), and CUT VOLUME (CF).

FOR PROPOSED GRADE (CUT) table with columns for ELEVATION (FT), CUT AREA (SF), HEIGHT (FT), and CUT VOLUME (CF).

FOR PROPOSED GRADE (FILL) table with columns for ELEVATION (FT), FILL AREA (SF), HEIGHT (FT), and FILL VOLUME (CF).

FOR PROPOSED BUILDING (GARAGE/STEPS/WW) table with columns for ELEVATION (FT), FILL AREA (SF), HEIGHT (FT), and FILL VOLUME (CF).

IMPORTANT NOTE: ALTHOUGH FILL HAS NOT BEEN CONSIDERED FOR THE DRIVEWAY AND WALKWAY (TO MAINTAIN THE EXISTING GRADE OR REDUCE IT) A PORTION OF THIS AREA HAS BEEN INCORPORATED IN CASE OF SLIGHTLY FAILING ACCURACY AT THE TIME OF SURFACE PREPARATION (1/3 DRIVEWAY-WALKWAY AREA).

FOR PROPOSED BUILDING (PIERS) table with columns for ELEVATION (FT), FILL AREA (SF), HEIGHT (FT), and FILL VOLUME (CF).

Pier = 12' x 12' = 1 SF
NOTE: PROPOSED POSTS IN THE ARCHITECTURAL PLAN ARE 6'x6', HOWEVER THEY HAVE BEEN CALCULATED AS 12'x12' TO BE CONSERVATIVE.

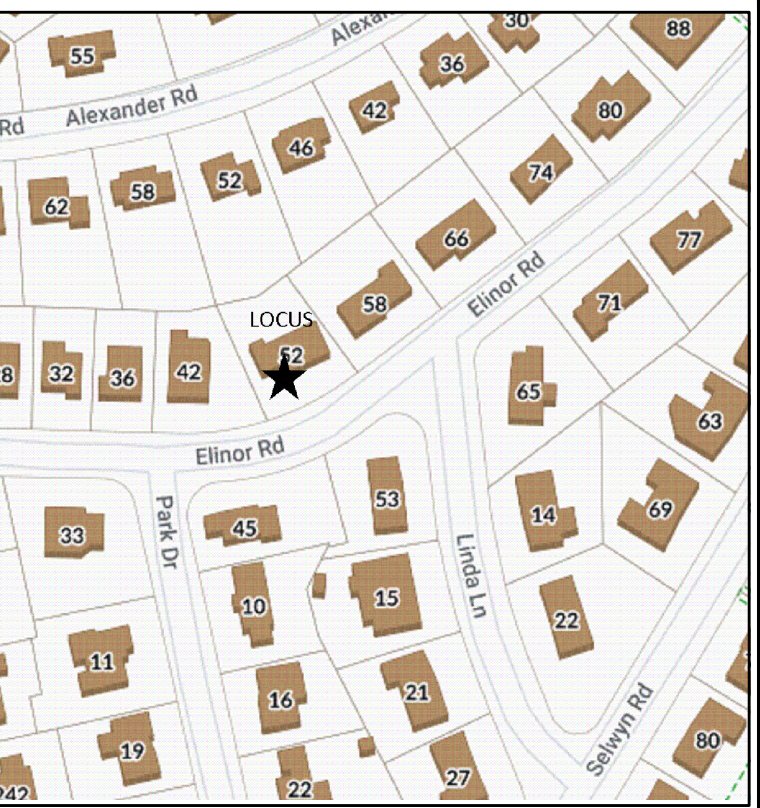
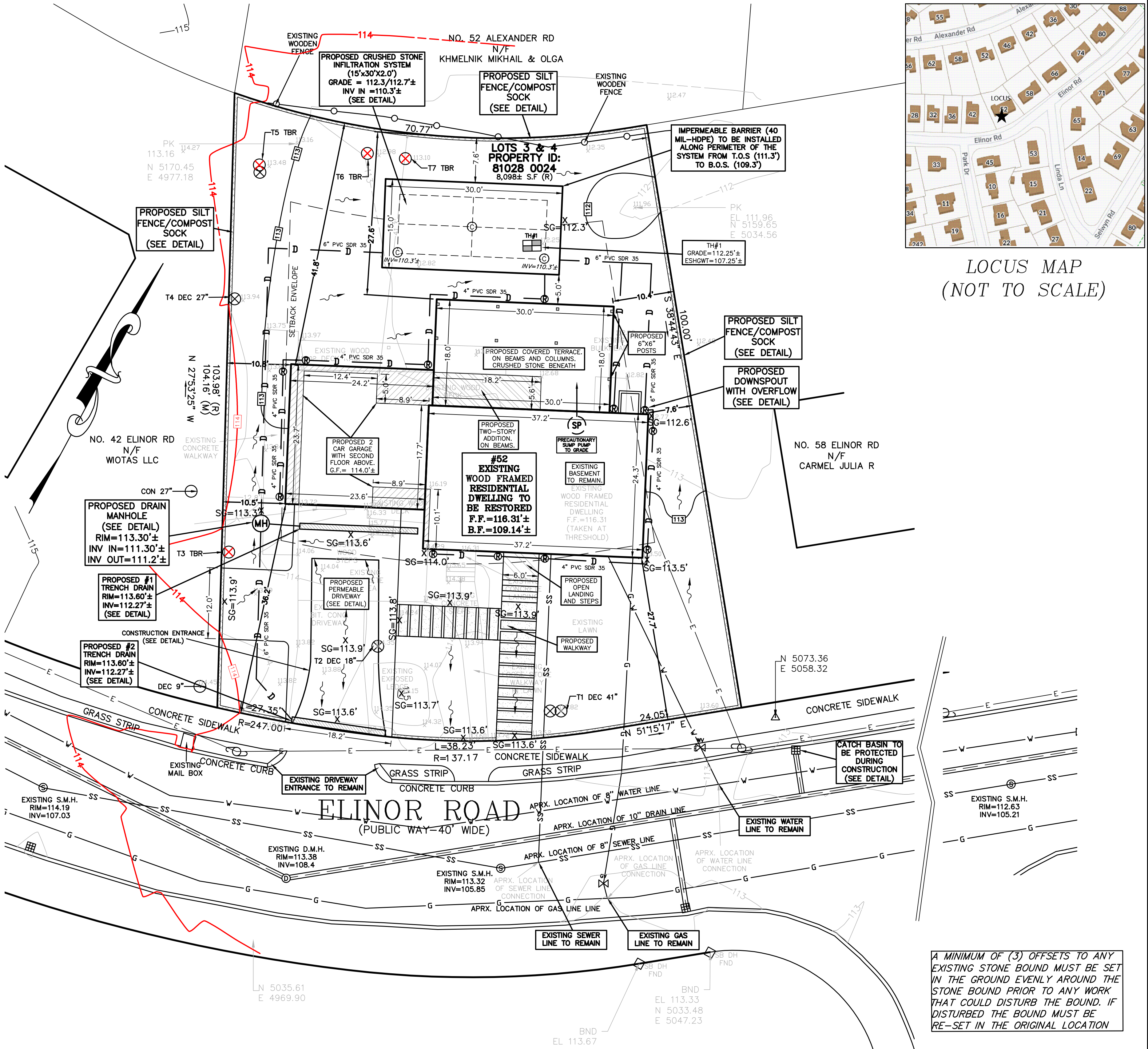
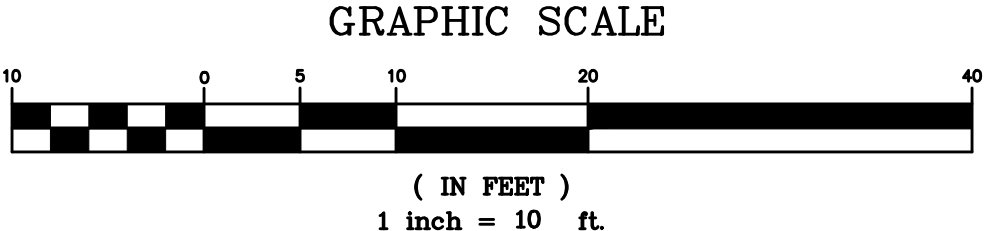
DRAINAGE AREA SUMMARY

EXISTING ROOF = 1,301.01 S.F.
EXISTING PAVED DRIVEWAY = 445.81 S.F.
EXISTING WALKWAY = 339.00 S.F.
EXISTING DECK RAMP = 169.94 S.F.
EXISTING DECK = 211.02 S.F.
EXISTING BULKHEAD = 32.19 S.F.
EXISTING CONCRETE AREA = 132.78 S.F.
EXISTING LANDING/STEPS = 36.55 S.F.
EXISTING LANDSCAPE AREA = 5,429.70 S.F.
PROPOSED ROOF = 2,007.00 S.F.
PROPOSED PERMEABLE DRIVEWAY = 829.00 S.F.
PROPOSED WALKWAY/GRASS STRIP = 185.00 S.F.
PROPOSED WW = 15.00 S.F.
PROPOSED LANDING/STEPS = 50.00 S.F.
PROPOSED LANDSCAPE AREA = 5,012.00 S.F.
TOTAL EXISTING IMPERVIOUS AREA = 2,668.30 S.F.
TOTAL PROPOSED IMPERVIOUS AREA = 3,086.00 S.F.
TOTAL INCREASE IN IMPERVIOUS AREA = 417.70 S.F.

ZONING LEGEND

ZONING LEGEND table for SINGLE-RESIDENCE 3 (LOT CREATED AFTER DEC.7.1953) with columns for REQUIRED and PROPOSED values for MIN. AREA, MIN. FRONTAGE, MIN. YARD FRONT, SIDE, REAR, MAX. LOT COV., MIN. OPEN SPACE, and MAX. BLDG. HEIGHT.

LOT COV.
ROOF: 2,007.00 S.F.
2,007.00 S.F. x 100 = 24.78%
LOT AREA : 8,098 SF
OPEN SPACE
LANDSCAPE: 5,012.00 S.F + WALKWAY: 185.0 S.F.
5,197.00 S.F x 100 = 64.18%
LOT AREA : 8,098 SF



LOCUS MAP (NOT TO SCALE)

Spruhan Engineering, P.C. logo and contact information: 80 JEWETT ST. (SUITE 1) NEWTON, MA 02458. Tel: 617-816-0722. Email: edmond@spruhaneng.com

52 ELINOR ROAD
NEWTON
MASSACHUSETTS

CIVIL PLAN

REVISION BLOCK

Empty table with columns for DESCRIPTION and DATE.

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Professional Engineer seals for Christopher C. Charlton and Edmond D. Spruhan.

DATE: 04/30/2024
DRAWN BY: O.G
CHECKED BY: C.C
APPROVED BY: E.S

