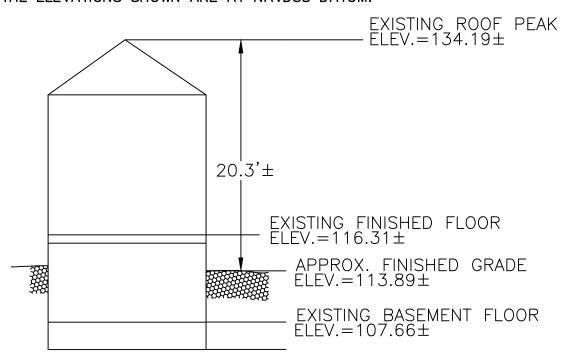
#### NOTES

- 1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF FIELD SURVEYS PERFORMED BY SPRUHAN ENGINEERING, P.C. ON 12/13/2022 & 06/29/2023.
- 2. AT THE TIME OF THE INITIAL SITE SURVEY ON 12/13/2022, THE TREES SHOWN ON THIS PLAN WERE ALL PRESENT. IN MID—JUNE 2023, TREES 1, 2, AND 4 AND ONE LEADER OF TREE 5, DEMARCATED WITH A BLACK X WERE REMOVED FROM THE SITE BY SASA'S TREE CARE OF WEST ROXBURY. THE STUMPS OF THE CUT TREES WERE PRESENT DURING SURVEY ON 06/29/2023. SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION ON TREES.
- 3. DEED REFERENCE: BOOK 80872, PAGE 158 PLAN REFERENCE 1: PLAN 629 OF 1954
- MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS
- 4. THIS PLAN IS NOT INTENDED TO BE RECORDED.
- 5. I CERTIFY THAT THE DWELLING SHOWN IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE AE, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0554E, THE ZONE AE HAS A 100—YEAR FLOOD ELEVATION OF 114 NAVD 1988 (OR 120.5 CITY OF NEWTON DATUM), DATED 06/04/2010.
- 6. THE SITE IS ALSO PARTIALLY LOCATED WITHIN AN ORDINANCE FLOOD PLAIN ASSOCIATED WITH PAUL BROOK AT ELEVATION 120.5 FEET CITY OF NEWTON DATUM [SECTION 22-22(g)1.(23)].
- 7. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- 8. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
- 9. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
- 10. THE ELEVATIONS SHOWN ARE AT NAVD88 DATUM.

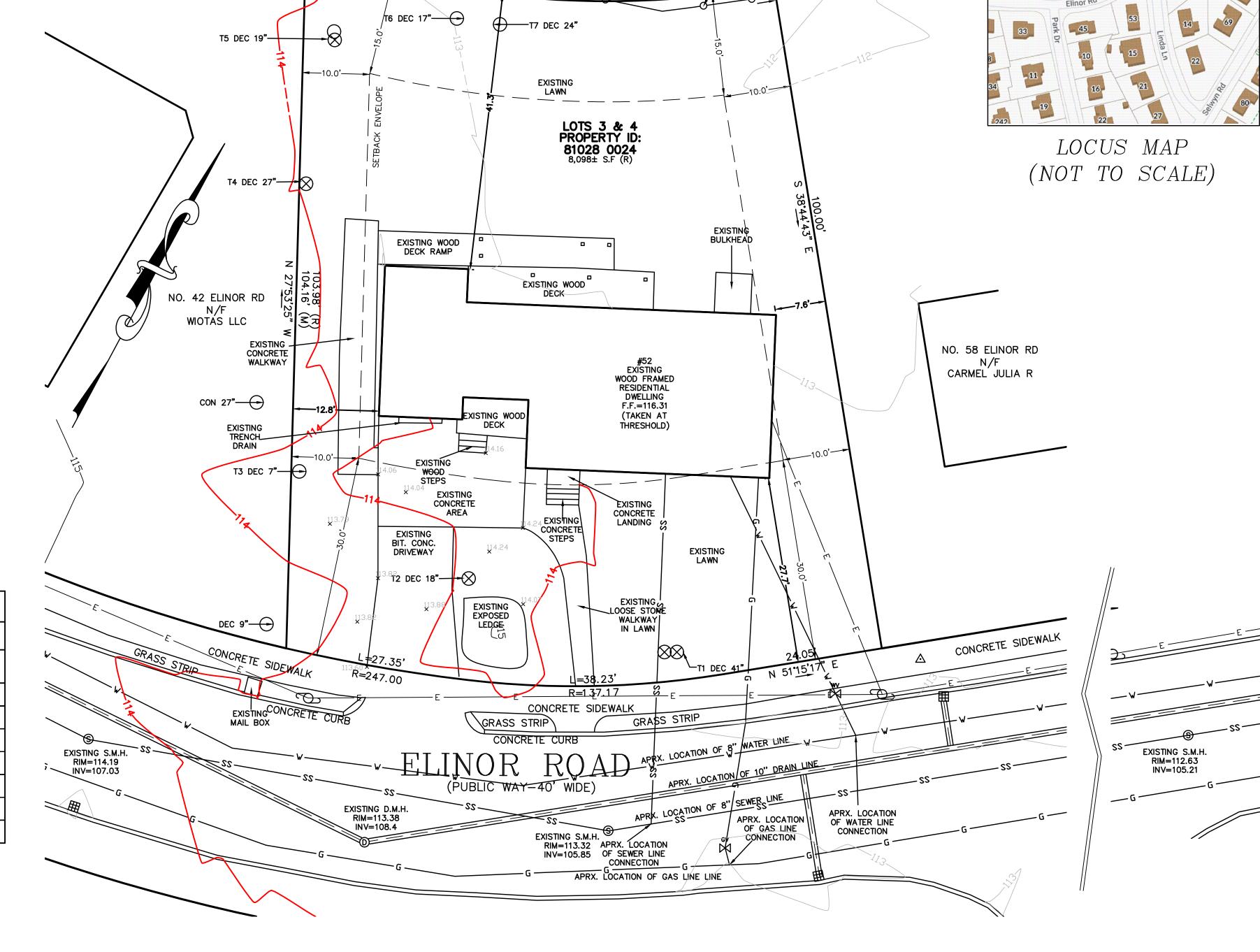


EXISTING PROFILE NOT TO SCALE

LEGEND		
·	BOUND	
0	IRON PIN/PIPE	
$\odot$	STONE POST	
0	TREE	
P	TREE STUMP	
<b>©</b>	SHRUBS/FLOWERS	
0	SIGN	
0	BOLLARD	
S	SEWER MANHOLE	
0	DRAIN MANHOLE	
<b>=</b>	CATCH BASIN	
W	WATER MANHOLE	
w 🔀	WATER VALVE	
<b>X</b>	HYDRANT	
GV SV	GAS VALVE	
(E)	ELECTRIC MANHOLE	
EL	ELECTRIC HANDHOLE	
þ	UTILITY POLE	
₩	LIGHT POLE	
M	MANHOLE	
<b>X</b> 148.00	SPOT GRADE	
TW	TOP OF WALL	
BW	BOTTOM OF WALL	
	EXISTING BUILDING	
	RETAINING WALL	
	STONE WALL	
0	FENCE	
	TREE LINE	
S	SEWER LINE	
D	DRAIN LINE	
W	WATER LINE	
G	GAS LINE	
Е —	UNDERGROUND ELECTRIC LINE	
OHW	OVERHEAD WIRES	
145	CONTOUR LINE (MJR)	
	·	

CONTOUR LINE (MNR)

ZONING LEGEND			
ZONING DISTRICT: SINGLE-RESIDENCE 3 (LOT CREATED AFTER DEC.7,1953			
	REQUIRED	EXISTING	
MIN. AREA	10,000 S.F	8,098 ± S.F	
MIN. FRONTAGE	80'	89.63'	
MIN. YARD FRONT	30'	27.7'	
SIDE	10'	7.6'	
REAR	15'	41.3'	
MAX. LOT COV.	30%	16%	
MIN. OPEN SPACE	50%	70%	



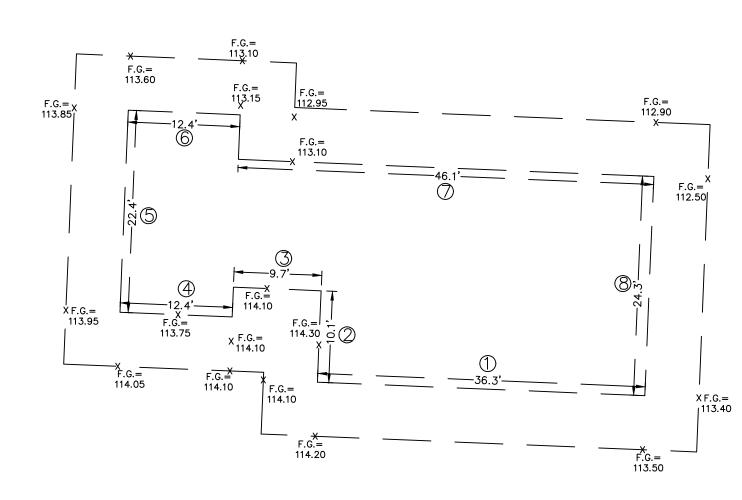
- NO. 52 ALEXANDER RD

KHMELNIK MIKHAIL & OLGA

WOODEN

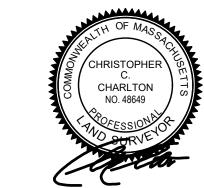
WOODEN

# AVERAGE GRADE PLAN



AVERAGE GRADE PLANE (ALL UNITS IN FEET)					
SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	36.30	113.50	114.20	113.85	4.132.76
2	10.10	114.10	114.10	114.10	1.152.41
3	9.70	114.30	114.10	114.20	1.107.74
4	12.40	114.10	114.05	114.08	1.414.53
5	22.40	113.95	113.85	113.90	2.551.36
6	12.40	113.60	113.10	113.35	1.405.54
7	46.10	113.15	112.90	113.03	5.210.45
8	24.30	112.50	113.40	112.95	2.744.69
SUM =	103.30				11.764.34
SUM OF MEAN x LENGTH/ SUM OF LENGTHS = AVERAGE GRADE PLANE =			113.89		

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY AND THE LATEST RECORD PLANS, DEEDS AND CERTIFICATES OF TITLE.



CHRISTOPHER C. CHARLTON, P.L.S

HARLTON, P.L.S DATE

GRAPHIC SCALE

O 5 10 20

(IN FEET)
1 inch = 10 ft.



Spruhan Engineering, P.C.

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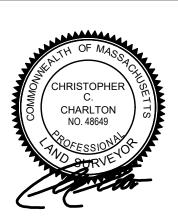
52 ELINOR ROAD NEWTON MASSACHUSETTS

SURVEY PLAN

REVISION BLOCK

DESCRIPTION	DATE

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DATE:	04/30/2024
DRAWN BY:	0.S
CHECKED BY:	c.c
APPROVED BY:	E.S
	TITLE OF

EXISTING CONDITIONS

SHEET 1 OF 5

#### NOTES:

1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF FIELD SURVEYS PERFORMED BY SPRUHAN ENGINEERING, P.C. ON 12/13/2022 & 06/29/2023.

2. AT THE TIME OF THE INITIAL SITE SURVEY ON 12/13/2022, THE TREES SHOWN ON THIS PLAN WERE ALL PRESENT. IN MID-JUNE 2023, TREES 1, 2, AND 4 AND ONE LEADER OF TREE 5, DEMARCATED WITH A BLACK X WERE REMOVED FROM THE SITE BY SASA'S TREE CARE OF WEST ROXBURY. THE STUMPS OF THE CUT TREES WERE PRESENT DURING SURVEY ON 06/29/2023. SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION ON TREES.

3. DEED REFERENCE: BOOK 80872, PAGE 158
PLAN REFERENCE 1: PLAN 629 OF 1954
MIDDLESEX COUNTY SOUTH DISTRICT REGISTRY OF DEEDS

4. THIS PLAN IS NOT INTENDED TO BE RECORDED.

5. I CERTIFY THAT THE DWELLING SHOWN IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE AE, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0554E, THE ZONE AE HAS A 100—YEAR FLOOD ELEVATION OF 114 NAVD 1988 (OR 120.5 CITY OF NEWTON DATUM), DATED 06/04/2010.

6. THE SITE IS ALSO PARTIALLY LOCATED WITHIN AN ORDINANCE FLOOD PLAIN ASSOCIATED WITH PAUL BROOK AT ELEVATION 120.5 FEET CITY OF NEWTON DATUM [SECTION 22-22(q)1.(23)].

7. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.

8. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.

9. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS SPRUHAN ENGINEERING, P.C. ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.

10. THE ELEVATIONS SHOWN ARE AT NAVD88 DATUM.

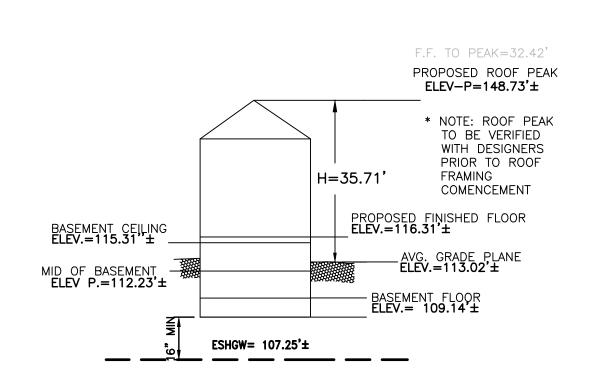
<u>LEG</u>	<u>END</u>		
O >	UTILITY POLE	SG	SPOT GRADE
W	WATER GATE	FF	FIRST FLOOR
970	HYDRANT	TOF	TOP OF FOUNDATION
G	GAS GATE	BF	BASEMENT FLOOR
S	SEWER MANHOLE	GF	GARAGE FLOOR
<b>©</b>	CLEANOUT	TH#1	DEEP TEST HOLE
<b>(D)</b>	DRAIN MANHOLE	PT <b>#</b> 1 🔷	PERCOLATION TEST
	CATCH BASIN		
$\mathcal{C}$	TREE	71.4 X	SPOT ELEVATION
₩ **	LIGHT POLE	<del> [71]</del>	PROPOSED CONTOUR
<i>ች</i> ላኛ		<del> 71</del>	EXISTING CONTOUR
	SIGN	—— D ——	DRAIN LINE
TBR	TO BE REMOVED	—— W ——	WATER LINE
TBA	TO BE ABANDONED	——ss——	SEWER LINE
TOW	TOP OF WALL	—— G ——	GAS LINE
BOW	BOTTOM OF WALL	—0—	FENCE
			_

FG FINISHED GRADE

	A\/EDAC		/ALL LINUTC IN F	\ \	
	AVERAG	E GRADE PLANE	(ALL UNITS IN F	EE1)	T
SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	37.20	113.60	113.90	113.75	4,231.50
2	6.60	113.60	113.90	113.75	750.75
3	23.60	113.90	113.40	113.65	2,682.14
4	23.70	113.30	113.10	113.20	2,682.84
5	24.20	112.80	112.60	112.70	2,727.34
6	12.00	112.70	112.50	112.60	1,351.20
7	30.00	112.40	112.10	112.25	3,367.50
8	18.00	112.60	112.20	112.40	2,023.20
9	6.60	112.40	112.50	112.45	742.17
10	24.30	113.40	112.60	113.00	2,745.90
SUM =	206.20				23,304.54

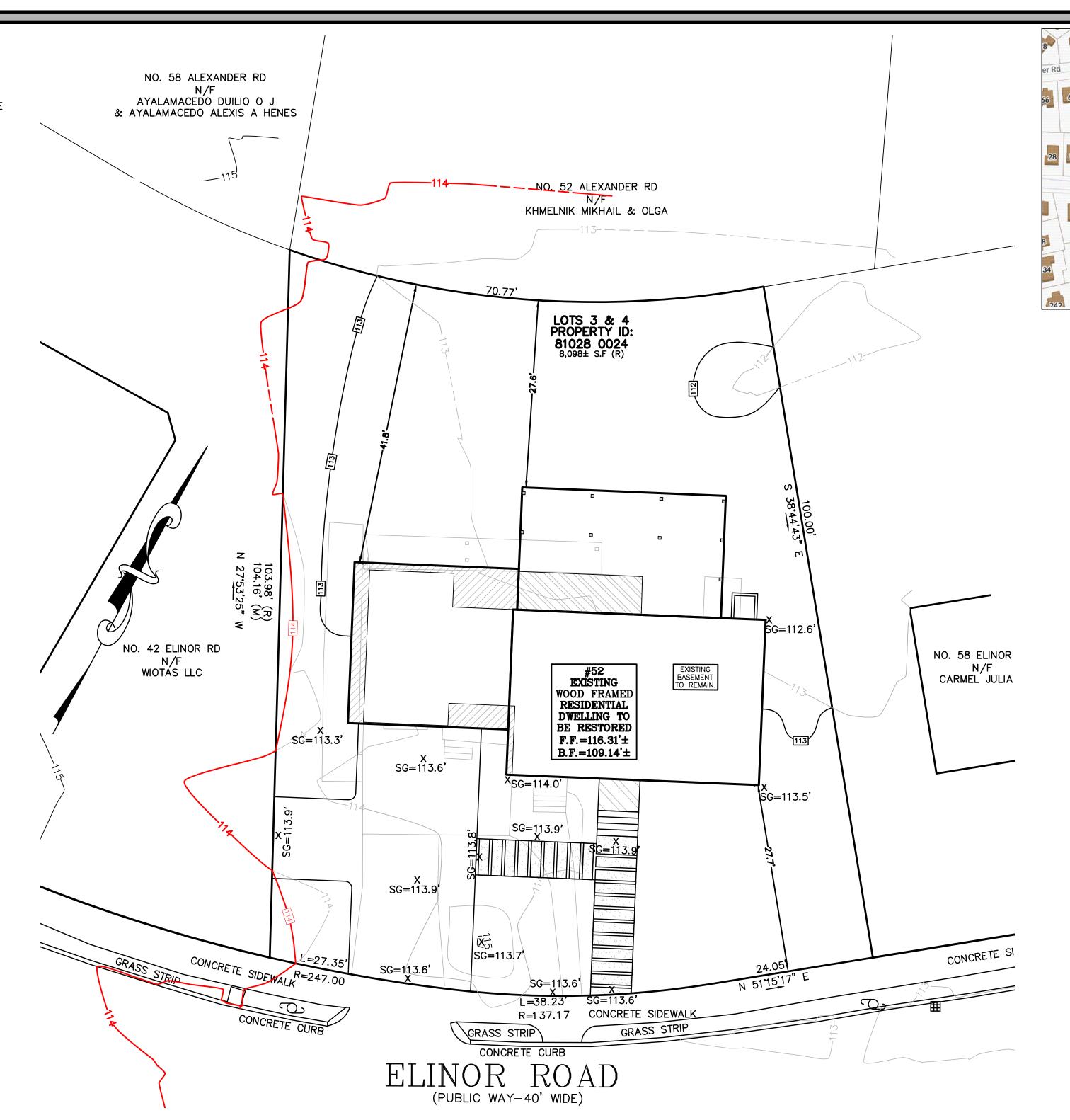
SUM OF MEAN x LENGTH/SUM OF LENGTHS = AVERAGE GRADE PLANE =

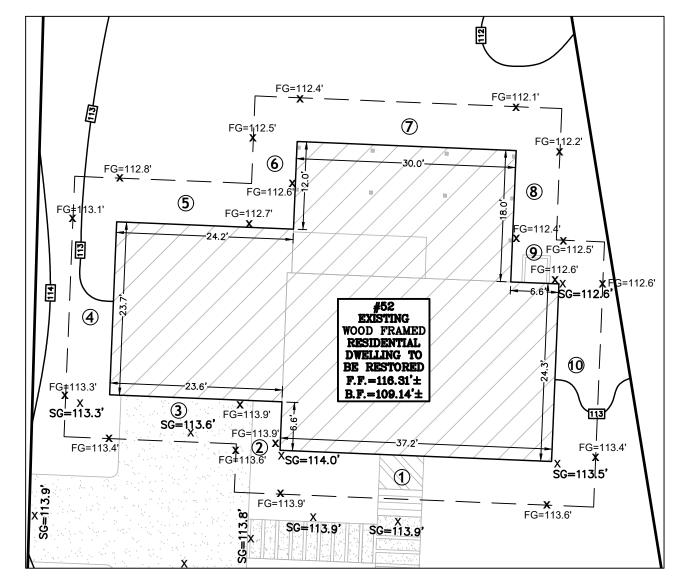
PROPOSED WALL



PROPOSED PROFILE NOT TO SCALE

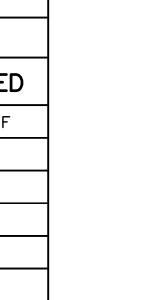
\* MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT





ZONING LEGEND  ZONING DISTRICT: SINGLE-RESIDENCE 3 (LOT CREATED AFTER DEC.7,1953			
REQUIRED PROPOSED			
MIN. AREA	10,000 S.F	8,098 ± S.F	
MIN. FRONTAGE	80'	89.63'	
MIN. YARD FRONT	30'	27.7'*	
SIDE	10'	7.6'*	
REAR	15' 27.6'		
MAX. LOT COV.	30% 24.78%		
MIN. OPEN SPACE	50% 64.18%		
MAX. BLDG. HEIGHT	36'	35.71'	

\* EXISTING



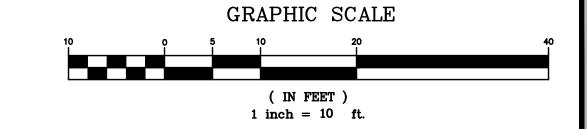
LOT COV.

ROOF: 2,007.00 S.F

 $\frac{2,007.00 \text{ S.F}}{\text{LOT AREA} : 8,098 SF}$  X 100 = 24.78%

### OPEN SPACE

LANDSCAPE: 5,012.00 S.F + WALKWAY: 185.0 S.F  $\frac{5,197.00 \text{ S.F}}{\text{LOT AREA}: 8,098 \text{ SF}} \times 100 = 64.18\%$ 



LOCUS MAP

(NOT TO SCALE)



Spruhan Engineering, P.C.

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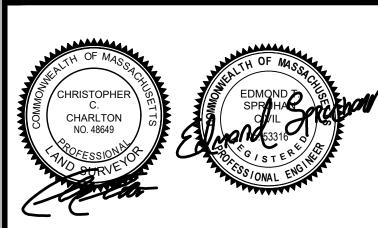
52 ELINOR ROAD NEWTON MASSACHUSETTS

CIVIL PLAN

## REVISION BLOCK

	<i>/ I \</i>
DESCRIPTION	DATE
	i

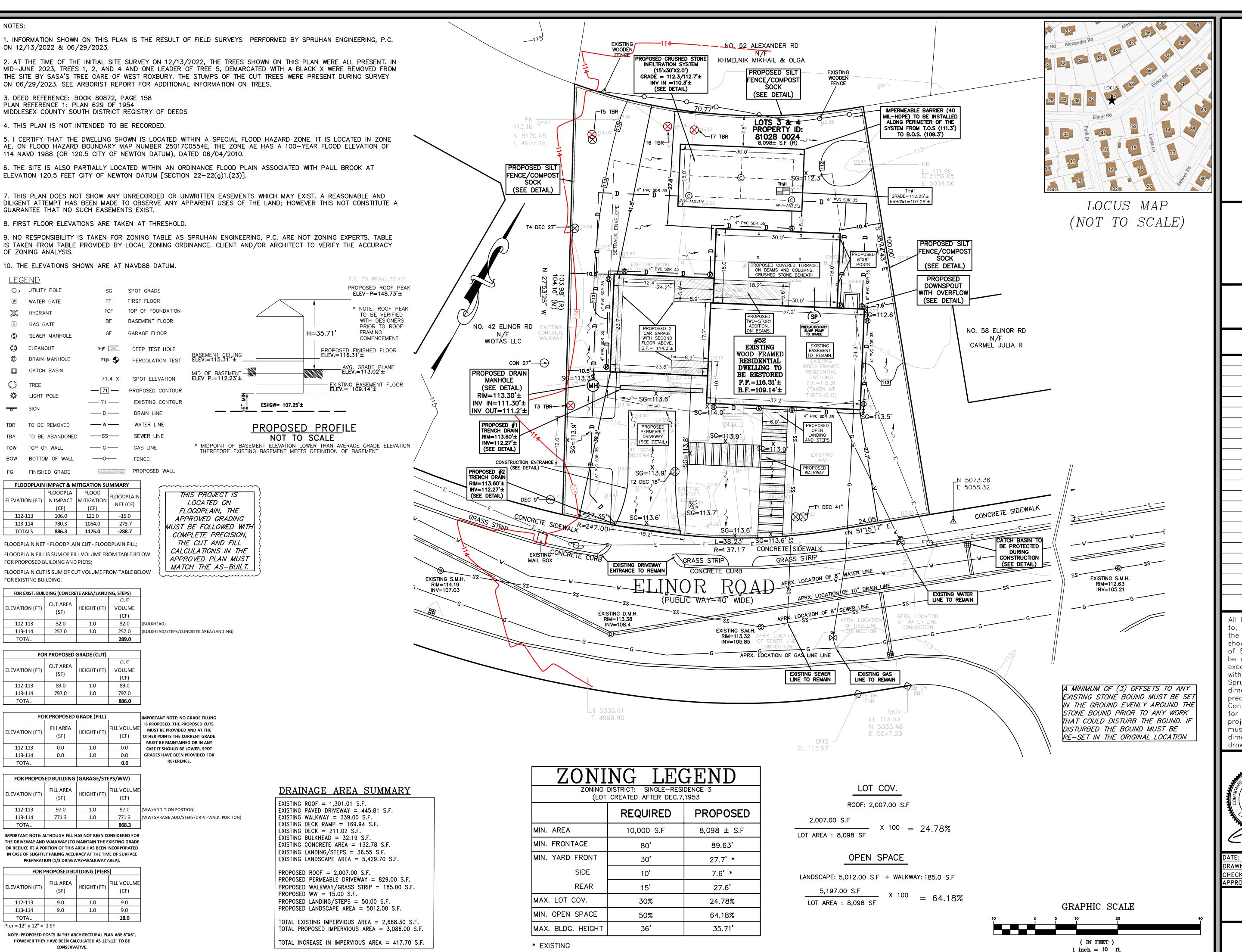
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DATE:	04/30/2024
DRAWN BY:	0.G
CHECKED BY:	c.c
APPROVED BY:	E.S

PROPOSED ZONING, LAYOUT AND MATERIAL

SHEET 2 OF 5



Spruhan Engineering, P.C.

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Email:edmond@spruhaneng.com

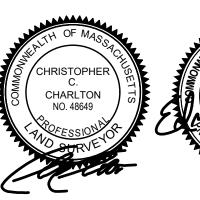
52 ELINOR ROAD NEWTON MASSACHUSETTS

CIVIL PLAN

### REVISION BLOCK

DESCRIPTION	DATE

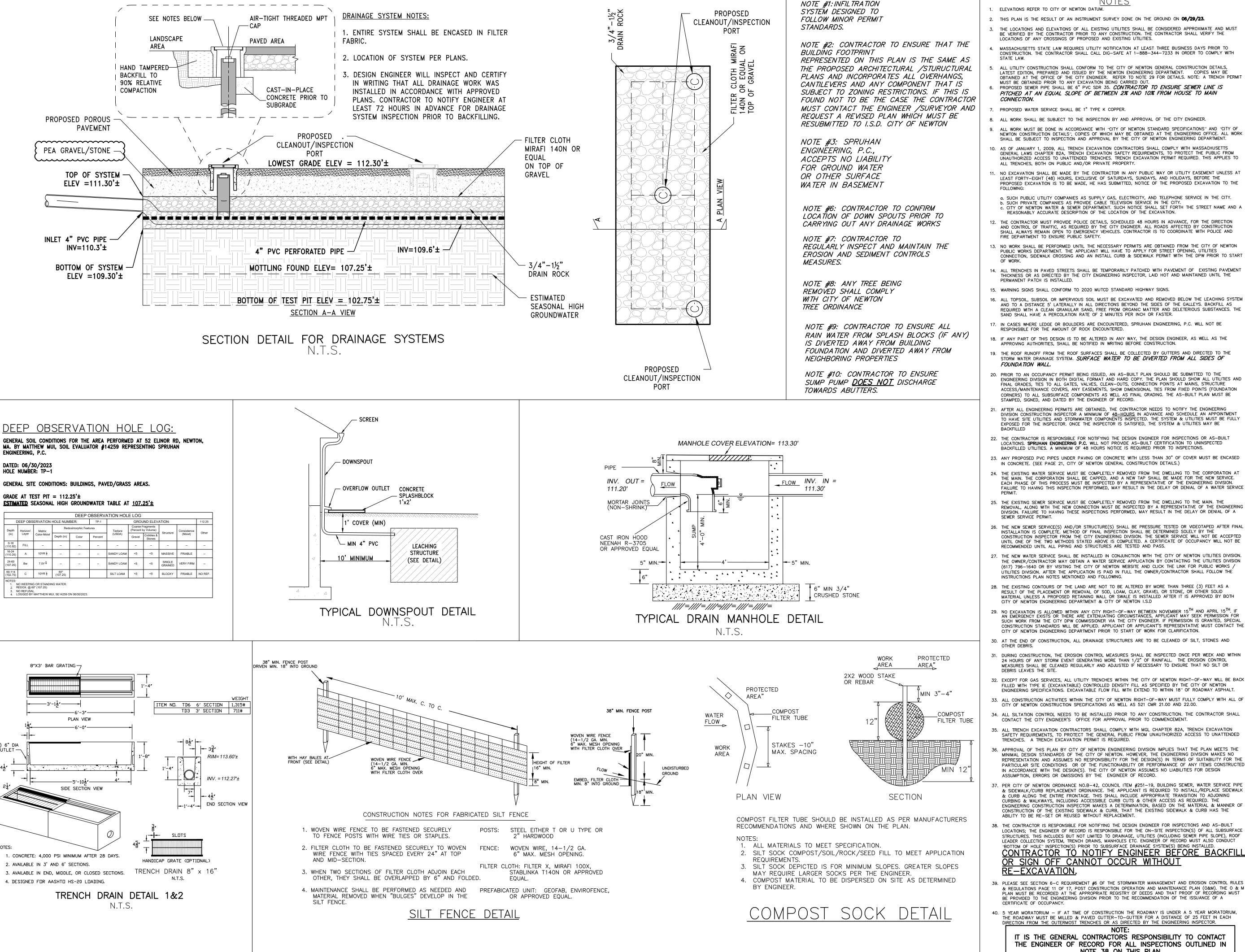
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ATE:	04/30/2024
RAWN BY:	0.G
HECKED BY:	c.c
PPROVED BY:	E.S

CIVIL PLAN

SHEET 3 OF 5



- ELEVATIONS REFER TO CITY OF NEWTON DATUM.
- 2. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND ON 06/29/23.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 1-888-344-7233 IN ORDER TO COMPLY WITH
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS,
- OBTAINED AT THE OFFICE OF THE CITY ENGINEER. REFER TO NOTE 29 FOR DETAILS. NOTE: A TRENCH PERMIT MUST BE OBTAINED PRIOR TO ANY EXCAVATION BEING CARRIED OUT PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35. CONTRACTOR TO ENSURE SEWER LINE IS PITCHED AT AN EQUAL SLOPE OF BETWEEN 2% AND 10% FROM HOUSE TO MAIN
- PROPOSED WATER SERVICE SHALL BE 1" TYPE K COPPER.
- 8. ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
- ALL WORK MUST BE DONE IN ACCORDANCE WITH "CITY OF NEWTON STANDARD SPECIFICATIONS" AND "CITY OF NEWTON CONSTRUCTION DETAILS", COPIES OF WHICH MAY BE OBTAINED AT THE ENGINEERING OFFICE. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF NEWTON ENGINEERING DEPARTMENT.
- 10. AS OF JANUARY 1, 2009, ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO
- . NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS. AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE, HE HAS SUBMITTED, NOTICE OF THE PROPOSED EXCAVATION TO THE
- a SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY, AND TELEPHONE SERVICE IN THE CITY. b. SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY. c. CITY OF NEWTON WATER & SEWER DEPARTMENT. SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
- 2. THE CONTRACTOR MUST PROVIDE POLICE DETAILS, SCHEDULED 48 HOURS IN ADVANCE, FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER. ALL ROADS AFFECTED BY CONSTRUCTION SHALL ALWAYS REMAIN OPEN TO EMERGENCY VEHICLES. CONTRACTOR IS TO COORDINATE WITH POLICE AND FIRE DEPARTMENT TO ENSURE PUBLIC SAFETY.
- 13. NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, UTILITIES CONNECTION, SIDEWALK CROSSING AND AN INSTALL CURB & SIDEWALK PERMIT WITH THE DPW PRIOR TO START
- 14. ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH PAVEMENT OF EXISTING PAVEMENT THICKNESS OR AS DIRECTED BY THE CITY ENGINEERING INSPECTOR, LAID HOT AND MAINTAINED UNTIL THE
- 15. WARNING SIGNS SHALL CONFORM TO 2020 MUTCD STANDARD HIGHWAY SIGNS.
- 16. ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING SYSTEM AND TO A DISTANCE 5' LATERALLY IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS. BACKFILL AS REQUIRED WITH A CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. THE
- 17. IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, SPRUHAN ENGINEERING, P.C. WILL NOT BE
- 18. IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE
- 19. THE ROOF RUNOFF FROM THE ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE STORM WATER DRAINAGE SYSTEM. SURFACE WATER TO BE DIVERTED FROM ALL SIDES OF
- 20. PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, TIES TO ALL GATES, VALVES, CLEAN-OUTS, CONNECTION POINTS AT MAINS, STRUCTURE ACCESS/MAINTENANCE COVERS, ANY EASEMENTS, SHOW DIMENSIONAL TIES FROM FIXED POINTS (FOUNDATION CORNERS) TO ALL SUBSURFACE COMPONENTS AS WELL AS FINAL GRADING. THE AS-BUILT PLAN MUST BE
- 21. AFTER ALL ENGINEERING PERMITS ARE OBTAINED, THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DIVISION CONSTRUCTION INSPECTOR A MINIMUM OF 48-HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE SITE UTILITIES AND STORMWATER COMPONENTS INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY BE
- 22. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. SPRUHAN ENGINEERING P.C. WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.
- 23. ANY PROPOSED PVC PIPES UNDER PAVING OR CONCRETE WITH LESS THAN 30" OF COVER MUST BE ENCASED IN CONCRETE, (SEE PAGE 21, CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.)
- 24. THE EXISTING WATER SERVICE MUST BE COMPLETELY REMOVED FROM THE DWELLING TO THE CORPORATION AT THE MAIN. THE CORPORATION SHALL BE CAPPED, AND A NEW TAP SHALL BE MADE FOR THE NEW SERVICE. EACH PHASE OF THIS PROCESS MUST BE INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. FAILURE TO HAVING THIS INSPECTION PERFORMED, MAY RESULT IN THE DELAY OR DENIAL OF A WATER SERVICE
- 25. THE EXISTING SEWER SERVICE MUST BE COMPLETELY REMOVED FROM THE DWELLING TO THE MAIN. THE REMOVAL, ALONG WITH THE NEW CONNECTION MUST BE INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. FAILURE TO HAVING THESE INSPECTIONS PERFORMED, MAY RESULT IN THE DELAY OR DENIAL OF A
- INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE CITY ENGINEERING DIVISION. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL ALL PIPING AND STRUCTURES ARE TESTED AND PASS.
- 27. THE NEW WATER SERVICE SHALL BE INSTALLED IN CONJUNCTION WITH THE CITY OF NEWTON UTILITIES DIVISION. THE OWNER/CONTRACTOR MAY OBTAIN A WATER SERVICE APPLICATION BY CONTACTING THE UTILITIES DIVISION (617) 796-1640 OR BY VISITING THE CITY OF NEWTON WEBSITE AND CLICK THE LINK FOR PUBLIC WORKS / DILLITIES DIVISION. AFTER THE APPLICATION IS PAID IN FULL THE OWNER/CONTRACTOR SHALL FOLLOW THE INSTRUCTIONS PLAN NOTES MENTIONED AND FOLLOWING.
- 28. THE EXISTING CONTOURS OF THE LAND ARE NOT TO BE ALTERED BY MORE THAN THREE (3) FEET AS A RESULT OF THE PLACEMENT OR REMOVAL OF SOD, LOAM, CLAY, GRAVEL OR STONE, OR OTHER SOLID MATERIAL UNLESS A PROPOSED RETAINING WALL OR SWALE IS INSTALLED AFTER IT IS APPROVED BY BOTH CITY OF NEWTON ENGINEERING DEPARTMENT & CITY OF NEWTON I.S.D.
- 29. NO EXCAVATION IS ALLOWED WITHIN ANY CITY RIGHT-OF-WAY BETWEEN NOVEMBER 15<sup>TH</sup> AND APRIL 15<sup>TH</sup>. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, APPLICANT MAY SEEK PERMISSION FOR SUCH WORK FROM THE CITY DPW COMMISSIONER VIA THE CITY ENGINEER. IF PERMISSION IS GRANTED, SPECIAL CONSTRUCTION STANDARDS WILL BE APPLIED. APPLICANT OR APPLICANT'S REPRESENTATIVE MUST CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.
- 30. AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND
- 31. DURING CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO SILT OR
- 32. EXCEPT FOR GAS SERVICES, ALL UTILITY TRENCHES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY WILL BE BACK FILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL AS SPECIFIED BY THE CITY OF NEWTON
- ENGINEERING SPECIFICATIONS. EXCAVATABLE FLOW FILL WITH EXTEND TO WITHIN 18" OF ROADWAY ASPHALT. 33. ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL OF
- CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- CONTACT THE CITY ENGINEER'S OFFICE FOR APPROVAL PRIOR TO COMMENCEMENT. 35. ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MGL CHAPTER 82A, TRENCH EXCAVATION
- SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. A TRENCH EXCAVATION PERMIT IS REQUIRED.
- 36. APPROVAL OF THIS PLAN BY CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATION AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONABILITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTION, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
- 37. PER CITY OF NEWTON ORDINANCE NO.B-42, COUNCIL ITEM #251-19, BUILDING SEWER, WATER SERVICE PIPE & SIDEWALK/CURB REPLACEMENT ORDINANCE. THE APPLICANT IS REQUIRED TO INSTALL/REPLACE SIDEWALK & CURB ALONG THE ENTIRE FRONTAGE. THIS SHALL INCLUDE APPROPRIATE TRANSITION TO ADJOINING CURBING & WALKWAYS, INCLUDING ACCESSIBLE CURB CUTS & OTHER ACCESS AS REQUIRED. THE ENGINEERING CONSTRUCTION INSPECTOR MAKES A DETERMINATION, BASED ON THE MATERIAL & MANNER OF CONSTRUCTION OF THE EXISTING SIDEWALK & CURB, THAT THE EXISTING SIDEWALK & CURB HAS THE ABILITY TO BE RE-SET OR REUSED WITHOUT REPLACEMENT.
- 38. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS AND AS-BUILT LOCATIONS; THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT NOT LIMITED TO DRAINAGE, UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES ETC. ENGINEER OF RECORD MUST ALSO CONDUCT CONTRACTOR TO NOTIFY ENGINEER BEFORE BACKFIL OR SIGN OFF CANNOT OCCUR WITHOUT RE-EXCAVATION.
- 39. PLEASE SEE SECTION 6-C REQUIREMENT #6 OF THE STORMWATER MANAGEMENT AND EROSION CONTROL RULES & REGULATIONS PAGE 11 OF 17, POST CONSTRUCTION OPERATION AND MAINTENANCE PLAN (0&M). THE 0 & M PLAN MUST BE RECORDED AT THE APPROPRIATE REGISTRY OF DEEDS AND THAT PROOF OF RECORDING MUST BE PROVIDED TO THE ENGINEERING DIVISION PRIOR TO THE RECOMMENDATION OF THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- 40. 5 YEAR MORATORIUM IF AT TIME OF CONSTRUCTION THE ROADWAY IS UNDER A 5 YEAR MORATORIUM, THE ROADWAY MUST BE MILLED & PAVED GUTTER-TO-GUTTER FOR A DISTANCE OF 25 FEET IN EACH DIRECTION FROM THE OUTERMOST TRENCHES OR AS DIRECTED BY THE ENGINEERING INSPECTOR.

IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO CONTACT THE ENGINEER OF RECORD FOR ALL INSPECTIONS OUTLINED IN

NOTE 38 ON THIS PLAN



Spruhan Engineering, P.C.

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Tel: 617-816-0722 Email:edmond@spruhaneng.com

52 ELINOR ROAD NEWTON *MASSACHUSETTS* 

CIVIL PLAN

REVISION BLOCK

DESCRIPTION DATE

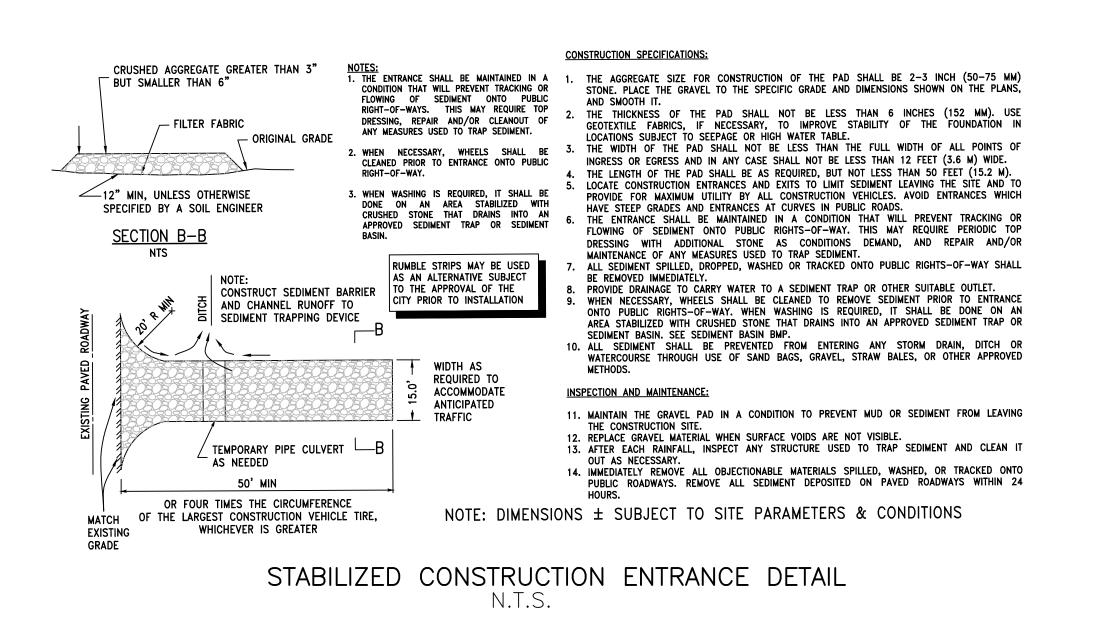
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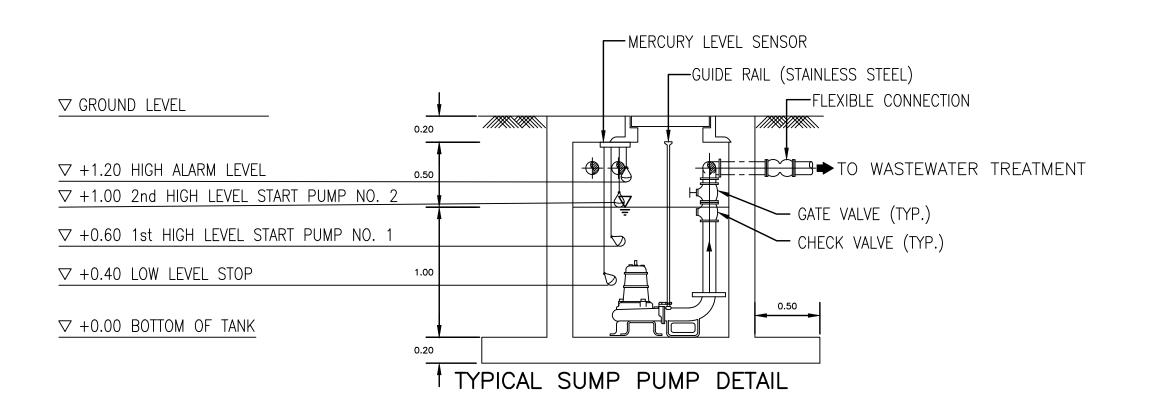


DATE:	04/30/2024	
DRAWN BY:	0.G	
CHECKED BY:	c.c	
APPROVED BY:	E.S	

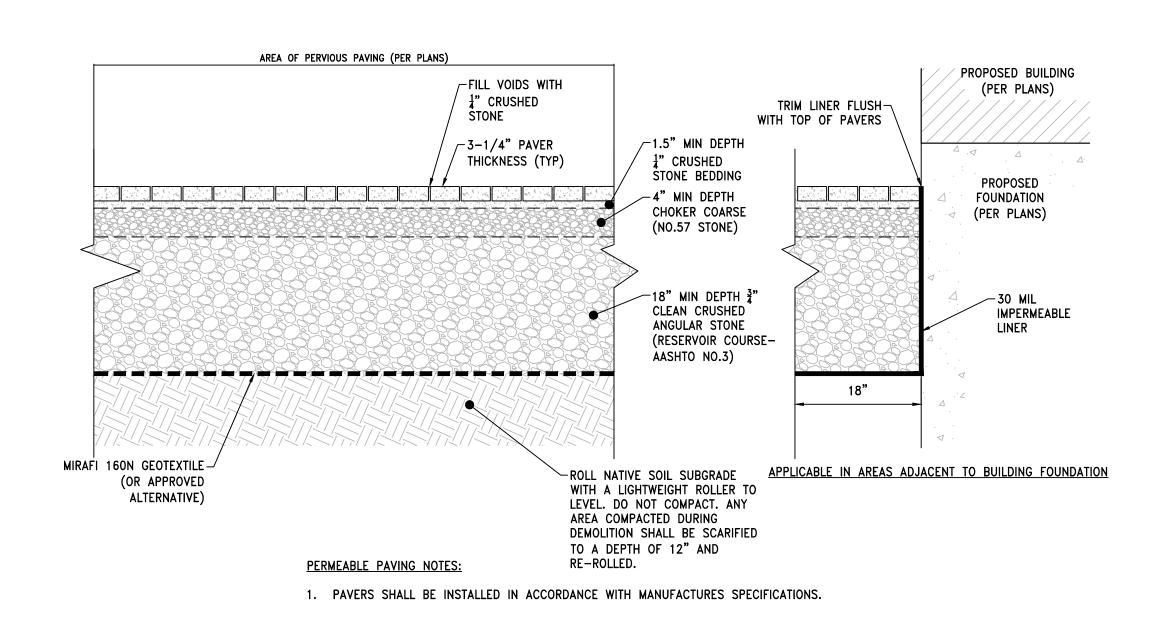
**DETAILS** 

SHEET 4 OF 5

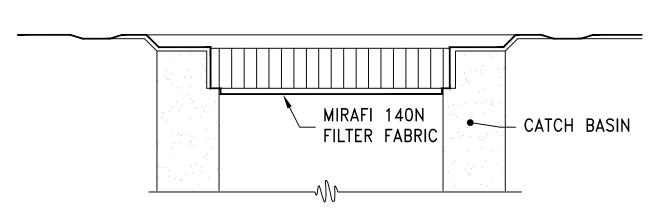




# SUMP PUMP



PERVIOUS PAVER DETAIL
SCALE: NOT TO SCALE



### **INSPECTION AND MAINTENANCE:**

- 1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- 2. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 0.5" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
- 3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

CATCH BASIN PROTECTION



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NEWTON, MA 02458

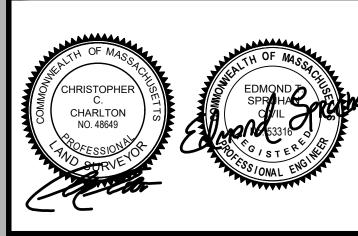
52 ELINOR ROAD NEWTON MASSACHUSETTS

CIVIL PLAN

REVISION BLOCK

DESCRIPTION	DATE

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*DETAILS* 

SHEET 5 OF 5