



Land Use Committee Report

City of Newton In City Council

Tuesday, November 12, 2024

Present: Councilors Kelley (Chair), Block, Downs, Farrell, Kelley, Laredo, Leary, and Lobovits

Also Present: Councilors Malikie, Oliver, and Wright

City Staff Present: Chief Planner Katie Whewell, Assistant City Solicitor Jonah Temple, Senior Planner Cat Kemmett, Deputy Director of Planning and Development Jennifer Caira, and Senior Planner Joseph Iadonisi

All Special Permit Plans, Designs, Plan Memoranda and Application Materials, both past and present, can be found at the following link: [NewGov - City of Newton Land Use Committee Special Permit Search](#).

The full video of the November 12, 2024, Land Use Meeting can be found at the following link: [November 12, 2024 Land Use Meeting](#)

- #425-24** **Class 2 Auto Dealers License**
REGANS INC.
2066 Commonwealth Avenue
Auburndale, MA 02466
<https://newtonma.viewpointcloud.com/records/847331>
- #426-24** **Class 2 Auto Dealers License**
NEWTON AUTO GROUP, INC.
182 Brookline Street
Newton, MA 02459
<https://newtonma.viewpointcloud.com/records/847314>
- #427-24** **Class 2 Auto Dealer License**
NEWTON CENTRE SHELL INC
1365 Centre Street
Newton, MA 02459
<https://newtonma.viewpointcloud.com/records/847045>
- #428-24** **Class 2 Auto Dealer License**
JACOB & ASSOCIATES
1232 Washington Street

Newton, MA 02465

<https://newtonma.viewpointcloud.com/records/847191>

#429-24

Class 2 Auto Dealer License

VELOCITY MOTORS

14 Hawthorn Street

Newton, MA 02458

<https://newtonma.viewpointcloud.com/records/847035>

#430-24

Class 2 Auto Dealer License

STAN'S AUTOMOTIVE INC.

D/B/A NEWTON AUTOMOTIVE and SALES

249 Centre Street

Newton Corner, MA 02458

<https://newtonma.viewpointcloud.com/records/847114>

#431-24

Class 2 Auto Dealers License

MAP DEVELOPMENT & INVESTMENTS INC

d/b/a CHRISTIAN TAPIA/MASTER USED CARS

175 North Street

Newton, MA 02460

<https://newtonma.viewpointcloud.com/records/847082>

#432-24

Class 2 Auto Dealer License

NEWTON TRADE CENTER ASSOCIATES INC

103 Adams Street

Newton, MA. 02458

<https://newtonma.viewpointcloud.com/records/847014>

Action:

Land Use Approved 8-0

Note: Chair Kelley introduced the above auto dealer's licenses, and confirmed with the clerk there were no outstanding issues with any of the properties. Councilor Lucas motioned to approve which passed unanimously.

Chairs Note: Docket item #433-24 is for a license for the remainder of this year, with docket item #434-24 being for next year

#433-24

Class 2 Auto Dealer License

Grand Auto Sales

D/B/A KG MOTORS LLV

1235 Washington Street

Newton MA 02465

<https://newtonma.viewpointcloud.com/records/845657>

#434-24

Class 2 Auto Dealer License

Grand Auto Sales

1235 Washington Street
Newton MA 02465

<https://newtonma.viewpointcloud.com/records/845657>

Action: **Land Use Approved 8-0**

Note: Chair Kelley introduced items #433-24 and #434-24 which are auto dealer's licenses, and confirmed with the clerk there were no outstanding issues with the property. The clerk noted there has been a change in ownership and item #433-34 is for the remainder of this year, and item #343-23 is for the license for next year. Councilor Lucas motioned to approve which passed unanimously.

#424-24 Request for Extension of Time to Exercise Special Permit #263-23 at 373 Lexington Street

JON HOLLINGSWORTH petition for EXTENSION OF TIME to December 4, 2026 to convert the existing nonconforming two-family dwelling into a single-family dwelling and to convert the accessory building into a second single-family dwelling where the City Council determines the dimensional controls at 373 Lexington Street, Ward 4, Auburndale, on land known as Section 41 Block 17 Lot 12, containing approximately 10,030 sq. ft. of land in a district zoned SINGLE RESIDENCE 3. Ref: 7.3.3, 3.4.1, 7.8.2.C.2, 3.1.3 of Chapter 30 of the City of Newton Rev Zoning Ord, 2017.

<https://newtonma.viewpointcloud.com/records/796829>

Action: **Land Use Approved 8-0**

Note: Councilor Kelley introduced item #424-24.

A councilor asked for criteria that Councilors should consider when contemplating an extension of time.

Assistant City Solicitor Jonah Temple noted that the criteria is for good cause which is up to the discretion of the committee. Mr. Temple noted that historically the committee has looked at whether or not there's a reasonable explanation for the delay in commencing construction.

A councilor questioned if a reasonable explanation was provided.

Chief Planner Katie Whewell noted a legal proceeding between the two property owners, but her main communication with the petitioner has been around the extension of time process.

Councilor Block motioned to approve, which passed unanimously.

#420-24 Request to exceed FAR at 16 Chaske Avenue

JOSH & KATIE RISSMILLER petition for SPECIAL PERMIT/SITE PLAN APPROVAL to raze the raze the detached garage and construct a two-story rear addition

exceeding maximum FAR at 16 Chaske Avenue, Ward 4, Auburndale, on land known as Section 41 Block 19 Lot 20, containing approximately 5,253 sq. ft. of land in a district zoned SINGLE RESIDENCE 3 Ref: Sec. 7.3.3, 3.1.3, 3.1.9 of the City of Newton Rev Zoning Ord, 2017.

Action: **Land Use Approved 8-0; Public Hearing Closed 8-0**

Note: Councilor Kelley introduced item #420-24. Additional back-up can be found at the following link: [Record SP-24-56 - ViewPoint Cloud](#) . Ms. Whewell noted that the committee should pay particular attention to the location of the addition, presence of the house from the street, and overall context of the neighborhood.

A councilor asked planning what is meant in the planning memo that there is no significant regrading being done on the lot.

Ms. Whewell noted that the existing grade is relatively the same as the proposed average grade.

Senior Planner Joseph Iadonisi noted that any grading would be around the foundation.

Jacob Gadbois, 77 Main Street, Medway is what heard representing the clients, noted there is no intended change in grade, with it being 6 inches or less. He presented street views of the addition. He noted the required FAR is .48, but they are requesting .60. He noted support from numerous neighbors in the neighborhood. They will removing the existing garage and will be adding the addition to the rear.

The public hearing was opened. No member of the public was present to speak on the item.

A councilor questioned if the neighbors were spoken to about the project.

Mr. Gadbois noted the owners met with abutters in the neighborhood. The Chair asked if the letters from the neighbors were received and part of the back-up. The letters are attached to this report.

Councilors voiced support for the project.

The public hearing was closed.

The committee discussed the draft council order, and Councilor Block motioned to approve, which passed unanimously.

#329-24 Request to waive two parking stalls at 15-17 Playstead Road
YANTING AND ZHEN SUN petition for SPECIAL PERMIT/SITE PLAN APPROVAL to waive two parking stalls at 15-17 Playstead Road, Ward 1, Newton, on land

known as Section 71 Block 37 Lot 05, containing approximately 5,101 sq. ft. of land in a district zoned MULTI RESIDENCE 1. Ref: Sec. 7.3.3, 5.1.4, 5.1.13 of Chapter 30 of the City of Newton Rev Zoning Ord, 2017.

Land Use Held 8-0; Public Hearing Opened on 9/10/2024

Action: Land Use Approved 7-1 (Councilor Farrell Opposed); Public Hearing Closed 8-0

Note: Councilor Kelley introduced item #329-24. Additional back-up can be found at the following link: [Record SP-24-45 - ViewPoint Cloud](#) .

Ms. Whewell noted that there have been no changes to the site plan or petition. The petitioner uploaded documentation that they are in compliance with the short term rental ordinance.

Rob Pellegrini, 63 Main Street, Bridgewater, attorney, on behalf of the petitioners, noted the owners have submitted two affidavits to alleviate concerns about the short term rental violations. He noted due to the steep grade on the property this is the only way to add increased living area in the home. He noted the remaining area in the driveway is more than what is required.

A councilor questioned if the garage has already been converted into living area and if they would be going from three required spots to two. Mr. Pellegrini noted that is correct.

A councilor questioned if the retaining wall at the rear of the property was there or was just built.

Yanting Sun, the petitioner, noted the retaining wall was present when they bought the property.

A councilor asked for clarification on the project and if the affidavits submitted were saying that the owners would no longer use the 2nd family unit as an Airbnb.

Mr. Iadonisi noted that there was a previously existing recorded variance allowing this to be a 2 family without the lot area per unit required, locking in the site plans allowing them to have three parking spaces. Approval of this special permit would allow them to have two spaces. The affidavits states that they have ceased using the second unit as an Airbnb and that if they will use it in the future as an Airbnb, it will be done by going through the proper channels and registering it.

Mr. Sun noted that the garage was first built as a basement and the converted into a garage. Due to the difficulty of getting into the garage it has been used as storage for the last 30 years.

A Councilor questioned if the 2 units on the property are being occupied, and if one space is for each of the units

Mr. Sun noted his family occupies one unit with the other unit being occupied by a long-term renter, and that they both only have one car. He noted at times you could park 4 smaller cars in the driveway, as they are a couple feet short of having 4 legal parking spaces.

Mr. Pelligrini noted that legally they don't have room for four 19 foot parking spots.

A councilor noted support and that this is close to bus routes that goes into downtown Boston, so you can get around without a car.

A councilor questioned if there is a door to get into the former garage and if they park in the driveway would it block the door. Mr. Sun noted they could still get to the door.

The committee discussed the draft council order. A councilor noted the section about having three cars with them hanging onto the sidewalk should be removed so it is clear there are only two parking stalls at the location, which will be updated. Councilor Leary motioned to approve, which passed 7-1 (Councilor Farrell Opposed).

273-24 Request to Rezone 2 parcels to Multi Residence 1

RIVER STREET DEVELOPMENT LLC petition for SPECIAL PERMIT/SITE PLAN APPROVAL to rezone 2 parcels as follows: 329-331 River Street (Section 44 Block 15 Lot 11) and 335 River Street (Section 44 Block 15 Lot 12) from SINGLE RESIDENCE 3 to MULTI RESIDENCE 1.

Land Use Committee Held 7-0; Public Hearing Opened on 07/09/24

Action: Land Use Held; Public Hearing Continued

#274-24 Request to allow six attached single-family dwellings in three buildings and associated parking waivers at 329-331 River Street and 335 River Street

RIVER STREET DEVELOPMENT LLC petition for SPECIAL PERMIT/SITE PLAN APPROVAL to raze the existing dwellings and combine the two lots for the construction of six attached single-family dwellings in three separate buildings with associated parking waivers at 329-331 River Street and 335 River Street, Ward 4, West Newton, on land known as Section 44 Block 15 Lots 11 and 12, containing approximately 28,534 sq. ft. of land in a district zoned SINGLE RESIDENCE 3 (329-331 River Street and 335 River Street, to be rezoned to MULTI RESIDENCE 1). Ref: Sec. 7.3.3, 3.4.1, 5.1.7.A.2, 5.1.8.B.2, 5.1.8.C.2, 5.1.8.D.1, 5.1.10.A, 5.1.13 of the City of Newton Rev Zoning Ord, 2017.

Land Use Committee Held 7-0; Public Hearing Opened on 07/09/24

Action: Land Use Held; Public Hearing Continued

Note: Councilor Kelley introduced items #273-24 and #274-24 which will be taken up together. Additional back-up can be found at the following link: [Record RZ-24-4 - ViewPoint Cloud](#) and [Record SP-24-31 - ViewPoint Cloud](#) .

Ms. Whewell noted that the committee should pay attention to the revised materials around parking, landscaping, grading, and retaining walls. She noted a correction from the memo that parking stalls along the driveway are not tandem but are parallel requiring relief for being undersized.

Terry Morris, attorney, on behalf of the petitioners, stated in regard to the zone change this would create a transition from Business 2 to the west to Single Residence 3 to the north and east. He noted the Planning and Development Board recommended the proposed zone change, and noted this would not be spot zoning. He noted a lot of zoning changes in communities happen parcel by parcel instead of changes to zoning to an entire area. He noted the retaining walls are necessary due to the topography of the area. In regard to the grade change, this was done to ensure flow of water and to ensure compliance with the stormwater ordinance. It was noted by engineering that this would improve water quality and quantity coming from the site when compared to existing conditions. In terms of parking, there would be two spaces per unit with 4 visitor parking spaces. The parking stalls would be made of grass blocks, and all other pavers are permeable. He noted there would be a snow storage area in the back of each of the visitor stalls. All replacement trees have been approved by the tree warden, with 60 trees being planted. He noted the by right option would be two large houses, and this would result in 6 town houses that are smaller in size. He noted positive reactions when the project went in front of the Urban Design Commission.

The public hearing was opened.

Margaret Ward, 957 Washington Street, raised concern about changing the zone for this project and felt this parcel should stay as a Single Residence 3 zone.

Fran Yerardi, 15 Oak Avenue, noted he was opposed to changing the zone of this parcel, and feels this would set a precedent for other developers that will request zone changes.

A councilor asked for clarification of spot zoning.

Mr. Temple noted that spot zoning is very rare. It is reasonable and appropriate and legal to zone a specific parcel a specific zone for a specific project. If the City Council in its legislative capacity finds a valid public purpose the rezoning is permitted.

A councilor clarified that the rezone is being requested by the petitioner, not by the planning department.

Tim Feinstein, 49 Washburn Avenue, noted support for the project and having 6 smaller townhouses instead of two larger houses.

Marylee Belleville, 136 Warren Street, stated she felt there is no public benefit for this project.

Carolyn Kraft, 295 Dudley Road, noted concern about spot zoning.

Chris Markiewicz, 382 Wolcott Street, raised concern that this would set precedent for other parcels on River Street to rezone their properties.

A councilor inquired if there was a waiver for the turning angle and about access for emergency vehicles. This councilor also asked if there was a parking waiver to allow parking right next to the building. Mr. Morris noted there isn't a waiver for a turning angle, and they meet requirements for access by emergency vehicles. Mr. Morris noted there is a waiver to allow parking next to the building.

A councilor asked why there is a rule about not parking close to a building, with Ms. Whewell noting while being unsure of the exact reason, she expects that it is done so the door can open.

A councilor asked for clarification on the lighting requirement.

Ms. Whewell noted that when looking at parking on the site overall because of the number of stalls, it is treated like a large parking lot.

A councilor noted this requirement often treats parcels like they are a commercial parking lot.

A councilor asked for clarification if spot zoning designation could be avoided if there was a public benefit to the rezoning, with Mr. Temple noting that was correct.

A councilor voiced concern that allowing too much rezoning would mean that you could have parcels in a neighborhood all be zoned differently instead of having some consistency in neighborhoods.

Ms. Whewell noted when looking at projects, the zones in the area of the potential rezoned parcel should be considered.

A councilor asked what the zones of the properties were surrounding this parcel.

Ms. Whewell noted that the parcel to the west in Business with properties to the north, and northeast being Single Residence 3.

A councilor voiced support for smaller units than two by right units here, but has hesitation about rezoning specific parcels, and instead would like to see rezoning throughout the city. This Councilor asked how the 4 visitor parking spaces will be managed and inquired about height and massing.

A councilor noted a preference for zoning changes to go through the Zoning and Planning Committee or have ZAP members at the Land Use committee meeting to provide their guidance. Feels special permits can only be considered once the zone is determined.

A councilor noted that previous rezones approved by the committee had affordable housing as a component of the project being a public benefit. This councilor does not see a public benefit with this project as there is no affordable housing being provided. In terms of changing the grade, this councilor voiced displeasure with the height of the building and that there has been no attempt to lower the height of the building since the last meeting. This councilor cannot support the rezone or special permit.

A councilor asked about what the height of the first floor is from the sidewalk.

Ms. Whewell noted the first floor is 6 feet higher from the top of the retaining wall.

A councilor raised concern about the height since the first floor will be 9 feet higher from the sidewalk. Feels overall this would help the city meet its goals of providing more housing.

Councilors voiced concern about the massing of the building and that the size of the building is 21% bigger than what is allowed in Single Residence 3 zone. Would like to see two units on each of these lots using the ADU ordinance.

Councilors expressed that this would not be a stepdown for houses but would result in large buildings next to them when compared to what is there now.

A Councilor questioned if the full council rejects this proposal, would the petitioners be able to bring the project back before Land Use.

Mr. Temple noted that they would have to look at the changes, and if there are changes it could be brought before Land Use. He also noted the Council could suspend the rules and could bring a similar project in front of Land Use.

Mr. Morris noted if the project does not get approved, they would move forward with the by right option.

Alec Polnarev the petitioner, expressed disappointment that the proposal might be denied.

Some councilors expressed hope that the project could be held so that issues with the project could be resolved and prefers to not to see a by right building on the parcels.

Councilor Block motioned to close the public hearings and deny both item 273-24 and item 274-24.

The motion to close the public hearing failed 4-4 (Councilors Downs, Kelley, Leary, and Lobovits) on item 273-24.

The motion to close the public hearing failed 4-4 (Councilors Downs, Kelley, Leary, and Lobovits) on item 274-24.

It was clarified by Mr. Temple that by not closing the public hearing the items are held.

The Committee adjourned at 9:30PM.

Respectfully Submitted,

Andrea Kelley, Chair

Applying for a special permit for a rear addition to this home, porch remodel, and removal of garage, which net increases the allowable FAR by 502 sq/ft.

Per 3.1.9(2), The front of the home shall remain modest with very minor updates to the front entry, staying consistent with the size and scale of existing neighborhood homes.



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

#420-24
(617) 796-1120
Telefax
(617) 796-1142
TDD/TTY
(617) 796-1089
www.newtonma.gov

Barney Heath
Director

Property Owner Authorization

Date: 9/23/24

Property Location: 16 Chaske Avenue
Number Street Address

Property Owner: Joshua Rissmiller 609-238-7079
Name Contact Number

Current Mailing Address: 16 Chaske Avenue
Number Street Name
Auburndale MA 02466
City/Town State Zip Code

- I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows:
1. This application for a land use permit or administrative approval for development on my (our) property is made with my permission.
 2. I (we) grant permission for officials and employees of the City of Newton to access my property for the purposes of this application.

NOTICE: The City of Newton’s staff may need access to the subject property during regular business hours and will attempt to contact the applicant/agent prior to any visit. Further, members of a regulatory authority of the City may visit the property as well.

The undersigned “Property Owner” assumes full responsibility for compliance with applicable codes, ordinances, regulations, and the City of Newton codes, procedures, and requirements.

I (we) give our permission for the applicant to submit this application as my agent (see Page 2).

NOTICE: The applicant/agent is the primary contact and may be any individual representing the establishment or property owner. The applicant/agent must also be legally authorized to make decisions on behalf of the property owner(s) regarding the application.

Property Owner/Owner Representative Signature:

Joshua Rissmiller
Joshua Rissmiller (Sep 23, 2024 16:36 EDT)

Applicant/Agent Information

Applicant/Agent: Jacob Gadbois
Name

Applicant/Agent Address:

77 Main St

Number	Street Name	
<u>Medway</u>	<u>02053</u>	
City/Town	State	Zip Code

Applicant/Agent Signature:





Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

#420-24

Telephone
(617) 796-1120
Telefax
(617) 796-1142
TDD/TTY
(617) 796-1089
www.newtonma.gov

Barney S. Heath
Director

ZONING REVIEW MEMORANDUM

Date: September 19, 2024

To: Anthony Ciccariello, Commissioner of Inspectional Services

From: Jane Santosuosso, Chief Zoning Code Official
Katie Whewell, Chief Planner for Current Planning

Cc: Josh and Katie Rissmiller, Applicants
Jacob Gadbois, Agent
Barney S. Heath, Director of Planning and Development
Jonah Temple, Deputy City Solicitor

RE: Request to exceed FAR

Applicant: Josh & Katie Rissmiller	
Site: 16 Chaske Avenue	SBL: 41019 0020
Zoning: SR3	Lot Area: 5,253 square feet
Current use: Single-family dwelling	Proposed use: No change

BACKGROUND:

The property at 16 Chaske Avenue consists of a 5,253 square foot lot improved with a single-family dwelling constructed in 1927 and a detached garage. The petitioners propose to raze the detached garage and construct a two-story rear addition, exceeding the maximum FAR, requiring a special permit.

The following review is based on plans and materials submitted to date as noted below.

- Zoning Review Application, prepared by Jacob Gadbois, agent, submitted 8/21/2024
- Plot Plan (existing), prepared by Land Planning, Inc, dated 3/2024
- Plot Plan (proposed), signed and stamped by Norman G. Hill, engineer, dated 7/17/2024
- Floor Plans and Elevations, prepared by Master Touch Design Build, dated 7/2/2024
- FAR calculations, signed and stamped by Norman G. Hill, engineer, dated 8/6/2024

ADMINISTRATIVE DETERMINATIONS:

1. The petitioner proposes to construct a two-story rear addition with additional basement space as well. The proposed additions increase the existing FAR from .43 to .60 where the maximum allowed per sections 3.1.3 and 3.1.9 is .48. A special permit is required to exceed the maximum FAR.

SR3 Zone	Required	Existing	Proposed
Lot Size	7,000 square feet	5,253 square feet	No change
Frontage	70 feet	50 feet	No change
Setbacks			
• Front	25 feet	16.4 feet	No change
• Side	7.5 feet	8.8 feet	No change
• Side	7.5 feet	7.4 feet	No change
• Rear	15 feet	46.9 feet	26 feet
Height	36 feet	Not provided	27.8 feet
Stories	2.5	2	No change
FAR	.48	.43	.60*
Max Lot Coverage	30%	24.5%	26%
Min. Open Space	50%	60.9%	61%

BOLD indicates a nonconformity

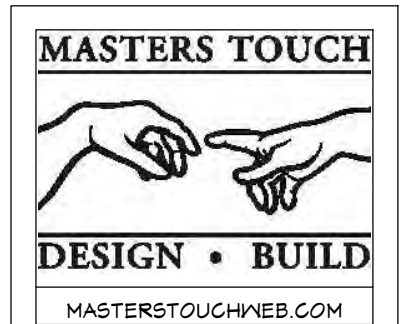
*Relief required

1. See "Zoning Relief Summary" below:

Zoning Relief Required		
<i>Ordinance</i>		<i>Action Required</i>
§3.1.3 §3.1.9	Request to exceed FAR	S.P. per §7.3.3

KATIE AND JOSHUA RISSMILLER

16 CHASKE AVENUE
AUBURNDALE, MA 02466



Revision Table	Number	Date	Revised By	Description

SHEET TITLE:
TITLE SHEET

ALL DIMENSIONS AND ASSUMPTIONS DEPICTED ON THESE DOCUMENTS ARE TO BE VERIFIED IN THE FIELD (V.I.F.) ANY DEVIATION FROM ACTUAL DIMENSIONS OR SITE CONDITIONS MAY HAVE AN EFFECT ON THIS DESIGN AND MAY AFFECT THE SCOPE AND PRICE OF THE PROJECT

CLIENT INFORMATION:
KATIE AND JOSHUA RISSMILLER
16 CHASKE AVENUE
AUBURNDALE, MA 02466

DRAWINGS PROVIDED BY:
MASTER TOUCH DESIGN BUILD
77 MAIN STREET
MEDWAY, MA 02053
masterstouchweb.com

DATE:
7/2/2024

SCALE:
AS NOTED

SHEET:
A-1

EXISTING FAR

BASEMENT	414 SF
FIRST FLOOR	906 SF
SECOND FLOOR	726 SF
GARAGE:	236 S.F.
TOTAL	2282 SF

PROPOSED FAR

BASEMENT	610 SF
FIRST	1298 SF
SECOND	1222 SF
GARAGE	0 SF
TOTAL	3128 SF

EXISTING	2282 SF
PROPOSED	3138 SF
ALLOWABLE	2626 SF
NET TOTAL AREA ADDED:	846 SF
NET TOTAL AREA OVER:	502 SF



Revision Table	Number	Date	Revised By	Description

SHEET TITLE:

PERSPECTIVE VIEWS

ALL DIMENSIONS AND ASSUMPTIONS DEPICTED ON THESE DOCUMENTS ARE TO BE VERIFIED IN THE FIELD (V.I.F.) ANY DEVIATION FROM ACTUAL DIMENSIONS OR SITE CONDITIONS MAY HAVE AN EFFECT ON THIS DESIGN AND MAY AFFECT THE SCOPE AND PRICE OF THE PROJECT

CLIENT INFORMATION:

KATIE AND JOSHUA RISSMILLER
16 CHASKE AVENUE
AUBURNDALE, MA 02466

DRAWINGS PROVIDED BY:

MASTER TOUCH DESIGN BUILD
77 MAIN STREET
MEDWAY, MA 02053
masterstouchweb.com

DATE:

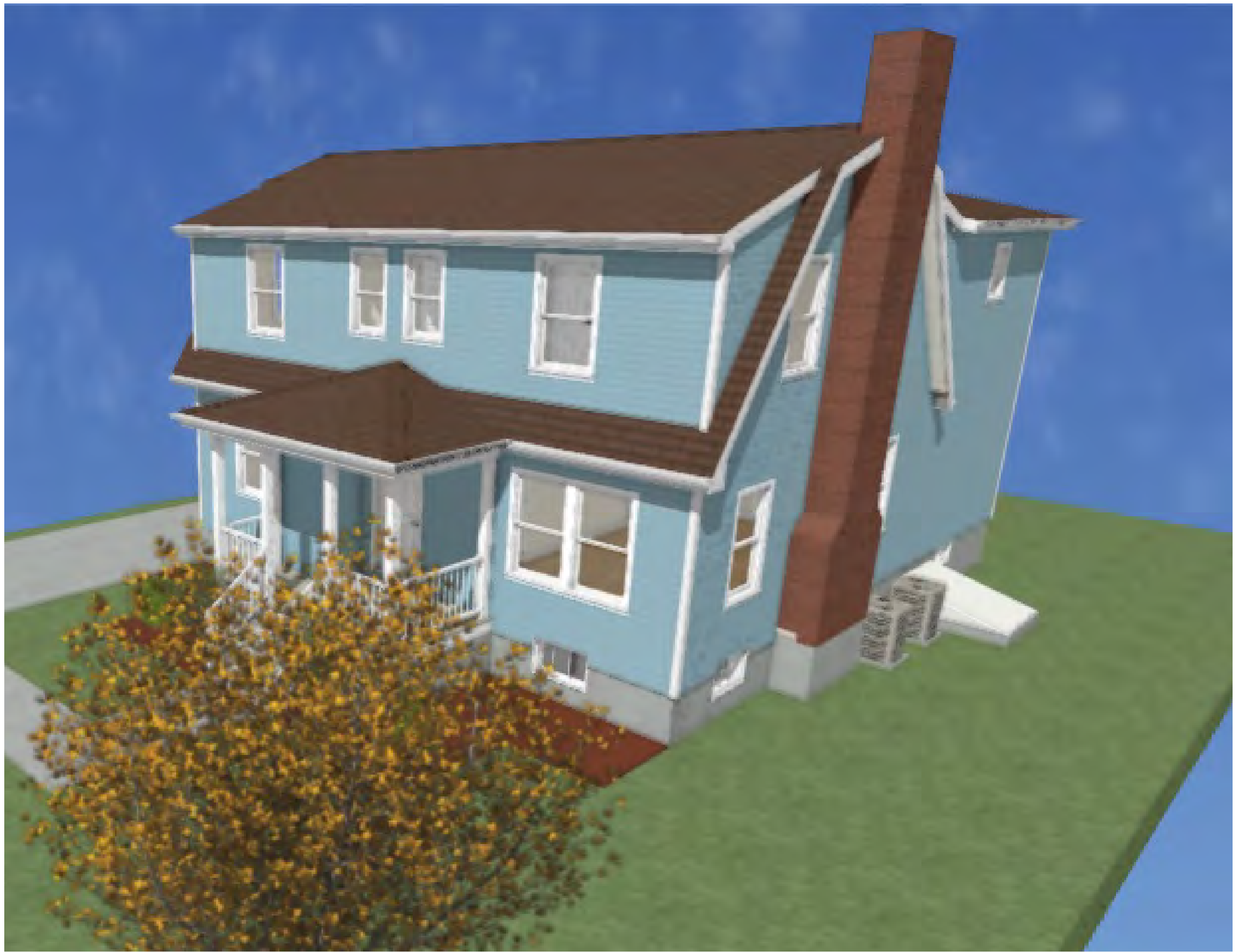
7/2/2024

SCALE:

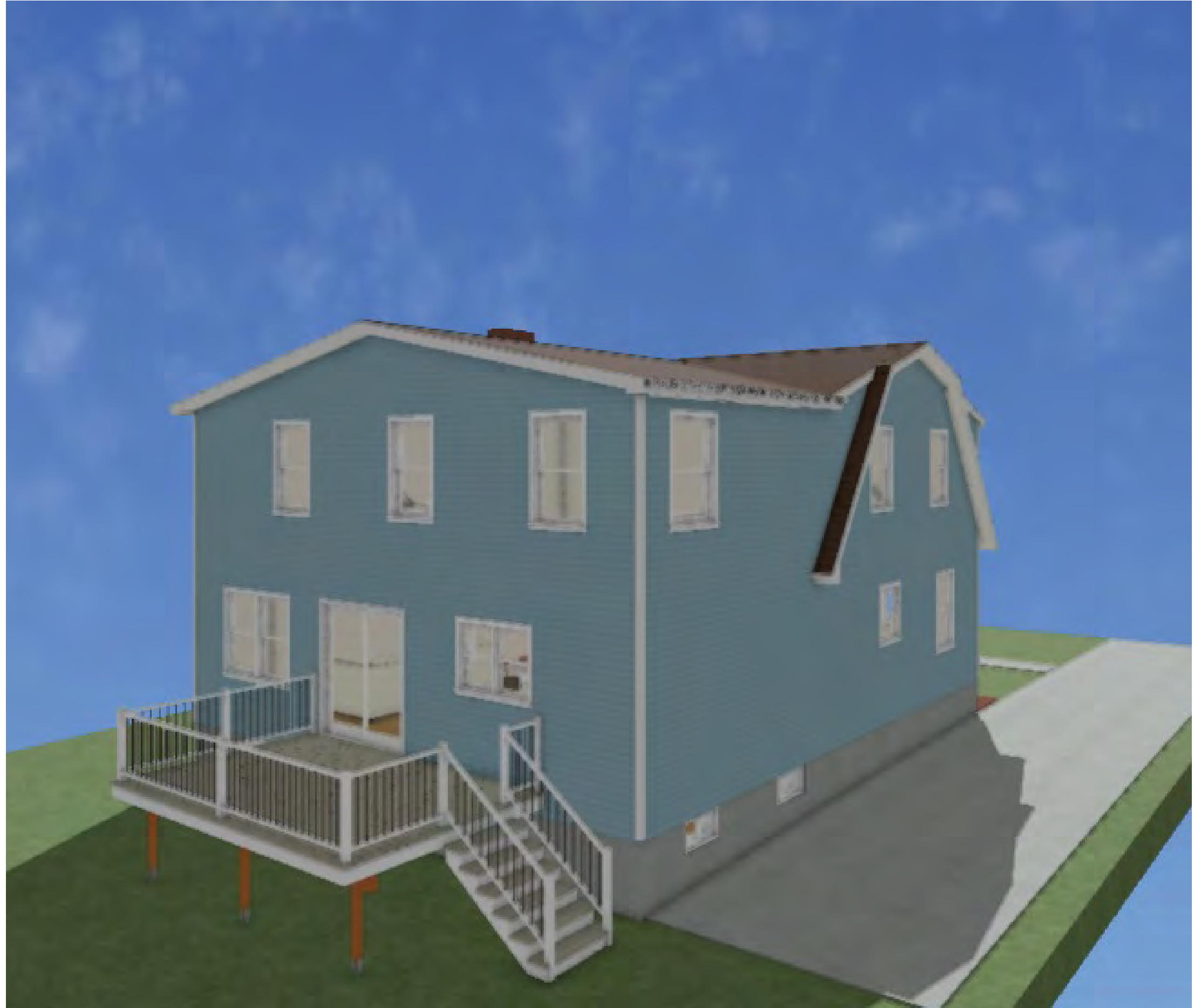
AS NOTED

SHEET:

A-2



Chaske Ave





Revision Table	Number	Date	Revised By	Description

SHEET TITLE:

ALL DIMENSIONS AND ASSUMPTIONS DEPICTED ON THESE DOCUMENTS ARE TO BE VERIFIED IN THE FIELD (V.I.F.) ANY DEVIATION FROM ACTUAL DIMENSIONS OR SITE CONDITIONS MAY HAVE AN EFFECT ON THIS DESIGN, AND MAY AFFECT THE SCOPE AND PRICE OF THE PROJECT

CLIENT INFORMATION:

KATIE AND JOSHUA RISSMILLER
16 CHASKE AVENUE
AUBURNDALE, MA 02466

DRAWINGS PROVIDED BY:

MASTER TOUCH DESIGN BUILD
77 MAIN STREET
MEDWAY, MA 02053
masterstouchweb.com

DATE:

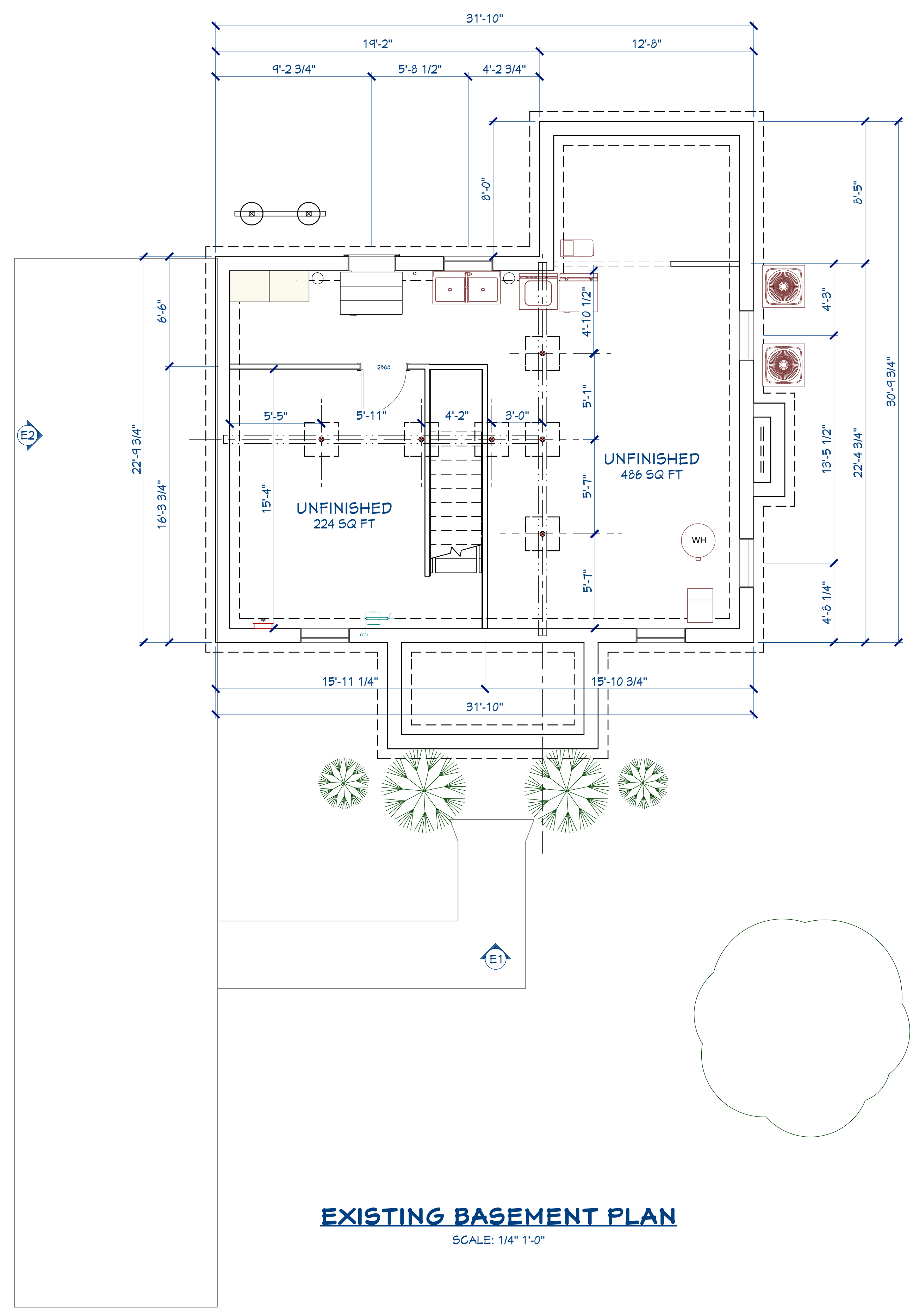
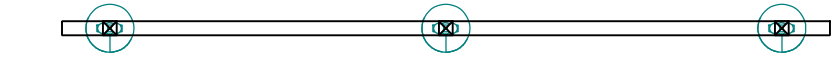
7/2/2024

SCALE:

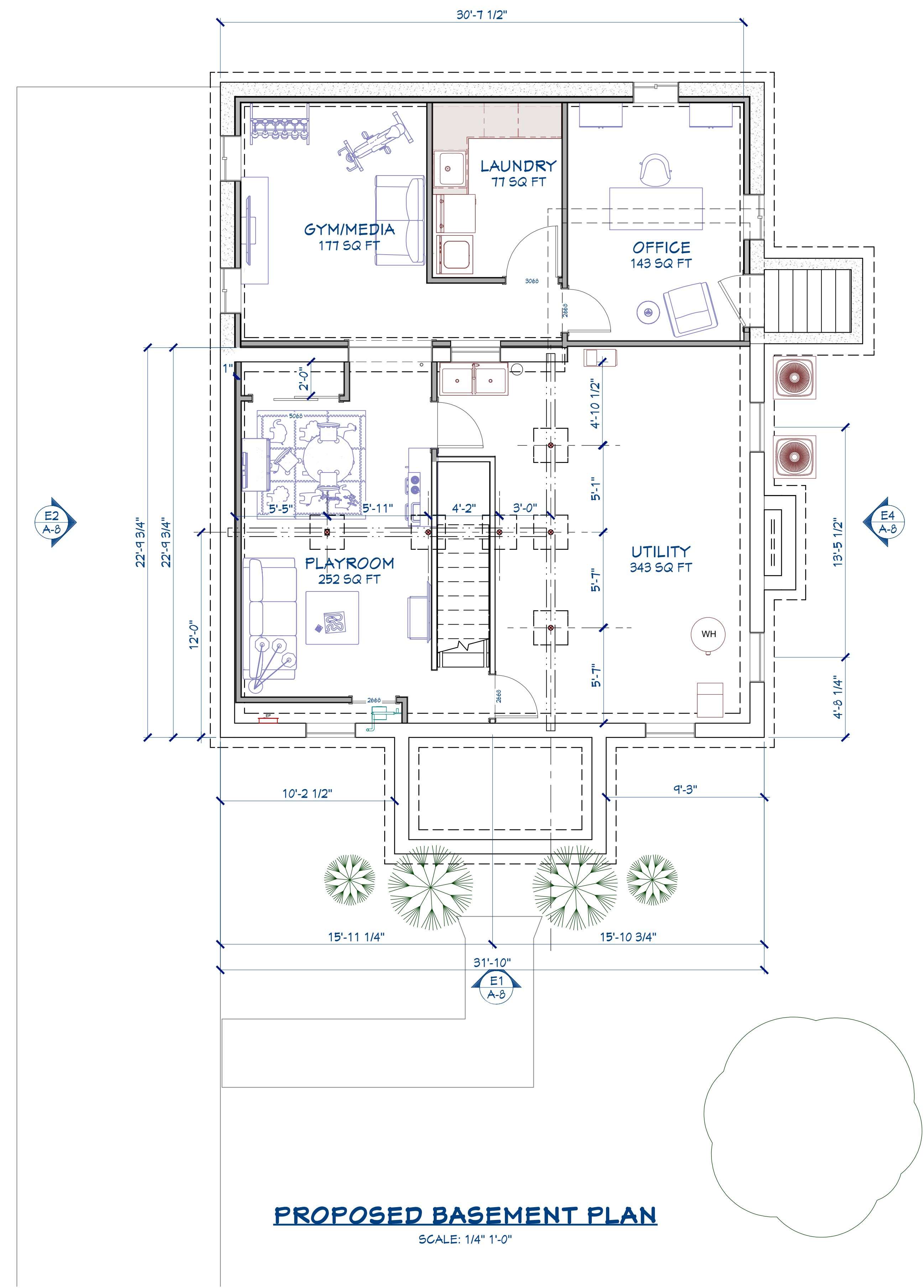
1/4" = 1'-0"

SHEET:

A-3



EXISTING BASEMENT PLAN
SCALE: 1/4" 1'-0"



PROPOSED BASEMENT PLAN
SCALE: 1/4" 1'-0"



Revision Table	Revised By	Description
Number	Date	

ALL DIMENSIONS AND ASSUMPTIONS DEPICTED ON THESE DOCUMENTS ARE TO BE VERIFIED IN THE FIELD (V.I.F.) ANY DEVIATION FROM ACTUAL DIMENSIONS OR SITE CONDITIONS MAY HAVE AN EFFECT ON THIS DESIGN, AND MAY AFFECT THE SCOPE AND PRICE OF THE PROJECT

CLIENT INFORMATION:

KATIE AND JOSHUA RISSMILLER
 16 CHASKE AVENUE
 AUBURNDALE, MA 02466

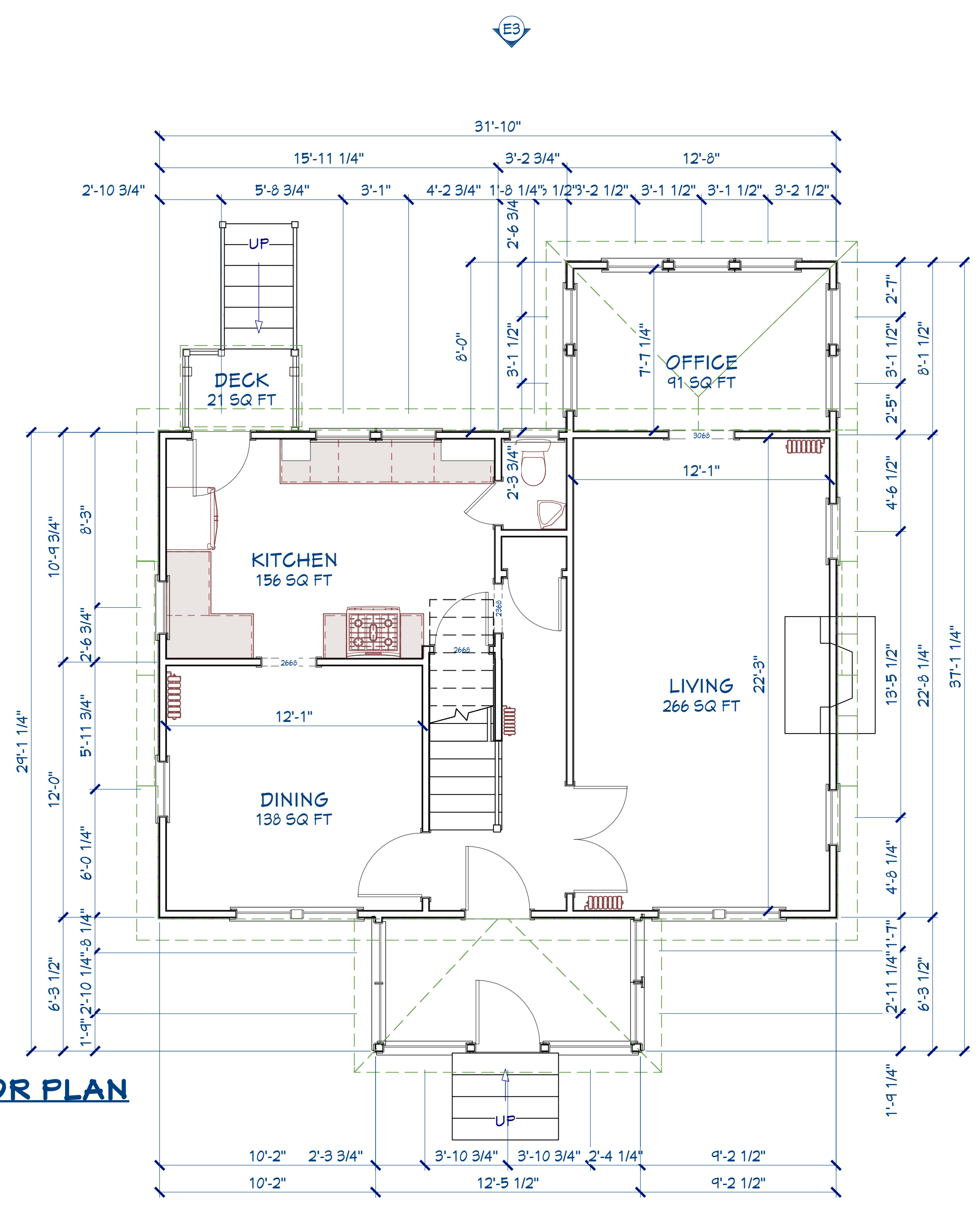
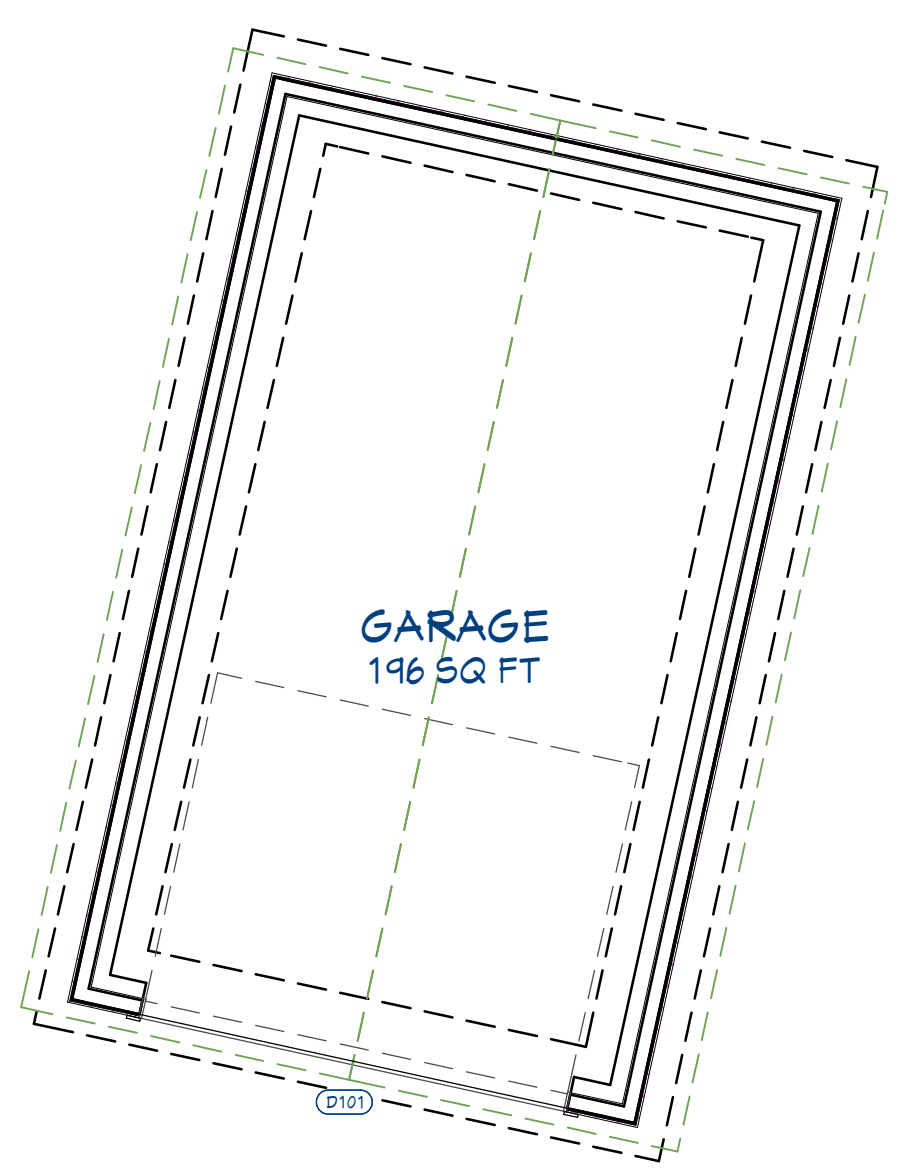
DRAWINGS PROVIDED BY:

MASTER TOUCH DESIGN BOLD
 77 MAIN STREET
 MEDWAY, MA 02053
 masterstouchweb.com

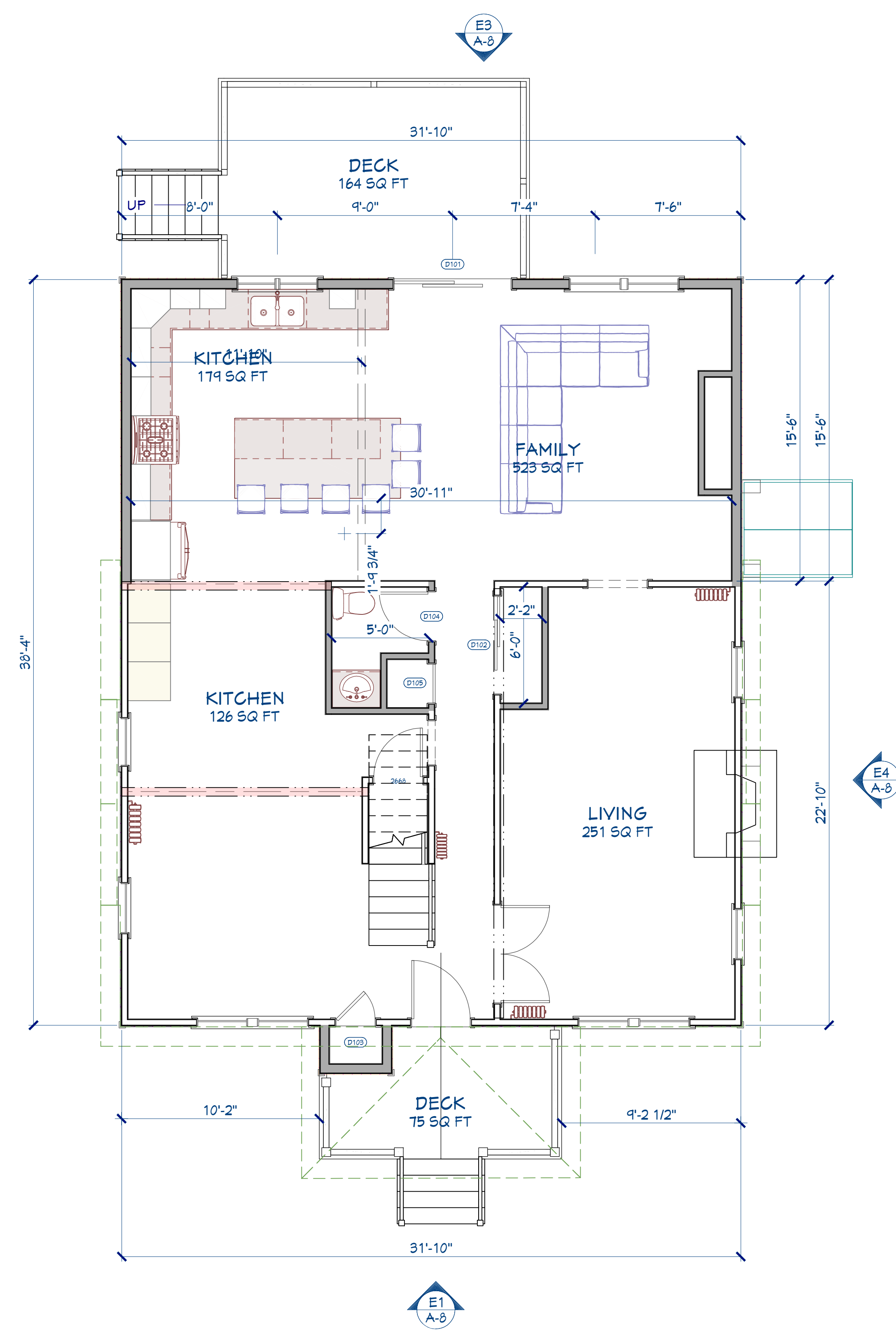
DATE:
 7/2/2024

SCALE:
 AS NOTED

SHEET:
A-4



EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" 1'-0"



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" 1'-0"



Revision Table	Revised By	Description
Number	Date	

SHEET TITLE:

ALL DIMENSIONS AND ASSUMPTIONS DEPICTED ON THESE DOCUMENTS ARE TO BE VERIFIED IN THE FIELD (V.I.F.) ANY DEVIATION FROM ACTUAL DIMENSIONS OR SITE CONDITIONS MAY HAVE AN EFFECT ON THIS DESIGN, AND MAY AFFECT THE SCOPE AND PRICE OF THE PROJECT

CLIENT INFORMATION:

KATIE AND JOSHUA RISSMILLER
16 CHASKE AVENUE
AUBURNDALE, MA 02466

DRAWINGS PROVIDED BY:

MASTER TOUCH DESIGN BUILD
77 MAIN STREET
MEDWAY, MA 02053
masterstouchweb.com

DATE:

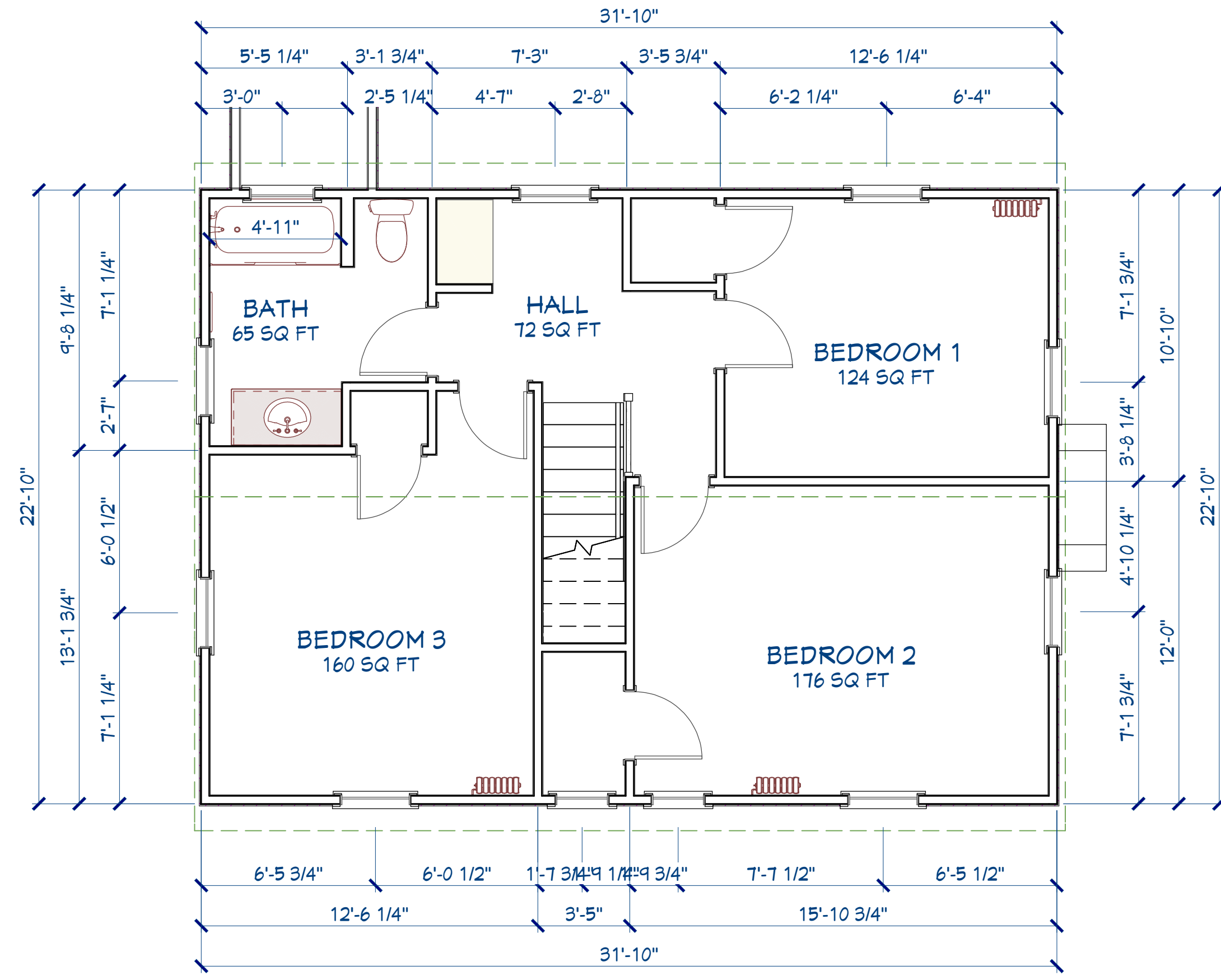
7/2/2024

SCALE:

1/4" = 1'-0"

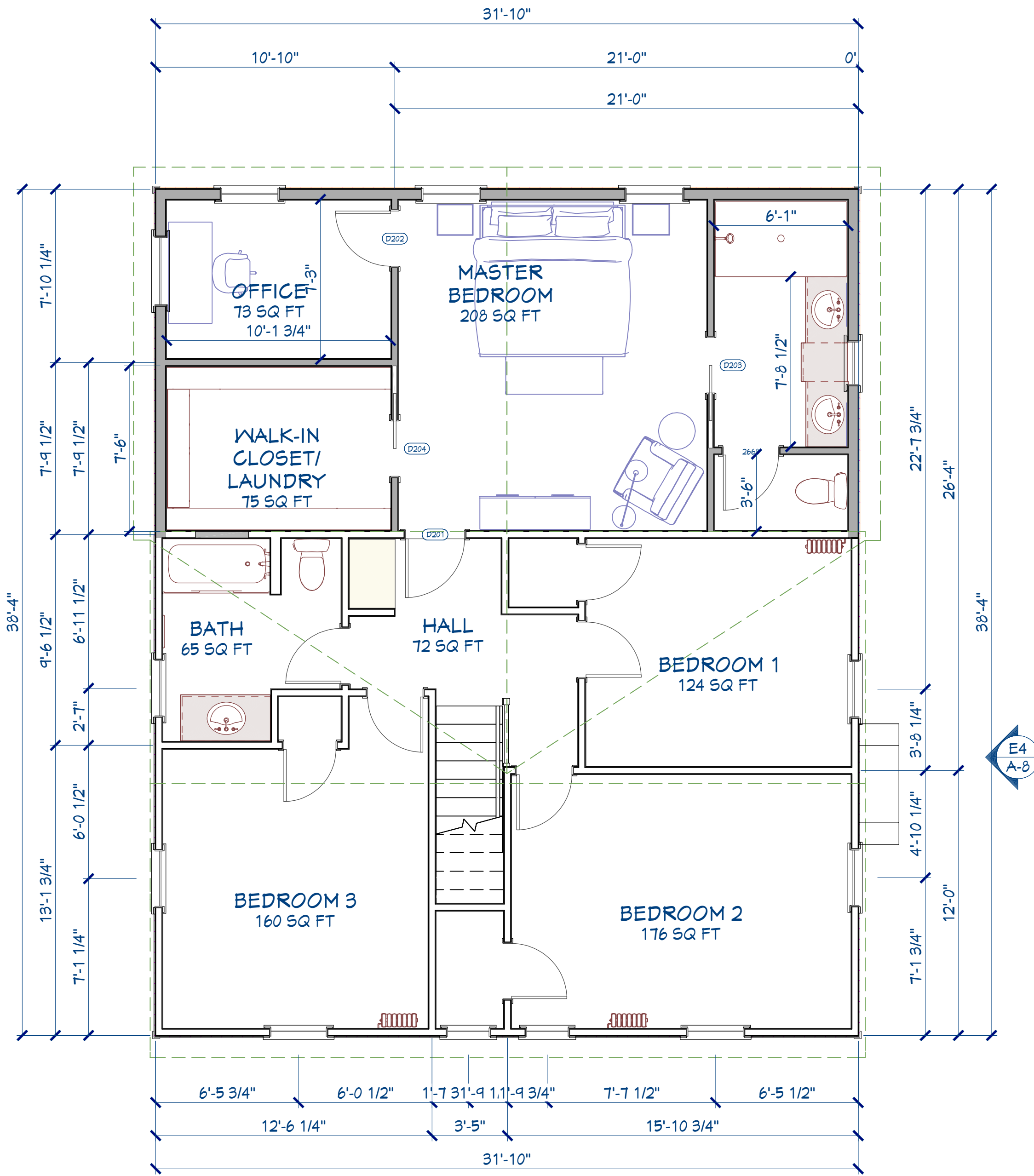
SHEET:

A-7



EXISTING SECOND FLOOR PLAN

SCALE: 1/4" 1'-0"



PROPOSED SECOND FLOOR PLAN

SCALE: 1/4" 1'-0"



Revision Table	Number	Date	Revised By	Description

SHEET TITLE:

EXISTING ELEVATIONS

ALL DIMENSIONS AND ASSUMPTIONS DEPICTED ON THESE DOCUMENTS ARE TO BE VERIFIED IN THE FIELD (V.I.F.) ANY DEVIATION FROM ACTUAL DIMENSIONS OR SITE CONDITIONS MAY HAVE AN EFFECT ON THIS DESIGN, AND MAY AFFECT THE SCOPE AND PRICE OF THE PROJECT

CLIENT INFORMATION:

KATIE AND JOSHUA RISSMILLER
16 CHASKE AVENUE
AUBURNDALE, MA 02466

DRAWINGS PROVIDED BY:

MASTER TOUCH DESIGN BUILD
77 MAIN STREET
MEDWAY, MA 02053
masterstouchweb.com

DATE:
7/2/2024

SCALE:
AS NOTED

SHEET:
A-5



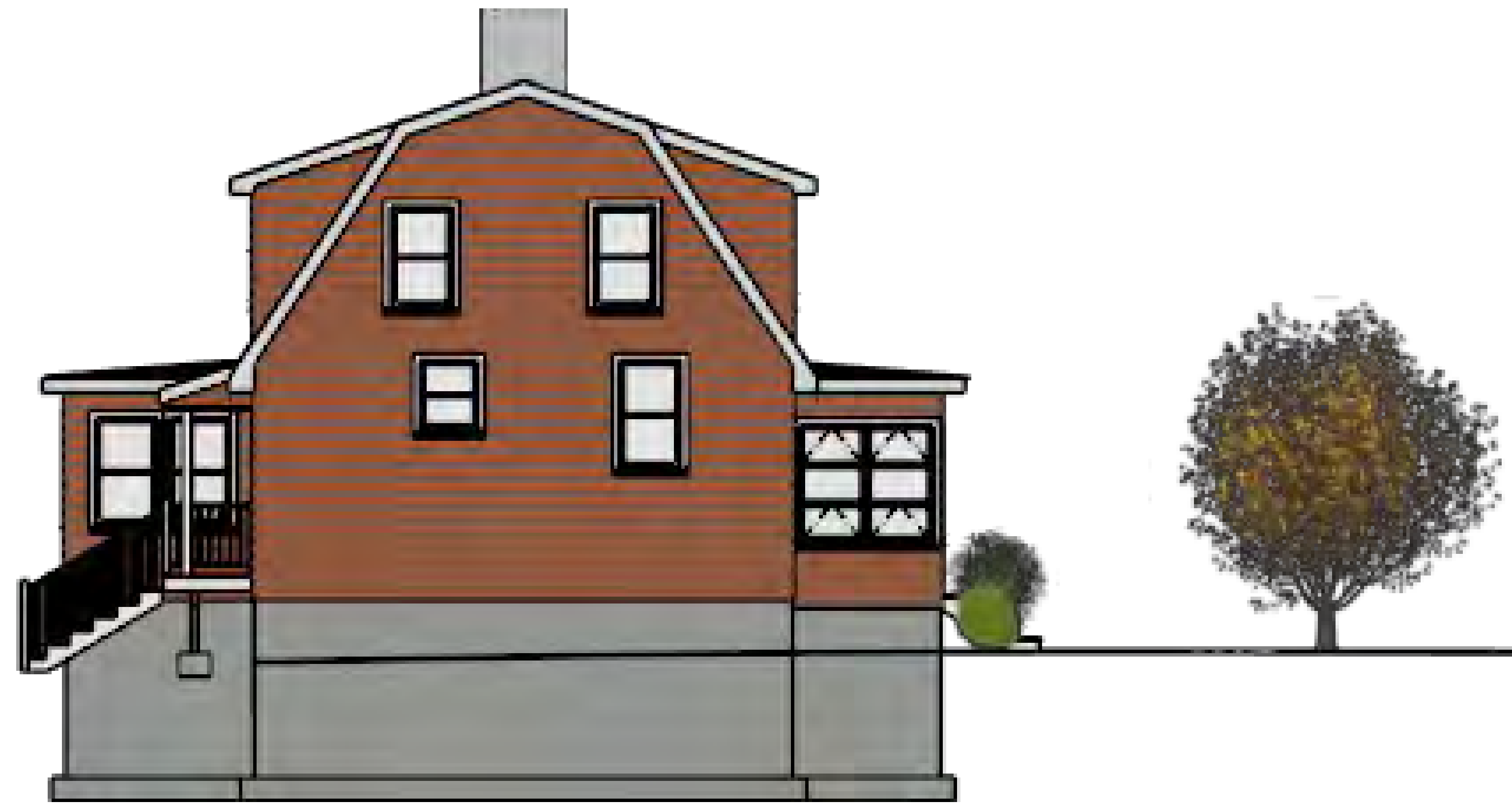
EXISTING REAR ELEVATION

SCALE: 1/4" 1'-0"



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/4" 1'-0"



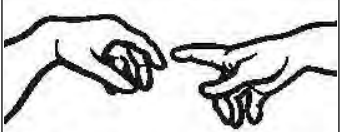
EXISTING LEFT SIDE ELEVATION

SCALE: 1/4" 1'-0"



EXISTING FRONT ELEVATION

SCALE: 1/4" 1'-0"



Revision Table	Revised By	Description

SHEET TITLE:

PROPOSED ELEVATIONS

ALL DIMENSIONS AND ASSUMPTIONS DEPICTED ON THESE DOCUMENTS ARE TO BE VERIFIED IN THE FIELD (V.I.F.) ANY DEVIATION FROM ACTUAL DIMENSIONS OR SITE CONDITIONS MAY HAVE AN EFFECT ON THIS DESIGN, AND MAY AFFECT THE SCOPE AND PRICE OF THE PROJECT

CLIENT INFORMATION:

KATIE AND JOSHUA RISSMILLER
 16 CHASKE AVENUE
 AUBURNDALE, MA 02466

DRAWINGS PROVIDED BY:

MASTER TOUCH DESIGN BUILD
 77 MAIN STREET
 MEDWAY, MA 02053
 masterstouchweb.com

DATE:

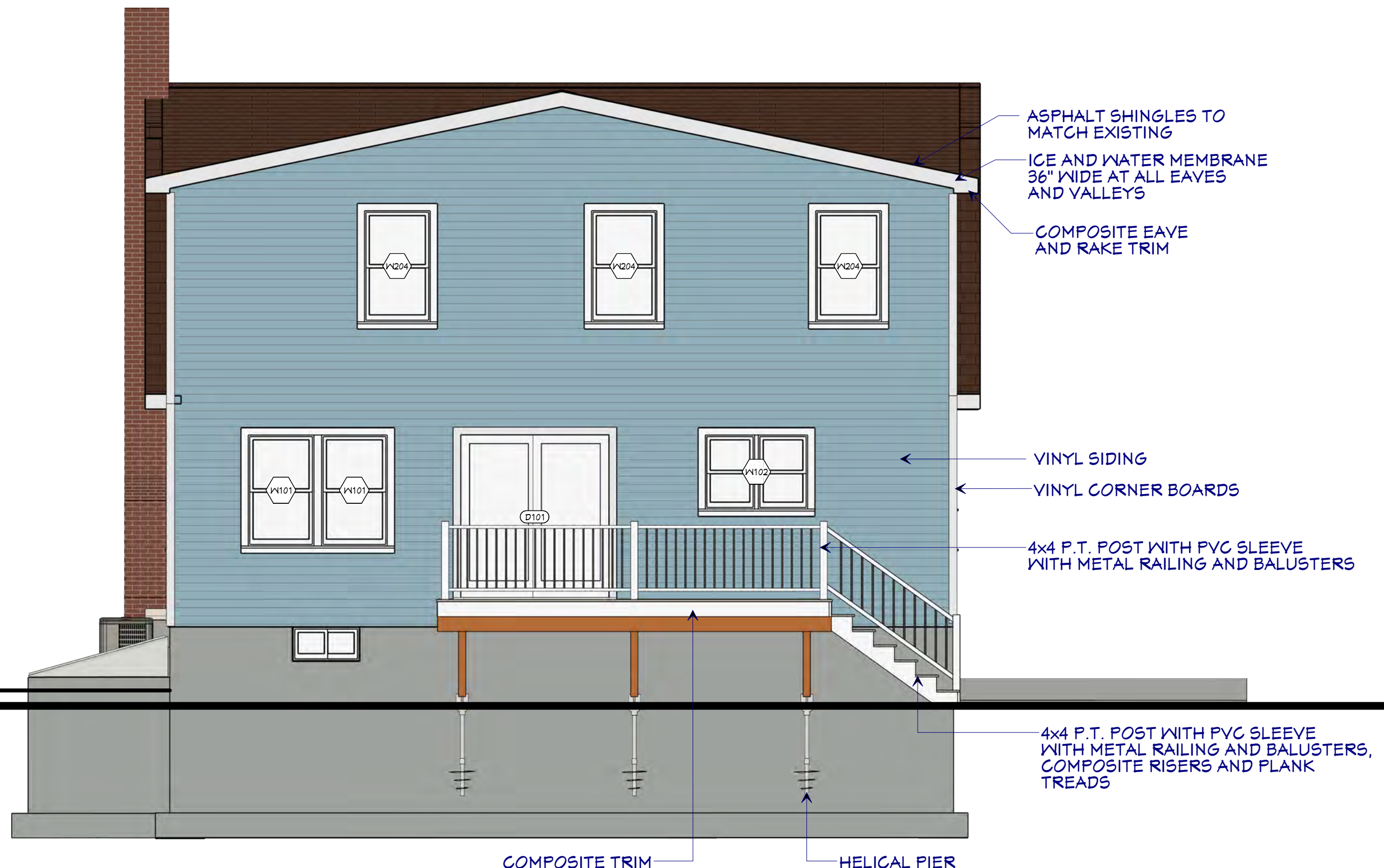
7/2/2024

SCALE:

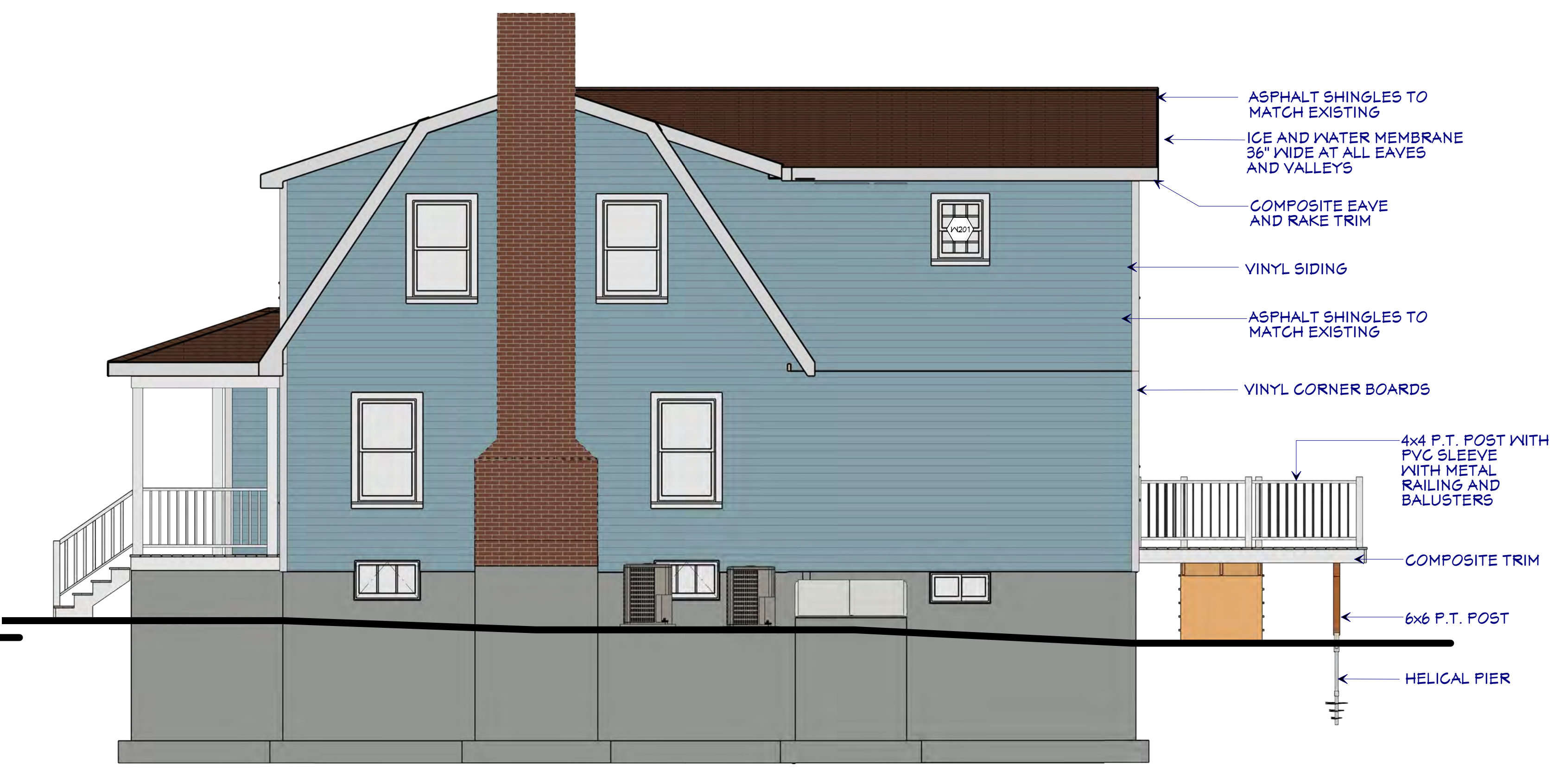
1/4" = 1'-0"

SHEET:

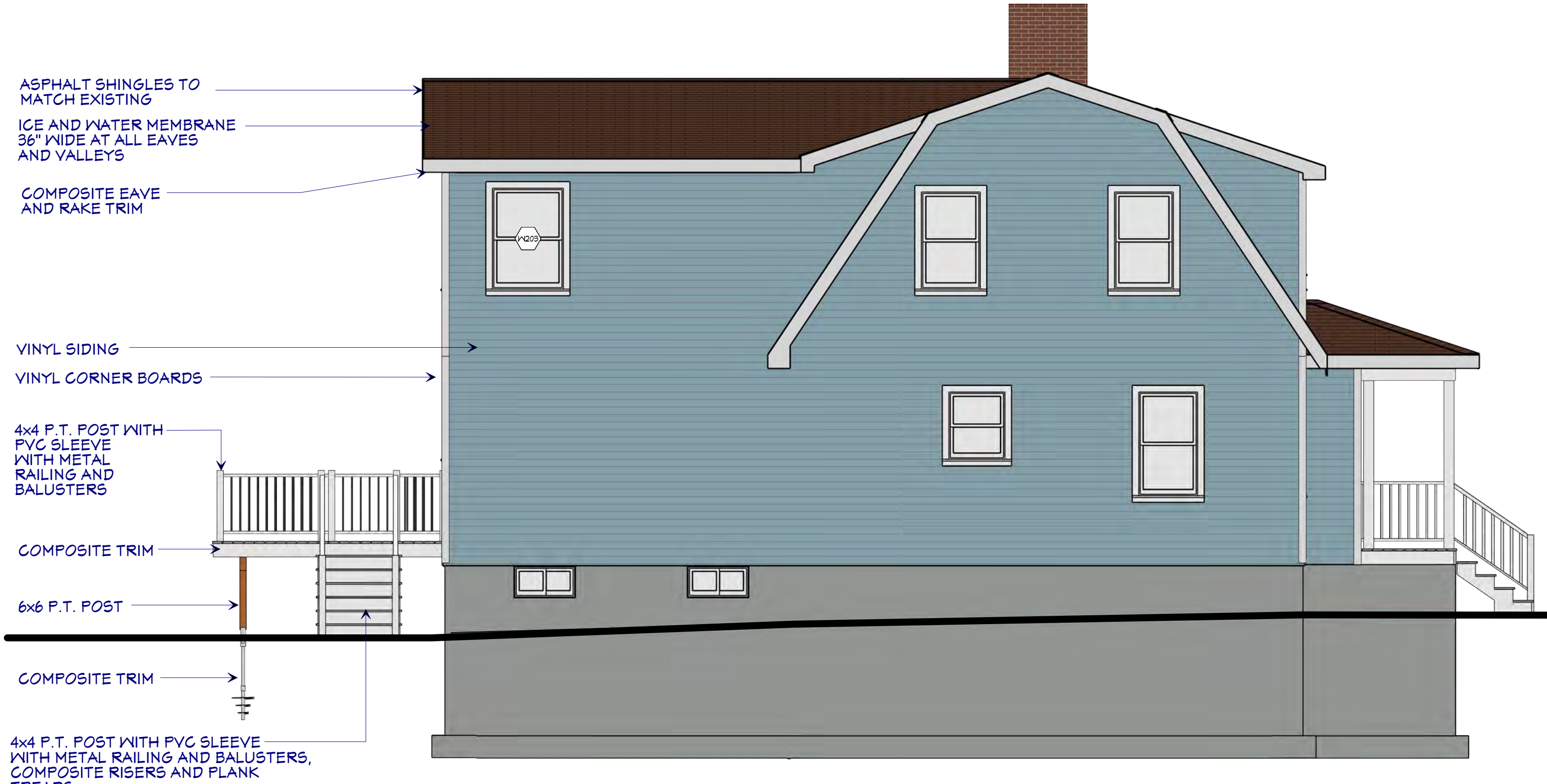
A-8



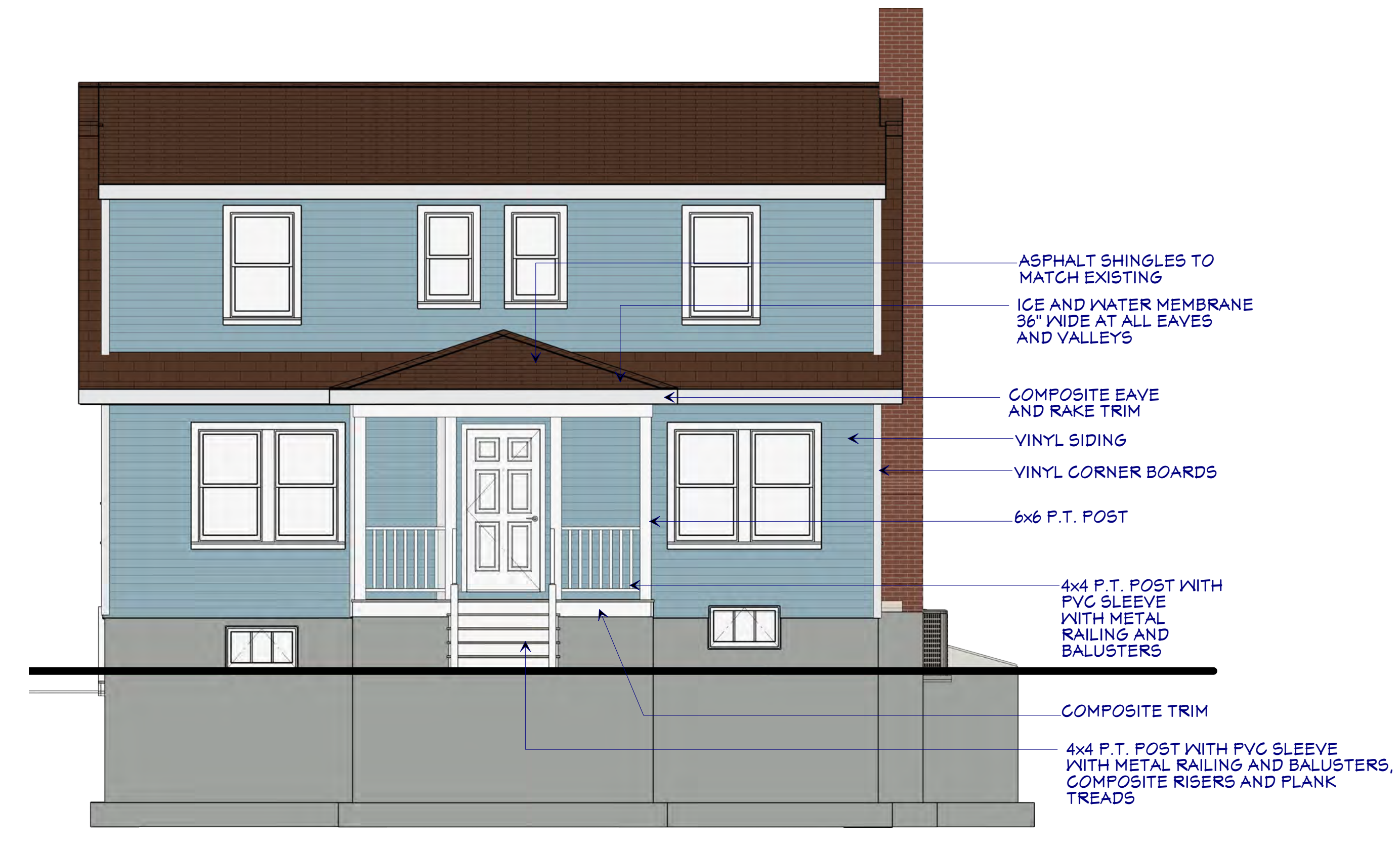
REAR ELEVATION
 SCALE: 1/4" 1'-0"



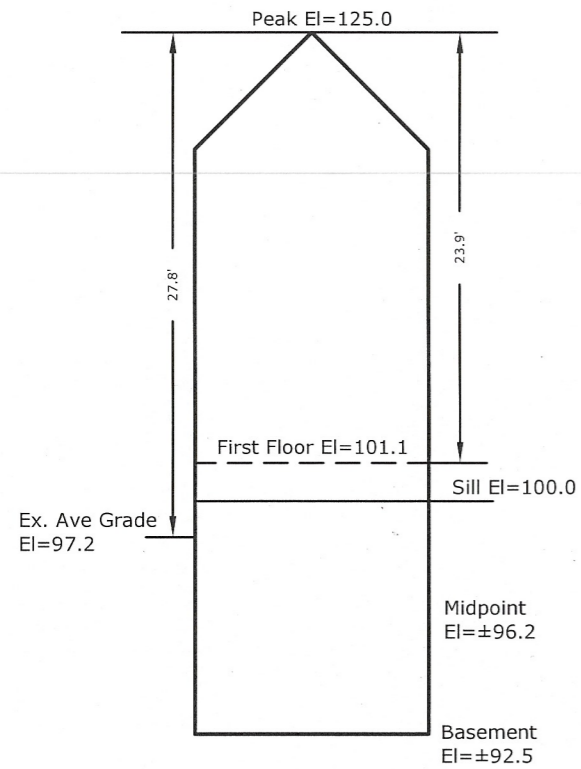
RIGHT SIDE ELEVATION
 SCALE: 1/4" 1'-0"



LEFT SIDE ELEVATION
 SCALE: 1/4" 1'-0"

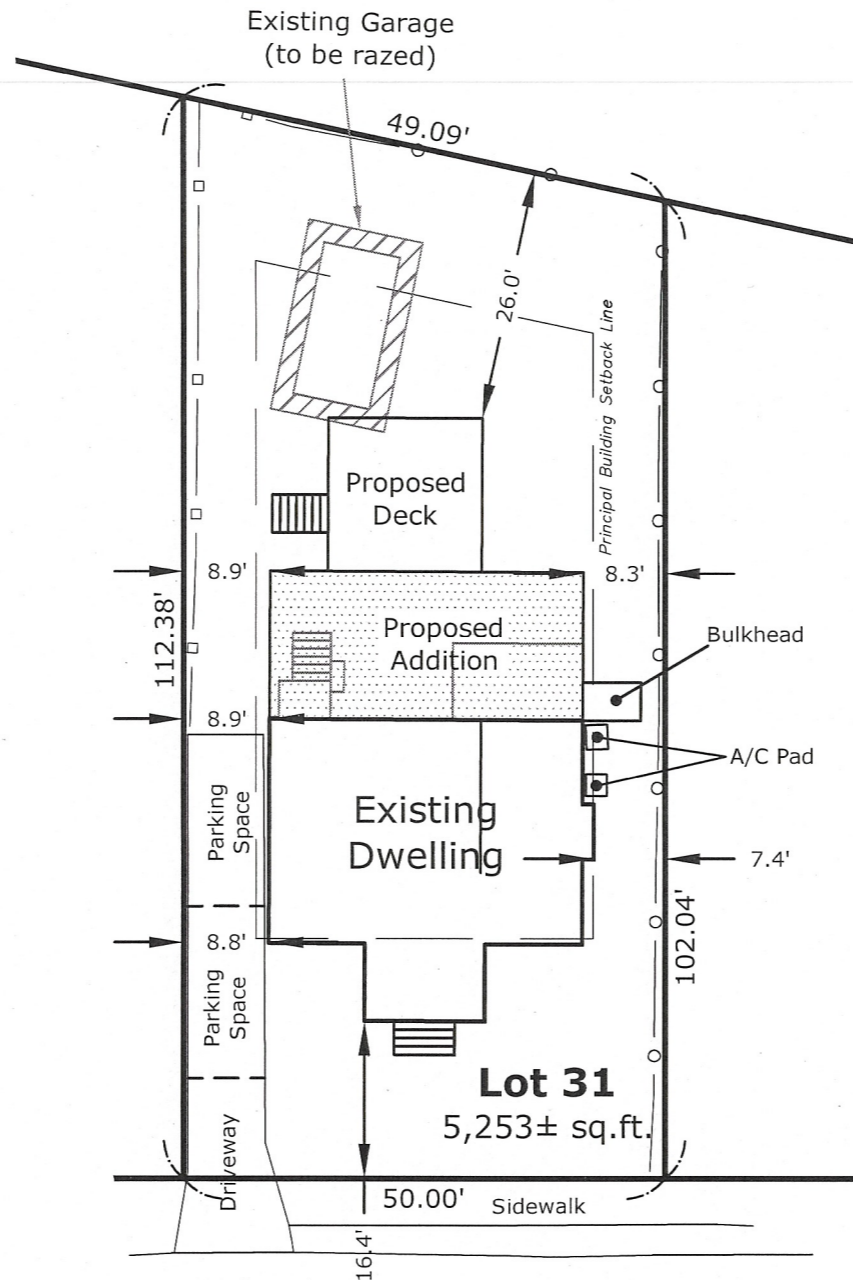


FRONT ELEVATION
 SCALE: 1/4" 1'-0"



Existing & Proposed Building Height
(not to scale)

Length Weighted Mean					
Existing & Proposed Conditions Average Grade Calculation					
16 Chaske Avenue, Auburndale					
A	B	C	D	E	F
Segment	Length of Segment in feet	Height of High Point of Segment	Height of Low Point of Segment	$E = (C+D)/2$ Average Segment Height	$F = E \times E$
1	39.0	98.0	96.6	97.3	3794.7
2	32.6	96.6	95.9	96.25	3137.8
3	24.2	96.9	95.9	96.4	2332.9
4	9.1	97.0	96.9	96.95	882.2
5	9.0	97.4	97.1	97.25	875.3
6	10.0	98.2	97.4	97.8	978.0
7	8.0	98.2	98.1	98.15	785.2
8	12.5	98.2	98.1	98.15	1226.9
9	8.0	98.3	98.2	98.25	786.0
10	10.0	98.3	98.0	98.15	981.5
Total	162.4				15780.4
Total Column F/Total Column B= Average Grade					
Average Grade (feet):					97.2



Chaske Avenue

Zoning Data

Zone: SR3
 Minimum Requirements for Principal Building:
 Front Yard: 25'
 Side Yard: 7.5'
 Rear Yard: 15'
 Lot Coverage: 30% max.
 Useable Open Space: 50% min.
 Floor Area Ratio: 0.50 max.
 (see Zoning Section 3.1.9)

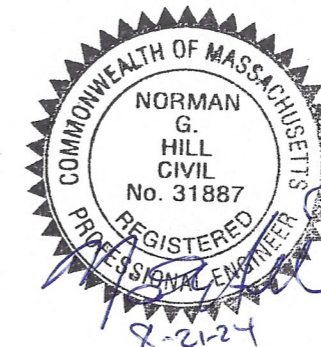
Proposed Lot Coverage: 26%

Proposed Open Space: 61%

Lot 31 was created in April, 1893
 See plan book 80 plan 3

Plot Plan

Located at
16 Chaske Avenue
Auburndale, MA
 Prepared for
Masters Touch
 Revised thu: 8/21/24



Land Planning, Inc.

167 Hartford Avenue
 Bellingham, MA 02019
 508-966-4130
 bellingham@landplanninginc.com



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Inspectional Services
1000 Commonwealth Avenue Newton, Massachusetts 02459

#420-24

(617) 796-1060
Telefax
(617) 796-1086
TDD/TTY
(617) 796-1089
www.newtonma.gov

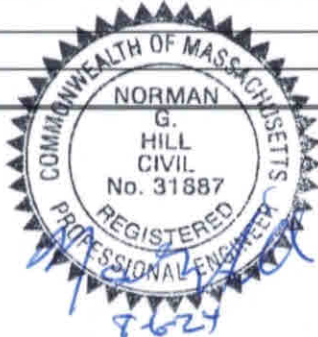
John Lojek
Commissioner

FLOOR AREA RATIO WORKSHEET

For Residential Single and Two Family Structures

Property address: 16 Chaske Avenue, Auburndale

FAR Calculations for Regulations Effective As Of October 15, 2011		
Inputs (square feet)		
	EXISTING	PROPOSED
1. First story	906	1,298
2. Attached garage		
3. Second story	726	1,222
4. Atria, open wells, and other vertical spaces (if not counted in first/second story)		
5. Certain floor area above the second story ^{1b}		
6. Enclosed porches ^{2b}		
7. Mass below first story ^{3b}	414	610
8. Detached garage	236	0
9. Area above detached garages with a ceiling height of 7' or greater		
10. Other detached accessory buildings (one detached building up to 120 sq. ft. is exempt)		
FAR of Proposed Structure(s)		
A Total gross floor area (sum of rows 1-9 above)	2,282	3,130
B Lot size	5,253	5,253
C FAR = A/B	0.43	0.60
Allowed FAR		
Allowable FAR	0.48	0.48
Bonus of .02 if eligible ^{4b}	0.02	0.02
TOTAL Allowed FAR	0.50	0.50



August 2024

Katie and Josh Rissmiller
16 Chaske Avenue
Auburndale, MA 02466

Re: Home Addition and Renovation

Dear Katie and Josh,

Thank you for taking the time to inform us of the planned addition to your home and to show us the preliminary designs. We are in full support of the project and expect it will be an welcome improvement to our neighborhood. Good luck!

Best regards,



Diane Gent, 9 Chaske Ave

August 2024


Katie and Josh Rissmiller
16 Chaske Avenue
Auburndale, MA 02466

Re: Home Addition and Renovation

Dear Katie and Josh,

Thank you for taking the time to inform us of the planned addition to your home and to show us the preliminary designs. We are in full support of the project and expect it will be an welcome improvement to our neighborhood. Good luck!

Best regards,


Theresa Kelley

Theresa Kelley, 163 Melrose St.

August 2024

Katie and Josh Rissmiller
16 Chaske Avenue
Auburndale, MA 02466

Re: Home Addition and Renovation

Dear Katie and Josh,

Thank you for taking the time to inform us of the planned addition to your home and to show us the preliminary designs. We are in full support of the project and expect it will be an welcome improvement to our neighborhood. Good luck!

Best regards,

Ting Lu
TING LU

Ting Lu, 12 Chaske Ave.

August 2024

Katie and Josh Rissmiller
16 Chaske Avenue
Auburndale, MA 02466

Re: Home Addition and Renovation

Dear Katie and Josh,

Thank you for taking the time to inform us of the planned addition to your home and to show us the preliminary designs. We are in full support of the project and expect it will be an welcome improvement to our neighborhood. Good luck!

Best regards,

Linda Sambucci

Linda Sambucci, 15 Chaske Ave.

August 2024

Katie and Josh Rissmiller
16 Chaske Avenue
Auburndale, MA 02466

Re: Home Addition and Renovation

Dear Katie and Josh,

Thank you for taking the time to inform us of the planned addition to your home and to show us the preliminary designs. We are in full support of the project and expect it will be an welcome improvement to our neighborhood. Good luck!

Best regards,

George Svedloff

George Svedloff, 8 Owatonna St.

335-331-329 River Street

Land Use Presentation
November 12th, 2024

AGENDA

#273-24 and #274-24

1. Addressing Previous Meeting's Questions/Concerns
 - a. Zone Change
 - b. Retaining Walls
 - c. Grade Change Factors
 - d. Proposed Grade Changes
 - e. Groundwater Elevation
 - f. Drainage and Stormwater
 - g. Parking
 - h. Proposed v. By Right Option
 - i. Landscaping Plan
2. Buildings Perspectives
3. Conclusion

PROPOSED TRANSITIONAL ZONE CHANGE ~~#273-24~~ and ~~#274-24~~

Multi-Residence 1 (MR1) Zoning District

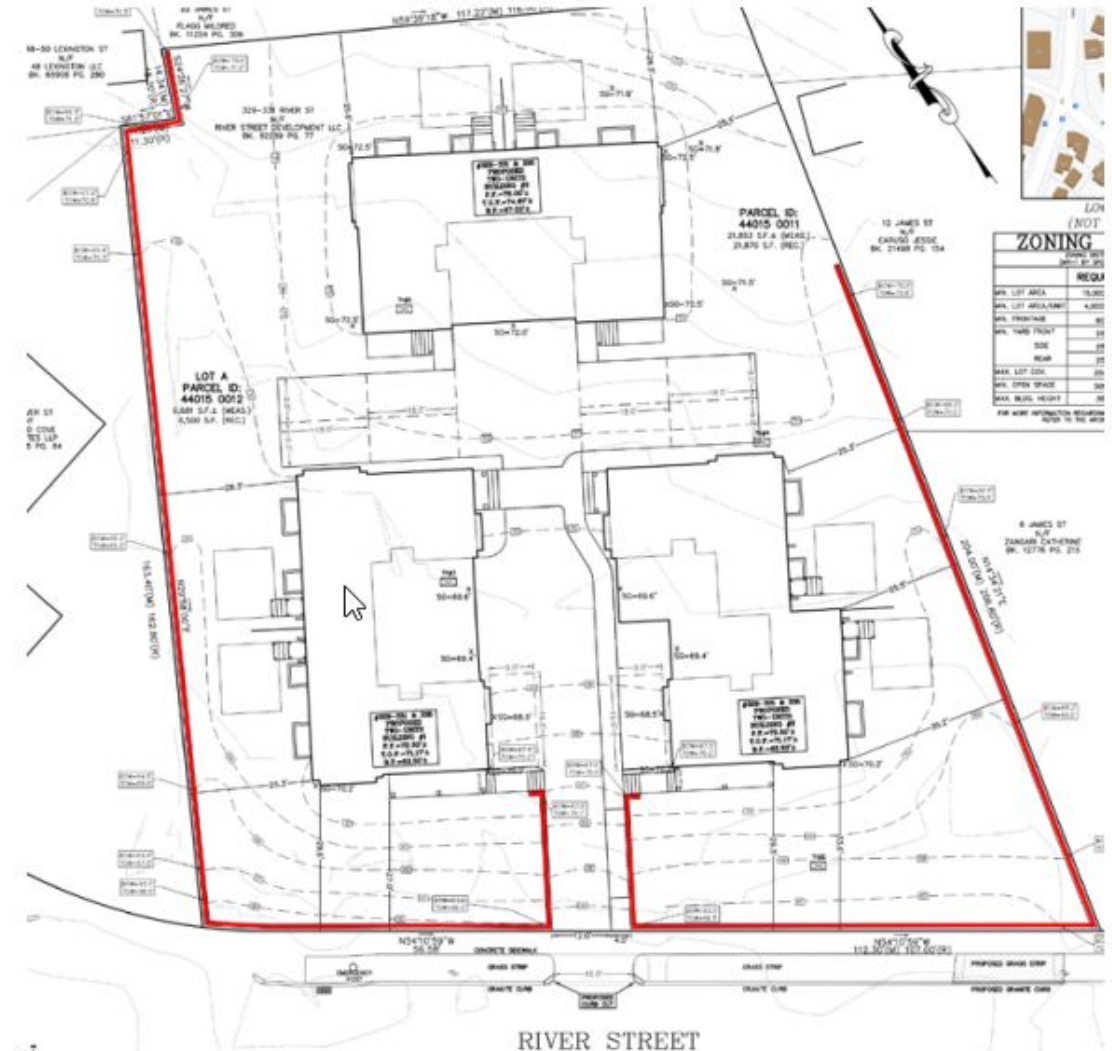
- Creates a logical transition from Business 2 (BU(2)) on the West to Single Residence 3 (SR3) on the north and east
- Consistent with the sequential continuum for zoning classification
- Allows single and two-family homes by right
- MR1 districts throughout the city are currently populated by single-family homes.
- Allows single family attached dwellings by special permit

Planning and Development Board recommended the proposed zone change based on site and context conditions (8/5/24).

RETAINING WALLS

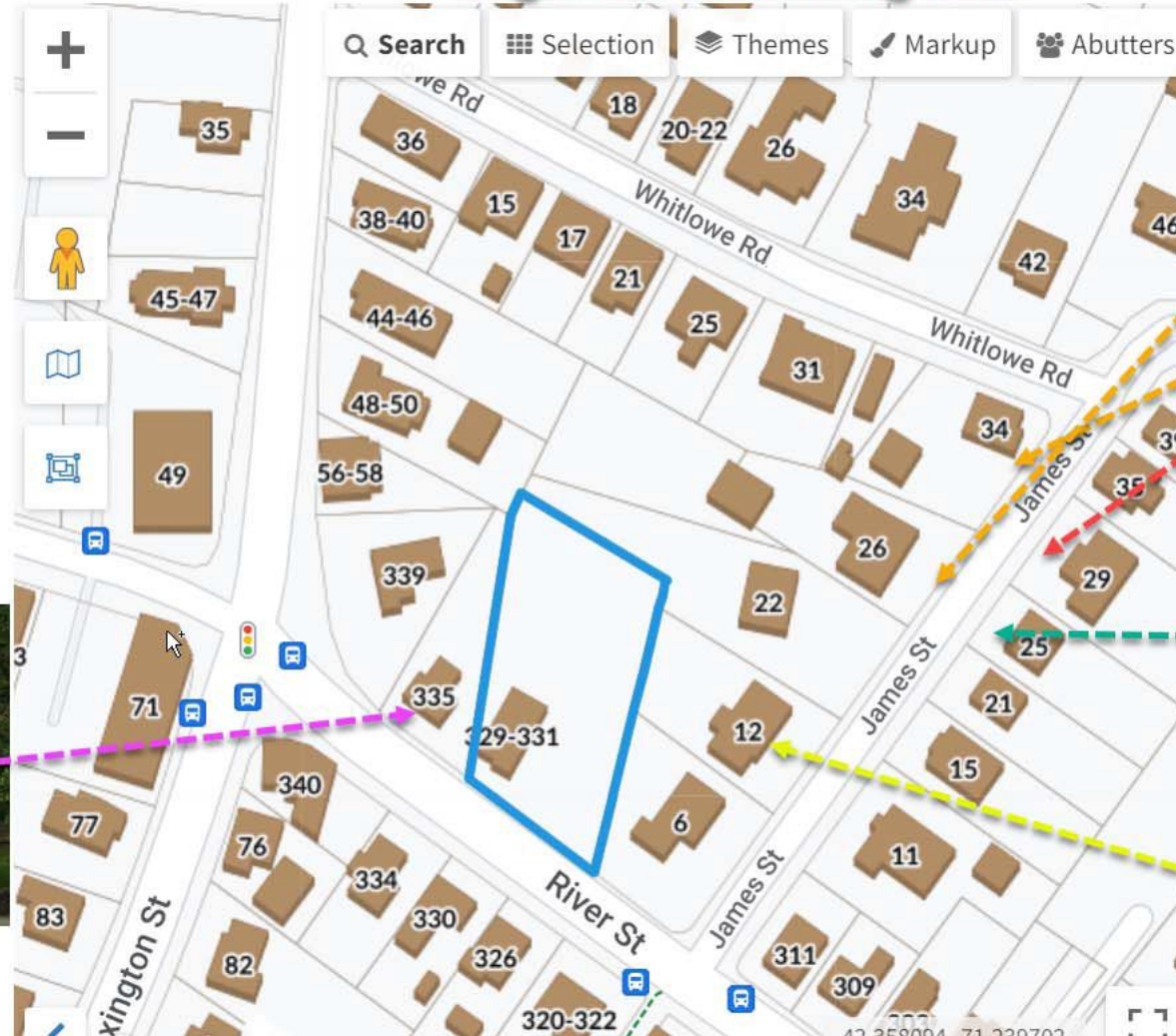
#273-24 and #274-24

- Retaining walls are necessary due to topography
- Eliminated retaining wall in the back and on the right, allowing for existing natural flow of groundwater
- All retaining walls are less than 4 feet and most are below 3 feet
- Due to the topography of the neighborhood, it's beneficial to use walls as a containment of how water is handled



RETAINING WALLS ARE COMMONLY USED IN NEIGHBORING PROPERTIES #273-24 and #274-24

Neighborhood Retaining Walls



34 and 26 James



29 James



25 James



12 James

335 River



GRADE CHANGE FACTORS #273-24 and #274-24

- **Existing Natural Topography**

Existing natural 11' grade increase from sidewalk to rear lot line

- **Seasonal High Groundwater Elevation**

- **Stormwater Management Ordinance**

Seasonal high groundwater separation required

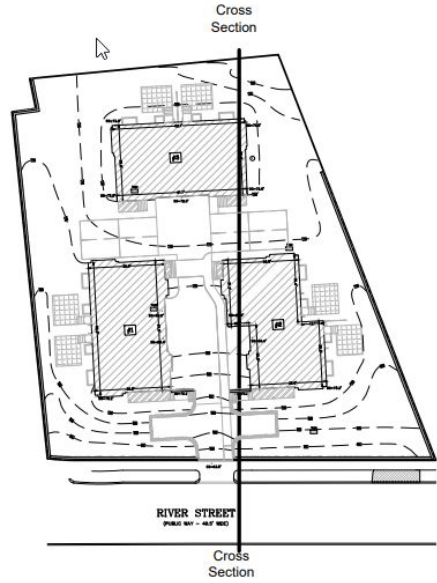
- 2' from bottom of infiltration system and
- 1' from underside of basement slab

- **Building Placement**

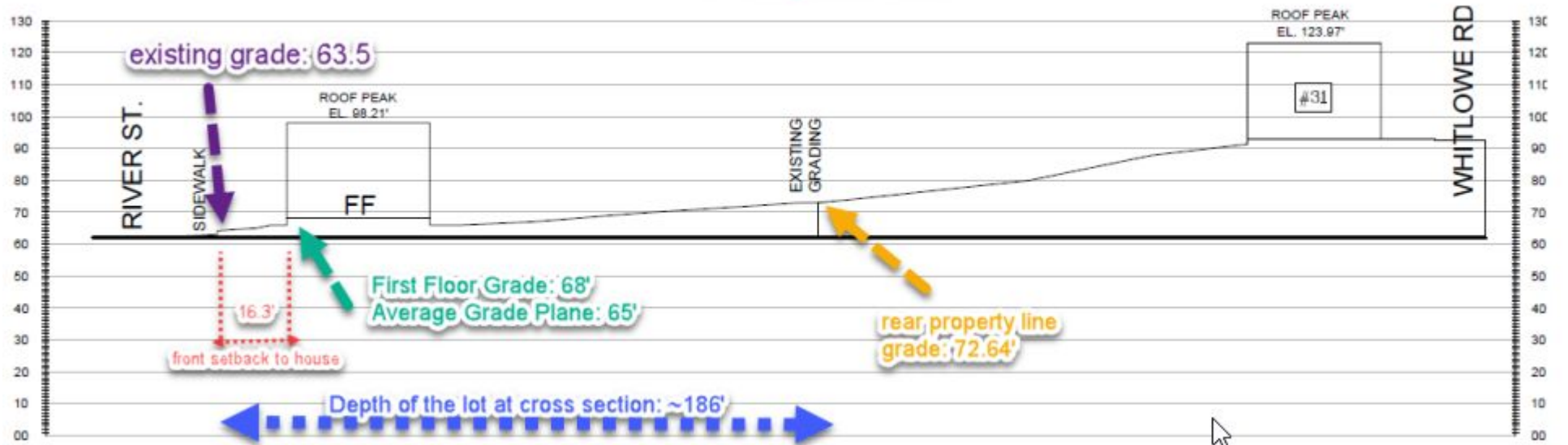
Greater setback places house higher on the slope

- Old house setback (16')
- New house setback (31')

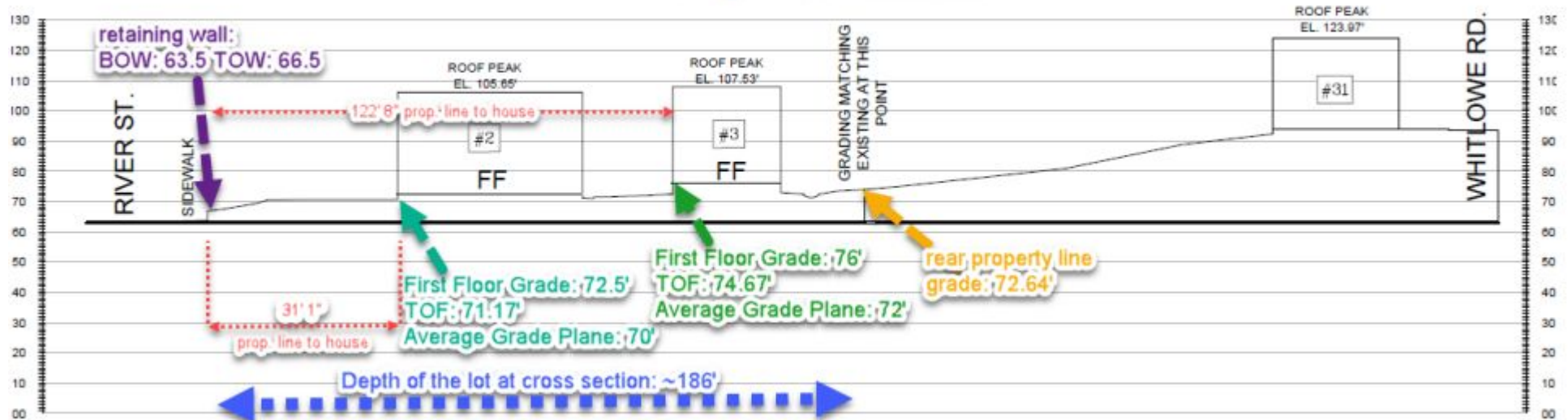
PROPOSED GRADE CHANGES #273-24 and #274-24



Existing Conditions



Proposed Conditions

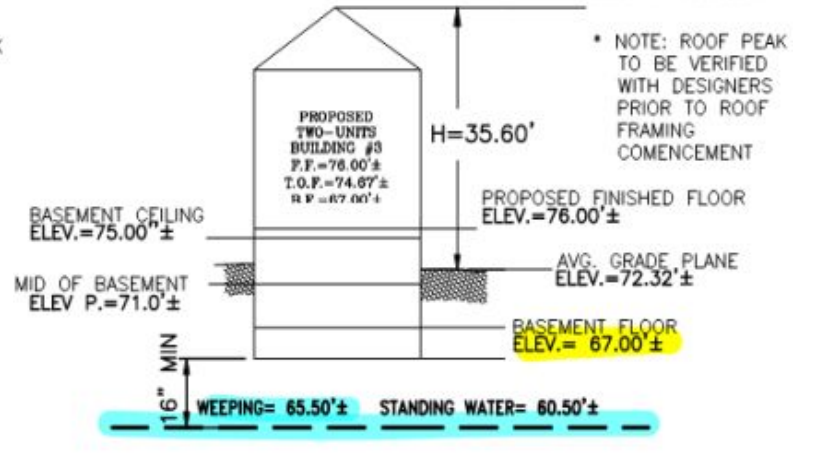
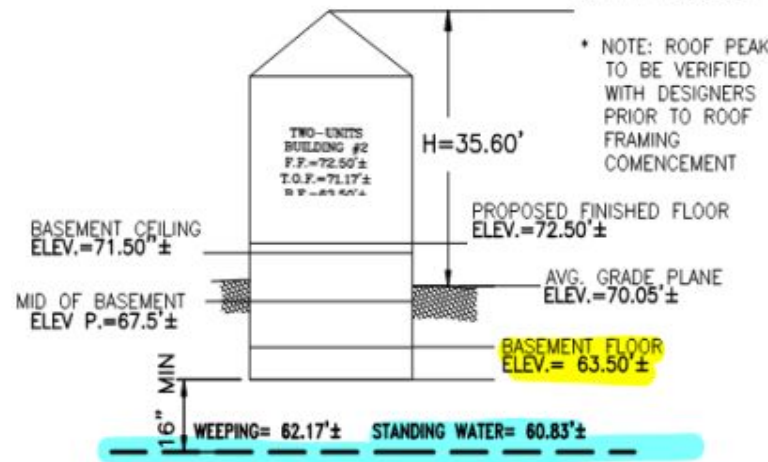
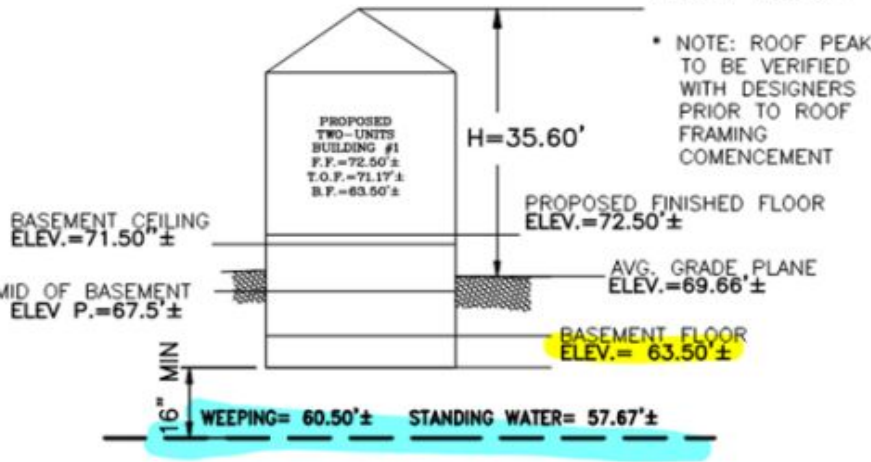


GROUNDWATER ELEVATION #273-24 and #274-24

F.F. TO PEAK=32.76'
PROPOSED ROOF PEAK
ELEV-P=105.26'±

F.F. TO PEAK=33.15'
PROPOSED ROOF PEAK
ELEV-P=105.65'±

F.F. TO PEAK=31.92'
PROPOSED ROOF PEAK
ELEV-P=107.92'±



#1 PROPOSED PROFILE
NOT TO SCALE

#2 PROPOSED PROFILE
NOT TO SCALE

#3 PROPOSED PROFILE
NOT TO SCALE

* MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT

* MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT

* MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT

Building #	Basement Floor Elevation feet	Bottom of slab* Elevation feet	Groundwater Elevation feet	Delta between Bottom of basement & groundwater feet
1	63.5	63.17	57.67	5.50
2	63.5	63.17	60.83	2.34
3	67	66.67	60.5	6.17

DRAINAGE AND STORMWATER #273-24 and #274-24

Existing Conditions

- Site currently has no stormwater management controls

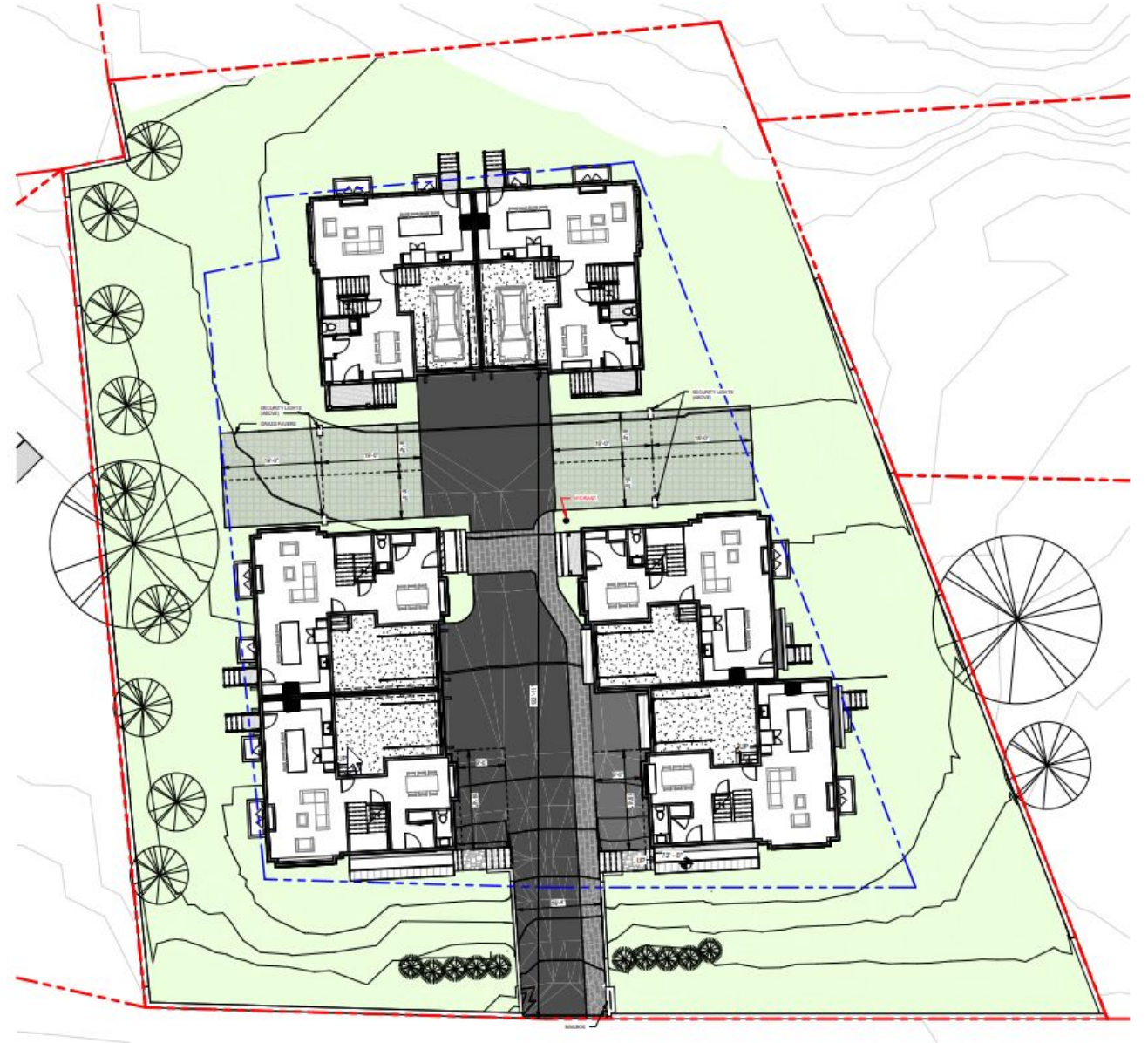
Engineering Division Findings

- “The Engineer of record has designed a stormwater collection system in Newton accordance with the City Stormwater Ordinance”
- “The proposed system which includes rain gardens, stormwater collection and infiltration systems will greatly improve both water quality and quantity coming off the site in conformance with the Stormwater Ordinance”
- “The redesigned plan proposes two ‘*rain gardens*’ to collect the natural sheet flow from the rear yard of #22 and portion of #12 James Street and allows the runoff to infiltrate”

PARKING OPTIONS

#273-24 and #274-24

- Two (2) spaces/unit
- Four (4) visitor parking spaces
- Parking spaces are grass blocks
- Other pavers are permeable



LANDSCAPE PLAN

#273-24 and #274-24

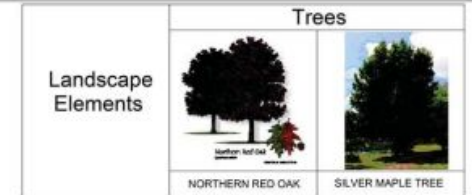
Replacement Trees Tree Warden Approved

- 16 Deciduous Canopy Trees
- 60+ Evergreens



LEGEND

Vegetation			
DECIDUOUS TREES			
QR 8	QUERCUS RUBRA	NORTHERN RED OAK	5-7'
AS 8	ACER SACCHARINUM	SILVER MAPLE TREE	5-7'
EVERGREEN TREES			
TP 9	THUJA STANDISHI X PPLICATA	THUJA GREEN GIANT	5-7'
TO 36	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	5-7'
PIN 10	PINUS PINE	(in calliper inches)	3-4"
PIC 10	PICEA SPRUCE	(in calliper inches)	3-4"
EVERGREEN SHRUBS			
BV	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	3'
DECIDUOUS SHRUBS			
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	2'
ORNAMENTAL GRASSES			
LS 8	LIRIOPE SPICATA	LILY TURF 1 GAL	15"



Project Name
335-331-329 River Street,
Newton, MA



Planting Plan - version 4.0

Sept 17, 2024

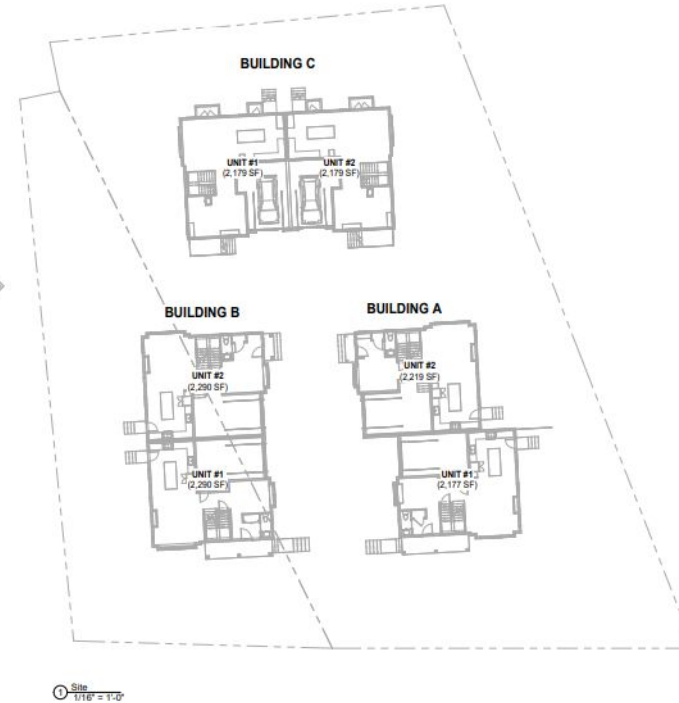
Kenneth Williams
09/17/24

PROPOSED V. BY RIGHT COMPARISON

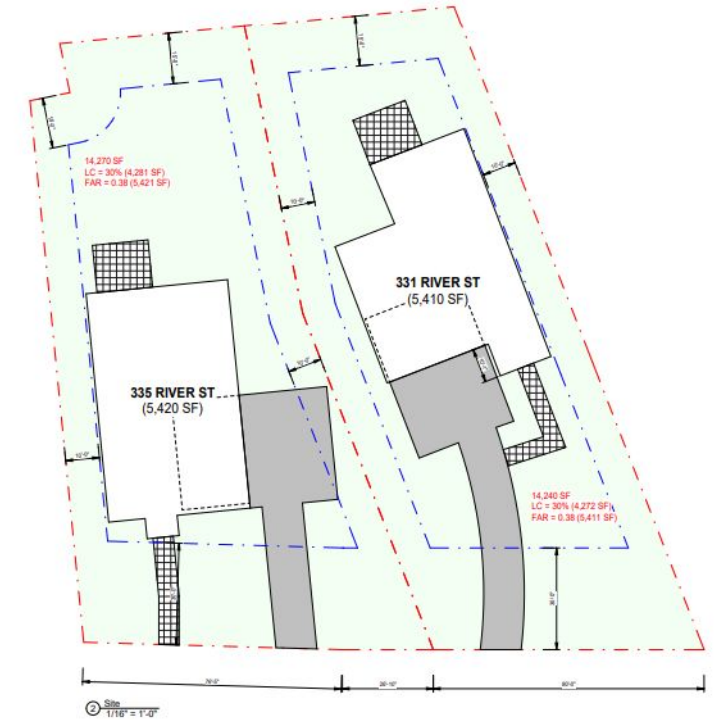
#27B-24 and #27C-24

FLOOR AREA RATIO PROPOSED BUILDING

- **By Right:** 2 Large Houses @ ~5,420 sqft
- **Proposed:** 6 Town Houses @ ~2,200 sqft
- **Lot Coverage:** 30% vs 24.5%
- **Retaining Walls:** Same
- **House Elevation:** Same



BY RIGHT OPTION



URBAN DESIGN COMMISSION COMMENTS #273-24 and #274-24

Building Massing Height and Architecture

- “Terrific project, great idea and concept”
- “Architecture is appropriate to the area”... “appreciate the design”...“elevations well executed”
- “Good prototype for this kind of development”

Site Plan Circulation and Connectivity

- Siting and arrangement of the units creates connectivity and “sense of community”; “an enclave of neighbors”

Landscape Streetscape in Public Open Space

- Deciduous canopy Street trees help make it part of the streetscape and shade some of the pavement.
- Grass blocks for parking spaces to differentiate from the asphalt and pavers to break up the driveway.
- “Nice transition from commercial to single family homes”

STREETSCAPE PERSPECTIVE **#273-24 and #274-24**



***For Illustrative Purposes only.**

AERIAL PERSPECTIVE

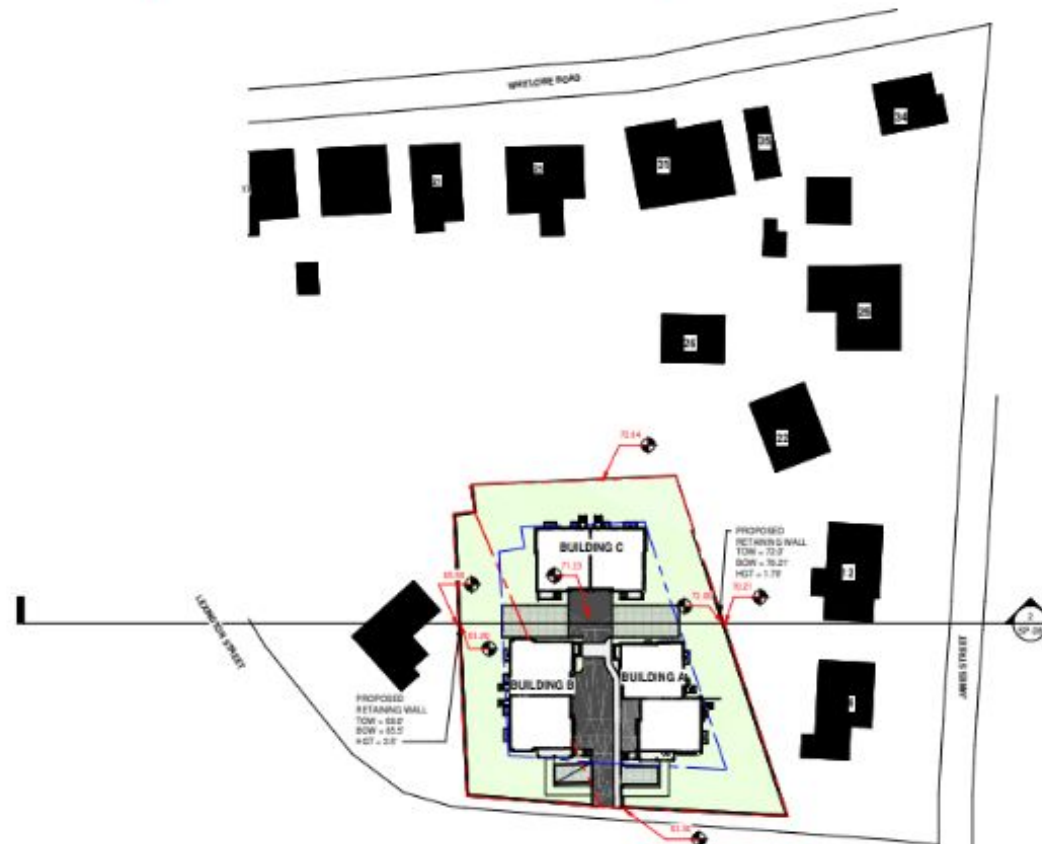
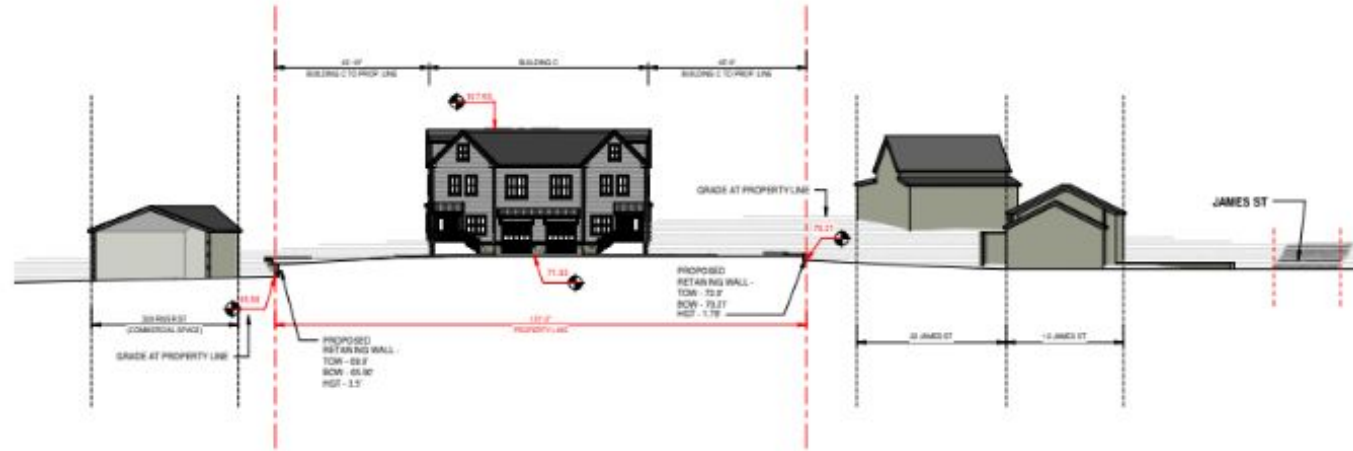
#273-24 and #274-24



***For Illustrative Purposes only.**

APPENDIX

STREETSCAPE CROSS SECTION #273-24 and #274-24



APPENDIX TO: PROPOSED GRADE CHANGES

NARRATIVE

#273-24 and #274-24

EXISTING

- ~16' AWAY FROM THE SETBACK LINE
- 63.5' - EXISTING GRADE @ SETBACK LINE
- ~68' - TOP OF THE 1ST FLOOR
- ~98' - TOP OF ROOF
- ~73 - REAR PROPERTY LINE

SPECIAL PERMIT PROPOSED

- ~31' AWAY FROM THE SETBACK LINE
- 66.5' - PROPOSED GRADE @ SETBACK LINE
- ~71' - TOP OF THE 1ST FLOOR
- ~105.5' - TOP OF ROOF
- ~73 - REAR PROPERTY LINE - NO CHANGES

APPENDIX TO: PARKING TURN ANALYSIS #273-24 and #274-24

REAR PARKING

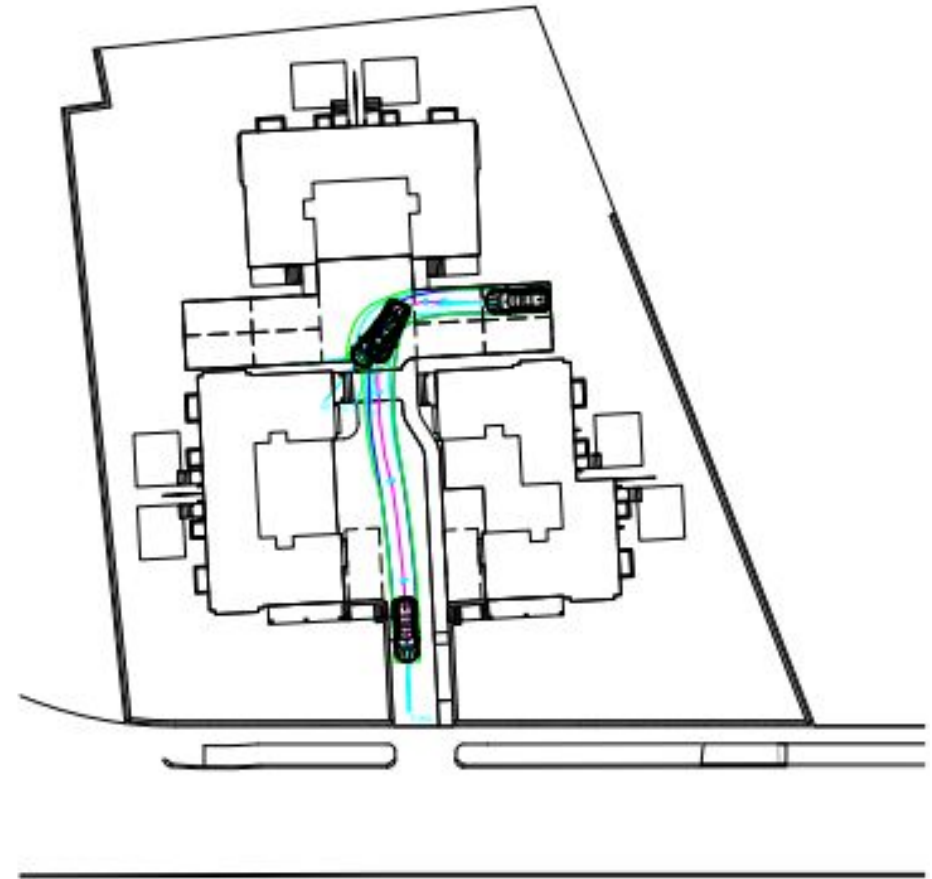


100



Chevrolet Traverse 2018

	Feet
Width	: 6.50
Track	: 6.20
Lock to Lock Time	: 6.0 s
Steering Angle	: 35.6 deg

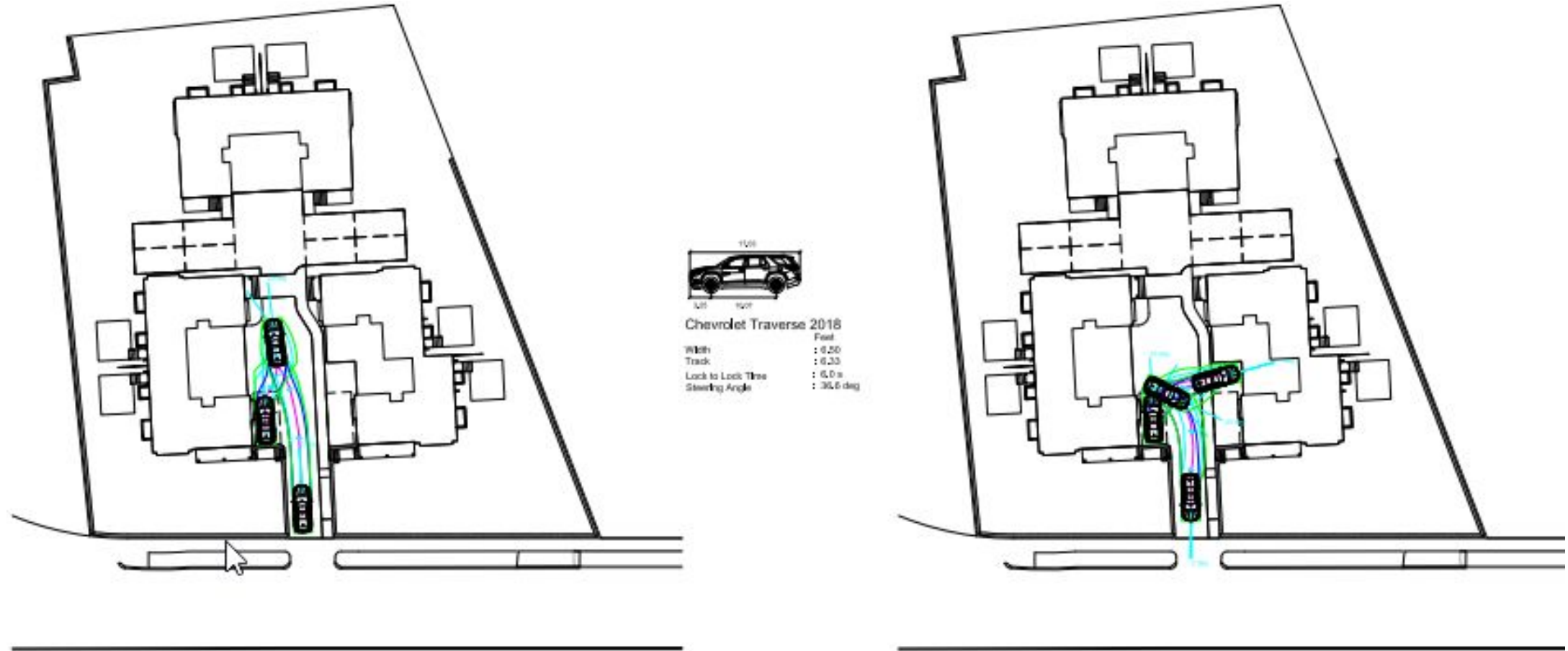


DRIVE IN-OUT FROM REAR PARKING

APPENDIX TO: PARKING TURN ANALYSIS

#273-24 and #274-24

CENTRAL PARKING



DRIVE IN-OUT FROM CENTRAL PARKING