



Public Facilities Committee Agenda

City of Newton In City Council

Wednesday, July 13, 2016

7:00 PM
Room 204

Items Scheduled for Discussion:

Referred to Public Facilities Committee

Public hearing

#221-16 Eversource petition for a grant of location on Court Street
EVERSOURCE petitioning for a grant of location to install a 30' ± of conduit in Court Street approximately 68' west of Beach street, easterly to pole #52/10, to provide service to 77 Court Street. (Ward 2) [06/13/2016 @ 8:53 AM]

Public hearing

#249-16 Cellco petition for Grant of Location for wireless communication equipment
CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS petitioning for a grant of location to attach wireless communication equipment to existing utility poles at the following locations [(Ward 8) 07/01/2016 @11:17 AM]:

Locations

Dudley Road (near 530 Dudley Road) at Pole #10-7
Hay Road (near 16 Hay Road) at Pole #1368-1

Public hearing

#254-16 Verizon petition for grant of location on Elliot Street Bridge
VERIZON petition for a grant of location to relocate pole #136/50 approximately 28' easterly and pole #49 3' southerly as part of the Elliot Street Bridge reconstruction. [(Ward 5) 07/05/2016 @ 4:33 PM]

Public hearing

#250-16 Comcast petition for a Grant of Location on Washington Street
COMCAST petitioning for a grant of location to install 250'+/- of conduit in Washington Street in existing vault trench heading Westerly to the property line at 612 Washington Street. [(Ward 2) 06/27/2016 @ 3:03 PM]

The location of this meeting is handicap accessible and reasonable accommodations will be provided to persons requiring assistance. If you need a special accommodation, *please contact Jini Fairley, at least two days in advance of the meeting: jfairley@newtonma.gov, or 617-796-1253. For Telecommunications Relay Service dial 711.*

Public hearing

#251-16 National Grid petition for grant of location in Deforest Road
NATIONAL GRID petition for a grant of location to install 50'+/- of 4" main in Deforest Road from existing gas main at #36 Deforest trenching in a southerly direction to house #45 for new gas service. [(Ward 4) 06/16/2016 @ 12:26 PM]

Public hearing

#252-16 Verizon petition for grant of location on Franklin Street
VERIZON petition for a grant of location to place 402'+/- of conduit starting at Pole #1100/15 in front of #133 Franklin Street, trenching across Franklin Street in an easterly direction to a new proposed hand hole in front of #100 Franklin Street. [(Ward 7) 07/05/2016 @ 8:37 AM]

Public hearing

#253-16 Lightower Fiber Networks petition for grant of location in Wells Ave
Lightower Fiber Networks petition for a grant of location to place 540' +/- of 4" conduit from Verizon Manhole 47/237 in front of 160 Wells Ave trenching Westerly to 180 Wells Ave. [(Ward 8) 06/21/2016 @ 1:39 PM]

#200-15 Update on the strategic plan for street and sidewalk improvements
ALD. LAREDO requesting that the Department of Public Works provide an update on the creation of a strategic plan for the improvement of streets and sidewalks in the City. [08/13/15 @ 11:20 AM]

There will be a presentation and discussion of the "Complete Streets Policy" and "Complete Streets Prioritization Plan" with the Department of Public Works and Planning Department to obtain feedback from the committee. Please see the attached memo.

#255-16 5-58 waiver for relocation of modular classrooms
COMMISSIONER OF PUBLIC BUILDINGS requesting a waiver of the City of Newton Ordinance Sec. 5-58. Site plan approval for construction or modification of municipal buildings and facilities. For the relocation of the existing modular classrooms from the Zervas Elementary School to the Brown Middle School and Newton South High School. [07/06/2016 @ 11:51 AM]

Referred to Public Facilities and Finance Committees

#191-16 Funding to relocate the Zervas modulars to NSHS and Brown Middle School
HIS HONOR THE MAYOR requesting authorization to transfer the sum of five hundred thousand dollars (\$500,000) to the Public Buildings Department for the purpose of funding the relocation modular classrooms from the Zervas Elementary School to Newton South High School and Brown Middle School from the following accounts:

<u>Department</u>	<u>Account</u>	<u>Amount</u>
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Executive Office	Full-time Salaries	\$40,000
Treasury	Debt Service (010772-582A48)	\$403,784
Treasury	Debt Service (010772-582A49)	\$21,216
Financial Info Systems	Full-time Salaries	\$35,000

[05/09/16 @ 4:59 PM]

Items Not Scheduled for Discussion at this Meeting:

Referred to Public Facilities and Finance Committees

#258-16 **Delegation of quinquennial perambulation to the City Engineer and GIS Administrator**

CITY CLERK requesting that the City Council officially delegate the responsibility of Quinquennial Boundary Line Perambulation to the City Engineer and the City GIS Administrator as required by Massachusetts General Law Chapter 42, Section 2, which states that “the boundary markers of every town shall be located, the marks thereon renewed, and the year located marked upon the face thereof which bears the letter of the town locating its boundary, once every five years, by at least two of the selectmen of the town or by two substitutes designated by them in writing.” [06/22/16 @ 11:35 AM]

Referred to Programs & Services and Public Facilities Committees

#141-15 **Discussion on tracking and improving the condition of the gas utility infrastructure**

ALD. BROUSAL-GLASER, SANGIOLO, HESS-MAHAN, COTE, NORTON AND ALBRIGHT requesting a discussion with the Director of Urban Forestry, a representative of the Department of Public Works and a representative of the Law Department about tracking and improving the condition of the gas utility infrastructure in Newton, new state statutes governing infrastructure repairs, coordination of increased repair work with city operations, the status of negotiations with National Grid to compensate for tree deaths resulting from gas leaks, and the possibility of creating a utilities working group to monitor progress on these and related issues. [05/26/15 @ 2:52 PM]

#206-16 **Resolution requesting the administration hire a composting expert**

COUNCILOR LEARY requesting a Resolution to the Mayor requesting that he consider hiring a composting expert: either a consultant, a composting operator, or the Mass DEP to review the Rumford Avenue Composting site. [05/31/16 @ 4:52 PM]

#207-16 **Review of the management of the Rumford Avenue site**

COUNCILOR LEARY requesting the Executive Office and the Commissioner of Public Works review the management of the entire Rumford Avenue site with the input of the Solid Waste Commission and present their findings to the Public Facilities Committee within a 3 to 6 month timeframe. [05/31/16 @ 4:52 PM]

Referred to Public Safety & Transportation and Public Facilities Committees

#208-16 **Update on fire prevention at the compost operation at Rumford Avenue Landfill**
COUNCILOR LEARY requesting the Executive Office, the Fire Department, and the Department of Public Works provide an update on fire safety issues at the compost operation at the Rumford Avenue Landfill including details about who is currently managing the site for fires. [05/31/16 @ 4:52 PM]

#163-16 **Request for discussion with DPW to consider amend Ordinance for street reconstruction**
COUNCILORS CROSSLEY, LAREDO & LAPPIN requesting a discussion with the Commissioner of Public Works, to review city policy and/or ordinances governing repairs to city streets within a period of years after full reclamation and/or milling and repaving of said streets, and to consider strengthening the requirements for repairs so as to protect the public investment in said streets.

Referred to Programs & Services and Public Facilities Committees

#27-16 **Updates from the Administration on the renovations at the Aquinas site**
PROGRAMS & SERVICES AND PUBLIC FACILITIES COMMITTEES requesting that the School Department and/or Executive Department provide updates on removal of asbestos and other toxic materials that were identified at the Aquinas site, the scope and timing of window replacement in particular, and renovations that may be necessary to facilitate short and long-term plans for uses and operations at the site. [01/10/16 @ 1:14 PM]

#26-16 Proposed amendments to Sec. 5-54 through 5-58 of the Ordinances

COUNCILOR CROSSLEY, ALBRIGHT, HARNEY AND SANGIOLO requesting revisions to Sections 5-54 through 5-58 of the City of Newton Ordinances to clarify the City Council's role and decision-making process with respect to design review, funding, and budget oversight during the construction process of municipal capital building projects; in particular, to better align City Council decisions with typical steps in the design development process, and where applicable, with Massachusetts School Building Authority (MSBA) and other state requirements. [01/11/16 @ 4:53 PM]

#12-16 Discussion with the DPW regarding the City's recycling and solid waste programs

COUNCILOR LEARY, NORTON, KALIS, HESS-MAHAN, ALBRIGHT, AND CROSSLEY requesting an update from and discussion with the Department of Public Works and the Solid Waste Commission on the current status of Newton's solid waste management and recycling program operations and performance objectives, future goals and objectives, staffing, program challenges, and survey data due to be submitted to the Department of Environmental Protection. [12/28/15 @ 8:44 AM]

#313-15 Request for an update on the Second Water Meter Program

ALD. LAPPIN requesting an update from the Department of Public Works on the second water meter program including: the progress of the inspection and programming of the approximately 900 new outdoor irrigation meters provided by the City to property owners that have yet to be inspected and/or programmed by the City; the process going forward for the issuance, inspection, programming and tracking of second meters; and the notification of residents who already had second meters regarding the process for registering their meters. 10/26/15 @ 7:15 PM]

#237-15 Update on mitigation funds from Special Permits in Newton Centre

ALD. CROSSLEY, LAREDO, and SCHWARTZ requesting an update on funds accrued from voluntary contributions from Special Permits in Newton Centre, which can be made available to complete a safe pedestrian crossing at 714-724 Beacon Street via Special Permit Board Order #1-15 and conditions noted therein. 09/14/15 @ 10:40 AM]

Referred to Public Facilities and Finance Committees

#223-15

Discussion on the process of licensing the use of city buildings

ALD. LAREDO requesting a discussion of the process of licensing the current and future use of city building, including: (a) how licensees may request the use of city buildings; (b) the process for determining which licensees will get the use of city buildings; (c) how the fees for the use of city buildings are set; and (d) how the current process compares to the process for permitting the use of school buildings. [08/13/15 @ 11:20 AM]

Referred to Programs & Services and Public Facilities Committees

#201-15

Discussion regarding the condition of the Kennard Estate building

ALD. SANGIOLO requesting a discussion with the Commissioner of Public Buildings, the Commissioner of Parks and Recreation, and the Executive Department regarding the condition of the property located at 246 Dudley Road (Kennard Estate) and how much, if any, repairs and upgrades will be needed as the City relocates the Parks and Recreation Department to that location. [09/01/15 @ 4:00 PM].

Referred to Public Facilities and Finance Committees

#191-16

Funding to relocate the Zervas modulars to NSHS and Brown Middle School

HIS HONOR THE MAYOR requesting authorization to transfer the sum of five hundred thousand dollars (\$500,000) to the Public Buildings Department for the purpose of funding the relocation modular classrooms from the Zervas Elementary School to Newton South High School and Brown Middle School from the following accounts:

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Treasury	Debt Service (010772-582A49)	\$21,216
Financial Info Systems	Full-time Salaries	\$35,000

[05/09/16 @ 4:59 PM]

#100-15

Discussion on pursuing municipal aggregation of energy purchasing

ALD. NORTON, SANGIOLO, LEARY, AND ALBRIGHT requesting that the Administration pursue municipal aggregation of energy purchasing with the goals of reducing and/or stabilizing electricity costs for resident, businesses and the City; and requiring the purchase of Class 1 RECs at some percentage above the level required by the Massachusetts Renewable Portfolio Standard. [04/06/15 @ 9:12 AM]

#83-15

Discussion and update on energy items

ALD. CROSSLEY, GENTILE, & ALBRIGHT requesting a discussion and update from the Administration on the following energy related items: status of municipal power purchasing contracts for gas and electricity; status of the Power Purchase Agreement

including solar PV rooftop installations, power offset (cost benefit) to date and review of potential future projects; and an update on municipal energy consumption including the recent Green Communities report filed with the Department of Energy Resources. [03/26/15 @ 9:19 AM]

Referred to Public Facil, Programs & Serv, and Public Safety & Trans Committees

- #46-15** **Discussion of parking options for school and municipal parking lots**
ALD. JOHNSON & CICCONE, requesting a discussion with the Commissioner of Department of Public Works and the School Department to determine and discuss parking options including use of school properties based on the current municipal parking lot programs including the issuance of permits. [02/11/15 @ 1:35 PM]
- #328-14** **Review of double utility poles**
ALD. ALBRIGHT, DANBERG, & LAREDO requesting a review of double poles in Newton including a random sampling of ten double poles on the north side and ten double poles on the south side of Newton to determine which utility is holding up the removal of double poles. [08/19/14 @ 9:16 AM]
- #189-14** **Update on the Zervas School construction project**
PUBLIC FACILITIES COMMITTEE requesting periodic updates on the Zervas Elementary School Project. [04/17/14 @ 10:48 PM]
- #188-14** **Update on the Cabot School construction project**
PUBLIC FACILITIES COMMITTEE requesting periodic updates on the Cabot Elementary School Project. [04/17/14 @ 10:48 PM]

Referred to Programs & Services and Public Facilities Committees

- #119-14** **Discussion with ISD on plans to address City non-compliance with ADA standards**
ALD. ALBRIGHT AND CROSSLEY requesting discussion with the Inspectional Services Department to explain the development of short and long term plans to identify and correct buildings, sidewalks, playgrounds, etc...that do not conform to American Disability Act (ADA) standards. The discussion should include information on how improvements will be incorporated into the Capital Improvement Plan or if less than \$75,000 into a comprehensive budget plan to correct ADA deficiencies. [03/12/14 @ 4:18 PM]
- #131-13** **Updates and discussion on the sewer, water and storm water systems**
ALD. CROSSLEY, FULLER, SALVUCCI, JOHNSON, CICCONE requesting periodic updates and discussion, at the discretion of the members of the Public Facilities Committee or the Commissioner of Public Works, on the condition functioning, operations and management of all elements of the City sewer, water and storm water systems including the following:

- Water meters
- Implementation of the ten project area strategic plan to remove infiltration in the City sewer system
- Implementation of the long range strategic plan to repair and replace City water mains, especially to correct for fire flow
- Status of the City's Private Inflow Removal Program to resolve and disconnect illegal storm water connections to the City sewer system
- Current billing practices
- Rates analyses needed to facilitate an informed comparison of billing options to include the following options either alone or in combination: seasonal rates, second meters, tiered rates, frequency of billing, low income credits.

Referred to Finance and Appropriate Committees

#257-12

Review of Fees, Civil Fines/Non-criminal Disposition in Chapter 17 of the ordinances
RECODIFICATION COMMITTEE recommending (1) review of the Fees, Civil Fines/Non-Criminal Disposition contained in Chapter 17 LICENSING AND PERMITS GENERALLY and Chapter 20 CIVIL FINES/NON-CRIMINAL DISPOSITION CIVIL FINES to ensure they are in accordance with what is being charged and (2) review of the acceptance of G.L. c. 40 §22F, accepted on July 9, 2001, which allows certain municipal boards and officers to fix reasonable fees for the issuance of certain licenses, permits, or certificates.

Finance Voted No Action Necessary 7-0 on 12/14/15

Referred To Programs & Services And Public Facilities Committees

#36-12

Inspection of private sewer lines and storm water drainage connections

ALD. CROSSLEY & FULLER requesting Home Rule legislation or an ordinance to require inspections of private sewer lines and storm water drainage connections prior to settling a change in property ownership, to assure that private sewer lines are functioning properly and that there are no illegal storm water connections to the city sewer mains.

- A) Sewer lines found to be compromised or of inferior construction would have to be repaired or replaced as a condition of sale;
- B) Illegal connections would have to be removed, corrected, and re-inspected in accordance with current city ordinances and codes, as a condition of sale.
[01/24/12 @ 8:07 AM]

Programs & Services Voted No Action Necessary 6-0 on 11/17/14

Referred to Public Safety & Transportation And Public Facilities Committees

#413-11

Updates on the renovations to the City's fire stations

ALD. CICCONE, SALVUCCI, GENTILE & LENNON updating the Public Facilities and Public Safety & Transportation Committees on the progress of renovations to the city's fire stations. [11-17-11 @11:07 AM]

#367-09

Discussion on repair of underground streetlight connections

PUBLIC FACILITIES COMMITTEE requesting discussion with the Law Department on how to resolve the dispute with NStar regarding whose responsibility it is to repair the streetlight connection between the manhole and the base of the streetlight.
[10/21/09 @ 9:00 PM]

Respectfully submitted,
Deborah J. Crossley, Chair

EVERSOURCE
ENERGY

221-16

200 Calvary Street
Waltham, Ma 02453

RECEIVED
Newton City Council

2016 JUN 13 AM 8:53

David A. Olson, CMC
Newton, MA 02459

June 8, 2016

City Council
City of Newton
1000 Commonwealth Avenue
Newton MA, 02459

RE: Court Street
Newton, MA
W/O #2128555

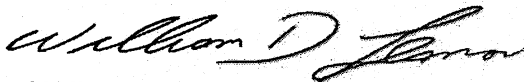
Dear Members of the Council:

The enclosed petition and plan is being presented by the NSTAR ELECTRIC COMPANY d/b/a EVERSOURCE ENERGY for the purpose of obtaining a Grant of Location to install 30± feet of conduit in Court Street.

This work is being done to provide new underground service to 77 Court Street.

Your immediate attention to this matter is appreciated. If you have any questions, please call Maureen Carroll at (781) 314-5053.

Sincerely,



William D. Lemos,
Rights & Permits Supervisor

WDL/kj
Attachments

**PETITION OF NSTAR ELECTRIC COMPANY dba EVERSOURCE ENERGY FOR LOCATION FOR
CONDUITS AND MANHOLES**

To the City Council of the City of Newton Massachusetts

Respectfully represents NSTAR ELECTRIC COMPANY dba EVERSOURCE ENERGY a company incorporated for the transmission of electricity for lighting, heating or power, that it desires to construct a line for such transmission under the public way or ways hereinafter specified.

WHEREFORE, your petitioner prays that, after due notice and hearing as provided by law, the Council may by Order grant to your petitioner permission to construct, and a location for, such a line of conduits and manholes with the necessary wires and cables therein, said conduits and manholes to be located substantially as shown on the plan made by **A. DeBenedictis** dated **June 4, 2016** and filed herewith, under the following public way or ways of said City.

Court Street - Easterly from pole #52/10 approximately 68 feet west of Beach Street a distance of 30 ± feet of conduit.

WO# 2128555

NSTAR ELECTRIC COMPANY
dba EVERSOURCE ENERGY

By: William D. Lemos
William D. Lemos, Supervisor
Rights and Permits

Dated this 8th of June, 2016

City of Newton, Massachusetts

Received and filed _____, 2016

ORDER FOR LOCATION FOR CONDUITS AND MANHOLES

221-16

City of Newton Massachusetts, _____ 2016

In City Council

WHEREAS, NSTAR ELECTRIC COMPANY dba EVERSOURCE ENERGY has petitioned for permission to construct a line for the transmission of electricity for lighting, heating, or power under the public way or ways of the City hereinafter specified, and notice has been given and a hearing held on said petition as provided by law.

It is ORDERED that NSTAR ELECTRIC COMPANY dba EVERSOURCE ENERGY be and hereby is granted permission to construct, and a location for, such a line of conduits and manholes with the necessary wires and cables therein under the following public way or ways of said City:

Court Street - Easterly from pole #52/10 approximately 68 feet west of Beach Street a distance of 30 ± feet of conduit.

WO# 2128555

All construction work under this Order shall be in accordance with the following conditions:

1. Conduits and manholes shall be located as shown on made by A. DeBenedictis **Dated June 4, 2016**
2. Said Company shall comply with the requirements of existing ordinances and such as may hereafter be adopted governing the construction and maintenance of conduits and manholes.
3. All work shall be done to satisfaction of the City Council

or such officer or officers as it may appoint to supervise the work.

A True Record. Attest: _____
City Clerk

Approved _____ 2016

Mayor

CERTIFICATE

I hereby certify that the foregoing Order was adopted after due notice and public hearing as prescribed by Section 22 of Chapter 166 of the General Laws (Ter. Ed.) and any additions thereto or amendments thereof, to wit:--after written notice of the time and place of the hearing mailed at least seven days prior to the date of the hearing by the City Clerk to all owners of real estate abutting upon that part of the way or ways upon, along or across which the line is to be constructed under said Order, as determined by the last preceding assessment for taxation and a public hearing held on the ___ day of _____ 2016, at City Council in the said City

City Clerk

CERTIFICATE

I hereby certify that the foregoing are true copies of the Order of the City Council of the City of NEWTON Massachusetts duly adopted on the _____ day of _____, 2016 and recorded with the records of location Orders of said City. Book _____ Page _____ and of the certificate of notice of hearing thereon required by Section 22 of Chapter 166 of the General Laws (Ter. Ed.), and any additions thereto or amendments thereof, as the same appear of record.

Attest: _____
Clerk of City of NEWTON, Massachusetts

II. DESCRIPTION OF PROJECT: to be completed by petitioner

A. Write here or attach a description of the project including, location, proposed time frame for completion, type of materials to be used, benefit provided to the City, project mitigation plan as applicable, street reconstruction plan including timetable for completion.

Customer to install 30 feet of conduit in Court Street
Customer to obtain street opening permit and police detail

B. Include or attach a sketch to provide a visual description of the project. If plans are attached, provide:
Title of Plan Court Street, Newton Date of plan June 4, 2016

III. PUBLIC WORKS DEPARTMENT REVIEW

Date received by Public Works Department _____

Check One:

Minor Project Major Project Lateral

(Refer to City Engineer Standard Requirements for Plans for definition of minor and major project)

Plans Submitted:

Certified Plot Plan Stamped Plans

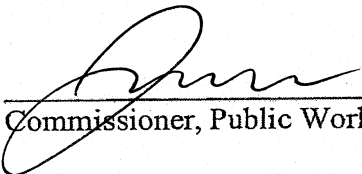
DATE AND COMMENTS:

RECOMMENDATIONS:

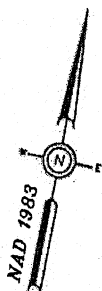
Back fill trench with Control Density Fill (CDF TYPE I-E) Excavatable.	Contact Newton Police for detail.
Trench restoration to City Standards. Any curb or sidewalk damaged shall be restored in kind.	June 22, 2016 John Daghlian, Associate City Eng.

V. RECOMMENDATION TO PUBLIC FACILITIES COMMITTEE:

L. Favara 6/22/16


Commissioner, Public Works

6/24/16
Date



CUST TO INSTALL 2 - 4" PVC PIPES
TYPE EB IN CONCRETE
SECTION 2 FIG. 1 30.1'±

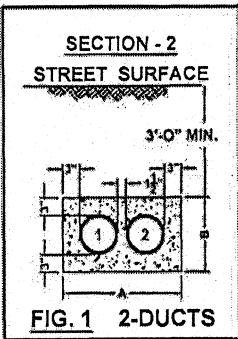


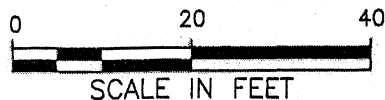
FIG	4" Ducts		6" Ducts		8" Ducts	
	A Inches	B Inches	A Inches	B Inches	A Inches	B Inches
1	18"	10"	18"	11"	21"	12"
2	22"	10"	25"	11"	29"	12"
3	26"	10"	32"	11"	37"	12"
4	16"	16"	19"	18"	23"	21"
5	22"	15"	25"	18"	29"	21"
6	16"	23"	18"	25"	21"	29"
7	16"	20"	10"	32"	21"	37"
8	25"	15"	32"	18"	37"	21"
9	22"	22"	25"	25"	29"	29"
10	34"	16"	28"	18"	35"	21"
11	16"	34"	18"	30"	23"	45"
12	23"	26"	25"	32"	29"	37"
13	28"	23"	28"	25"	27"	29"
14	45"	15"	45"	18"	53"	21"
15	19"	40"	16"	48"	21"	83"
16	18"	48"	16"	53"	21"	61"

COURT ST

APPROX. PT.
OF PICKUP



BEACH ST



BY YOUR USE OF THE INFORMATION CONTAINED IN THIS MAP, YOU AGREE THAT NO WARRANTY OF ANY KIND, EXPRESS OR IMPLIED, IS GIVEN WITH RESPECT TO THE INFORMATION. NEITHER NSTAR ELECTRIC COMPANY, NSTAR GAS COMPANY NOR ITS PARENTS, AFFILIATES, OFFICERS, DIRECTORS, SHAREHOLDERS, EMPLOYEES OR AGENTS (COLLECTIVELY THE "NSTAR ENTITIES") SHALL BE LIABLE FOR ANY LOSS OR INJURY CAUSED IN WHOLE OR IN PART BY USE OF THIS INFORMATION OR IN RELIANCE UPON IT, TO THE MAXIMUM EXTENT ALLOWED BY LAW. YOU AGREE BY YOUR ACCEPTANCE OF THE INFORMATION TO RELEASE, INDEMNIFY AND HOLD THE NSTAR ENTITIES HARMLESS FROM ANY SUCH LOSS OR INJURY.

THE INFORMATION MAY NOT REPRESENT A SURVEY, MAY NOT BE THE MOST COMPLETE AND IS SUBJECT TO CHANGE WITHOUT NOTICE. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE INFORMATION, EITHER EXPRESSED OR IMPLIED. UNAUTHORIZED ATTEMPTS TO MODIFY THE INFORMATION OR USE THE INFORMATION FOR OTHER THAN ITS INTENDED PURPOSES ARE PROHIBITED.

MASS. LAW

REQUIRES 72 HOURS ADVANCE NOTICE TO UTILITY COMPANIES
BEFORE DIGGING BY ANYONE. CALL DIG-SAFE 1-888-344-7233

C#	
Ward #	
Work Order #	2128555
Surveyed by:	N/A
Research by:	SC
Plotted by:	LM
Proposed Structures:	LM
Approved:	A DEBENEDICTIS
P#	

NSTAR EVERSOURCE
ELECTRIC d/b/a
1165 MASSACHUSETTS AVE. DORCHESTER, MASS. 02125

Plan of COURT ST.,
NEWTON

Showing PROPOSED CUSTOMER CONDUIT LOCATION

Scale 1"=20' Date JUNE 4, 2016

SHEET 1 of 1

221-16

CITY OF NEWTON
MASSACHUSETTS

221-16

PETITION for GRANT OF LOCATION

To the Petitioner:

City of Newton Ordinance Section 23-52 requires that each petition for grant of location be submitted to the City Council before it is sent to the Public Works Department for a preliminary review. The comments of the Public Works Commissioner will be part of the record submitted to the City Council. Upon filing with the City Council, the petition will be scheduled for a public hearing before the Public Facilities Committee of the City Council. **The petitioner is responsible for insuring that the petition is complete and all required materials are in order for review.** Attached please find the City Engineer's Standard Requirements for Plans and the Department of Public Works Permit Processing brochure.

Grant of Location Process:

1. Applicant submits completed Petition Form and required materials to the City Council
2. Public Works Department conducts preliminary review and gives written comments to the applicant
3. Engineering Division files Petition Form with comments with the Clerk of the City Council
4. City Council schedules petition for a public hearing before the Public Facilities Committee of the City Council
5. Public Facilities Committee recommendations are forwarded to the City Council for a final decision

Questions my be directed to:

Lou Taverna, City Engineer, 617-796-1020
City Council Office, 617-796-1210

I. IDENTIFICATION (Please Type or Print Clearly)

Company Name NSTAR ELECTRIC DBA EVERSOURCE ENERGY

Address 200 CALVARY STREET, WALTHAM, MA

Phone Number 781-314-5053

Fax Number 781-314-5165

Contact Person MAUREEN CARROLL

Title RIGHT OF WAY AGENT

Signature *Maureen Carroll*
Person filing application

Date 6-9-16

If a telecommunications company, indicate how certified by the Department of Telecommunications and Energy:

Final Label Report

#221-16

SBL	Owner	Number	Street	Unit
23019 0010	CANNING JOHN & PATRICIA	2	BEACH ST	NVL
23016 0030	FRASER F LESTER & NANCY L TRS	63	COURT ST	
23019 0011	KAJE INVESTMENT GROUP LLC	66	COURT ST	
23016 0031	CHIN BRIAN SUN CHEUNG	67	COURT ST	
23016 0031A	KAVANAGH ROBERT & CAROLE	69	COURT ST	
23016 0032	SEB COURT ST LLC	75	COURT ST	
23020 0010	ROUSSEAU-BROWN MONIQUE	76	COURT ST	
23016 0033	SEB COURT STREET LLC	83	COURT ST	
23020 0009	ROUSSEAU JOSEPH R & RUTH	84	COURT ST	

17
10992

249-16

**MCLANE
MIDDLETON**

RECEIVED
Newton City Clerk

2016 JUL -1 AM 11:17

David A. Olson, CMC
Newton, MA 02459

ELIZABETH F. MASON
Direct Dial: 781.904.2668
Email: elizabeth.mason@mclane.com
Admitted in MA
300 TradeCenter, Suite 7000
Newton, MA 01801-7419
T 781.904.2700
F 781.904.2701

June 30, 2016

VIA OVERNIGHT MAIL AND EMAIL (dolson@newtonma.gov)

Office of the City Council
Newton City Hall, Room 105
1000 Commonwealth Avenue
Newton, MA 02459

Re: Petitions for Grant of Location to Attach Small Cell Antennas and Supporting Equipment to Existing Non-Municipal Utility Poles

Applicant: Cellco Partnership d/b/a Verizon Wireless ("Verizon Wireless")

Address: Utility Pole #10-7 located in public right of way on Dudley Road, Newton (adjacent to 530 Dudley Road)

Utility Pole #1368-1 located in public right of way on Hay Road, Newton (adjacent to 16 Hay Road)

Dear Office of the City Council:

In accordance with Chapter 166, Section 22 of the Massachusetts General Laws and City of Newton requirements, Verizon Wireless is submitting herewith the enclosed Petitions for Grant of Location so that it may install, operate and maintain single "Small Cell" wireless communication antennas on each of the two above-described Verizon Telephone/ Eversource-owned utility poles. As described in detail below, the proposed antennas will provide capacity relief and improve network service throughout Newton, particularly in areas of dense demand for Verizon Wireless's Long Term Evolution ("LTE" or "4G") voice and data services. Small Cell technology is a large component of Verizon Wireless's greater initiative to deploy *non-intrusive* and *inconspicuous* wireless technology solutions throughout New England.

PETITIONER INFORMATION

Verizon Wireless is one of the nation's leading FCC-licensed providers of wireless telecommunications services, extending coverage to almost all of the top 100 markets in the United States. It has developed one of the largest and most reliable national networks to provide wireless voice and data services to an ever-growing customer base, last counted at over 135 million. Verizon Wireless continuously works to enhance and improve its wireless network through the deployment of its voice, data, LTE and Advanced Wireless Services ("AWS")

McLane Middleton, Professional Association
Manchester, Concord, Portsmouth, NH | Woburn, Boston, MA

McLane.com

communications services. One of the key design objectives of Verizon Wireless's system is to provide seamless and reliable coverage without significant gaps or dead spots or the inability to handle and off-load voice and data traffic, particularly in areas of high data demand.

"SMALL CELL" TECHNOLOGY

The strategic integration of Small Cell antenna technology is a surgical approach to the continued deployment of Verizon Wireless's LTE and AWS networks in Newton and throughout Massachusetts, particularly in those areas of high data traffic. When Small Cell antennas are strategically placed throughout a targeted geographic area, the end result is an overall increase in performance and efficiency, both within the target area and the network as a whole. Practically speaking, cellular signals from Small Cells are transmitted from antennas throughout high traffic areas at elevations lower than those from traditional wireless communications facilities ("WCFs") such as towers and monopoles. Here, the Small Cell antennas will be placed on existing utility poles. Verizon Wireless will be relying on Small Cell technology as it continues to deploy its network in Newton in the months to come.

ORDERS FOR GRANT OF LOCATION

Federal and state law provide a legal framework allowing—and in fact mandating—the installation of this stealth antenna technology on utility poles. At the federal level, the Pole Attachment Act (47 U.S.C. § 224) mandates that utility pole owners grant nondiscriminatory access to their poles for attachments by cable television systems and telecommunication carriers. At the state level, the Massachusetts Pole Attachment Act (M.G.L. c. 166, § 25A) specifically addresses wireless communications-related pole attachments, providing that "utilities shall provide wireless providers with nondiscriminatory access to any pole or right of way ... for the purpose of installing a wireless attachment."

VERIZON WIRELESS'S PROPOSAL

With the aim of rapidly deploying Small Cell technology throughout Massachusetts, Verizon Wireless has entered into pole attachment licensing agreements with utility providers, including Eversource Energy and Verizon Telephone, among others, which allow for the installation of compact Small Cell canister antennas on existing utility poles throughout the Commonwealth.

The installation on Dudley Road will primarily consist of a canister antenna that will be mounted to the side of the utility pole, while the Hay Road installation will consist of a similar antenna mounted atop that pole. In each installation, the antenna will resemble a traditional electric transformer and be virtually indistinguishable from such transformers already located on utility poles throughout the area. Additional supporting equipment—a remote radio head, electrical junction box and meter, and fiberoptic and power connections—will be mounted to the exterior of the pole, resulting in a self-contained antenna facility without the need for further infrastructure. With respect to visual impacts, this equipment is substantially similar to the equipment of electric, telephone and cable utility providers.

Following installation, Verizon Wireless technicians will monitor and occasionally visit the pole site for maintenance purposes. Except for standard electrical service, the installation will not impact utilities, schools, traffic or other municipal resources. A key component of this technology, from Verizon Wireless's perspective, is the ability to deploy this equipment quickly, without the arduous processes involved in typical WCF permitting.

MATERIALS ENCLOSED

We have enclosed the following materials for your review and consideration:

1. Petition for Grant of Location for each proposed installation;
2. Proposed Order for Grant of Location for each proposed installation; and
3. Ten (10) sets of 11"x17" plans detailing the specifics of each proposed installation.

These are organized by proposed installation as follows: at **Tab 1**, the materials for the Dudley Road site, and at **Tab 2**, the materials for the Hay Road site. We will provide copies of the pole attachment licenses issued to Verizon by Verizon Telephone and Eversource for each installation under separate cover. In addition, we will deliver a check payable to the City of Newton in the amount the City indicates is appropriate to cover the petition fees.

CONCLUSION

The proposed Small Cell antennas are by far the least intrusive means available to address gaps in coverage in those areas of dense demand for Verizon Wireless's LTE voice and data services that exist in Newton. The equipment as proposed will provide enhanced service to areas of concentrated demand, while avoiding the aesthetic impacts of traditional wireless facilities.

Thank you for your timely attention to this matter. If you should have any questions regarding the enclosed application, please do not hesitate to contact me directly.

Very truly yours,



Elizabeth F. Mason

ec. C. Webberly, SCG (w/o enc.)
M. Frankel, SCG (w/o enc.)
T. Hildreth, MM (w/o enc.)

104792\10901454

Tab 1

PETITION FOR GRANT OF LOCATION
UNDER MGL c. 166, §§ 22 and 25A

RECEIVED
Newton City Clerk

2016 JUL -1 AM 11:18

David A. Olson, CMC
Newton, MA 02459

To the City Council
Of Newton, Massachusetts

Cellco Partnership d/b/a Verizon Wireless requests permission to locate on an existing utility pole a small cell wireless antenna, including the necessary sustaining and protecting fixtures, along and across the following public way:

Dudley Road, one pole, number 10-7.

Location approximately as shown on plans attached.

Wherefore Cellco Partnership d/b/a Verizon Wireless prays that after due notice and hearing, because the pole in question is previously approved and already existing – as provided by law – it be granted a location for and permission to erect and maintain an antenna, radio unit, meter, AC/DC converter, 60A disc., RGS conduit, ground rod, power and fiber together with such sustaining and protecting fixtures as it may find necessary, said equipment to be installed substantially in accordance with the plans filed herewith, plan name:

Newton MA SC28, dated June 7, 2016.

June 30, 2016

Cellco Partnership d/b/a Verizon Wireless

By: 

Elizabeth F. Mason, Agent for Cellco
Partnership d/b/a Verizon Wireless, duly
authorized

ORDER FOR GRANT OF LOCATION
UNDER MGL c. 166, §§ 22 and 25A

RECEIVED
Newton City Clerk
2016 JUL -1 AM 11:18

David A. Olson, Clerk
Newton, MA 02459

In the City of Newton, Massachusetts
Notice having been given and public hearing held, as provided by law

IT IS HEREBY ORDERED:

that Cellco Partnership d/b/a Verizon Wireless be and it is hereby granted a location for and permission to install on an existing pole and maintain pole and wires to be placed thereon, together with such sustaining and protecting fixtures as said Company may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Company dated the 30th day of June, 2016.

All construction under this order shall be in accordance with the following conditions:

Plan name: **Newton MA SC28, dated June 7, 2016**, filed with this order.

There may be attached to said pole antenna, radio unit, meter, AC/DC converter, 60A disc., RGS conduit, ground rod, power and fiber and fixtures as needed in their business and all of said wires and cables.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Dudley Road, one pole, number 10-7.

I hereby certify that the foregoing order was adopted at a meeting of the City Council of the City of Newton, Massachusetts held on the _____ day of _____, 2016.

City Clerk
Newton, Massachusetts

Received and entered in the records of location orders of the City of Newton at Book _____, Page _____.

Attest: _____
Newton City Clerk

Final Label Report

SBL	Owner	Number	Street	Unit
82027 0004	WONG STANLEY R & MARY Y	132	BROOKLINE ST	
82006 0011	BIRNBAUM SETH M	500	DUDLEY RD	
82027 0015	TEPPER MARK A & ANDREA D	508	DUDLEY RD	
82027 0016	CHEMEL JOCELYN TR	514	DUDLEY RD	
82025 0044	KIRAN RAZDAN1 REALTY LLC	515	DUDLEY RD	
82027 0017	STEADMAN GEOFFREY A	522	DUDLEY RD	
82025 0045	GONG ERIC C & GORDON	525	DUDLEY RD	
82027 0001	DAVID MARGARET HORNADY TR	530	DUDLEY RD	
82025 0046	SIFF LAWRENCE A & JOAN E	533	DUDLEY RD	
82027 0002	KARIMI SHIVA	540	DUDLEY RD	
82025 0047	CHAO PETER & JOSEPHINE	547	DUDLEY RD	
82027 0003	NEEDLEMAN LEONARD & DEBORAH TRS	550	DUDLEY RD	
82025 0048	LEE SHIAOYU & ELSA	555	DUDLEY RD	

Final Label Report

SBL	Owner	Number	Street	Unit
84016 0021	DANICA MARIE G L/E	63	HANSON RD	
84026 0001	CUNNINGHAM KENNETH E TR	66	HANSON RD	
84016 0022	HYSENAJ ARJAN & ODETA	69	HANSON RD	
84026 0011	BARRON WILLIAM & SHELLEY L/E	80	HANSON RD	
84025 0001	RUSKIN LAURIE M	90	HANSON RD	
84027 0013	SHAAR ALON	93	HANSON RD	
84027 0011	WITTY SEAN M & LYNN E	7	HAY RD	
84016 0001	BENDAYAN ALEXANDER A	8	HAY RD	
84027 0012	YANKOVSKI EDWARD	15	HAY RD	
84016 0023	KUZNETSOV DMITRI	16	HAY RD	

**CITY OF NEWTON
MASSACHUSETTS**

RECEIVED
Newton City Clerk

PETITION for GRANT OF LOCATION

2016 JUL -5 PM 4: 33

To the Petitioner:

David A. Olson, CMC
Newton, MA 02459

City of Newton Ordinance Section 23-52 requires that each petition for grant of location be submitted to the Board of Aldermen before it is sent to the Public Works Department for a preliminary review. The comments of the Public Works Commissioner will be part of the record submitted to the Board of Aldermen. Upon filing with the Board of Aldermen, the petition will be scheduled for a public hearing before the Public Facilities Committee of the Board of Aldermen. **The petitioner is responsible for insuring that the petition is complete and all required materials are in order for review.** Attached please find the City Engineer's Standard Requirements for Plans and the Department of Public Works Permit Processing brochure.

Grant of Location Process:

1. Applicant submits completed Petition Form and required materials to the Board of Aldermen
2. Public Works Department conducts preliminary review and gives written comments to the applicant
3. Engineering Division files Petition Form with comments with the Clerk of the Board of Aldermen
4. Board of Aldermen schedules petition for a public hearing before the Public Facilities Committee of the Board of Aldermen
5. Public Facilities Committee recommendations are forwarded to the Board of Aldermen for a final decision

Questions my be directed to:

Lou Taverna, City Engineer, 617-796-1020
Shawna Sullivan, Clerk of the Board of Aldermen, 617-796-1213

I. IDENTIFICATION (Please Type or Print Clearly)

Company Name Verizon

Address 385 Myles Standish Blvd
Taunton, MA 02780

Phone Number (774) 409-3152 Fax Number (774) 409-3926

Contact Person Paul Schneider Title Right of Way Manager

Signature Paul A Schneider Date 7/5/2016
Digitally signed by Paul A Schneider
DN: cn=Paul A Schneider, o=Verizon, ou=ROW,
email=paul.a.schneider@verizon.com, c=US
Date: 2016.07.05 15:46:58 -04'00'

Person filing application

If a telecommunications company, indicate how certified by the Department of Telecommunications and Energy:

II. DESCRIPTION OF PROJECT: to be completed by petitioner

A. Write here or attach a description of the project including, location, proposed time frame for completion, type of materials to be used, benefit provided to the City, project mitigation plan as applicable, street reconstruction plan including timetable for completion.

As part of the Elliot Street Bridge reconstruction, pole #136/50 needs to be re-located approximately 28-feet easterly from it's current location, and pole # 49 needs to be relocated 3-feet southerly from it current location. See attached plan.

B. Include or attach a sketch to provide a visual description of the project. If plans are attached, provide:

Title of Plan Central Avenue/Elliot Street Bridge Rehabilitation Date of plan March 2016

III. PUBLIC WORKS DEPARTMENT REVIEW

Date received by Public Works Department _____

Check One:

Minor Project Major Project Lateral

(Refer to City Engineer Standard Requirements for Plans for definition of minor and major project)

Plans Submitted:

Certified Plot Plan Stamped Plans

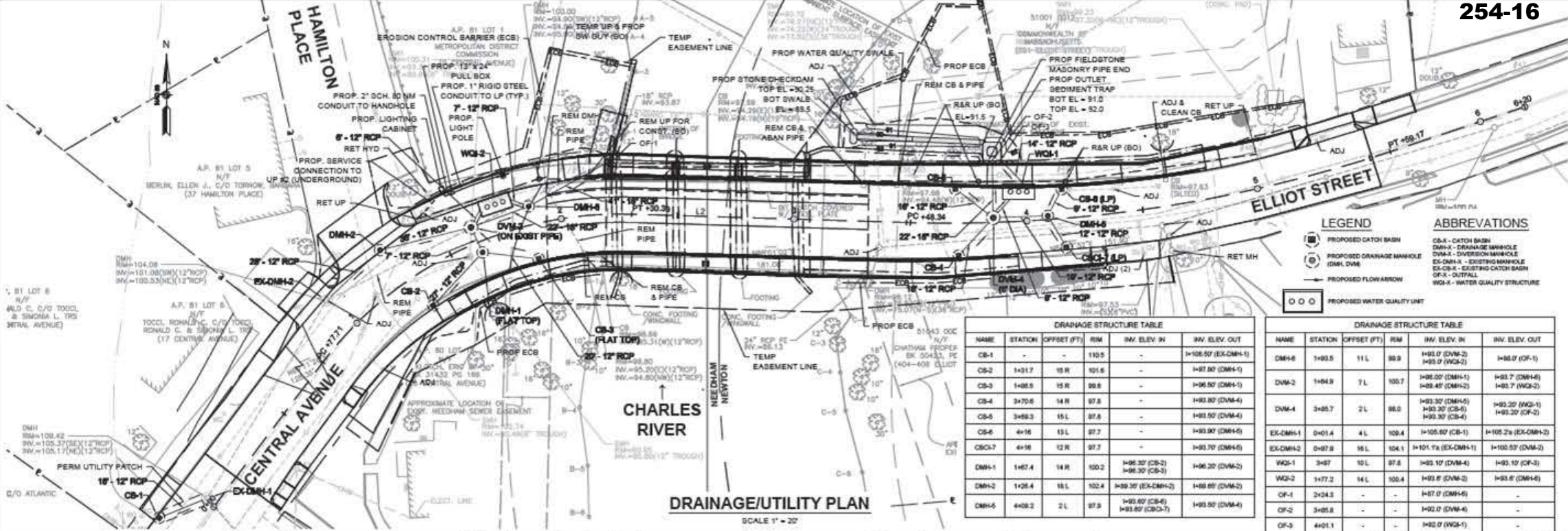
DATE AND COMMENTS:

RECOMMENDATIONS:

V. RECOMMENDATION TO PUBLIC FACILITIES COMMITTEE:

Commissioner, Public Works

Date



LEGEND

- Proposed Catch Basin
- Proposed Drainage Manhole (DMH, DVM)
- Proposed Flow Arrow
- Proposed Water Quality Unit

ABBREVIATIONS

- CB-X - CATCH BASIN
- DMH-X - DRAINAGE MANHOLE
- DVM-X - DIVERSION MANHOLE
- EX-DMH-X - EXISTING MANHOLE
- EX-CB-X - EXISTING CATCH BASIN
- OF-X - OUTFALL
- WQX-X - WATER QUALITY STRUCTURE

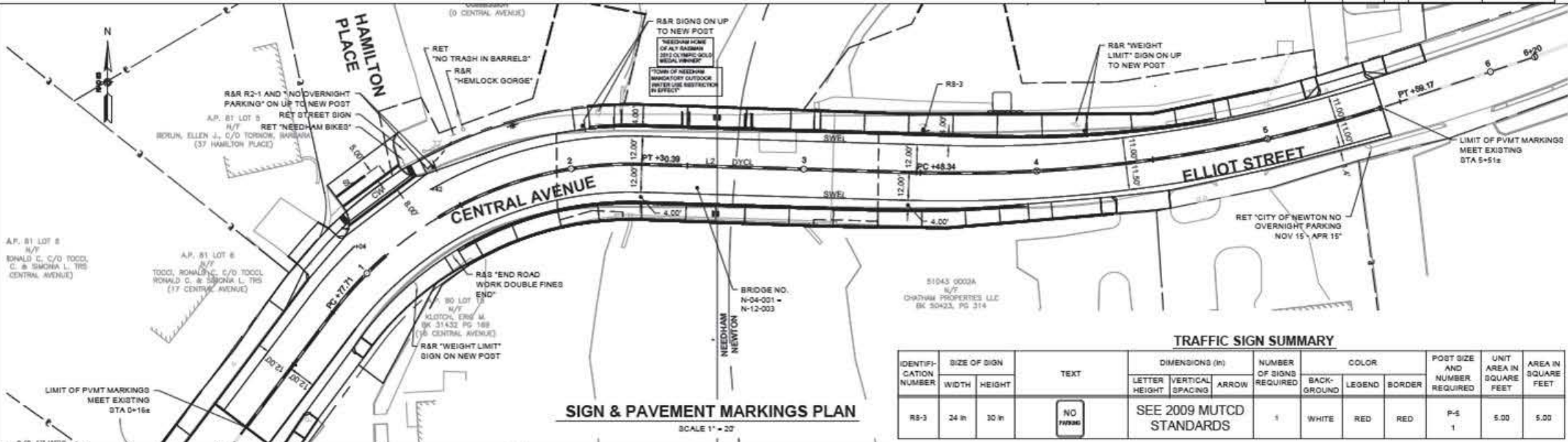
DRAINAGE STRUCTURE TABLE

NAME	STATION	OFFSET (FT)	RM	INV. ELEV. IN	INV. ELEV. OUT
CB-1	-	-	110.5	-	+108.50 (EX-DMH-1)
CB-2	+321.7	18.8	101.6	-	+97.80 (DMH-1)
CB-3	+108.5	15.8	98.8	-	+96.50 (DMH-1)
CB-4	+370.6	14.8	97.8	-	+93.80 (DMH-4)
CB-5	+369.3	15.1	97.8	-	+93.50 (DMH-4)
CB-6	+416	13.1	97.7	-	+93.80 (DMH-5)
CB-C7	+416	12.8	97.7	-	+93.70 (DMH-5)
DMH-1	+167.4	14.8	100.2	+98.30 (CB-2)	+96.30 (DMH-2)
DMH-2	+126.4	18.1	102.4	+99.30 (EX-DMH-2)	+98.60 (DMH-2)
DMH-5	+408.2	2.1	97.9	+93.60 (CB-7)	+93.50 (DMH-4)

DRAINAGE STRUCTURE TABLE

NAME	STATION	OFFSET (FT)	RM	INV. ELEV. IN	INV. ELEV. OUT
DMH-6	+493.5	11.1	98.9	+93.0 (DMH-2)	+92.0 (OF-1)
DVM-2	+164.9	7.1	100.7	+98.00 (DMH-2)	+93.7 (DMH-6)
DVM-4	+348.7	2.1	98.0	+93.30 (DMH-4)	+93.20 (WQ-2)
EX-DMH-1	+041.4	4.1	109.4	+105.80 (CB-1)	+105.20 (EX-DMH-2)
EX-DMH-2	+087.8	16.1	104.1	+101.70 (EX-DMH-1)	+100.50 (DMH-2)
WQ-1	+348.7	10.1	97.8	+93.10 (DMH-4)	+93.10 (OF-3)
WQ-2	+177.2	14.1	100.4	+93.8 (DMH-2)	+93.8 (DMH-4)
OF-1	+242.3	-	-	+87.0 (DMH-6)	-
OF-2	+348.8	-	-	+92.0 (DMH-4)	-
OF-3	+401.1	-	-	+92.0 (WQ-1)	-

DRAINAGE/UTILITY PLAN
SCALE 1" = 20'



TRAFFIC SIGN SUMMARY

IDENTIFICATION NUMBER	SIZE OF SIGN		TEXT	DIMENSIONS (in)			NUMBER OF SIGNS REQUIRED	COLOR			POST SIZE AND NUMBER REQUIRED	UNIT AREA IN SQUARE FEET	AREA IN SQUARE FEET
	WIDTH	HEIGHT		LETTER HEIGHT	VERTICAL SPACING	ARROW		BACKGROUND	LEGEND	BORDER			
RS-3	24 in	30 in	NO PARKING	SEE 2009 MUTCD STANDARDS			1	WHITE	RED	RED	P-5 1	5.00	5.00

SIGN & PAVEMENT MARKINGS PLAN
SCALE 1" = 20'

<p>DESIGNED BY: KY</p> <p>CHECKED BY: DJ</p>		<p>PREPARED BY:</p> <p>www.BETA-inc.com</p>	<p>SCALE:</p> <p>AS SHOWN</p>	<p>CENTRAL AVENUE/ELLIOT STREET OVER CHARLES RIVER DRAINAGE/UTILITY PLAN & TIE PLAN NEEDHAM/NEWTON, MASSACHUSETTS</p>	<p>BETA JOB No. 5000</p> <p>PLOT DATE: 02/02/16</p> <p>ISSUE DATE: 02/02/16</p> <p>SHEET No. 11 OF 54</p>
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CITY OF NEWTON
MASSACHUSETTS

RECEIVED
Newton City Clerk

10313

PETITION for GRANT OF LOCATION JUN 27 PM 3:03

David A. Olsen, CMC
Newton, MA 02459

To the Petitioner:

City of Newton Ordinance Section 23-52 requires that each petition for grant of location be submitted to the Board of Aldermen before it is sent to the Public Works Department for a preliminary review. The comments of the Public Works Commissioner will be part of the record submitted to the Board of Aldermen. Upon filing with the Board of Aldermen, the petition will be scheduled for a public hearing before the Public Facilities Committee of the Board of Aldermen. **The petitioner is responsible for insuring that the petition is complete and all required materials are in order for review.** Attached please find the City Engineer's Standard Requirements for Plans and the Department of Public Works Permit Processing brochure.

Grant of Location Process:

1. Applicant submits completed Petition Form and required materials to the Board of Aldermen
2. Public Works Department conducts preliminary review and gives written comments to the applicant
3. Engineering Division files Petition Form with comments with the Clerk of the Board of Aldermen
4. Board of Aldermen schedules petition for a public hearing before the Public Facilities Committee of the Board of Aldermen
5. Public Facilities Committee recommendations are forwarded to the Board of Aldermen for a final decision

Questions my be directed to:

Lou Taverna, City Engineer, 617-796-1020
Shawna Sullivan, Clerk of the Board of Aldermen, 617-796-1213

I. IDENTIFICATION (Please Type or Print Clearly)

Company Name Comcast of Massachussets

Address 440 Myles Standish Blvd
Taunton MA 02780

Phone Number 774 644 9104 Fax Number _____

Contact Person Manuel Furtado Title Project Coordinator

Signature _____ Date 6/27/16
Person filing application

If a telecommunications company, indicate how certified by the Department of Telecommunications and Energy:

II. DESCRIPTION OF PROJECT: to be completed by petitioner

A. Write here or attach a description of the project including, location, proposed time frame for completion, type of materials to be used, benefit provided to the City, project mitigation plan as applicable, street reconstruction plan including timetable for completion.

Starting @ Existing Vault :Trench Down Washington Street Westerly 250'+- to Private Property Line Located at the easterly Corner of 612 Washington Street

B. Include or attach a sketch to provide a visual description of the project. If plans are attached, provide:

Title of Plan 612 Washington Street SOW Date of plan 6/27/16

III. PUBLIC WORKS DEPARTMENT REVIEW

Date received by Public Works Department _____

Check One:

Minor Project Major Project Lateral

(Refer to City Engineer Standard Requirements for Plans for definition of minor and major project)

Plans Submitted:

Certified Plot Plan Stamped Plans

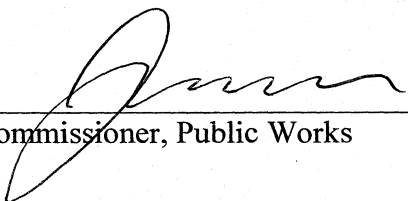
DATE AND COMMENTS:

RECOMMENDATIONS:

Backfill shall be with	
Control Density Fill CDF	
Excavatable TYPE I-E	
Trench restoration shall	
be per City Standards as well as curb/sidewalks	
John Doyle	

Associate City Engineer 6/29/16

V. RECOMMENDATION TO PUBLIC FACILITIES COMMITTEE:


Commissioner, Public Works

6/29/16
Date

Final Label Report

SBL	Owner	Number	Street	Unit
14024 0004A	GHADYANI SOROUSH	6-8	LENGLEN RD	2
14024 0004	CUNNINGHAM RITA	6-8	LENGLEN RD	1
14023 0006CA	ROMAN CATH ARCHD OF BOSTON	575	WASHINGTON ST	
12016 0002	NATL CATHOLIC GROUP PURCHASING ASSO	580	WASHINGTON ST	
14023 0006	ROMAN CATH ARCHD OF BOSTON CORP	583	WASHINGTON ST	
14024 0003	LAU BERNICE	599-601	WASHINGTON ST	
12016 0003	NSTAR ELECTRIC CO	600	WASHINGTON ST	
12016 0004	DIFAZIO BRUNO TR	602	WASHINGTON ST	
23018 0001	DIFAZIO BRUNO TR	606	WASHINGTON ST	
14024 0002A	COMPAGNONE NINO TR	607	WASHINGTON ST	
14024 0002	COMPAGNONE NINO & ANTONIA TRS	611	WASHINGTON ST	
23018 0001A	PILTCH RICHARD E TR	612	WASHINGTON ST	
14024 0001A	KUTAS DAVID H & MARIE	619-621	WASHINGTON ST	621
14024 0001	NILSON MATOS A & ALICIA A	619-621	WASHINGTON ST	619
23018 0002	KEERY THOMAS D TR	624	WASHINGTON ST	
23017 0001	647 WASHINGTON ST CO LLC	641	WASHINGTON ST	
23018 0003	PCTM LLC	650	WASHINGTON ST	



IA Search
Get Directions History

Earth Gallery >>

RECEIVED
Newton
2016 JUN 27 PM 3:03
David A. Ok
Newton, MA

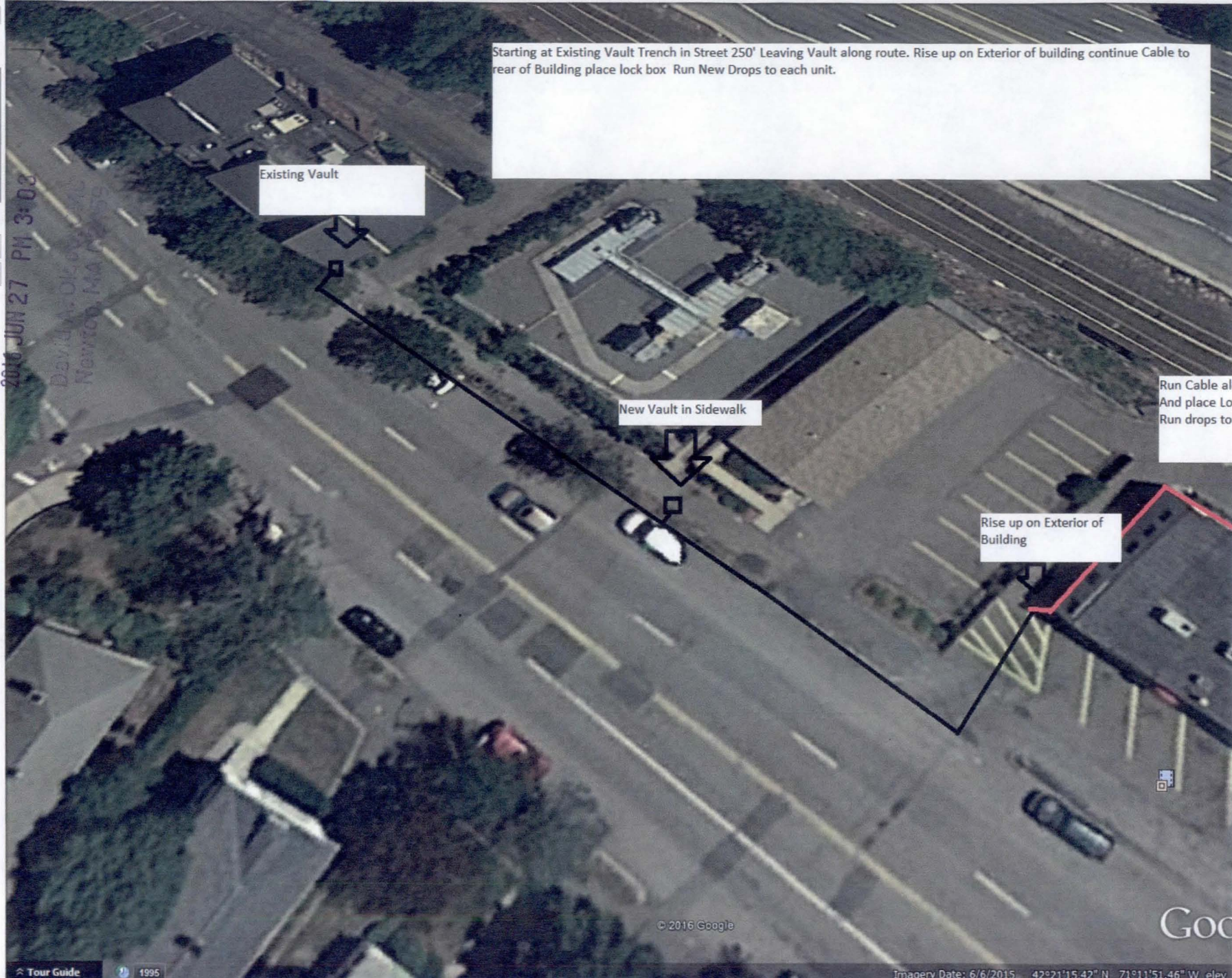
Starting at Existing Vault Trench in Street 250' Leaving Vault along route. Rise up on Exterior of building continue Cable to rear of Building place lock box Run New Drops to each unit.

Existing Vault

New Vault in Sidewalk

Rise up on Exterior of Building

Run Cable al
And place Lo
Run drops to



CITY OF NEWTON
MASSACHUSETTS

251-16

RECEIVED
Newton City Clerk

PETITION for GRANT OF LOCATION JUN 16 PM 12:26

David A. Olson, City Clerk
Newton, MA 02459

To the Petitioner:

City of Newton Ordinance Section 23-52 requires that each petition for grant of location be submitted to the Public Works Department for a preliminary review before the applicant files the petition with the Board of Aldermen. The comments of the Public Works Commissioner will be part of the record submitted to the Board of Aldermen. Upon filing with the Board of Aldermen, the petition will be scheduled for a public hearing before the Public Facilities Committee of the Board of Aldermen. **The petitioner is responsible for insuring that the petition is complete and all required materials are in order for review.** Attached please find the City Engineer's Standard Requirements for Plans and the Department of Public Works Permit Processing brochure.

Grant of Location Process:

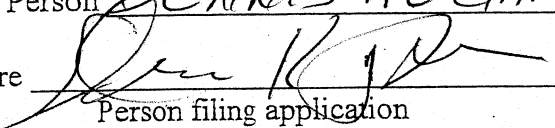
1. Applicant submits completed Petition Form and required materials to Public Works Department
2. Public Works Department conducts preliminary review and gives written comments to the applicant
3. Petitioner files Petition Form with Clerk of the Board of Aldermen
4. Board of Aldermen schedules petition for a public hearing before the Public Facilities Committee of the Board of Aldermen
5. Public Facilities Committee recommendations are forwarded to the Board of Aldermen for a final decision

Questions may be directed to:

Lou Taverna, City Engineer, 617-796-1020

Shawna Sullivan, Clerk of the Board of Aldermen, 617-796-1213

I. IDENTIFICATION (Please Type or Print Clearly)

Company Name NATIONAL GRID (corp)
Address 40 SYLVAN RD
WALTHAM MA 02451
Phone Number 617-293-0480 Fax Number _____
Contact Person DENNIS REGAN Title PERMIT REPRESENTATIVE
Signature  Date 6-16-16
Person filing application

If a telecommunications company, indicate how certified by the Department of Telecommunications and Energy:

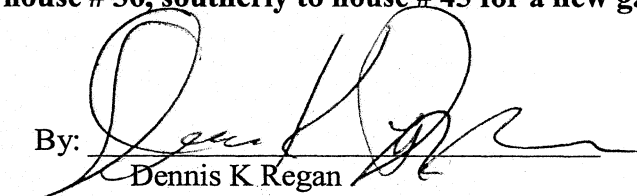
II. DESCRIPTION OF PROJECT: to be completed by petitioner

City of Newton / Board of Aldermen:

The Nationalgrid hereby respectfully requests your consent to the locations of mains as hereinafter described for the transmission and distribution of gas in and under the following public streets, lanes, highways and places of the **City of Newton** and of the pipes, valves, governors, manholes and other structures, fixtures and appurtenances designed or intended to protect or operate said mains and accomplish the objects of said Company; and the digging up and opening the ground to lay or place same:

To install and maintain approximately 50 feet more or less of 4 inch gas main in Deforest Rd., Newton. From the existing 4 inch gas main at house # 36, southerly to house # 45 for a new gas service.

Date: June 16, 2016

By: 
Dennis K Regan
Permit Representative

City of Newton / Board of Aldermen:

IT IS HEREBY ORDERED that the locations of the mains of the Nationalgrid for the transmission and distribution of gas in and under the public streets, lanes, highways and places of the **City of Newton** substantially as described in the petition date June 16, 2016 attached hereto and hereby made a part hereof, and of the pipes, valves, governors, manholes and other structures, fixtures and appurtenances designed or intended to protect or operate said mains and/or accomplish the objects of said Company, and the digging up and opening the ground to lay or place same, are hereby consented to and approved.

The said Nationalgrid shall comply with all applicable provisions of law and ordinances of the **City of Newton** applicable to the enjoyment of said locations and rights.

Date this _____ day of _____, 20__.

I hereby certify that the foregoing order was duly adopted by the _____ of the City of _____, MA on the _____ day of _____, 20__.

By: _____

Title

MN # 144-1111613

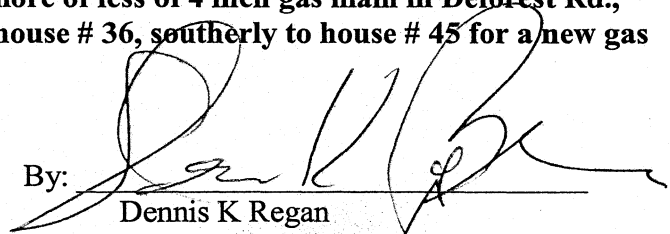
**RETURN ORIGINAL TO THE PERMIT SECTION
NATIONAL GRID
40 SYLVAN RD, WALTHAM, MA 02451
RETAIN DUPLICATE FOR YOUR RECORDS**

City of Newton / Board of Aldermen:

The Nationalgrid hereby respectfully requests your consent to the locations of mains as hereinafter described for the transmission and distribution of gas in and under the following public streets, lanes, highways and places of the **City of Newton** and of the pipes, valves, governors, manholes and other structures, fixtures and appurtenances designed or intended to protect or operate said mains and accomplish the objects of said Company; and the digging up and opening the ground to lay or place same:

To install and maintain approximately 50 feet more or less of 4 inch gas main in Deforest Rd., Newton. From the existing 4 inch gas main at house # 36, southerly to house # 45 for a new gas service.

Date: June 16, 2016

By: 
Dennis K Regan
Permit Representative

City of Newton / Board of Aldermen:

IT IS HEREBY ORDERED that the locations of the mains of the Nationalgrid for the transmission and distribution of gas in and under the public streets, lanes, highways and places of the **City of Newton** substantially as described in the petition date June 16, 2016 attached hereto and hereby made a part hereof, and of the pipes, valves, governors, manholes and other structures, fixtures and appurtenances designed or intended to protect or operate said mains and/or accomplish the objects of said Company, and the digging up and opening the ground to lay or place same, are hereby consented to and approved.

The said Nationalgrid shall comply with all applicable provisions of law and ordinances of the **City of Newton** applicable to the enjoyment of said locations and rights.

Date this _____ day of _____, 20____.

I hereby certify that the foregoing order was duly adopted by the _____ of the City of _____, MA on the _____ day of _____, 20____.

By: _____

Title

MN # 144-1111613

**RETURN ORIGINAL TO THE PERMIT SECTION
NATIONAL GRID
40 SYLVAN RD, WALTHAM, MA 02451
RETAIN DUPLICATE FOR YOUR RECORDS**

A. Write here or attach a description of the project including, location, proposed time frame for completion, type of materials to be used, benefit provided to the City, project mitigation plan as applicable, street reconstruction plan including timetable for completion.

TO INSTALL AND MAINTAIN APPROXIMATELY 50 FEET MORE OR LESS OF 4 INCH GAS MAINS DEFOREST RD. FROM THE EXISTING 4 INCH GAS MAIN AT HOUSE # 36 SOUTHERLY TO HOUSE # 45 FOR A NEW GAS SERVICE

B. Include or attach a sketch to provide a visual description of the project. If plans are attached, provide:

Title of Plan 45 DEFOREST RD. Date of plan 6-10-16
NEWTON MA 02462

III. PUBLIC WORKS DEPARTMENT REVIEW

Date received by Public Works Department _____

Check One:

Minor Project Major Project Lateral

(Refer to City Engineer Standard Requirements for Plans for definition of minor and major project)

Plans Submitted:

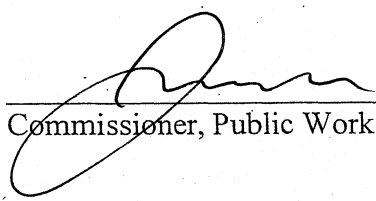
Certified Plot Plan Stamped Plans

DATE AND COMMENTS:

RECOMMENDATIONS:

Trench Compaction to 95% Proctor	
Trench restoration per City Standard	
Any curb or sidewalk damaged shall be replaced in kind	
John Duglian	
Associate City Engineer	
6/29/16	

V. RECOMMENDATION TO PUBLIC FACILITIES COMMITTEE:


Commissioner, Public Works

6/29/16
Date

ABUTTERS LIST

CREHORE DR.

KRINTZMAN JOSHUA	77 CREHORE DR	NEWTON MA	02462-1136
HUMPHREY STACY B	80 CREHORE DR	NEWTON MA	02462-1114
NGUYEN STELLA	90 CREHORE DR	NEWTON MA	02462-1138

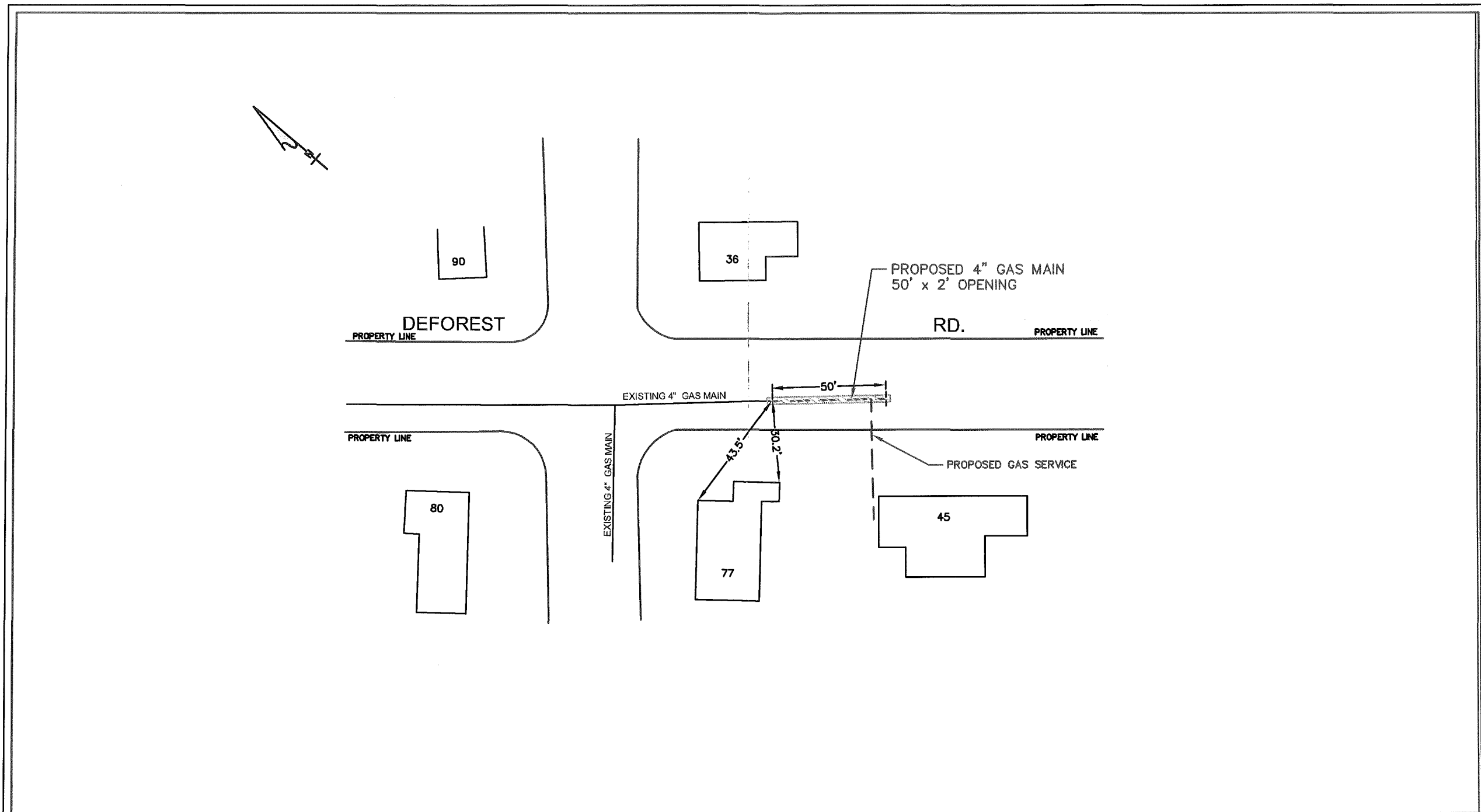
ABUTTERS LIST

DEFOREST RD.

COTTRILL MICHAEL D	17 DEFOREST RD	NEWTON MA	02462-1110
MORRISON GLEN A	20 DEFOREST RD	NEWTON MA	02462-1111
ZOLL REALTY LLC	36 DEFOREST RD	NEWTON MA	02462-1134
GU XUESONG	45 DEFOREST RD	NEWTON MA	02462-1133
BON OG CHAN	53 DEFOREST RD	NEWTON MA	02462-1133

Final Label Report

SBL	Owner	Number	Street	Unit
42013 0001	KRINTZMAN JOSHUA & JULIE	77	CREHORE DR	
42014 0007	HUMPHREY STACY B	80	CREHORE DR	
42012 0023	NGUYEN DANG H & STELLA	90	CREHORE DR	
42012 0024	ZOLL REALTY LLC	36	DEFOREST RD	
42013 0004	GU XUESONG	45	DEFOREST RD	
42013 0006	CHAN BON OG & SIU MEI	53	DEFOREST RD	
42013 0007	CROTTY IAN M	473	GROVE ST	



LEGEND

	PROPOSED GAS
	EXISTING GAS
	PROPERTY LINE
	EDGE OF ROADWAY
	PROPOSED OPENING

NOTE:
 THE LOCATION OF SURFACE AND UNDERGROUND OBJECTS SHOWN ARE NOT WARRANTED TO BE CORRECT.
 CALL 811 BEFORE YOU DIG
 UTILITIES AND STREET LINES COMPILED FROM AVAILABLE DATA SOURCES
 NO FIELD VERIFICATION PERFORMED

REVISIONS				
NO.	DESCRIPTION	DATE	DR. BY	APP. BY

nationalgrid
 40 SYLVAN ROAD
 WALTHAM, MA 02451

GRANT OF LOCATION
 PROPOSED LOCATION OF 4" GAS MAIN
 45 DEFOREST RD., NEWTON, MA 02462

ENGR / DRFTMN	DATE	SIZE	PRESSURE	MATERIAL	LENGTH	WORK ORDER NO.
J.P.T. / M.L.B.	06/10/2016	4"	2 PSIG	PLASTIC	50±	967614

SCALE: 1" = 40'
 SHEET 1 OF 1
 DRAWING NO.
 GP-NEW
 1111613-16-90

H 10341

CITY OF NEWTON
MASSACHUSETTS

PETITION for GRANT OF LOCATION

To the Petitioner:

City of Newton Ordinance Section 23-52 requires that each petition for grant of location be submitted to the Board of Aldermen before it is sent to the Public Works Department for a preliminary review. The comments of the Public Works Commissioner will be part of the record submitted to the Board of Aldermen. Upon filing with the Board of Aldermen, the petition will be scheduled for a public hearing before the Public Facilities Committee of the Board of Aldermen. **The petitioner is responsible for insuring that the petition is complete and all required materials are in order for review.** Attached please find the City Engineer's Standard Requirements for Plans and the Department of Public Works Permit Processing brochure.

2016 JUN 30 AM 8:37
RECEIVED
CITY OF NEWTON

Grant of Location Process:

1. Applicant submits completed Petition Form and required materials to the Board of Aldermen
2. Public Works Department conducts preliminary review and gives written comments to the applicant
3. Engineering Division files Petition Form with comments with the Clerk of the Board of Aldermen
4. Board of Aldermen schedules petition for a public hearing before the Public Facilities Committee of the Board of Aldermen
5. Public Facilities Committee recommendations are forwarded to the Board of Aldermen for a final decision

Questions may be directed to:

Lou Taverna, City Engineer, 617-796-1020
Shawna Sullivan, Clerk of the Board of Aldermen, 617-796-1213

I. IDENTIFICATION (Please Type or Print Clearly)

Company Name VERIZON

Address 125 Lundquist Dr.
Braintree, MA 02184

Phone Number 781-949-6313/781-949-6320 Fax Number 781-380-8854

Contact Person Phil Desroses Title Engineer

Signature Penny Kane Date 6/30/2016
Person filing application

If a telecommunications company, indicate how certified by the Department of Telecommunications and Energy:

II. DESCRIPTION OF PROJECT: to be completed by petitioner

A. Write here or attach a description of the project including, location, proposed time frame for completion, type of materials to be used, benefit provided to the City, project mitigation plan as applicable, street reconstruction plan including timetable for completion.

Lateral conduit connection for the purpose of providing telecommunications service to #100 Franklin St. We would like to complete this working as soon as possible after we receive the grant.

B. Include or attach a sketch to provide a visual description of the project. If plans are attached, provide:

Title of Plan Petition Plan No. 1A1Q8EE Date of plan June 28, 2016

III. PUBLIC WORKS DEPARTMENT REVIEW

Date received by Public Works Department _____

Check One:

Minor Project Major Project Lateral

(Refer to City Engineer Standard Requirements for Plans for definition of minor and major project)

Plans Submitted:

Certified Plot Plan Stamped Plans

DATE AND COMMENTS:

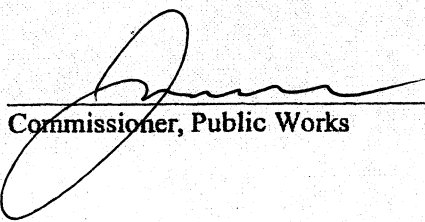
RECOMMENDATIONS:

<i>Back fill trench with</i>	
<i>Control Density Fill</i>	
<i>Type I-E excavatable</i>	
<i>Trench restoration per</i>	
<i>previous grant of location</i>	
<i>applicant agreed to mill</i>	

& overlay curb to curb. per street opening permit *JM Duff* *7/5/16* *Associate City Eng.*

RECEIVED
 NEWTON CIVIL
 2016 JUL -5 AM 8:37
 David A. Olson, City
 Newton, MA 02459

V. RECOMMENDATION TO PUBLIC FACILITIES COMMITTEE:


 Commissioner, Public Works

7/8/16
 Date



125 Lundquist Drive
Braintree, MA 02184

Phone 781-849-6320
Fax 781-380-8854
penny.i.kane@verizon.com

Penny Kane
Right of Way Manager

June 29, 2016

Newton City Council
Newton City Hall, Room 105
1000 Commonwealth Avenue
Newton, MA 02459

RE: Petition for Verizon job #1A1Q8ER
Franklin Street, Newton, MA

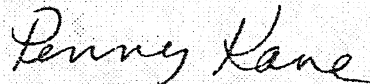
Dear Honorable City Council:

Enclosed please find a petition on behalf of Verizon New England Inc. to place approximately 402' of new conduit and one new handhole on Franklin Street.

The new conduit and handhole are necessary in order to provide service to a new home being built at #100 Franklin Street.

A Public hearing and notice to abutters is required. A Verizon representative will attend the Public hearing. Should any questions or comments arise concerning this matter prior to the hearing, please contact me at (781) 849-6320. Your assistance is greatly appreciated.

Sincerely,



Penny Kane
Right of Way Manager

Enc

RECEIVED
NEWTON CITY COUNCIL
2016 JUL -5 AM 8:36
David A. Olson, City Clerk
Newton, MA 02459

PETITION FOR CONDUIT LOCATION-CITIES AND TOWNS

To the **City Council**

of **NEWTON, Massachusetts**

VERIZON NEW ENGLAND INC. requests permission to lay and maintain underground conduits, with the wires and cables to be placed therein, under the surface of the following public way or ways:

FRANKLIN STREET :

Place approximately four hundred two feet (402') of new conduit and one (1) new handhole on Franklin Street as follows -

Beginning at existing pole numbered P.1100/15, which pole is located on the northerly side of Franklin Street, place one four inch (4") conduit in a southeasterly direction approximately 55' crossing Franklin Street, thence extending in an easterly direction along the southerly side of Franklin Street approximately three hundred thirty three feet (333') to a point, thence running in a southerly direction approximately fourteen feet (14') to a new handhole to be placed on the southerly side of Franklin Street.

The new conduit and handhole are necessary in order to provide service to a new home being built at #100 Franklin Street.

Also for permission to lay and maintain underground conduits, manholes, cables and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as it may desire for distributing purposes.

Plan marked-VZ N.E. Inc. No. **1A1Q8ER** dated **JUNE 28, 2016** showing location of conduit to be constructed is filed herewith.

VERIZON NEW ENGLAND INC.

By *Penny Kane*
 Manager - Rights of Way

Dated this 30 day of June, 2016.

ORDER FOR CONDUIT LOCATION

In City Council of the City of NEWTON, Massachusetts
ORDERED:

That permission be and hereby is granted the VERIZON NEW ENGLAND INC. to lay and maintain underground conduits and manholes, with the wires and cables to be placed therein, under the surface of the following public way or ways as requested in petition of said Company dated the 28th day of JUNE, 2016.

FRANKLIN STREET :

Place approximately four hundred two feet (402') of new conduit and one (1) new handhole on Franklin Street as follows -

Beginning at existing pole numbered P.1100/15, which pole is located on the northerly side of Franklin Street, place one four inch (4") conduit in a southeasterly direction approximately 55' crossing Franklin Street, thence extending in an easterly direction along the southerly side of Franklin Street approximately three hundred thirty three feet (333') to a point, thence running in a southerly direction approximately fourteen feet (14') to a new handhole to be placed on the southerly side of Franklin Street.

The new conduit and handhole are necessary in order to provide service to a new home being built at #100 Franklin Street.

Substantially as shown on plan marked- VZ N.E. Inc. No. 1A1Q8ER dated June 28, 2016 filed with said petition.

Also that permission be and hereby is granted said VERIZON NEW ENGLAND INC. to lay and maintain underground conduits, manholes, cables and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as it may desire for distributing purposes.

The foregoing permission is subject to the following conditions:

1. The conduits and manholes shall be of such material and construction and all work done in such manner as to be satisfactory to the City Council or to such officers as it may appoint to the supervision of the work, and a plan showing the location of conduits constructed shall be filed with the City when the work is completed.
2. In every underground main line conduit constructed by said Company hereunder one duct not less than three inches in diameter shall be reserved and maintained for the limited purpose of attaching one-way low voltage fire and police signaling wires owned by the municipality or governmental entity for public safety purposes only.
3. Said Company shall indemnify and save the City harmless against all damages, costs and expense whatsoever to which the City may be subjected in consequence of the acts or neglect of said Company, its agents or servants, or in any manner arising from the rights and privileges granted it by the City.
4. In addition said Company shall, before a public way is disturbed for the laying of its wire or conduits, execute its bond in a penal sum of Five Thousand Dollars (\$5,000) (reference being had to the bond already on file with said City) conditioned for the faithful performance of its duties under this permit.
5. Said Company shall comply with the requirements of existing by-laws and such as may hereafter be adopted governing the construction and maintenance of conduits and wires, so far as the same are not inconsistent with the laws of the Commonwealth.

I hereby certify that the foregoing order was adopted at a meeting of the City Council of the City of NEWTON, Massachusetts, held on the _____ day of _____ 2016.

City Clerk

ORDER FOR CONDUIT LOCATION

We hereby certify that on _____ 2016, at _____ o'clock ____ M. at _____ a public hearing was held on the petition of the VERIZON NEW ENGLAND INC. for permission to lay and maintain underground conduits, manholes and connection, with the wires and cables to be placed therein, described in the order herewith recorded, and that we mail at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to construct the lines of said Company under said order. And that thereupon said order was duly adopted.

City Council of the City of NEWTON, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of location order, and certificate of hearing with notice adopted by the City Council of the City of NEWTON, Massachusetts, on the _____ day of _____ 2016, and recorded with the records of location orders of said City, Book _____ Page _____. This certified copy is made under the provisions of Chapter 166 General Laws and any additions thereto or amendments thereof.

Attest:

City Clerk

ABUTTERS LIST

PROPERTY SBL: 72033 0001
151 Franklin Street

DONNELLY ELLEN K & ERLING T
151 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72033 0001A
137 Franklin Street

LENSKAYA MARIANNA
137 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72033 0016
133 Franklin Street

LEE ALICE C & SHERMAN M
133 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72033 0015
125 Franklin Street

SUSSMAN CARL A
LUBETSKY LAURA E
125 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72033 0014
115 Franklin Street

HAAS JENNIFER S
KAPLAN JOSHUA M
115 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72033 0013
107 Franklin Street

WOOLF CLIFFORD J & FREDIA R
107 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72033 0012
99 Franklin Street

COLANTONIO DAWN R & VICTOR TRS
VICTOR COLANTONIO TRUST
99 Franklin Street
Newton, MA 02458

ABUTTERS LIST

PROPERTY SBL: 72035 0010
132 Farlow Road

TOPPING TREXLER M & JUDITH W
132 Farlow Road
Newton, MA 02458

PROPERTY SBL: 72035 0009
Franklin Street

KANE BUILT INC
P.O. Box 620-636
Newton, MA 02462

PROPERTY SBL: 72035 0008
114 Franklin Street

RODMAN STEVEN J & SARINE
114 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72035 0007
Franklin Street

FRASER THOMAS H & JANIS K
130 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72035 0006
130 Franklin Street

FRASER THOMAS H & JANIS K
130 Franklin Street
Newton, MA 02458

PROPERTY SBL: 72035 0005
12 Beechcroft Road

SIEGAL SEAN & ERIKA
P.O. Box 600157
Newton, MA 02460

PROPERTY SBL: 72034 0007
11 Beechcroft Road

CLANCY BRIAN A & SUSAN J
11 Beechcroft Road
Newton, MA 02458



PETITION PLAN

MUNICIPALITY

NEWTON

VZ N.E. Inc. No.

1A1Q8ER

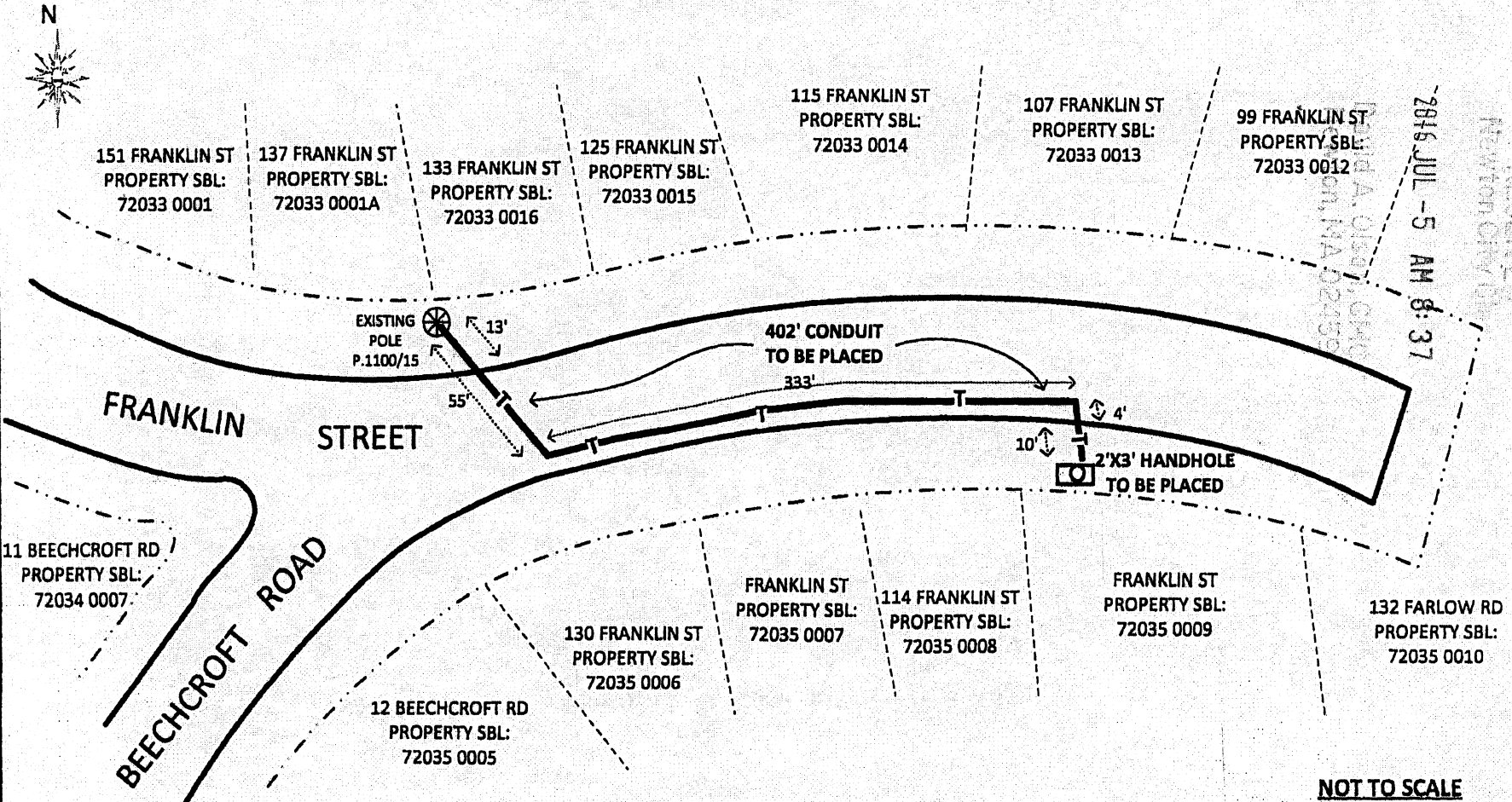
VERIZON NEW ENGLAND INC.

DATE:

June 28, 2016

SHOWING

PROPOSED INSTALLATION CONDUIT AND ONE HANDHOLE ON FRANKLIN STREET



LEGEND

- | | | | |
|--|--------------------------------|--|------------------|
| | EXISTING POLE TO REMAIN | | EDGE OF PAVEMENT |
| | PROPOSED HANDHOLE TO BE PLACED | | EDGE OF ROADWAY |
| | PROPOSED CONDUIT TO BE PLACED | | PROPERTY LINE |

Final Label Report

SBL	Owner	Number	Street	Unit
72033 0012	COLANTONIO DAWN R & VICTOR TRS	99	FRANKLIN ST	
72033 0013	WOOLF CLIFFORD J & FREDIA R	107	FRANKLIN ST	
72033 0014	HAAS JENNIFER S	115	FRANKLIN ST	
72033 0015	SUSSMAN CARL A	125	FRANKLIN ST	
72033 0016	LEE ALICE C & SHERMAN M	133	FRANKLIN ST	
72033 0001A	LENSKAYA MARIANNA	137	FRANKLIN ST	
72033 0011A	ORMES DANIEL AND MICHELLE	21-23	HOOD ST	23
72033 0011	GARRITY PAUL A	21	HOOD ST	21
72033 0007	ESPINOZA GROVER CHRISTIAN	22	SHORNECLIFFE RD	
72033 0006	RHEUBOTTOM MARSHA A	26	SHORNECLIFFE RD	
72033 0005	YANG ZHIYONG	32	SHORNECLIFFE RD	
72033 0004	BINA BABAK	40	SHORNECLIFFE RD	
72033 0003	NEWMAN DAVID	46	SHORNECLIFFE RD	
72033 0002	SYNYAVSKYY DMYTRO	54	SHORNECLIFFE RD	

**CITY OF NEWTON
MASSACHUSETTS**

RECEIVED
Newton City Clerk

PETITION for GRANT OF LOCATION

2016 JUN 21 PM 1:39

David A. Olson, CMG
Newton, MA 02459

To the Petitioner:

City of Newton Ordinance Section 23-52 requires that each petition for grant of location be submitted to the Board of Aldermen before it is sent to the Public Works Department for a preliminary review. The comments of the Public Works Commissioner will be part of the record submitted to the Board of Aldermen. Upon filing with the Board of Aldermen, the petition will be scheduled for a public hearing before the Public Facilities Committee of the Board of Aldermen. **The petitioner is responsible for insuring that the petition is complete and all required materials are in order for review.** Attached please find the City Engineer's Standard Requirements for Plans and the Department of Public Works Permit Processing brochure.

Grant of Location Process:

1. Applicant submits completed Petition Form and required materials to the Board of Aldermen
2. Public Works Department conducts preliminary review and gives written comments to the applicant
3. Engineering Division files Petition Form with comments with the Clerk of the Board of Aldermen
4. Board of Aldermen schedules petition for a public hearing before the Public Facilities Committee of the Board of Aldermen
5. Public Facilities Committee recommendations are forwarded to the Board of Aldermen for a final decision

Questions my be directed to:

Lou Taverna, City Engineer, 617-796-1020

Shawna Sullivan, Clerk of the Board of Aldermen, 617-796-1213

I. IDENTIFICATION (Please Type or Print Clearly)


Company Name Lighttower Fiber Networks

Address 80 Central St

Boxborough, MA 01719

Phone Number 860-576-0742 Fax Number _____

Contact Person Steve Crescimanno Title Fiber Construction Engineer

Signature  Date 6/21/2016
Person filing application

If a telecommunications company, indicate how certified by the Department of Telecommunications and Energy:

II. DESCRIPTION OF PROJECT: to be completed by petitioner

A. Write here or attach a description of the project including, location, proposed time frame for completion, type of materials to be used, benefit provided to the City, project mitigation plan as applicable, street reconstruction plan including timetable for completion.

Lighttower Fiber Networks proposes a 540' trench from Verizon Manhole 47/237 located in from of 160 Wells Ave to 180 Wells Ave. All but 5 feet of the trench will be in the grass adjacent to Wells Ave. Lighttower will make a small trench and tap into Verizon MH47/327. The trench will be occupied by (1) 4inch sch 40 PVC pipe along with a fiber optic cable. The entire project should be 5 days including the restoration. All material removed will be placed back and compacted. The final restoration will be loomed and seeded. The contractors will have Newton Police details for the entirety of this dig.

B. Include or attach a sketch to provide a visual description of the project. If plans are attached, provide:
 Title of Plan Proposed cable installation 180 Wells Ave in Newton MA Date of plan 6/21/2016

III. PUBLIC WORKS DEPARTMENT REVIEW

Date received by Public Works Department _____

Check One:

Minor Project Major Project Lateral

(Refer to City Engineer Standard Requirements for Plans for definition of minor and major project)

Plans Submitted:

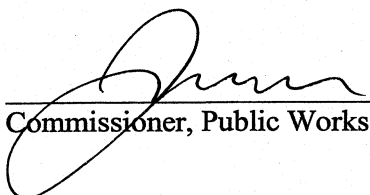
Certified Plot Plan Stamped Plans

DATE AND COMMENTS:

RECOMMENDATIONS:

Restore sidewalk (asphalt) + curbing to city standards.	contact Newton Police for Detail
CDF backfill TYPE I-E	
Excavate within sidewalk & roadway limits.	
John Daghlian, Associate City Eng.	Laverne 6/22/16
6/22/16	

V. RECOMMENDATION TO PUBLIC FACILITIES COMMITTEE:


 Commissioner, Public Works

6/24/16
 Date



PROPOSED CABLE INSTALLATION

**AT
180 WELLS AVE
IN
NEWTON, MA**

RECEIVED
NEWTON CITY CIVIL
2016 JUN 21 PM 1:41
David A. Olson, CMG
Newton, MA 02459

INDEX OF DRAWING

SHEET NO.	DESCRIPTION
01	TITLE BLOCK
02	STREET SURVEY

AXIS

ENGINEERING GROUP
1900 West Park Dr. Suite 165
Westboro, MA 01581
(508) 870-7221 www.axisgroup.com

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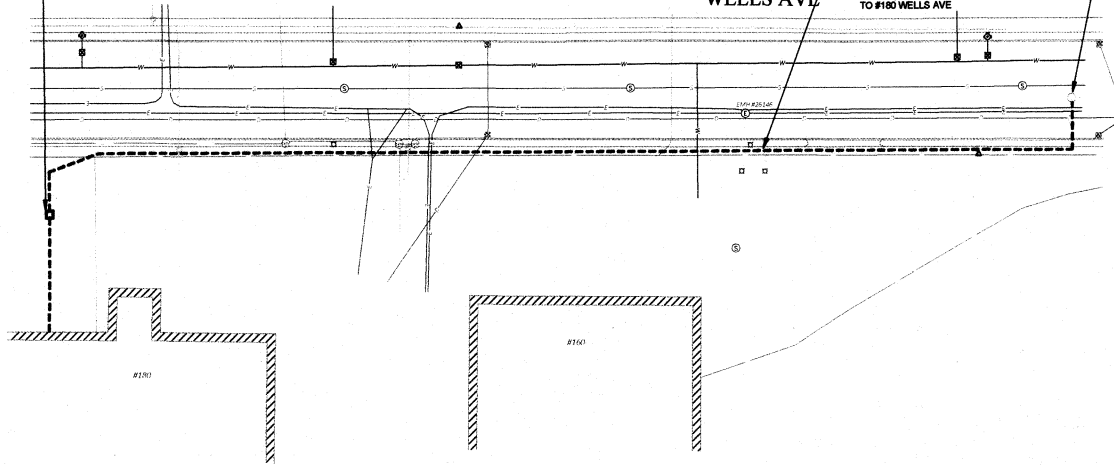
253-16

PROPOSED LIGHTTOWER VAULT #2
(COMPOSITE-24X36X180)

WELLS AVE

PROPOSED 437 FEET OF
2(4") COMMUNICATION CONDUIT
(SCHEDULE 40)
CONCRETE ENCASED FROM PROPOSED
BREAKOUT MANHOLE 47/327
TO #180 WELLS AVE

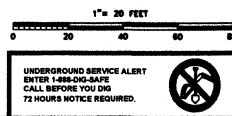
PROPOSED BREAKOUT FROM TELECOM
MANHOLE 46



GENERAL NOTES

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THEY HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR WILL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ALL UNDERGROUND UTILITIES.
2. IF ANY UTILITY IS FOUND TO HAVE CAUSED A CONFLICT WITH THE PROPOSED WORK, AS IN THE LOCATION, ELEVATION AND SIZE OF THE UTILITY, IT SHOULD BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR. THE INFORMATION SHOULD THEN BE FORWARDED TO THE ENGINEER TO RESOLVE THE CONFLICT.
3. THE CONTRACTOR SHOULD MAINTAIN A SEPARATION OF 18 INCHES MIN. WHEN CROSSING EXISTING WATER FACILITIES.
4. THE CONTRACTOR WILL MAKE ALL OF THE ARRANGEMENTS FOR THE ADJUSTMENT OF ALL UTILITIES, PRIVATE AND PUBLIC.
5. THE CONTRACTOR SHALL NOT DISTURB PUBLIC TREES AND SHRUBS.
6. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS WILL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO EXPENSE TO THE OWNER.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR PLACING AND MAINTAINING TEMPORARY RESURFACING OR PLATING FOR ALL EXCAVATIONS ON PAVED STREETS AND SIDEWALKS UNTIL PERMANENT RESURFACING IS COMPLETE.
8. JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAW CUT EXISTING PAVEMENT SHOULD BE SEALED WITH BITUMEN AND PROPERLY BACK SANDED.
9. THE CONTRACTOR SHOULD PROTECT AND SUPPORT ALL EXISTING UTILITY LINES THAT BECOME EXPOSED DUE TO EXCAVATION.
10. THE CONTRACTOR WILL REPLACE ALL DISTURBED TRAFFIC SIGNAL LOOP DETECTORS TO A PROPER WORKING CONDITION AS REQUIRED BY THE MOST RECENT STANDARDS OF THE MUNICIPAL TRAFFIC DEPARTMENT.
11. ALL EXISTING STATE, COUNTY, CITY, TOWN LOCATION, AND PRIVATE PROPERTY LINES HAVE BEEN USED FROM AVAILABLE INFORMATION. THEIR EXACT LOCATION ARE NOT GUARANTEED.
12. THE CONTRACTOR WILL REPLACE ALL PAVEMENT MARKINGS IN THEIR ENTIRETY THAT HAS BEEN DAMAGED BY TRENCH EXCAVATION OR OPERATIONS USING SIMILAR COLOR AND SIZE THERMOPLASTIC MARKINGS.

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LEGEND	
— PL —	PROPERTY LINE
—	EDGE OF PAVEMENT
—	PROPOSED MANHOLE
—	PROPOSED CONDUIT
—	AS-BUILT CONDUIT
PK MAIL	PK MAIL
P	PARKING METER
PM	DOUBLE PARKING METER
HP	HANDICAP RAMP
SB	STONE BOUND
MH	HANDHOLE
S	STUMP
TS	TRAFFIC SIGNAL
TD	TRAFFIC BOX
RM	RM MH
UMH	UNKNOWN MH
G	GAS GATE
UG	UNKNOWN GATE
T	TREE
B	BUSH
SMH	SEWER MH
DMH	DRAIN MH
CB	CATCH BASIN
ICB	INLET CATCH BASIN
TMH	TELEPHONE MH
SMH	STEAM MH
CMH	CABLE MH
MM	MONITORING WELL
H	HYDRANT
WV	WATER VALVE
WG	WATER GATE
WMH	WATER MH
WM	WATER METER
JO	JOINT OWNED POLE
SO	SOLE OWNED ELEC POLE
SO	SOLE OWNED TEL POLE
L	LIGHT POLE
EMH	ELECTRIC MH
TR	TRANSFORMER
SP	SIGN POLE
8" W	8" WATER PIPE
8" S	8" SEWER PIPE
8" D	8" DRAIN PIPE
8" T	8" TELEPHONE PIPE
8" E	8" ELECTRIC PIPE
8" CATV	8" CATV PIPE
8" G	8" GAS PIPE
8" S	8" STEAM PIPE

NOTE:
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN BY APPROXIMATE WAY ONLY. THE EXACT LOCATION OF ALL EXISTING UTILITIES SHOULD BE DETERMINED BY THE CONTRACTOR BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE ALL EXISTING UTILITIES. THE CONTRACTOR SHOULD BEWARE THAT THE LOCATION OF UNDERGROUND UTILITIES SHOWN ARE NOT GUARANTEED TO BE ACCURATE.

DATE	APPROVED	REVISION

PROPOSED PLAN	
JOB NUMBER	180 WELLS AVE NEWTON, MA
DRAWN BY	LEP
CHECKED BY	JD
APPROVED BY	JD
SCALE	1" = 20'
DATE	08-21-2016
SHEET	1 OF 1

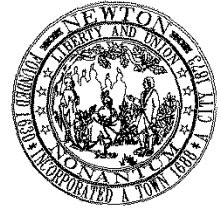
253-16

Final Label Report

SBL	Owner	Number	Street	Unit
84034 0002G	WELLS AVE BUSINESS CTR LLC	145	WELLS AVE	
84034A0005	SRIMAN LLC	150	WELLS AVE	
84034A0005A	154 WELLS ASSOCIATES LLC	154	WELLS AVE	
84034 0002H	SLD WELLS LLC	159	WELLS AVE	
84034A0004	WRP REALTY INC TR	160	WELLS AVE	
84034 0002N	DEVEANEY ENERGY INC	177	WELLS AVE	
84034A0003	180 WELLS REALTY LLC	180	WELLS AVE	
84034 0002S	EAST-WEST ENTERPRISES CO LTD	181	WELLS AVE	
84034 0002T	WRP REALTY INC TR	189	WELLS AVE	
84034A0002	RJ WELLS MANAGEMENT LLC	200	WELLS AVE	

City of Newton

DRAFT Complete Streets Policy



§ 1. Vision

The City of Newton is committed to developing complete streets throughout the community. It is hereby the policy of the City to accommodate all users equally by creating a roadway network that meets the needs of everyone, without regard to their age, abilities, income, or the mode(s) of transportation they use.

This Complete Streets Policy envisions streets that serve as public spaces and community resources, and further aims to expand transportation choices within Newton by creating an integrated network of inviting facilities for those choosing to travel on foot and by bike, transit, motor vehicle, or a mix of these and other transportation modes. The City undertakes this policy with the goals of encouraging active lifestyles and overall wellbeing for residents, improving air quality and stormwater quality, and preventing transportation-related deaths and injuries.

It is the City's vision that the roadway network will be designed and operated in accordance with complete streets principles – to provide safety, comfort, and access for all the users of our streets, including, but not limited to, pedestrians, bicyclists, transit riders, motorists, motorcyclists, freight haulers, service and delivery personnel, and emergency responders, etc. (collectively, all users). Broadly, the principles of complete streets design and operations include promoting safety, health, economic growth, environmental protection, accessibility, livability, and a better quality of life for users of all ages and capacities. Complete streets also advance fairness by providing safe travel options for all, regardless of income.

Complete streets design and operations values the preservation and enhancement of scenic, aesthetic, historical, and environmental resources while maintaining or improving safety, mobility, and infrastructure conditions. Complete streets design and operations also values inclusion, transparency, sensitivity to the immediate context, and the broader physical, economic, and social setting of any particular project.

This policy directs City staff to consistently incorporate complete streets principles and values into all planning and decisions related to the city's roadways.

§ 2. Core commitments

- A. The City of Newton affirms that all users of all transportation modes have an equal right to safe use of the roads. The City will plan, design, operate, and maintain Newton's streets so that they are safe for users of all ages and abilities.
- B. The City endeavors to meaningfully involve community members in relevant processes of complete streets prioritization and individual projects, and to involve them in ways that reflect a commitment to inclusiveness and equity.

C. The City recognizes that all roadway projects, including new construction, maintenance, and reconstruction offer the opportunity to apply complete streets principles and values. The City will avail itself of those opportunities to the maximum extent practical, and will integrate complete streets principles and values into all roadway projects in order to provide a balanced and connected network for all users.

- (1) Complete streets design recommendations shall be incorporated into all publicly and privately funded projects, as appropriate. All transportation infrastructure and street design projects requiring funding or approval by the City of Newton, as well as projects funded by the state and federal governments, including but not limited to Chapter 90 funds, City improvement grants, Transportation Improvement Program (TIP), the MassWorks Infrastructure Program, Community Development Block Grants (CDBG), Capital Funding, and other state and federal funds for street and infrastructure design shall adhere to the City of Newton Complete Streets Policy.

Private developments and related roadway design components shall adhere to the complete streets principles. In addition, to the extent practical, state-owned roadways will comply with the Complete Streets Policy, including the design, construction, and maintenance of such roadways within City boundaries.

- (2) City departments, in consultation with a Complete Streets Committee (described below), will use best judgment regarding the practicality of applying complete streets principles for routine roadway maintenance and projects, such as repaving, restriping, and so forth.
- (3) Transportation infrastructure projects, including but not limited to roadway reconstruction, roadway reconfigurations, or subdivisions, may be excluded upon approval by the Newton Complete Streets Committee, where documentation and data indicate that any of the following apply:
 - i. Roadways where specific users are prohibited by law, such as interstate freeways or pedestrian malls. An effort will be made, in these cases, for accommodations elsewhere.
 - ii. Cost or impacts of expanding multi-modal accommodations are excessively disproportionate to the need or probable future use.
 - iii. Minor, routine, and preventative maintenance of the transportation network that does not change the roadway geometry or operations; such as mowing, sweeping, overlay, microsurfacing, crack sealing, and spot repair.
 - iv. Private Ways, which are neither owned nor maintained by the City. Private ways shall be encouraged to consult with the Complete Streets Committee before beginning projects.
 - v. Other City policies, regulations, or requirements contradict or preclude implementation of complete streets principles.

§ 3. Best practices

In meeting the Complete Streets vision and commitments described above the following best practices will guide the activities of the Complete Streets Committee.

- A. The City of Newton will carry out the Complete Streets Policy cooperatively within all relevant departments in the City and, to the greatest extent possible, with private developers, state, regional, and federal agencies, as well as members of the public.
- B. The City commits to considering all potential complete streets projects in a context-sensitive way with regards to both potential infrastructure changes and the process through which they are adopted. The City will establish opportunities for ongoing and project-specific engagement around complete streets topics.
- C. The City recognizes that complete streets principles and values may be achieved through major infrastructure projects as well as incrementally through a series of smaller improvements and maintenance activities over time.
- D. The City will integrate the Complete Streets Policy into its existing policies, planning, and design efforts related to roadway development and maintenance as well as future policy, planning, and roadway design work.
- E. The latest design guidance, standards, and recommendations available will be used in the implementation of complete streets principles, including but not limited to the most up-to-date versions of the following:
 - (1) Project Development & Design Guide; Massachusetts Highway Department, January 2006. <https://www.massdot.state.ma.us/highway/DoingBusinessWithUs/ManualsPublicationsForms/ProjectDevelopmentDesignGuide.aspx>
 - (2) A Policy on Geometric Design of Highway and Streets; American Association of State Highway Transportation Officials (AASHTO), 6th Edition - 2011.
 - (3) The Manual on Uniform Traffic Control Devices (MUTCD); the United States Department of Transportation Federal Highway Administration, 2009. <http://mutcd.fhwa.dot.gov/>
 - (4) 521 CMR Rules and Regulations; Massachusetts Architectural Access Board (MAAB), 2006. <http://www.mass.gov/courts/case-legal-res/law-lib/laws-by-source/cmr/500-599cmr/521cmr.html>
 - (5) Public Rights of Way Accessibility Guidelines (PROWAG) DRAFT; United States Access Board, July 2011. <https://www.access-board.gov/guidelines-and-standards/streets-sidewalks/public-rights-of-way/proposed-rights-of-way-guidelines>
 - (6) ADA Standards for Accessible Design; United States Department of Justice, September 2010. <http://www.ada.gov/regs2010/2010ADAStandards/2010ADASTandards.htm>
 - (7) Urban Street Design Guide, National Association of City Transportation Officials, October 2013. <http://nacto.org/publication/urban-street-design-guide/>
 - (8) Boston Complete Streets Design Guidelines; City of Boston, October 2013. <http://bostoncompletestreets.org/>

- (9) Documents and plans created for the City of Newton, including but not limited to, the 2007 Comprehensive Plan, 2006 Newton Tree Manual, 2011 Bicycle Network Plan, 2014 Parking Management Plan, 2015 Newton Centre Parking Strategy, and the 2016 Newton-in-Motion Transportation Strategy (forthcoming).

§ 4. Implementation

A. Complete Streets Committee Organization

- (1) The City will utilize interdepartmental coordination to promote the most responsible and efficient use of resources for activities within the public way.
- (2) The existing Complete Streets Working Group will be expanded and formalized as the Complete Streets Committee (the Committee). This committee is comprised of members of relevant City departments required to implement this vision. The Complete Streets Committee will be a multidisciplinary team and members will include representation from: Department of Public Works (DPW), Planning and Development Department, Department of Health and Human Services, Office of the ADA Coordinator, Office of the Director of Sustainability, Parks and Recreation Department, Mayor's Office, and other committees, departments, or organizations within the City as the Mayor shall determine.
- (3) The City will secure training for relevant City staff and decision-makers on both the technical content of complete streets principles and best practices, as well as community engagement methods for implementing the Complete Streets Policy.

B. Complete Streets Committee Purpose Statement

The City of Newton, with the leadership of the Complete Streets Committee, shall make complete streets practices a routine part of everyday operations, shall approach every transportation project and program as an opportunity to improve streets and the transportation network for all users, and shall work in coordination with all relevant departments, agencies, and jurisdictions to achieve complete streets principles and values throughout Newton's transportation network.

C. Complete Streets Committee Activities

- (1) In accordance with the vision, core commitments, and best practice of this policy, the Committee will review roadway projects and make recommendations regarding complete streets opportunities. As practicable, the Committee will provide recommendations for incorporating complete streets design and operations in a project's beginning stages of design.
- (2) The Committee will develop context-specific community engagement strategies, as appropriate, in order to ensure that the perspectives of community members are considered and incorporated in the process of a project. The Committee will collaborate with the Community Engagement Manager and relevant stakeholder groups to ensure two-way communications about the implementation of this policy.
- (3) The Committee will evaluate projects within the Capital Improvement Plan to encourage implementation of this policy.

- (4) The Committee shall oversee the maintenance of a comprehensive inventory of walking and bicycling facilities, and shall highlight projects that eliminate gaps in the sidewalk and bikeway network.
- (5) The Committee will seek out appropriate sources of funding and grants for implementation of the Complete Streets Policy.
- (6) The Committee will make recommendations to the Mayor concerning the need to alter existing practices that may be impeding implementation of this policy.
- (7) This policy in no way alters the decision making role of City Council committees that review and approve roadway projects. Twice a year, the Complete Streets Committee will provide updates to the Public Facilities Committee of the City Council and will provide guidance on particular projects as appropriate.

§ 5. Evaluation of effectiveness

The Complete Streets Committee will develop performance measures to periodically assess the rate, success, and effectiveness of implementing the Complete Streets Policy. The Committee will determine the frequency of assessment and utilize appropriate metrics for analyzing the success of this policy. These metrics may include the total miles of new bicycle lanes; the linear feet of new pedestrian accommodation; number of retrofitted pedestrian facilities or amenities; number of intersection improvements made to improve safety for vehicles, pedestrians, and bicyclists; number of accessible pedestrian signals; rate of crashes by mode; rate of children walking or bicycling to school; and/or number of trips by mode. The Committee will report on these metrics in its semi-annual reporting to the City Council's Public Facilities Committee.



Mike Bouboulis, Sr. Project Manager
195 Broadway, Arlington, MA 02474
T: 781-648 - 3372 F: 781-648-4915
mike@homercontracting.com

City of Newton
Public Buildings Department
52 Elliot St.
Newton, MA 02461

6/10/16

RE: Newton South High School and Charles Brown Middle School Modular Classrooms

We propose to provide all labor, supervision, permits, inspections, materials, tools, staging, and equipment to complete the above referenced work per drawings by Raymond Design Associates for the amount of \$407,900. Please see notes below for clarifications.

- 1.) If the existing I-beams can be used to support the modular classrooms on the new footings, we will deduct \$14,900 from our total proposal.
- 2.) The ramp and canopy will be wood construction similar to the Countryside School.
- 3.) Fire Sprinkler work has been excluded as the drawings do not show any and we were unable to determine if there were any in the building. If sprinkler work is required we will bring in Rustic Fire Protection and determine a price based on their service contract with the City.
- 4.) Plumbing work has been excluded as no bathrooms or sinks were seen or shown.
- 5.) We have included removal of 10 trees at Newton South to accommodate the installation of Newton South modulares. If more are needed we can discuss with the Architect and the Owner as to how we should proceed.

Sincerely,

Mike Bouboulis, Sr. Project Manager

6/21/2016

Brown and NSHS Modular Project

Design	Raymond Design Associates, Inc.	\$	40,000
Construction	Homer Contracting Inc	\$	407,900
Contingency	Contingency/Misc	\$	52,100
		\$	500,000

City of Newton



Setti D. Warren
Mayor

PUBLIC BUILDINGS DEPARTMENT

Joshua R. Morse, Commissioner

Telephone (617) 796-1600

FAX (617) 796-1601

TTY: (617) 796-1089

52 ELLIOT STREET

NEWTON HIGHLANDS, MA 02461-1605

July 1, 2016

Councilor Crossley, Chairman
Public Facilities Committee
City Council
1000 Commonwealth Avenue
Newton, MA 02459

Re: Waiver of City of Newton Ordinance Sec. 5-58, Site Plan Approval for the Relocation of Existing Modular Classrooms

Dear Councilor Crossley:

I am writing to respectfully request a waiver of the City of Newton Ordinance Sec. 5-58 for the relocation of the existing modular classrooms from the Zervas Elementary school. The structures were recently removed from the Zervas School site to allow for construction of the new school.

At the request of the Newton Public Schools the previously approved structures are to be re-used at Newton South High and Brown Middle School.

Public Buildings will continue to work with the DRC to assure all design concerns are addressed. Schematic Plans are attached.

Sincerely,

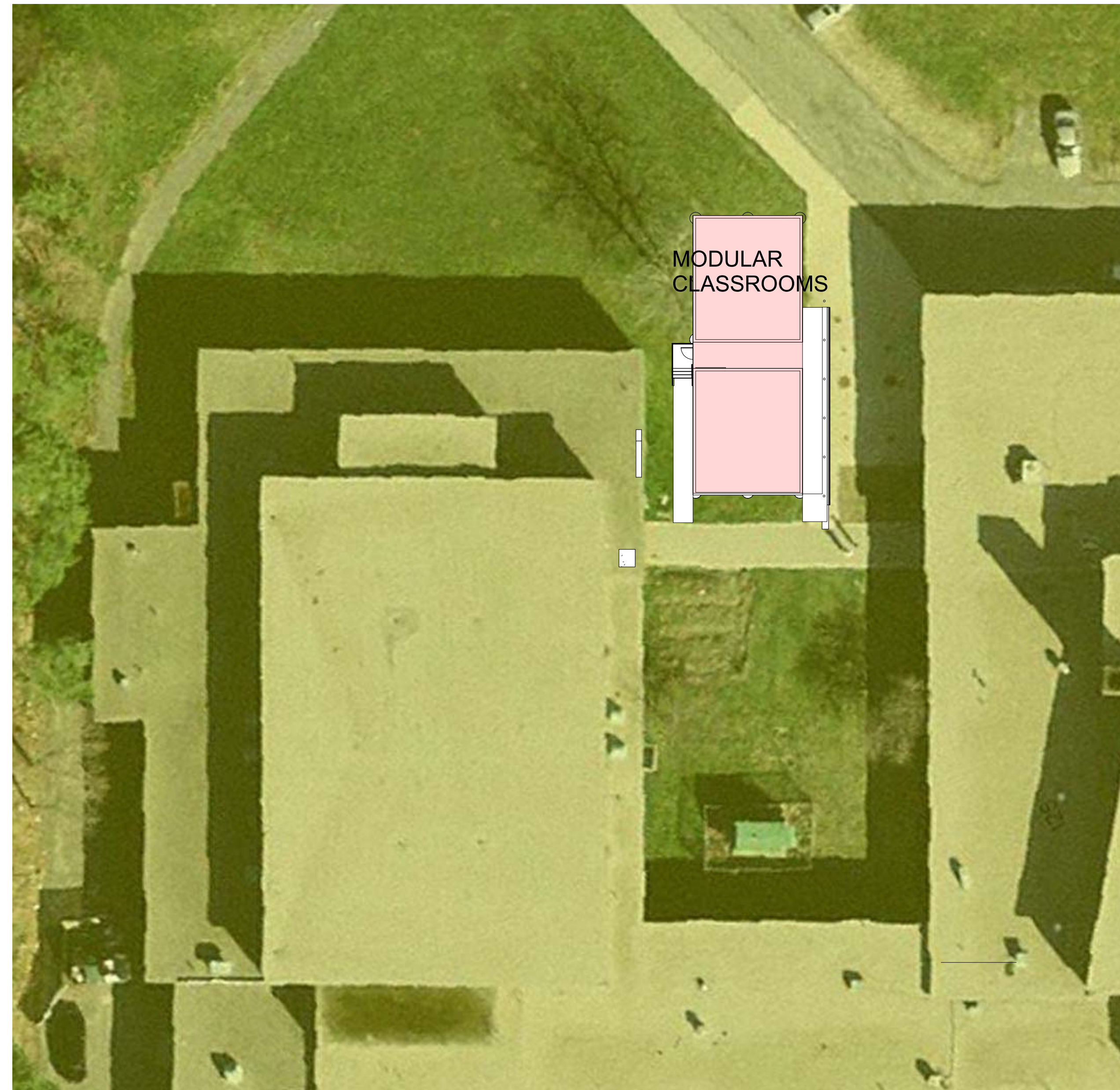
Josh Morse
Commissioner – Newton Public Buildings Department

David Fleischman, Superintendent NPS

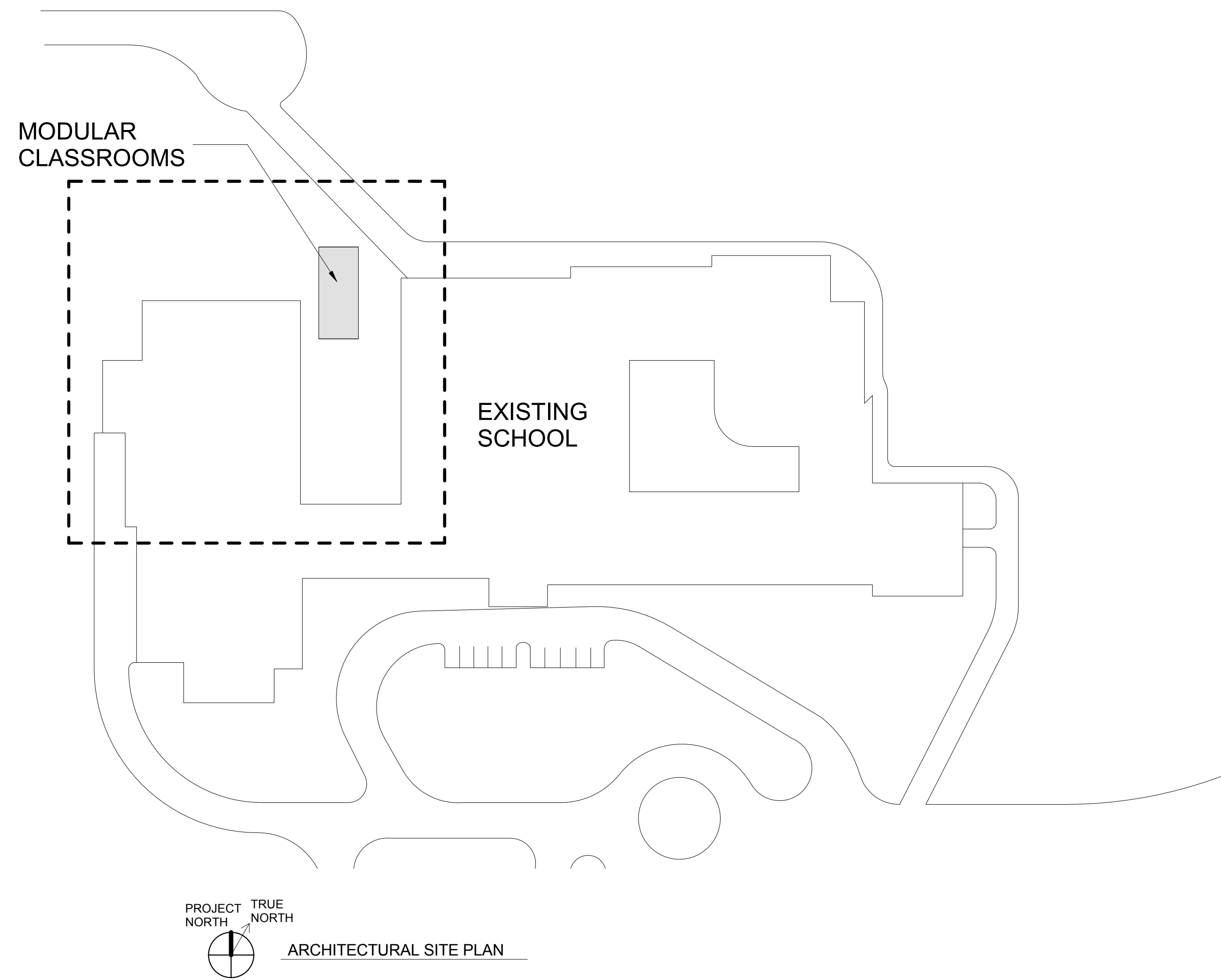
MODULAR CLASSROOMS AT BROWN MIDDLE SCHOOL

125 MEADOWBROOK RD, NEWTON MA

JULY 1, 2016

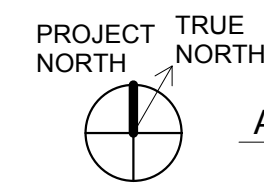


MODULAR CLASSROOMS



MODULAR CLASSROOMS

EXISTING SCHOOL



ARCHITECTURAL SITE PLAN

LOCATION PLAN

NO SCALE

RAYMOND DESIGN ASSOCIATES, INC. • ARCHITECT

60 LEDGEWOOD PLACE, ROCKLAND, MA 02370 TEL: 781. 421. 3480

DRAWING LIST

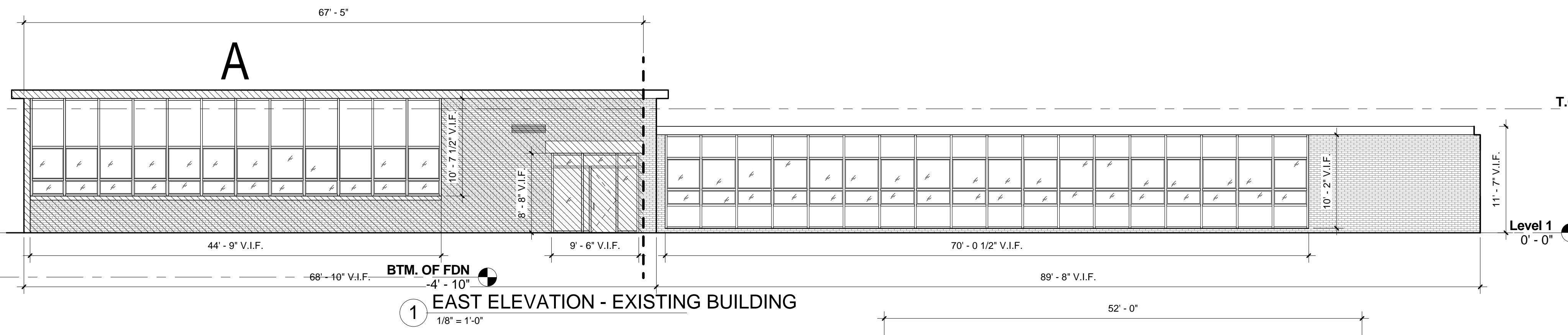
- A0.00 COVER SHEET
- A0.01 EXISTING SITE PLAN & PHOTOS
- A0.02 DEMOLITION PLAN
- A0.03 MSBC - FIRE PROTECTION - OPENING ANALYSIS
- A1.01 FLOOR PLAN, REFLECTED CEILING PLAN & ROOF PLAN
- A3.00 ELEVATIONS
- A4.00 BUILDING SECTIONS
- A4.10 WALL SECTIONS
- A4.11 WALL SECTIONS
- A6.01 FOUNDATION PLAN
- A6.02 FRAMING PLANS

MODULAR CLASSROOMS AT

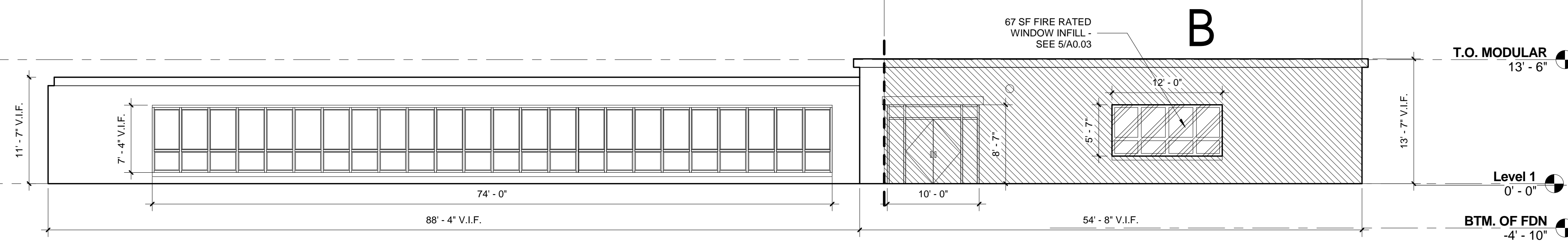
BROWN MIDDLE SCHOOL

125 MEADOWBROOK RD, NEWTON MA

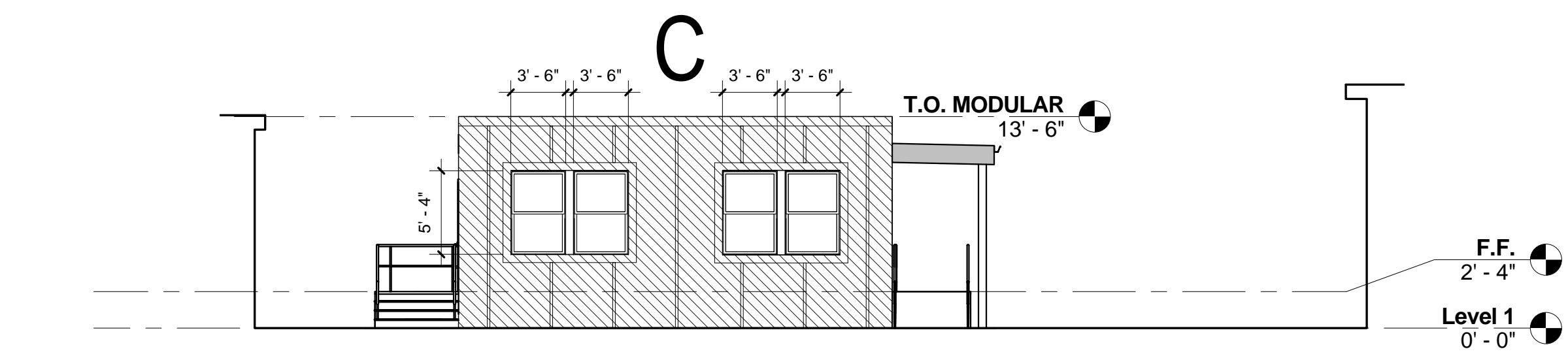
JULY 1, 2016



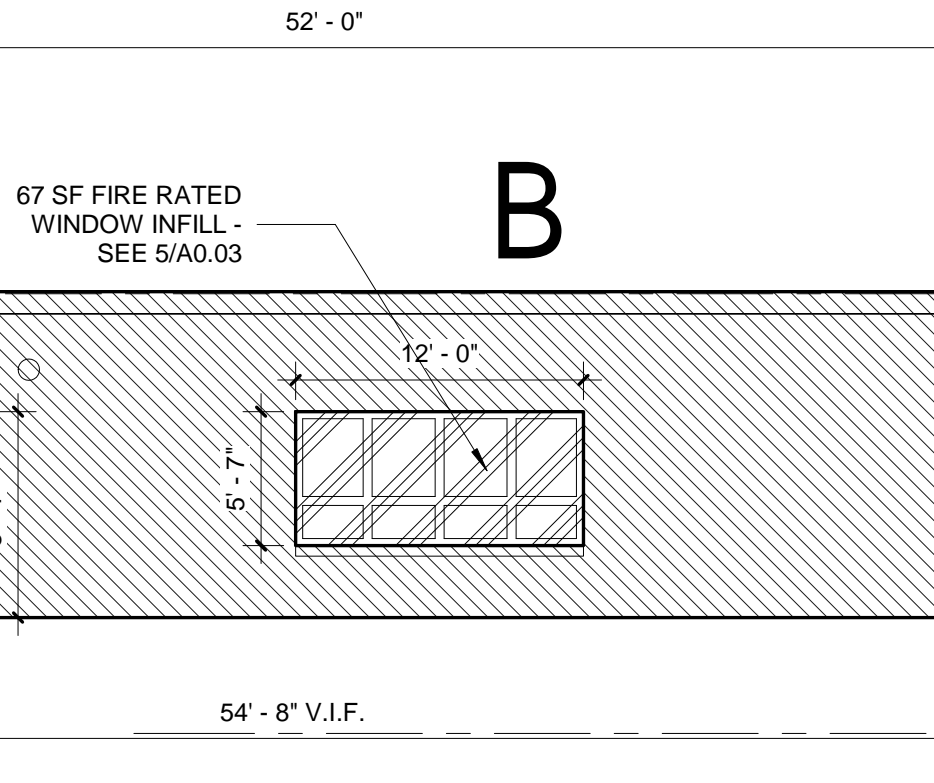
1 EAST ELEVATION - EXISTING BUILDING
1/8" = 1'-0"



2 WEST ELEVATION - EXISTING BUILDING
1/8" = 1'-0"

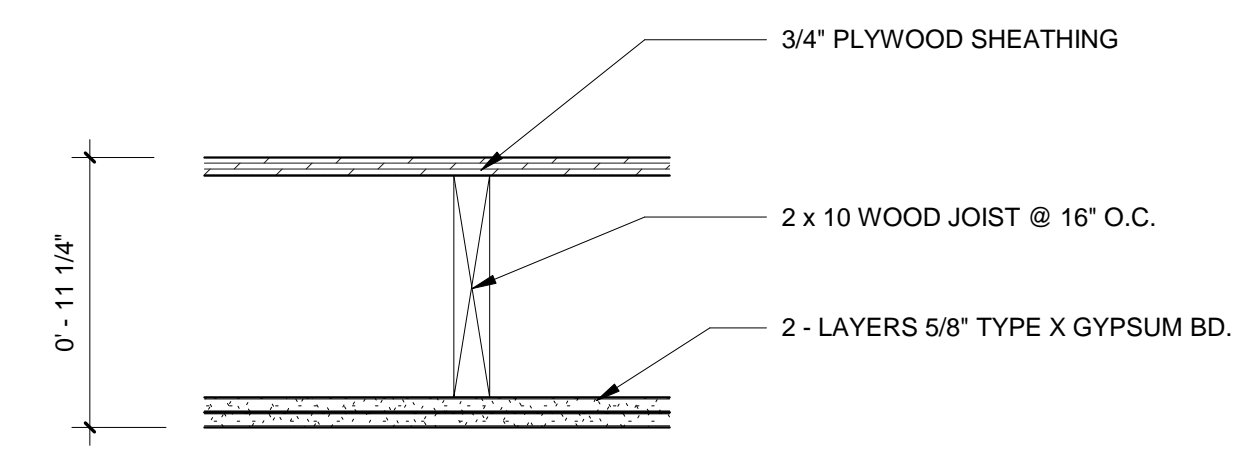


3 MODULAR UNIT - SOUTH ELEVATION
1/8" = 1'-0"

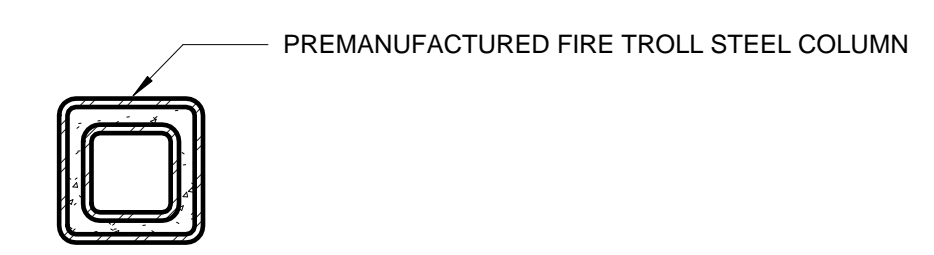


EXTERIOR WALL
1HR RATED PARTITION - UL DESIGN 303
1. 2x4 WOOD STUDS @ 16" O.C.
2. JOINTS FINISHED / VENEER PLASTER OPTIONAL
3. INSULATION OPTIONAL
4. 1 LAYER 5/8" THK. TYPE X GYPSUM BOARD
5. 15/32" PLYWOOD SHEATHING
6. CEMENT BOARD SIDING EXTERIOR

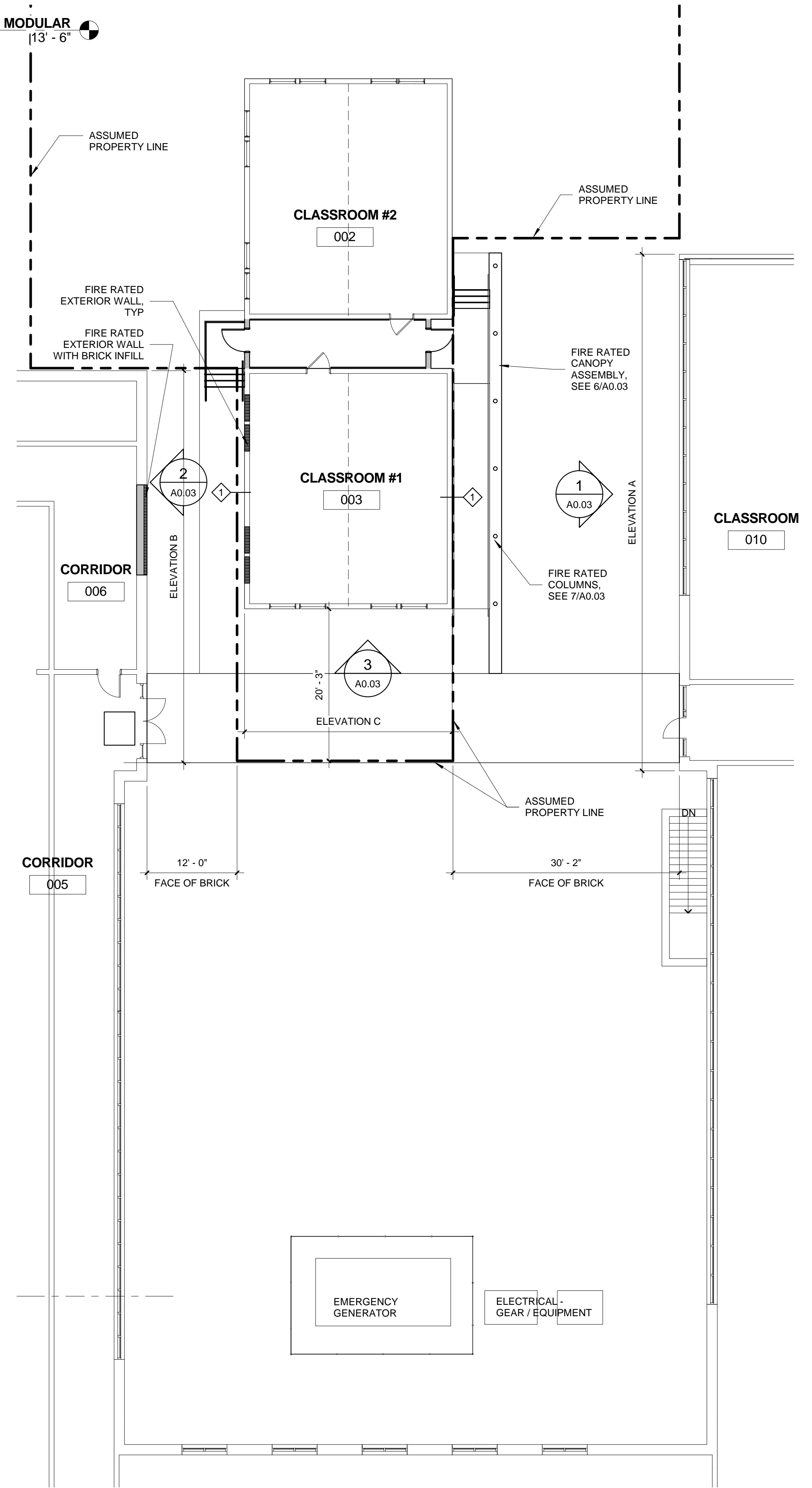
5 UL DESIGN 303 - EXTERIOR 1HR RATED WALL
1 1/2" = 1'-0"



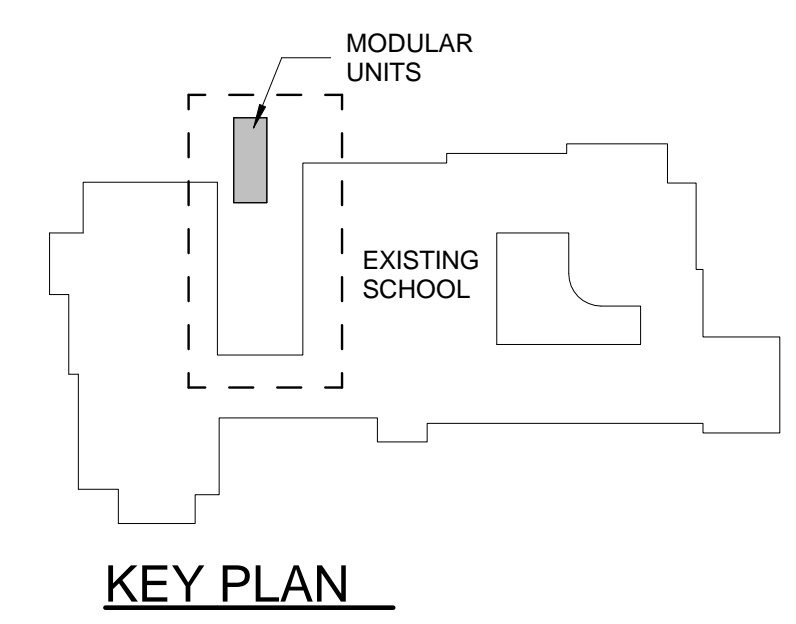
1 HR - WD CEILING ASSEMBLY - #GA-FC-5406 & RC-2601
6 1 1/2" = 1'-0"



2 HR -UL DESIGN X106 PREFABRICATED CONCRETE FILLED STEEL COLUMN
7 1 1/2" = 1'-0"



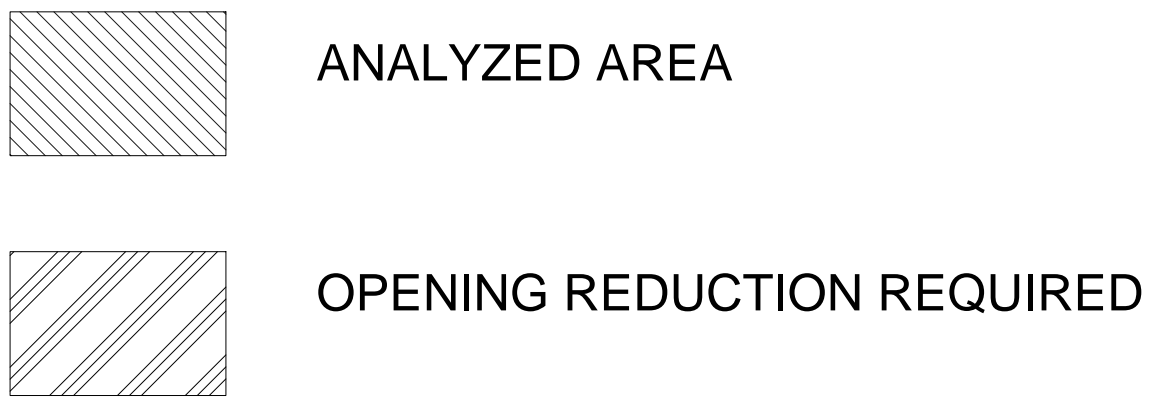
4 OPENING ANALYSIS - FLOOR PLAN
1" = 10'-0"



KEY PLAN

TABLE 602
FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE^a

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP H ¹	OCCUPANCY GROUP F-1, M, S-1 ²	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2 ³ , U ³
X < 5 ^c	All	3	2	1
5 ≤ X < 10	IA Others	3 2	2 1	1 1
10 ≤ X < 30	IA, IB IIB, VB Others	2 1 1	1 0 1	1 ^d 0 1 ^d
X ≥ 30	All	0	0	0



OPENING ANALYSIS

ELEVATION	WALL AREA	EXISTING OPNG	DISTANCE TO P.L.	ALLOWED OPNG	ACTION REQ.
A	1048 sq.ft	557 sq.ft	>30'	UNLIMITED	N/A
B	706 sq.ft	153 sq.ft	10' TO <15'	15% = 105.9 SF	REDUCE OPENING BY 47 sq.ft
C	309 sq.ft	80 sq.ft	>20' TO <25'	45% = 139.05 SF	N/A

Revisions:

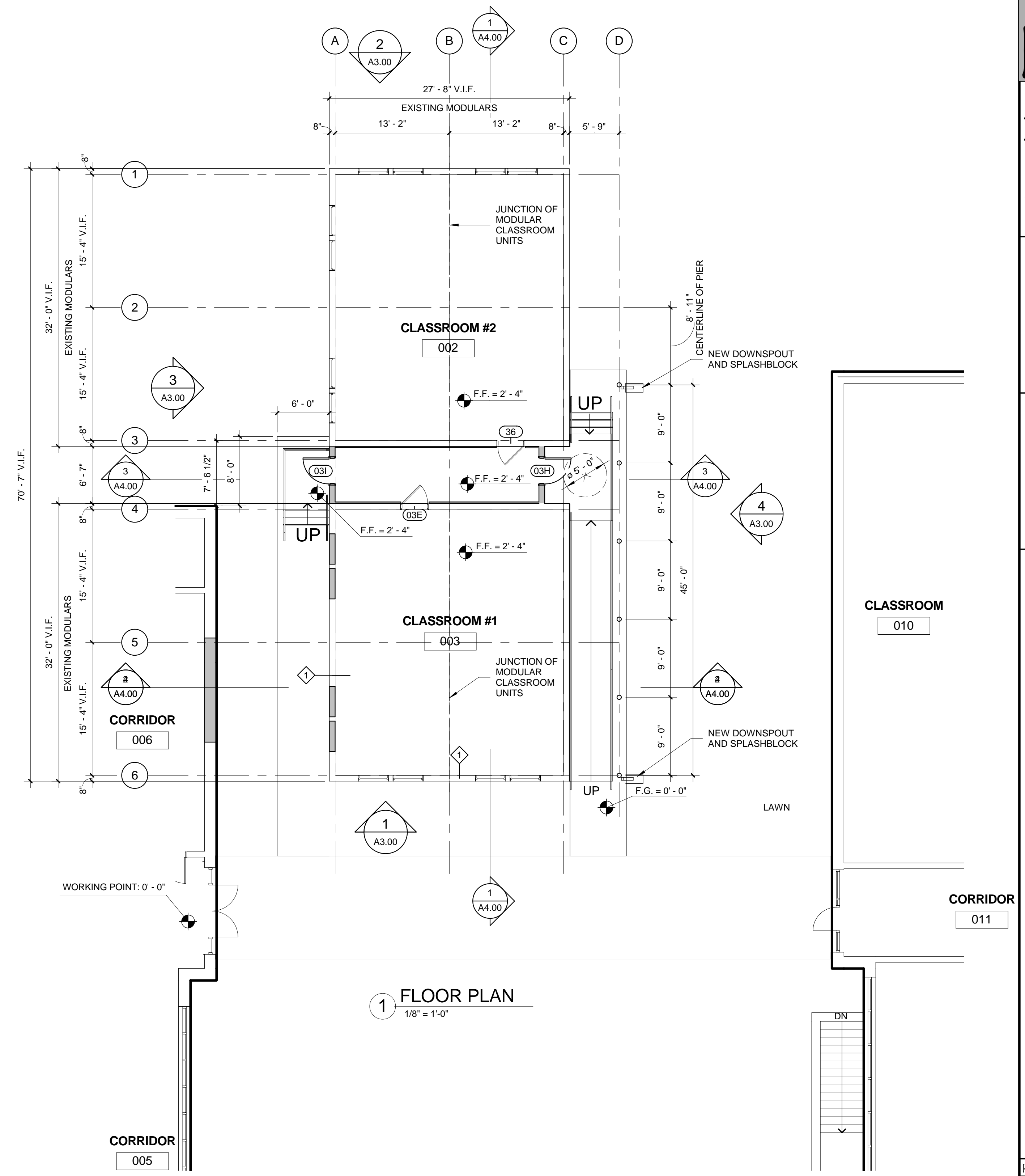
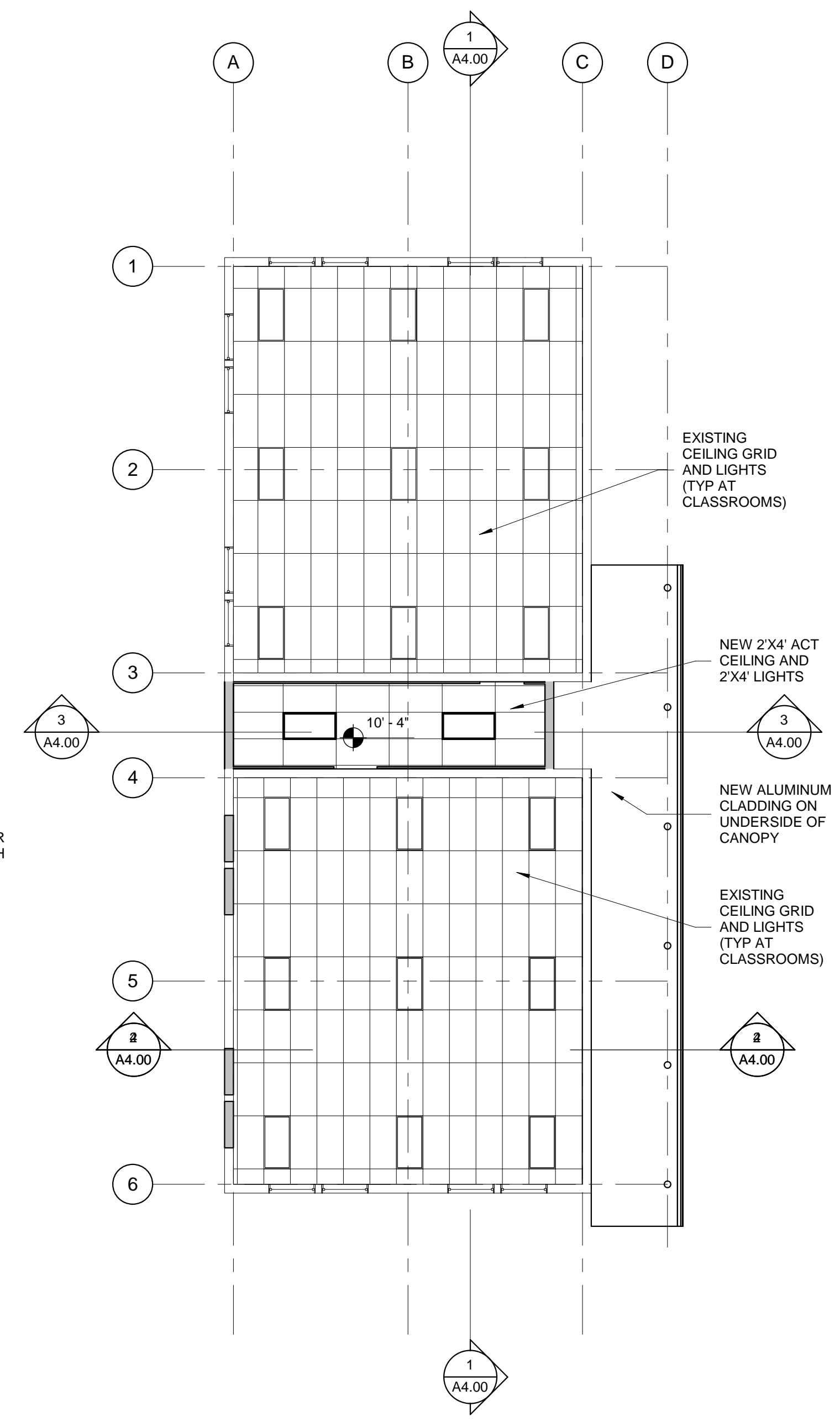
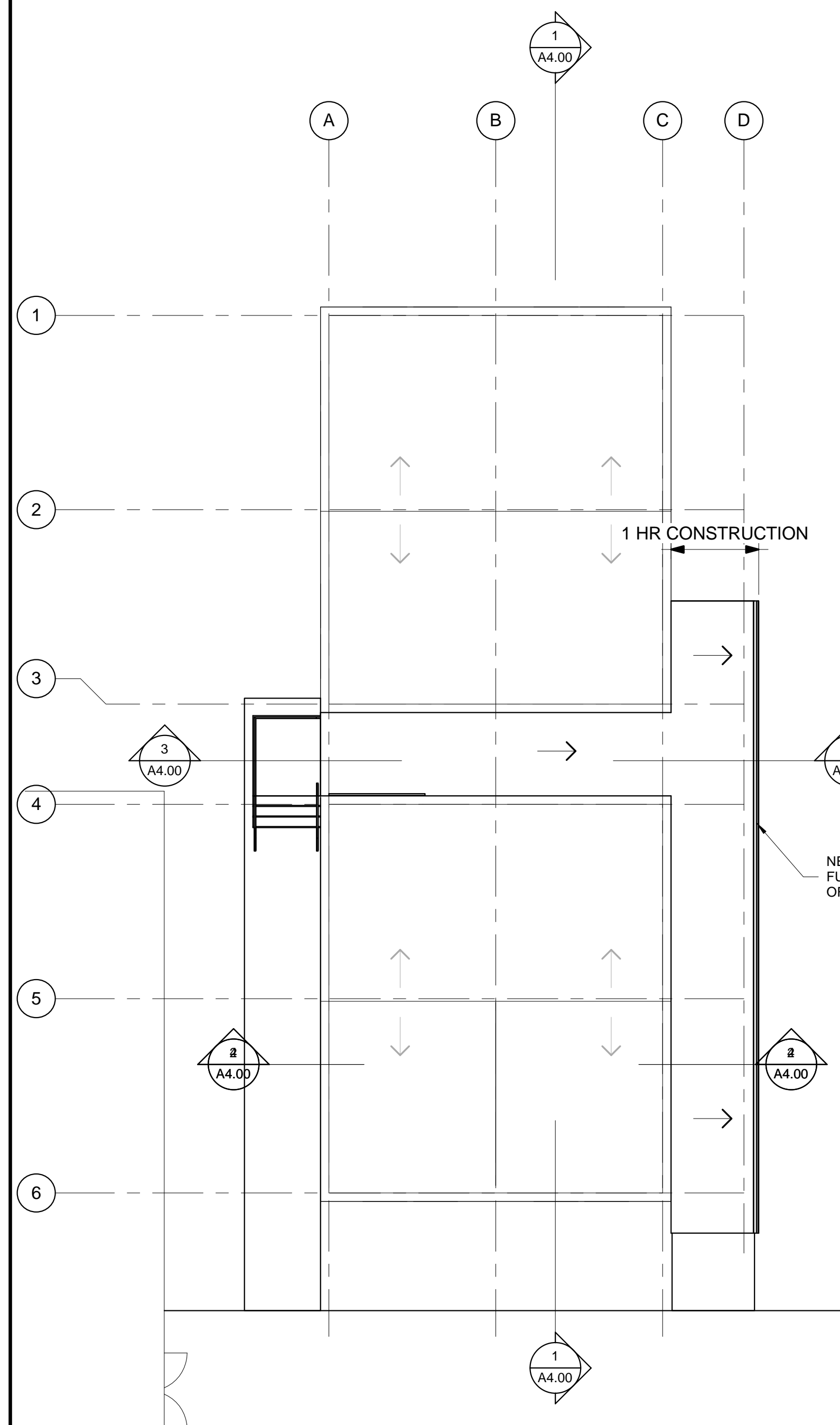
No.	Date	Description

Drawn By: _____ Author
Checked By: _____ Checker
Approved By: _____ Approver

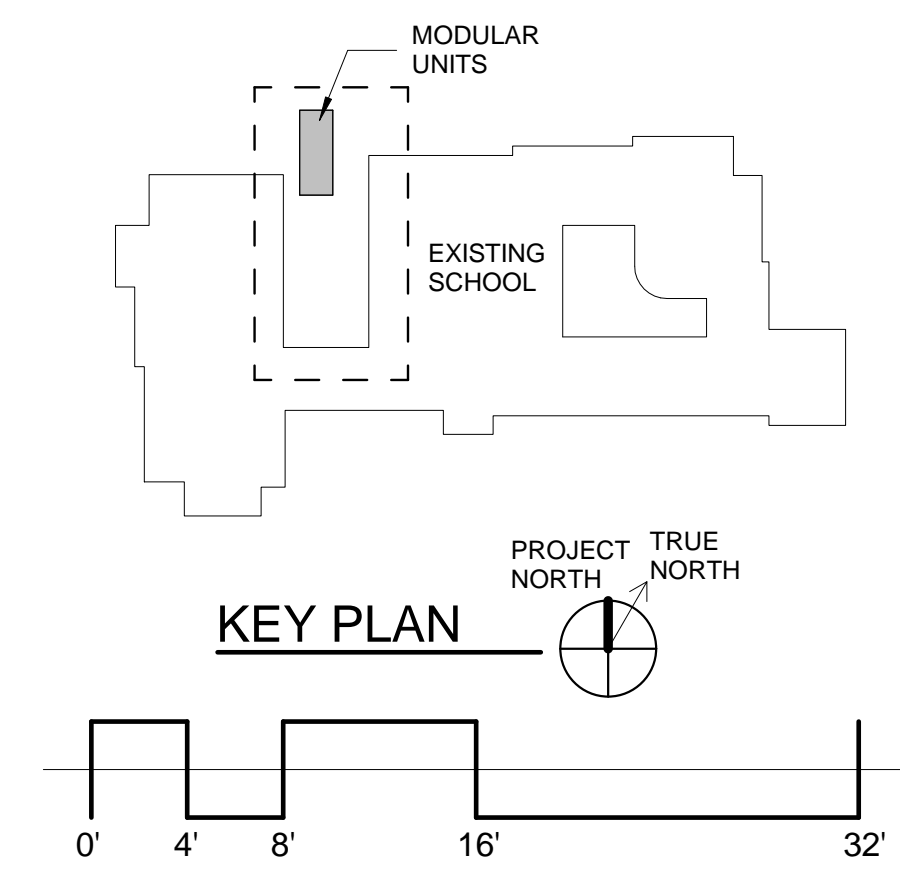
Drawing Scale: As indicated

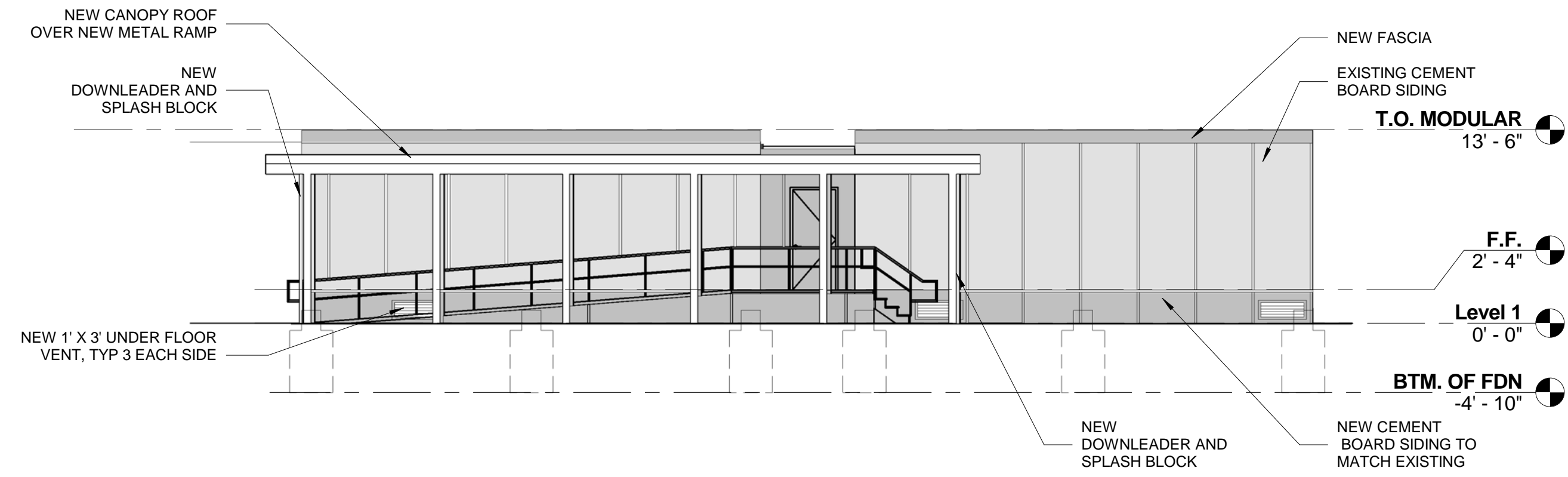
Project Number: _____ Project Number

Date: JULY 1, 2016

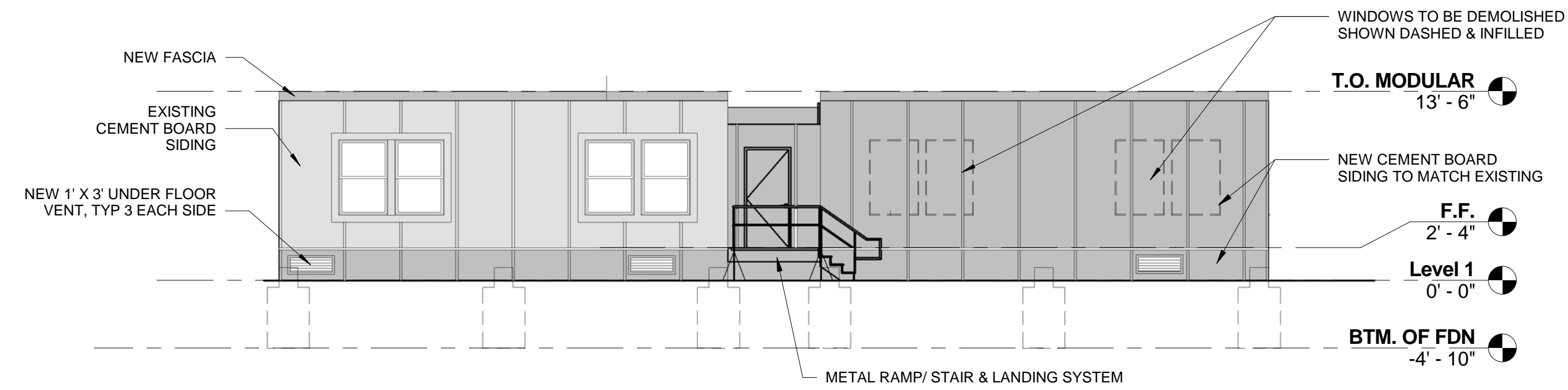


DOOR SCHEDULE															
LOCATION		FRAME				DOOR				RATING	HARDWARE	REMARKS			
DOOR NO.	FROM ROOM	TO ROOM	MAT'L.	ELEV. TYPE	DETAIL S	FINIS H	MAT'L.	ELEV. TYPE	WIDTH	HEIGHT	THICK-NESS	FINISH	UL LABEL	SET NUMBER	
Level 1															
005		011							6'-0"	7'-0"					
36	002							SGL	2'-8 1/2"	7'-0 3/4"	0'-1 3/4"				
53	006	005						SGL	3'-0"	7'-0"	0'-1 3/4"				
F.F.															
03E	003							SGL	3'-0"	7'-0"	0'-1 3/4"				
03H								SGL	3'-0"	7'-0"	0'-1 3/4"				
03I								SGL	3'-0"	7'-0"	0'-1 3/4"				

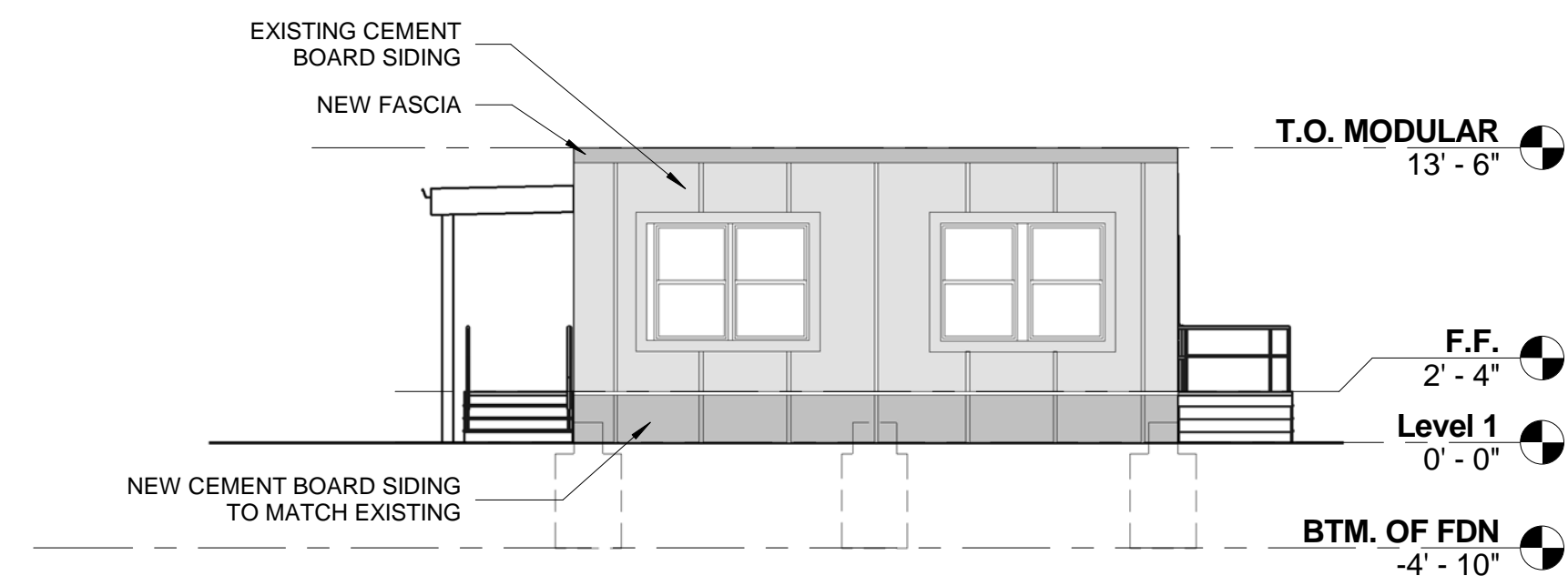




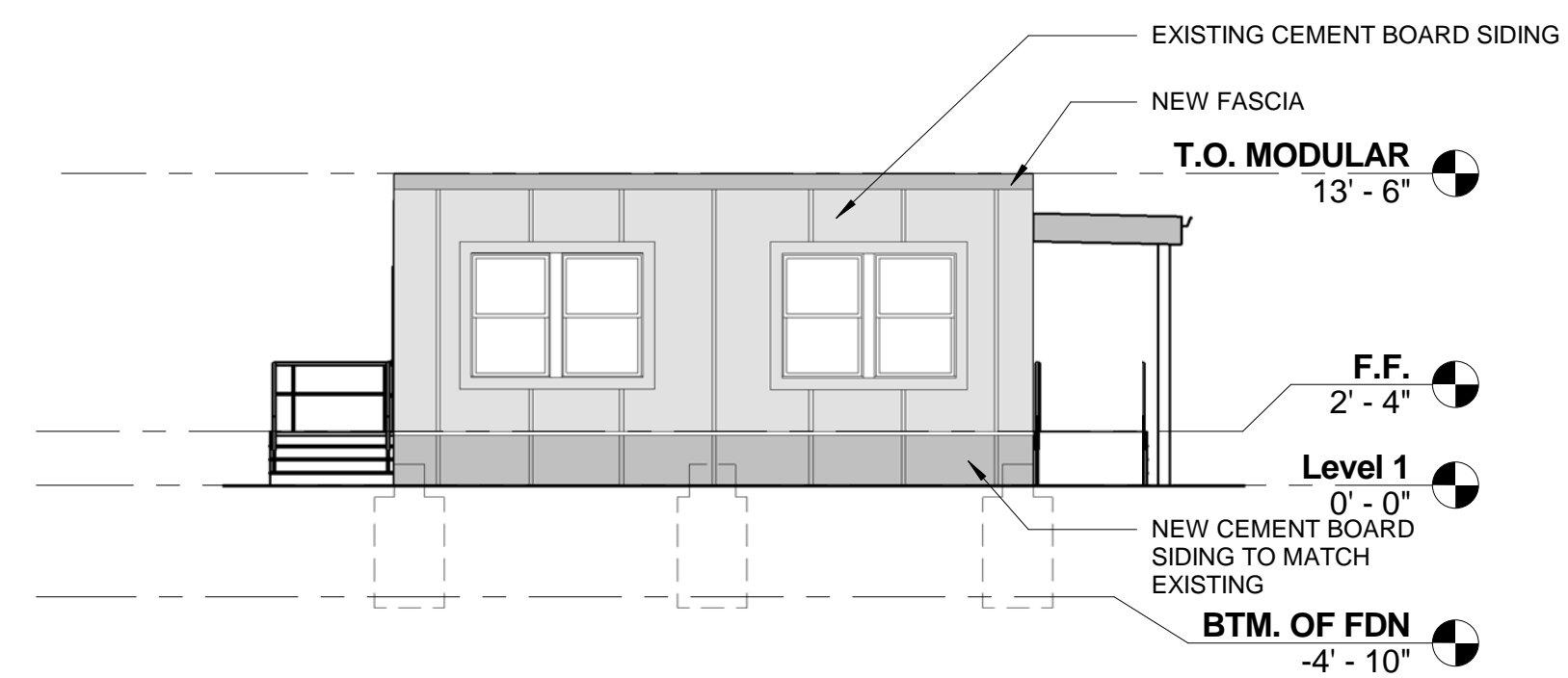
4 MODULAR BUILDING - EAST ELEVATION
1/8" = 1'-0"



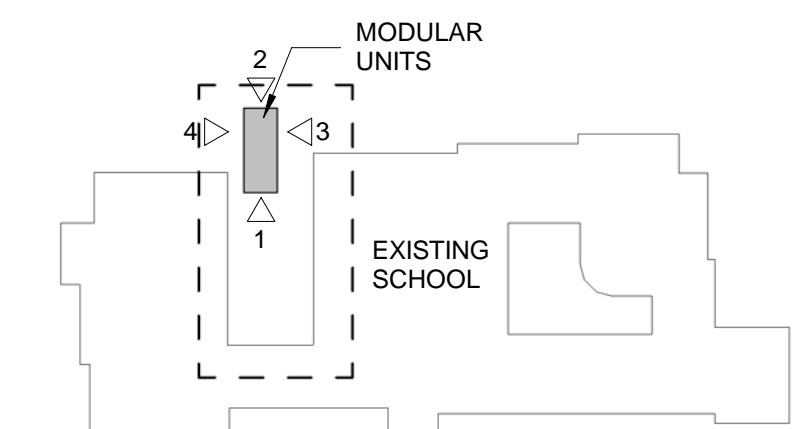
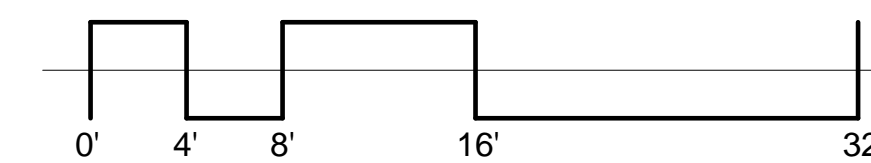
3 MODULAR WEST ELEVATION
1/8" = 1'-0"



2 MODULAR BLDG - NORTH ELEVATION
1/8" = 1'-0"



1 MODULAR BLDG - SOUTH ELEVATION
1/8" = 1'-0"



KEY PLAN

Revisions:

No.	Date	Description

Drawn By: _____ Author
Checked By: _____ Checker
Approved By: _____ Approver

Drawing Scale: As indicated

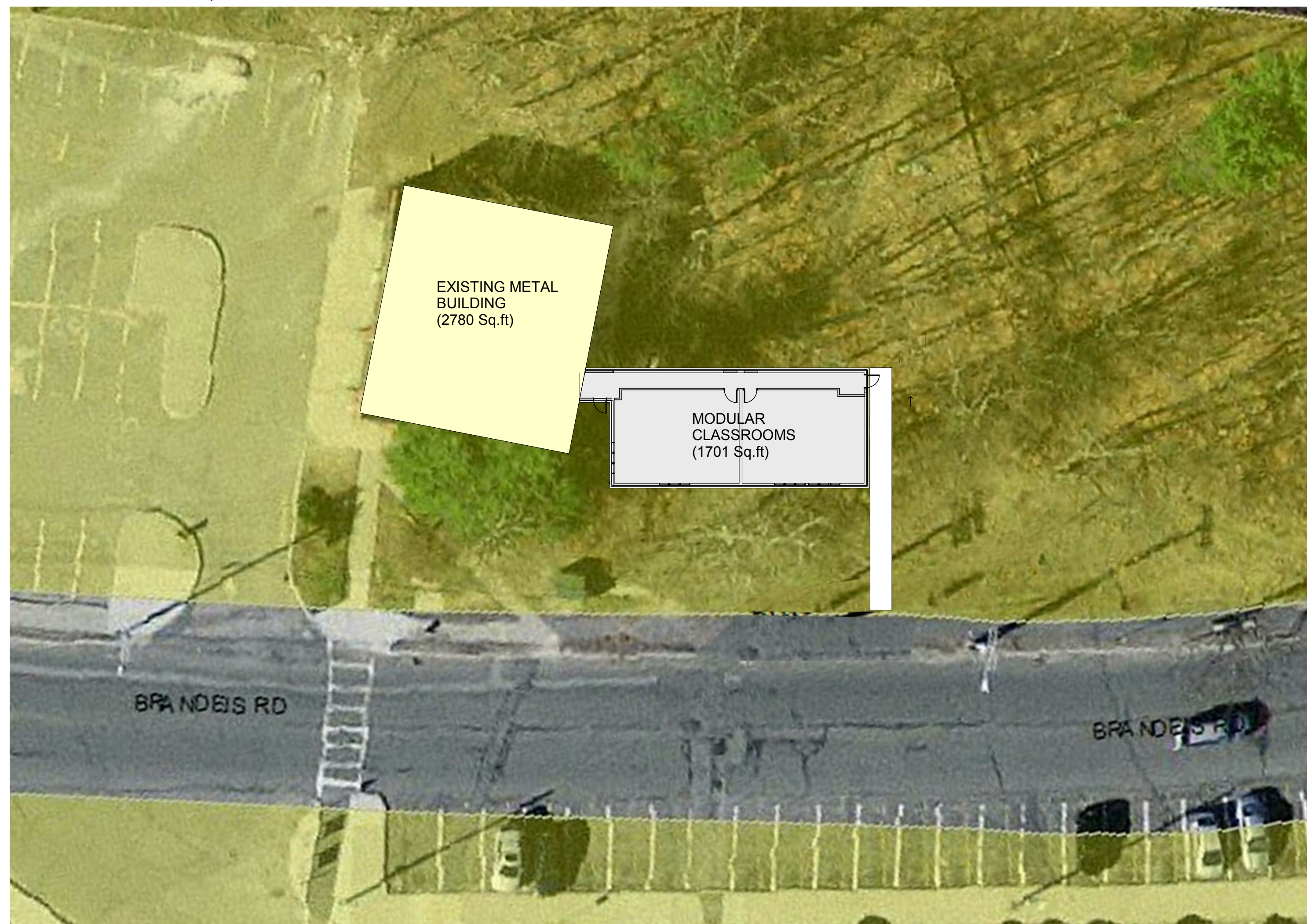
Project Number: _____ Project Number

Date: JULY 1, 2016

MODULAR CLASSROOMS AT NEWTON SOUTH HIGH SCHOOL

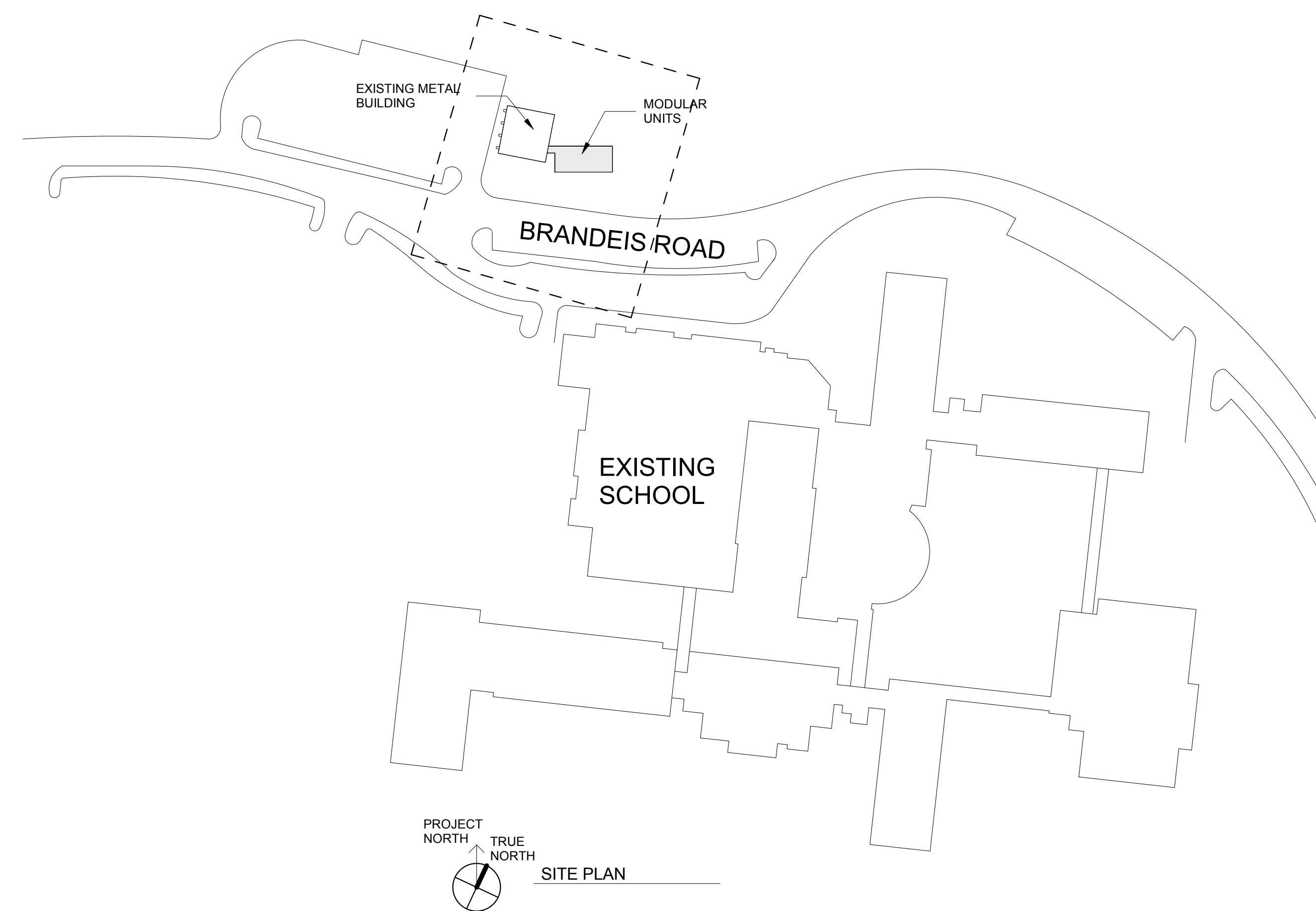
140 BRANDEIS RD. NEWTON, MA

JULY 1, 2016



LOCATION PLAN

NO SCALE



RAYMOND DESIGN ASSOCIATES, INC. • ARCHITECT

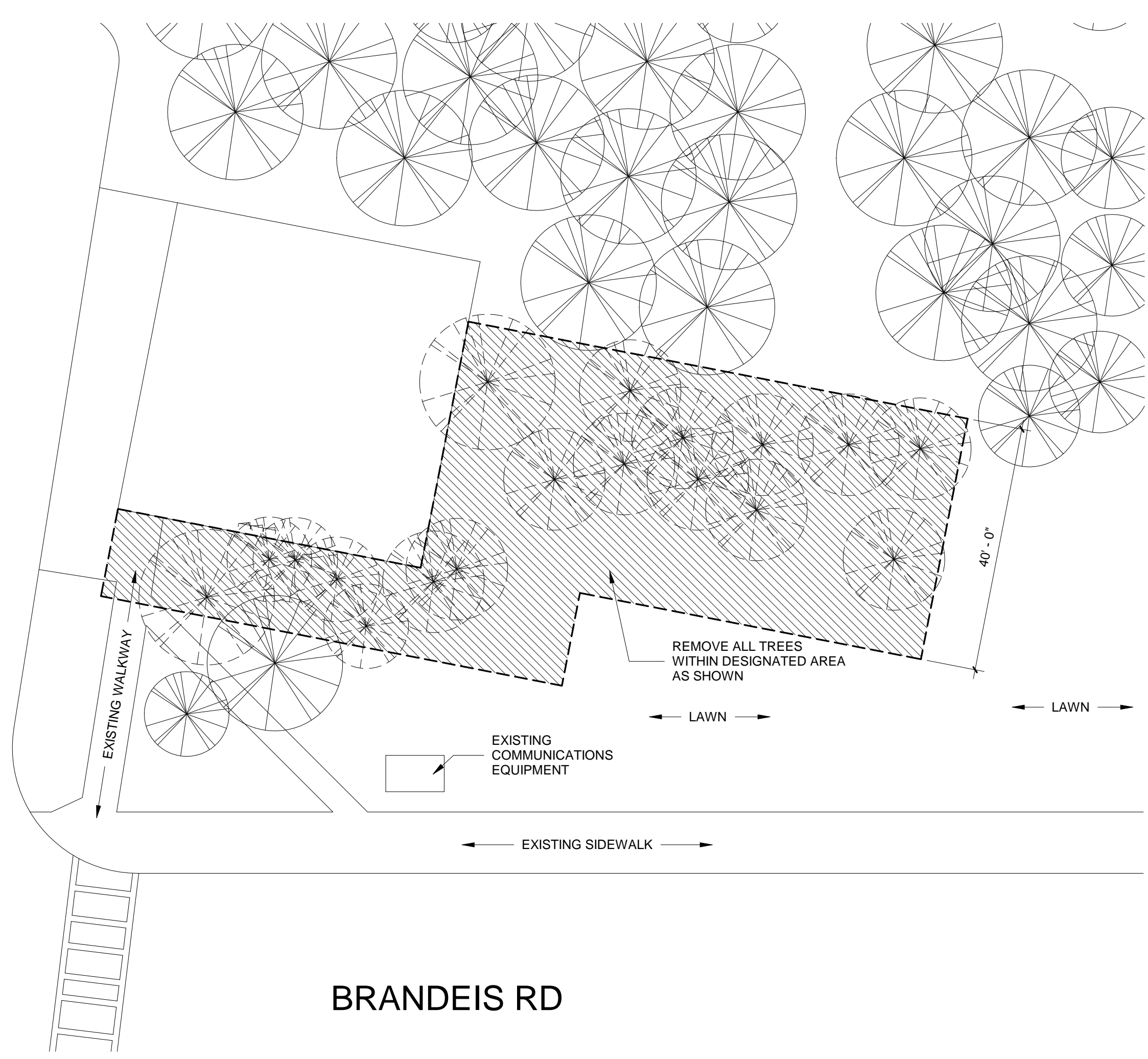
60 LEDGEWOOD PLACE, ROCKLAND, MA 02370 TEL: 781. 421. 3480

- DRAWING LIST**
- COVER SHEET
 - A0.1 SITE PLAN & DEMOLITION PLAN
 - A0.2 EXISTING PHOTOS
 - A1.00 FLOOR PLAN & REFLECTED CEILING PLAN
 - A2.00 ROOF PLAN
 - A3.00 ELEVATIONS
 - A4.00 BUILDING SECTIONS
 - A4.10 WALL SECTIONS
 - A5.00 STRUCTURAL PLANS

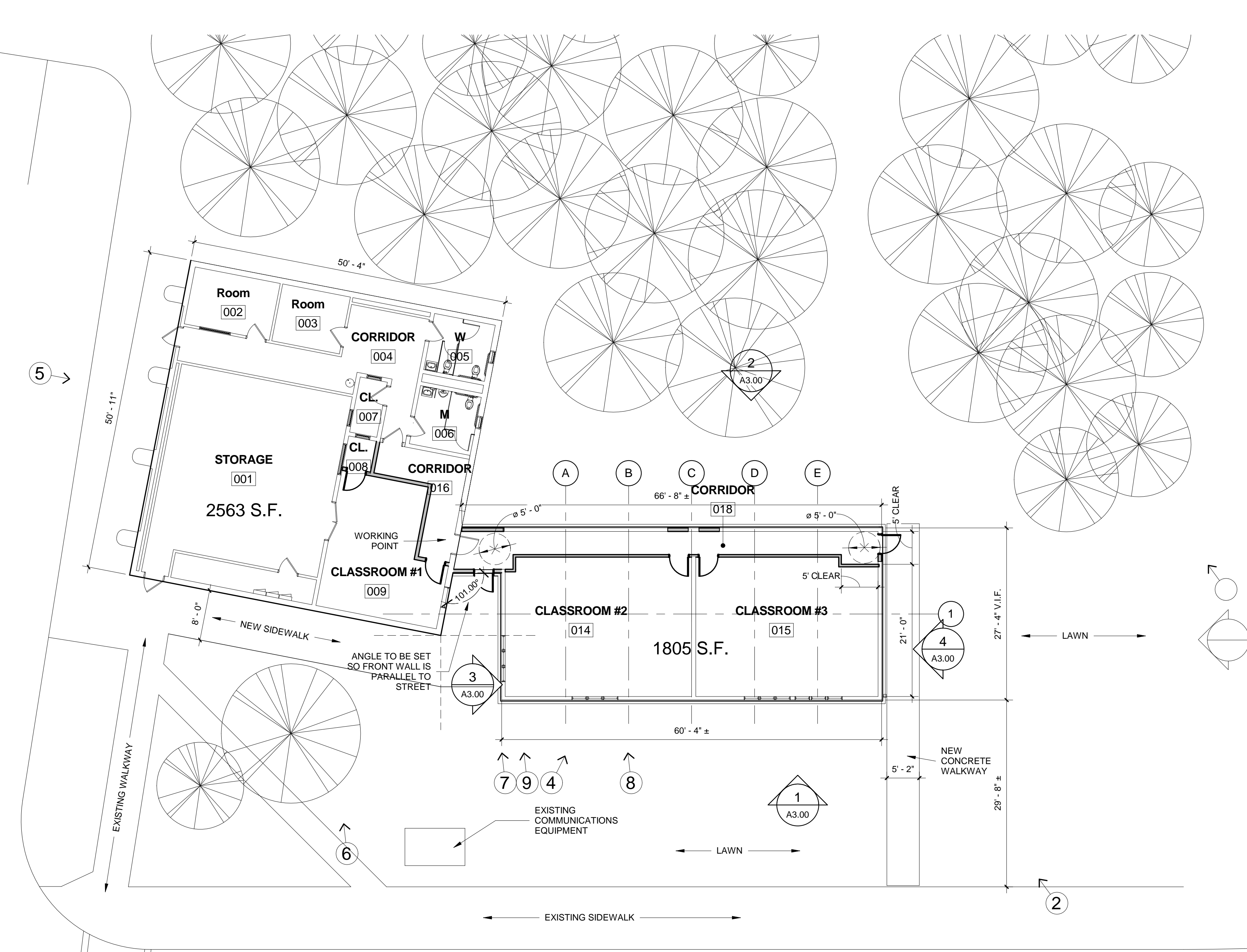
JULY 1, 2016

MODULAR CLASSROOMS AT
NEWTON SOUTH HIGH SCHOOL
 140 BRANDEIS RD. NEWTON, MA

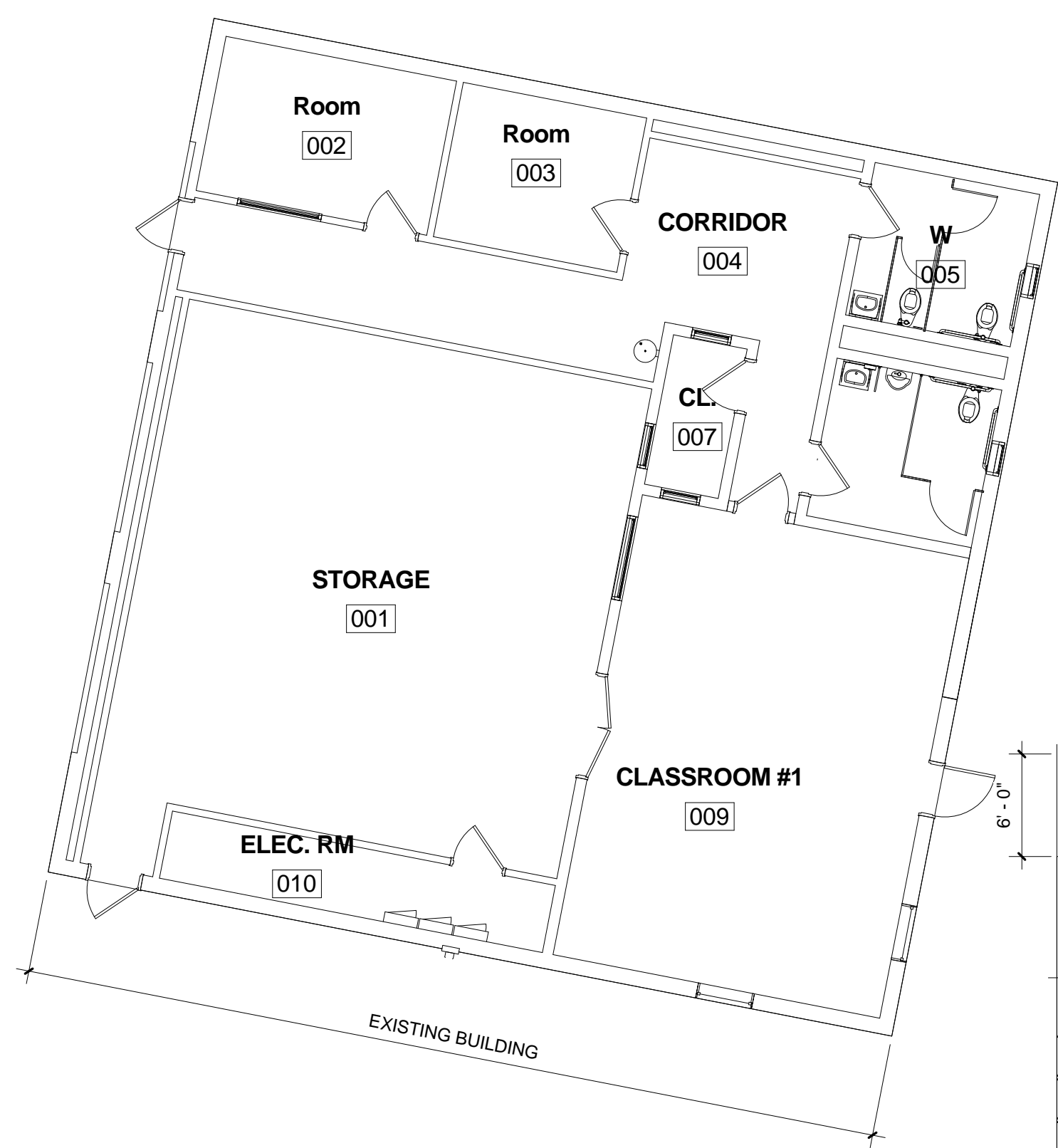
NEWTON SOUTH HIGH SCHOOL
140 BRANDEIS RD. NEWTON, MA
SITE PLAN & DEMOLITION PLAN



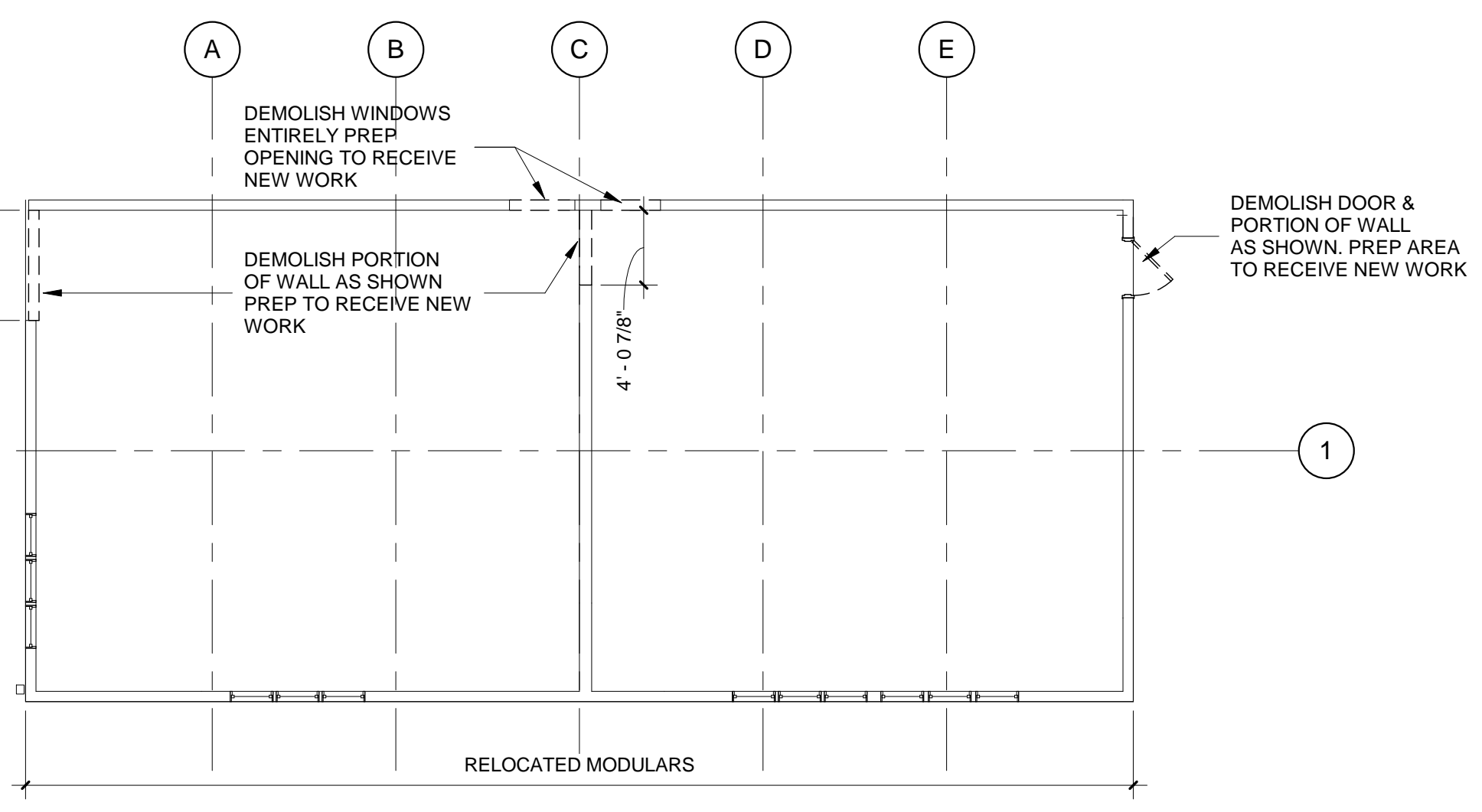
③ SITE DEMOLITION PLAN
1/16" = 1'-0"



① ARCHITECTURAL SITE PLAN
3/32" = 1'-0"

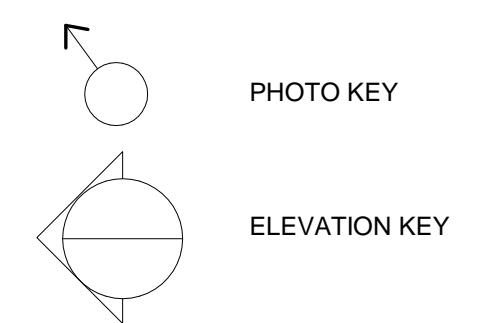
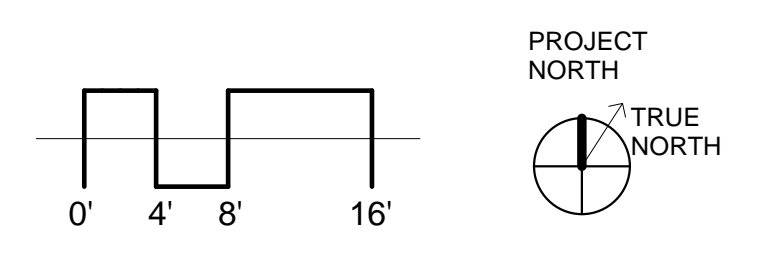


② DEMOLITION PLAN
1/8" = 1'-0"



USE GROUP
GROSS SQ.FT
CONSTRUCTION TYPE
MAX ALLOWABLE

	EXISTING	NEW	TOTAL
E	2,563 S.F.	1,805 S.F.	N/A
IIB		VB	N/A
	14,500 S.F.	9,500 S.F.	4,368 S.F. (PROPOSED)



Revisions:

No.	Date	Description

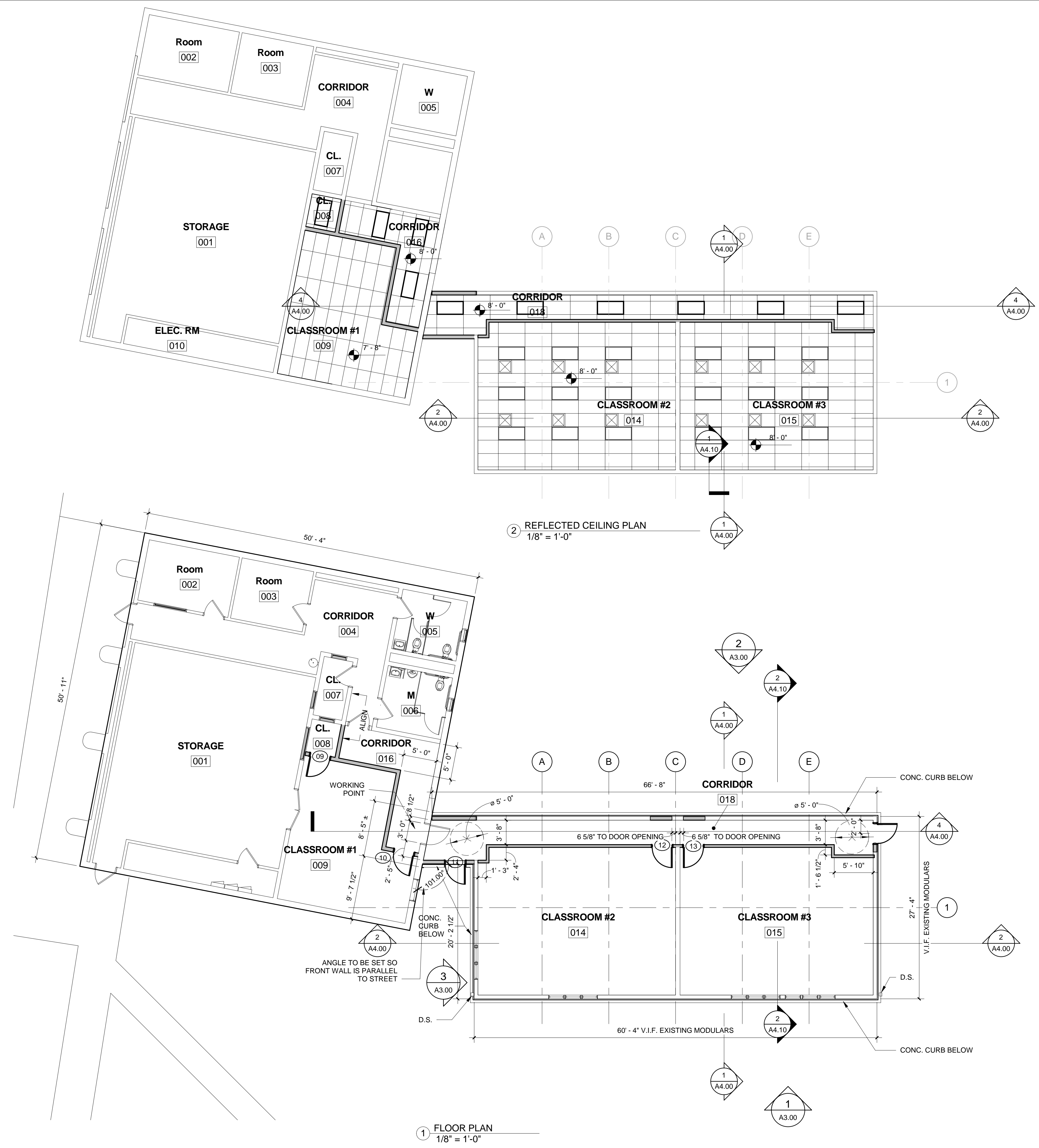
Drawn By: _____ Author
Checked By: _____ Checker
Approved By: _____ Approver

Drawing Scale: _____ As indicated

Project Number: 000

Date: JULY 1, 2016

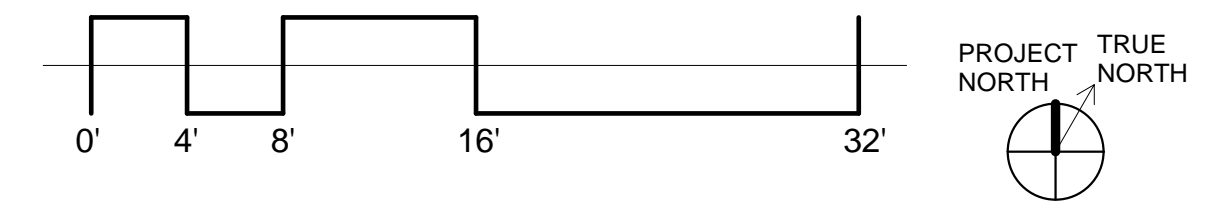
NEWTON SOUTH HIGH SCHOOL 140 BRANDEIS RD. NEWTON, MA FLOOR PLAN & REFLECTED CEILING PLAN



2 REFLECTED CEILING PLAN
1/8" = 1'-0"

1 FLOOR PLAN
1/8" = 1'-0"

ANGLE TO BE SET SO FRONT WALL IS PARALLEL TO STREET



Revisions:

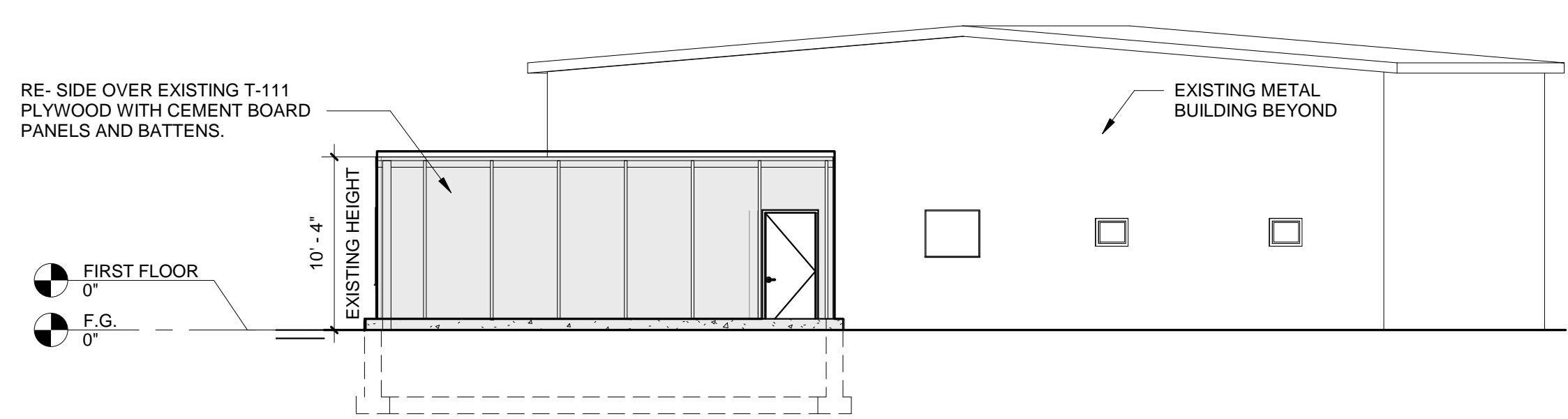
No.	Date	Description

Drawn By: _____ Author
 Checked By: _____ Checker
 Approved By: _____ Approver

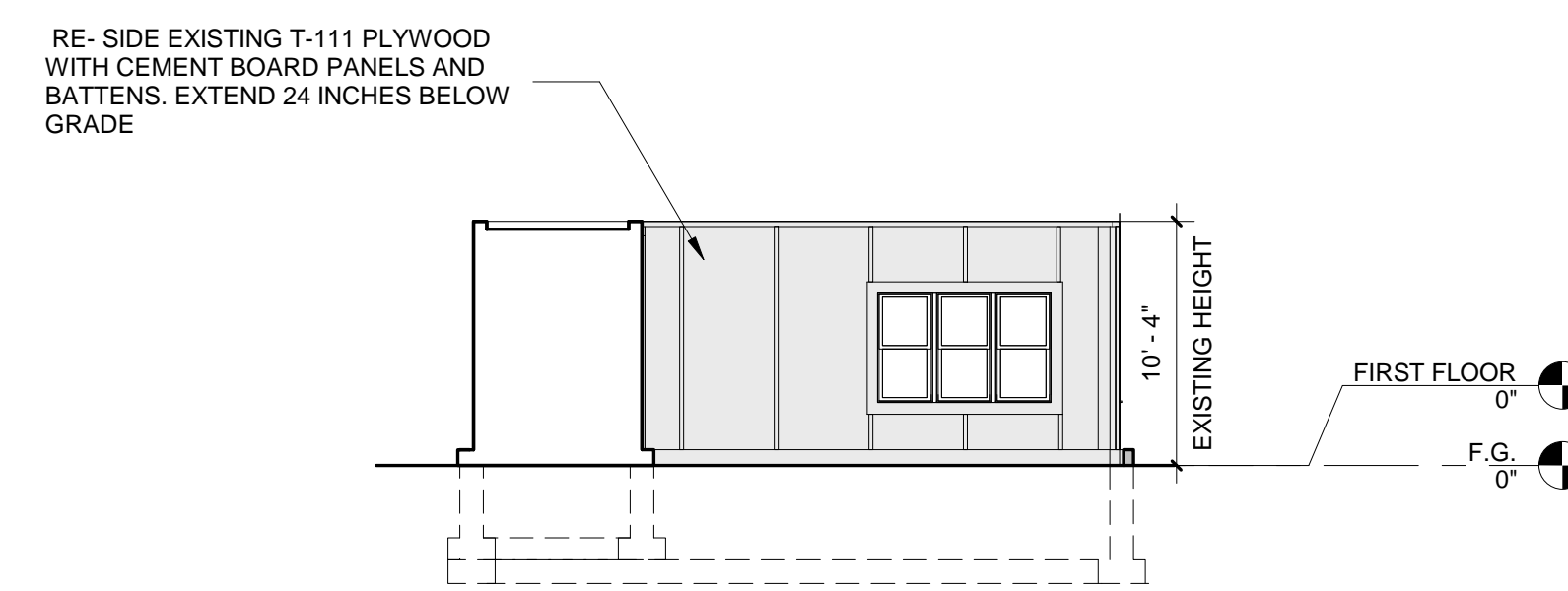
Drawing Scale: 1/8" = 1'-0"

Project Number: 000

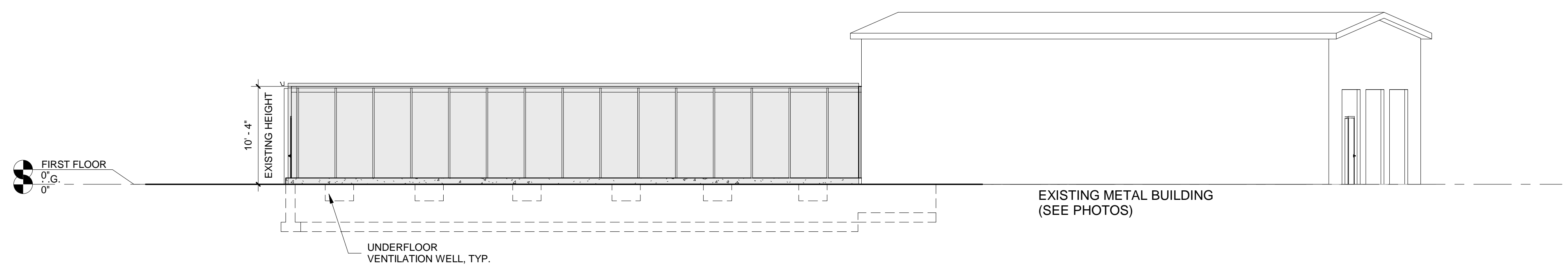
Date: JULY 1, 2016



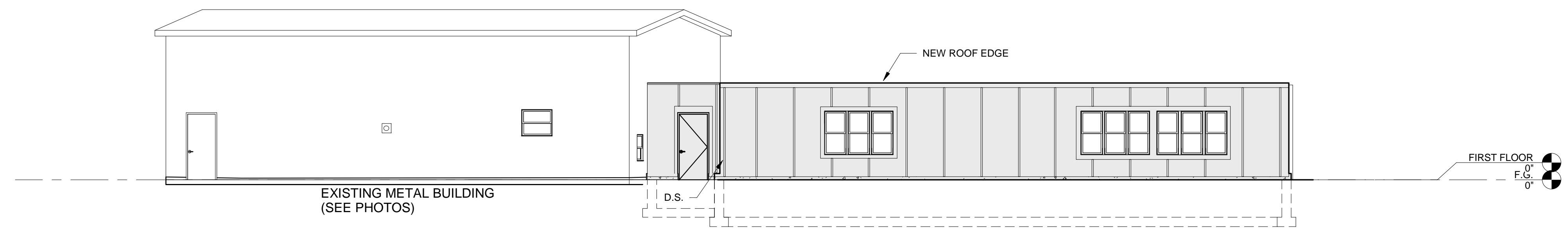
④ EAST ELEVATION
1/8" = 1'-0"



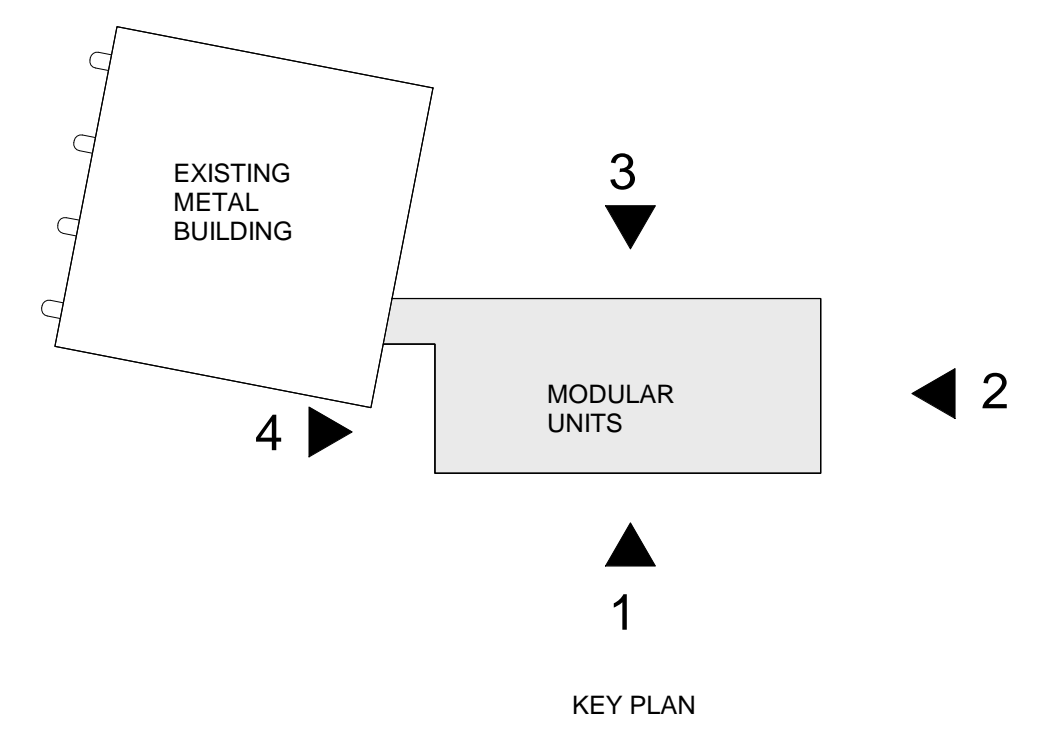
③ MODULAR WEST ELEVATION
1/8" = 1'-0"



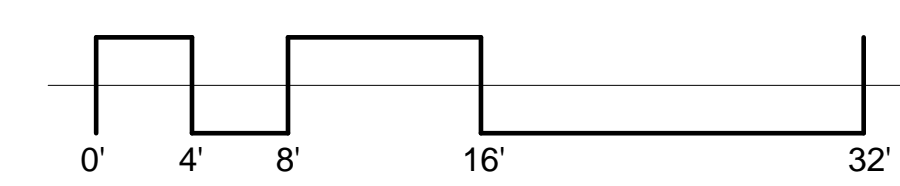
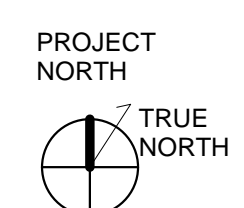
② NORTH ELEVATION
1/8" = 1'-0"



① SOUTH ELEVATION
1/8" = 1'-0"



KEY PLAN



Revisions:

No.	Date	Description

Drawn By: _____ Author
 Checked By: _____ Checker
 Approved By: _____ Approver

Drawing Scale: As indicated

Project Number: 000

Date: JULY 1, 2016

A3.00



SETTI D. WARREN
MAYOR

City of Newton, Massachusetts
Office of the Mayor

#191-16

Telephone
(617) 796-1100

Facsimile
(617) 796-1113

TDD/TTY
(617) 796-1089

E-mail
swarren@newtonma.gov

May 9, 2016

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton Centre, MA 02459

RECEIVED
NEWTON OFFICE
2016 MAY - 9 PM 4: 59
DAVID A. OLSON, CHIEF
NEWTON, MA 02459

Ladies and Gentlemen:

I write to request that your Honorable Council docket for consideration a request to transfer the sum of \$500,000 to the Public Buildings Department for the purpose of funding the relocation of Modular Classrooms from Zervas to South High School and Brown Middle School. Transfers should be made from the following accounts:

<u>Department</u>	<u>Account</u>	<u>Amount</u>
Executive Office	0110301-511001 – Full Time Salaries	\$ 40,000
Treasury	0110772-582A48 – Interest Long Term Debt	\$425,000
F.I.S.	0111801-511001 – Full Time Salaries	\$ 35,000

As you know, four modular classrooms were moved from the Zervas Elementary School prior to its demolition. Those modular are currently stored at the Brown Middle School. Supporting details are attached.

Thank you for your consideration of this matter.

Sincerely,

Setti D. Warren
Mayor

1000 Commonwealth Avenue Newton, Massachusetts 02459

www.newtonma.gov



DEDICATED TO COMMUNITY EXCELLENCE



SETTI D. WARREN
MAYOR

City of Newton, Massachusetts
Office of the Mayor

#191-16

Telephone
(617) 796-1100

Facsimile
(617) 796-1113

TDD/TTY
(617) 796-1089

E-mail
swarren@newtonma.gov

May 9, 2016

Honorable City Council
Newton City Hall
1000 Commonwealth Avenue
Newton Centre, MA 02459

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I write to request that your Honorable Council docket for consideration a request to transfer the sum of \$500,000 to the Public Buildings Department for the purpose of funding the relocation of Modular Classrooms from Zervas to South High School and Brown Middle School.

As you know, four modular classrooms were moved from the Zervas Elementary School prior to its demolition. Those modular are currently stored at the Brown Middle School. Supporting details are attached.

Thank you for your consideration of this matter.

Sincerely,

Setti D. Warren
Mayor

RECEIVED
NEWTON CITY HALL
2016 MAY -9 PM 4:01
DAVID A. OLSON, CLERK
NEWTON, MA 02459



Ward
I Ellen Gibson
II Margaret Albright
III Angela Pitter-Wright
IV Diana Fisher Gomberg
V Steven Siegel
VI Ruth Goldman . Vice-Chairperson
VII Matthew Hills. Chairperson
VIII Margie Ross Decter

Newton School Committee
100 Walnut Street
Newtonville, MA
Tel (617) 559-6110
Fax (617) 559-6101
www.newton.k12.ma.us
schoolcommittee@newton.k12.ma.us

Mayor Setti Warren
#191-16
Ex officio



MEMO

To: Mayor Setti Warren
From: Lisa Mazzola
Re: School Committee
Date: May 9, 2016

RECEIVED
NEWTON CITY OFFICE
2016 MAY 12 PM 1:15
DAVID A. OLSON, CHIEF CLERK
NEWTON, MA 02459

The School Committee at its May 9, 2016 meeting voted to approve the following item:

Motion proposed for vote:

To support this request for additional funds of \$500,000 to cover the siting, foundation and utility work, construction and interior finishing of two modular additions at Newton South and Brown. The modular additions will provide two classrooms at each school needed for the High School Stabilization Program and to accommodate enrollment at Brown.

Motion to approve was made by Pitter Wright and seconded by Goldman.
The motion passed 7-0-2 (absent Mayor Warren, Ross Decter).

cc: Sandy Guryan, Deputy Superintendent/Chief Financial Officer
Maureen Lemieux, Chief Financial Officer
David Olson, City Clerk
Dave Wilkinson, Comptroller

City of Newton



PUBLIC BUILDINGS DEPARTMENT

Josh Morse, Interim Building Commissioner

Telephone (617) 796-1600

FAX (617) 796-1601

TTY: (617) 796-1608

52 ELLIOT STREET

NEWTON HIGHLANDS, MA 02461-1605

Setti D. Warren

Mayor

May 2, 2016

Mayor Setti D. Warren
Newton City Hall
1000 Commonwealth Avenue
Newton Centre, MA 02459

RE: Request for funds: Modular Classroom Move from Zervas to South High and Brown

Dear Mayor Warren:

The Public Buildings Department requests the sum of \$500,000.00 to fund the relocation of Modular Classrooms from Zervas to South High School and Brown Middle School. Below are the total costs for each school.

Brown \$224,860
South \$275,140
Total \$500,000

Should you have any questions regarding the above, please feel free to contact my office.

Sincerely,

Josh Morse
Public Buildings Commissioner

cc: Maureen Lemieux, Chief Financial Officer
Alex Valcarce, Program Director
Dori Zaleznik, Chief Admin Officer

BROWN - Modular Classrooms

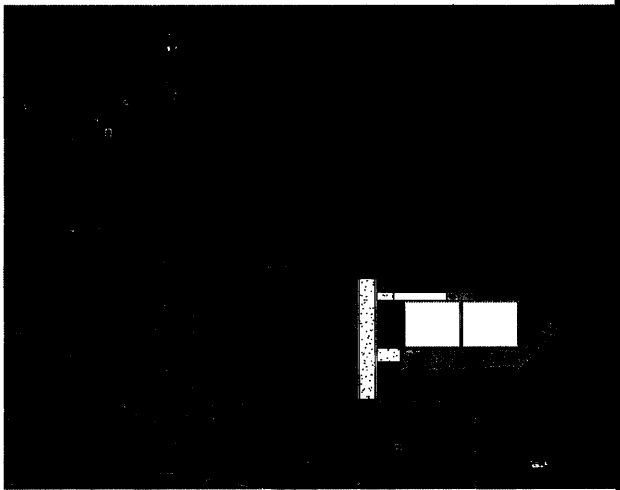
4/24/2016

TEK Consultants, Inc

	Qty	Unit	Labor	Material	Total	RUNNING TOTALS
Grub Site		LS			1,000	\$ 1,450
Remove Fill / Excavate	100	LS			2,500	\$ 5,075
Sonotubes / Setting Plates/Prep Bldg Area Under Modulars (Stone) <u>Helical piles</u>		LS			11,500	\$ 21,750
Move and Reset Modulars(Ready to Trailer at Exist Site)		LS			10,000	\$ 36,250
Frame PT Skirt Structure	200	LF	1,500	1,000	2,500	\$ 39,875
Sht Mtl / Cement Bd Skirt 24-inches below grade	200	LF	1,500	1,000	2,500	\$ 43,500
Patch Roofing at Modular Units		LS	1,000	1,000	2,000	\$ 46,400
New Gutters and Downspouts to Grade		LS	2,000	2,000	4,000	\$ 52,200
Electrical Power Feed - Power distribution		LS			20,000	\$ 81,200
Assume light fixtures are operable (Remove/Reset)		LS	1,500	500	2,000	\$ 84,100
Assume existing fire alarm devices to existing panels		LS			5,000	\$ 91,350
Assume new data and wireless lines to existing bldg	1800	SF			3,500	\$ 96,425
Assume new security alarm devices to metal bldg panel (By Owner)					0	\$ 96,425
RTU's - Assume Operable, but need to Reset /Start Up / New Trunk	2	LS			2,500	\$ 100,050
HVAC - reconnect/clean ductwork and registers		LS	1,500	500	2,000	\$ 102,950
Gas Piping - Connect to existing building		LS	5,000	2,500	7,500	\$ 113,825
Demo Existing ACT / Keep Grid / Adjust - Replace Small % of Tile in Modulars	1800	SF			4,500	\$ 120,350
Patch VCT in Modulars		LS			2,500	\$ 123,975
Interior Wall Patching / Mold Remediation		LS			3,000	\$ 128,325
Paint all surfaces - Entire Project - NOT REQUIRED					0	\$ 128,325
New Window Shades - NOT REQUIRED					0	\$ 128,325
Assume MB's and TB's are OK as-is					0	\$ 128,325
Access Ramp / Walkway - Slab on Grade / Support Stone					9,750	\$ 142,463
Access Ramp Sonotubes / Framing Canopy / Roof / Liteing					5,000	\$ 149,713
Exterior Doors / Cut into Modular Wall - Patch Existing	2	Ea			2,500	\$ 153,338
Steel Ramp					18,000	\$ 179,438
Patch Hardy Plank		LS			2,500	\$ 183,063
Rate Existing Building Openings	475	SF			7,500	\$ 193,970

BROWN MODULAR BUILDINGS

125 MEADOWBROOK RD, NEWTON, 02459



LOCATION PLAN

NO SCALE

RAYMOND DESIGN ASSOCIATES, INC. • ARCHITECT

60 LEDGEWOOD PLACE, ROCKLAND, MA 02370 TEL: 781. 421. 3480

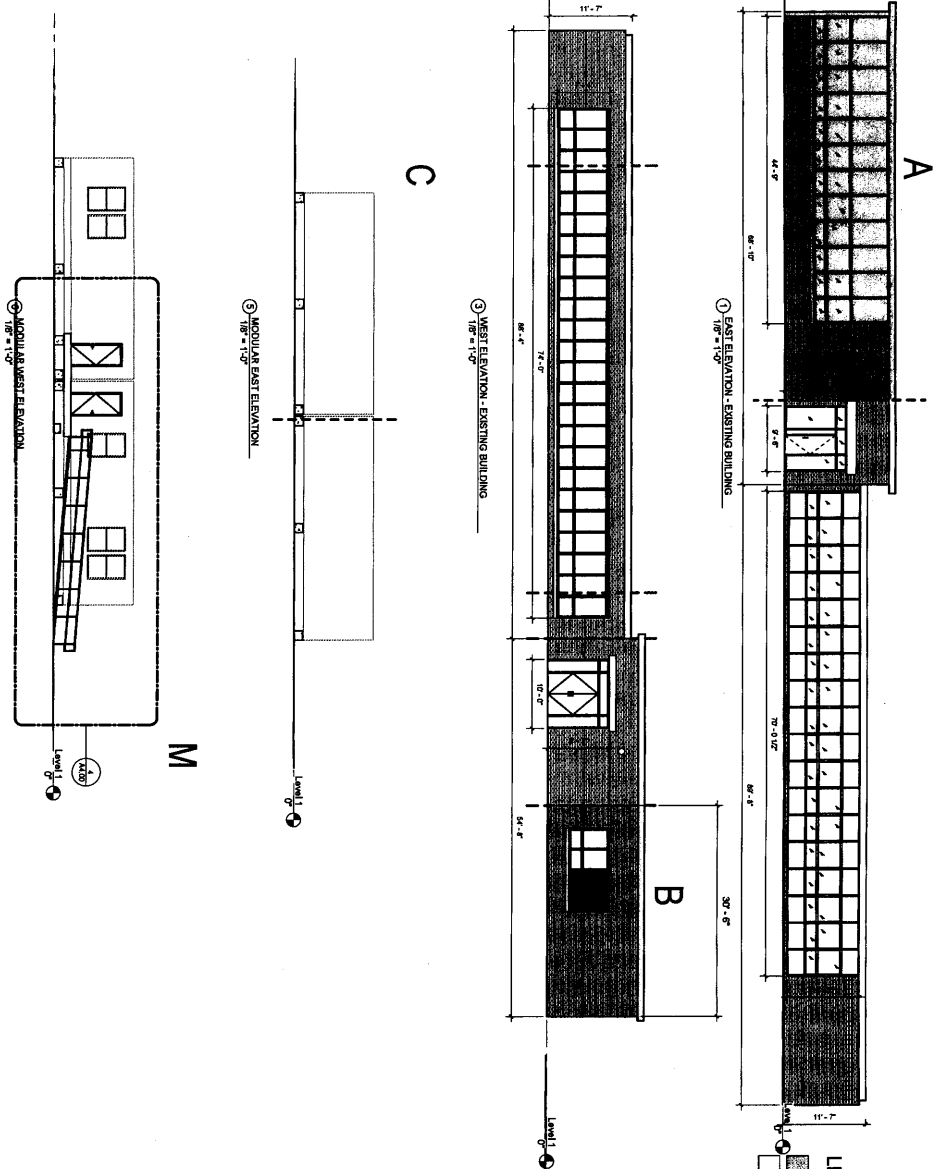
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BROWN MODULAR BUILDINGS

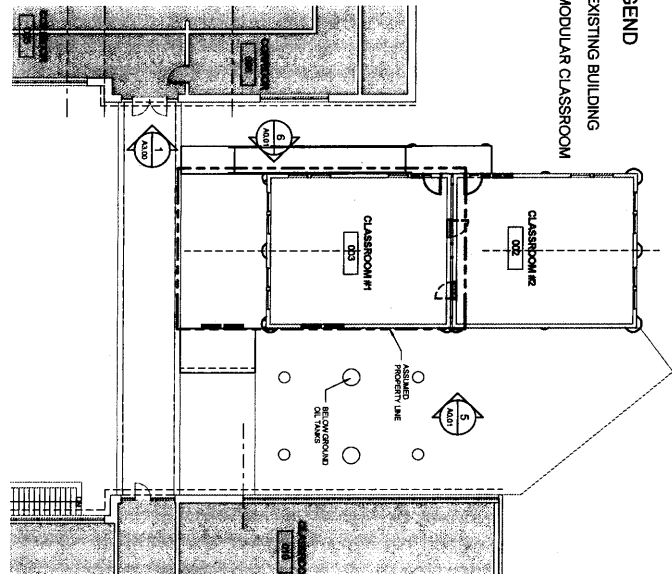
125 MEADOWBROOK RD, NEWTON, 02459

DESIGN DEVELOPMENT

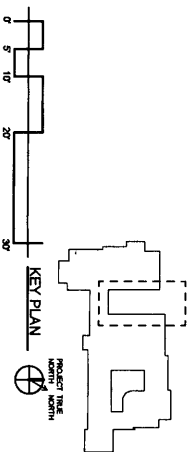
MAY 10, 2016



LEGEND
 EXISTING BUILDING
 MODULAR CLASSROOM



NO OPENING ADJUSTMENTS REQUIRED FOR EXISTING BUILDING

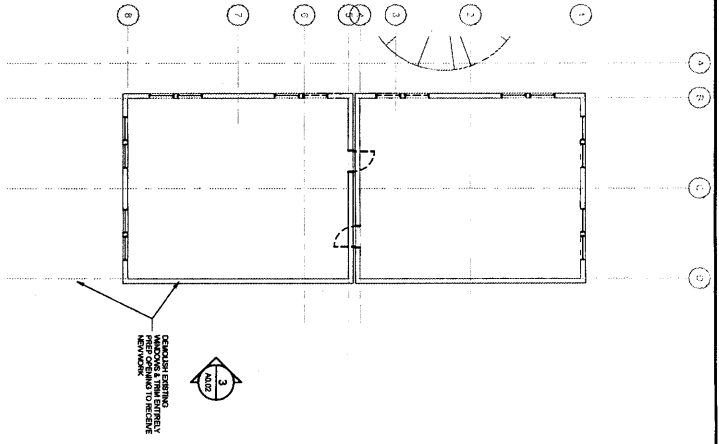


Ryan Design
 Architects, Inc.
 Architects &
 Planners
 60 Lodgepole Place
 Rockville, MA 02770

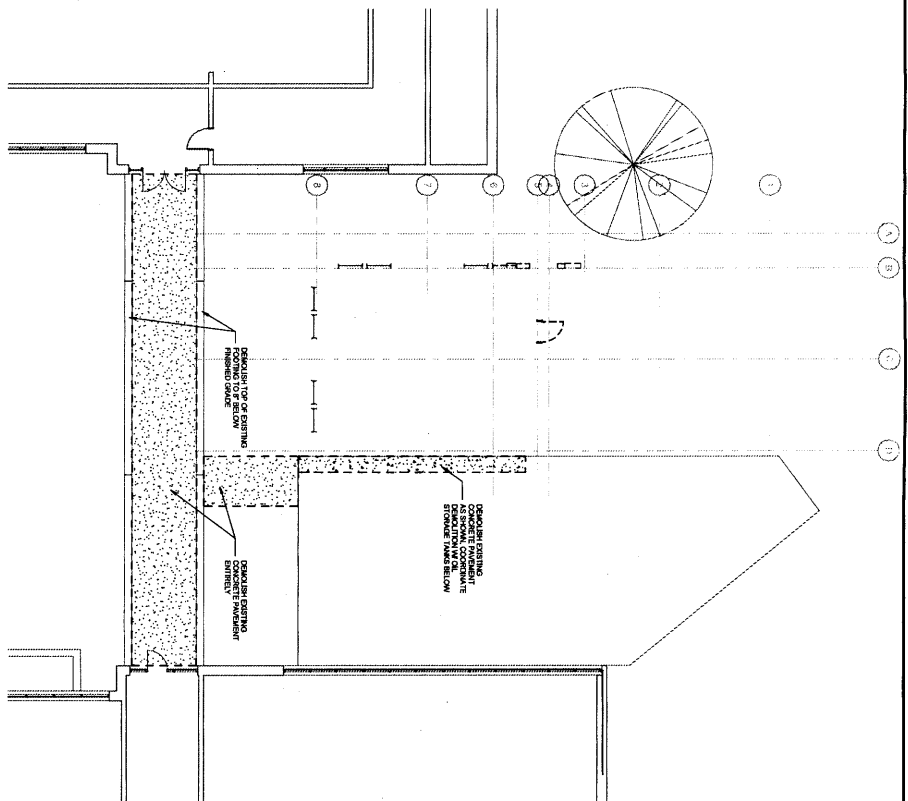
BROWN MODULAR BUILDINGS
 125 MEADOWBROOK RD, NEWTON, 02459
**MSBC - FIRE PROTECTION -
 OPENING ANALYSIS**

NO.	DATE	DESCRIPTION

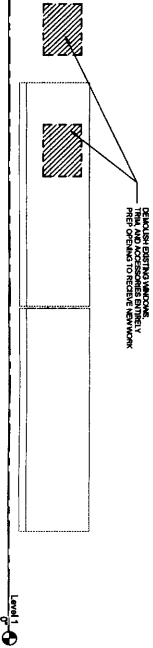
Drawn by: [Blank]
 Checked by: [Blank]
 Approved by: [Blank]
 Project Number: 191-16
 Date: MAY 10, 2018
A0.01



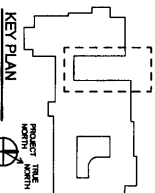
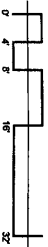
2. MODULAR UNITS - DEMOLITION PLAN
1/8" = 1'-0"



DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

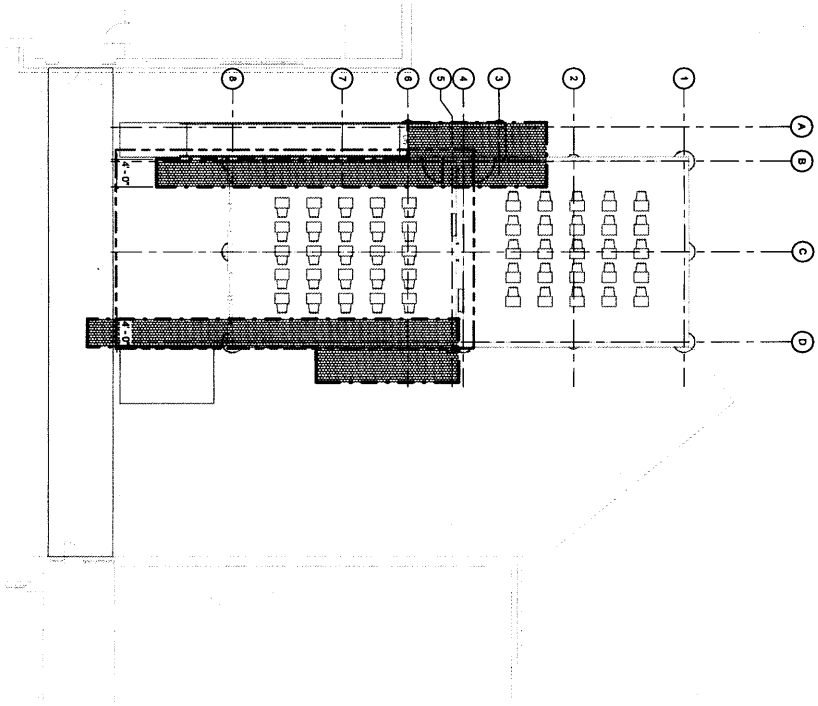


01 - DEMOLITION EAST ELEVATION -
1/8" = 1'-0"



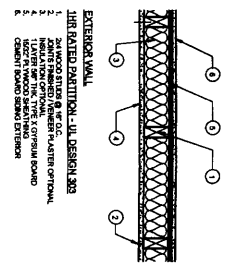
BROWN MODULAR BUILDINGS 125 MEADOWBROOK RD, NEWTON, 02459		DEMOLITION PLANS	Raymond Design Architects, Inc. Architects & Planners 60 Lejagood Place Rockford, MA 02570
Project Number: Project Number Date: MAY 10, 2018			

A0.02

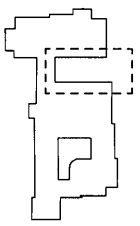


FIRE SEPERATION PLAN
SCALE: 1/8" = 1'-0"

THIS SHEET IS TO BE PRINTED IN COLOR



EXTERIOR WALL
 1. EXTERIOR FINISH
 2. EXTERIOR INSULATION - UL DESIGN 302
 3. EXTERIOR SHEATHING
 4. STRUCTURAL FRAMING
 5. INTERIOR SHEATHING
 6. INTERIOR FINISH

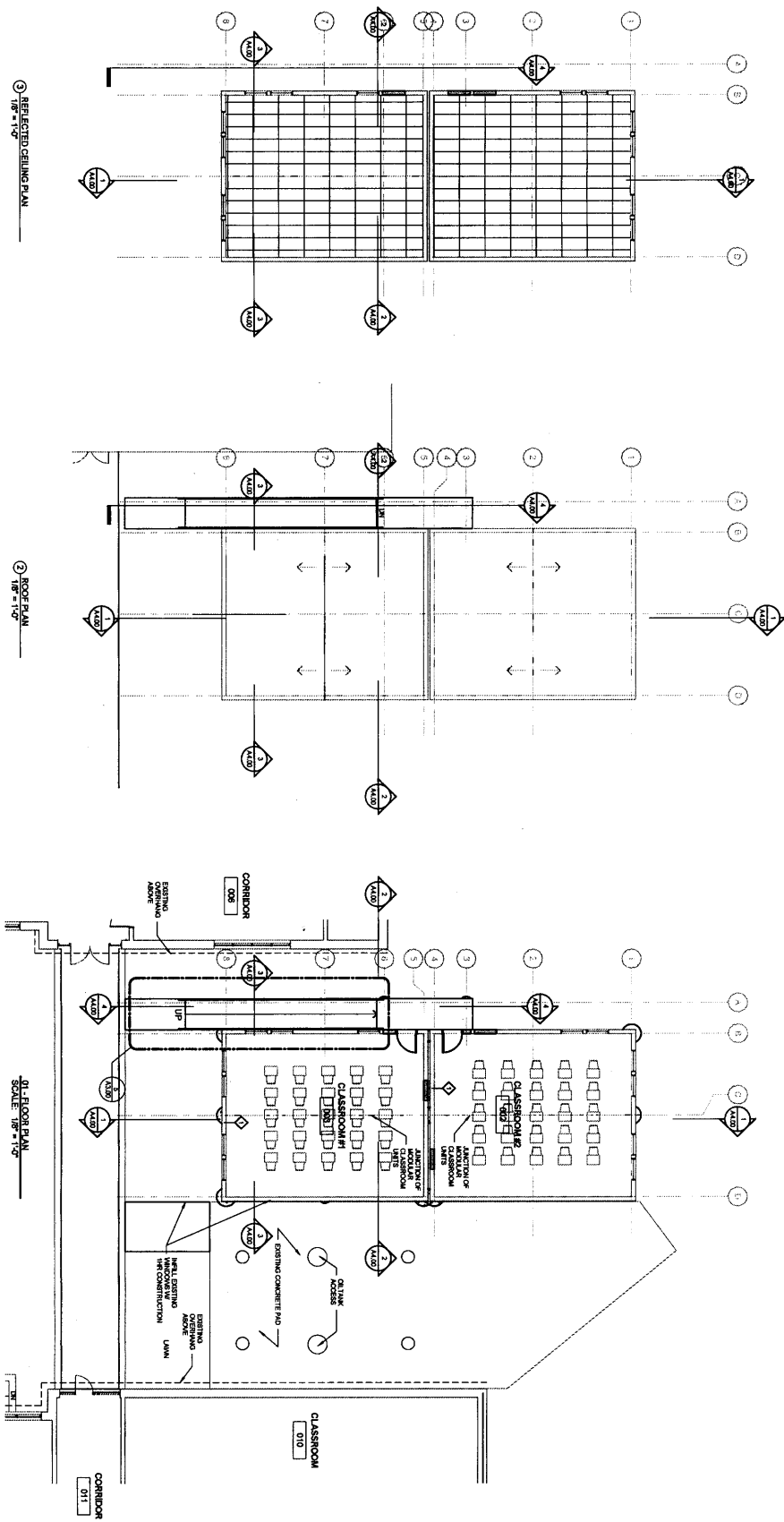


Raymond Design
 Architects, Inc.
 Architects &
 Planners
 60 Ladgewood Place
 Rockland, MA 02770

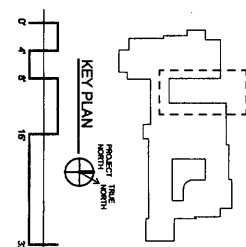
BROWN MODULAR BUILDINGS
 125 MEADOWBROOK RD, NEWTON, 02459
WALL TYPES & FIRE SEPERATION
PLAN

NO.	DATE	DESCRIPTION

Project Name: **Brown Modular Buildings**
 Project Number: **191-16**
 Date: **MAY 10, 2018**
 Project Title: **WALL TYPES & FIRE SEPERATION PLAN**
 Prepared by: **AS**
 Checked by: **AS**
 Approved by: **AS**
 Scale: **1/8" = 1'-0"**
A0.03



DOOR SCHEDULE												
ROOM NO.	ROOM NAME	FRAME	ELEV.	DETAILS	FINISH	ELEV.	WIDTH	HEIGHT	TRACK	RATING	HARDWARE	REMARKS
										UL	SET	
300	CLASSROOM	1/2"	10'				3'-0"	7'-0"				
301	CLASSROOM	1/2"	10'				3'-0"	7'-0"				
302	CLASSROOM	1/2"	10'				3'-0"	7'-0"				
303	CLASSROOM	1/2"	10'				3'-0"	7'-0"				
308	CORRIDOR	1/2"	10'				4'-0"	7'-0"				
310	CORRIDOR	1/2"	10'				4'-0"	7'-0"				
311	CORRIDOR	1/2"	10'				4'-0"	7'-0"				



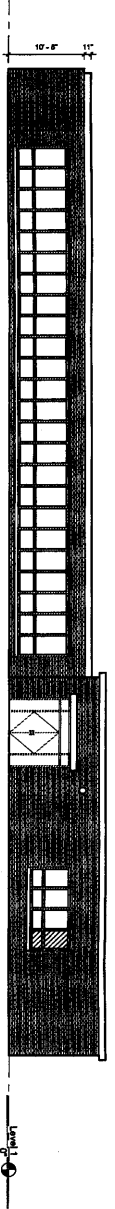
NO.	DATE	DESCRIPTION

Prepared by: **ADP**
 Checked by: **ADP**
 Approved by: **ADP**
 Project Name: **Project Number**
 Date: **MAY 10, 2016**
A1.00

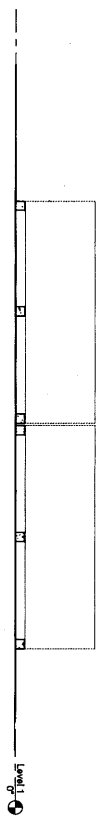
BROWN MODULAR BUILDINGS
 125 MEADOWBROOK RD, NEWTON, 02459
FLOOR PLAN & ROOF PLAN

Raymond Design
 Associates, Inc.
 Architects &
 Planners
 60 Ludgeward Place
 Redding, MA 02370

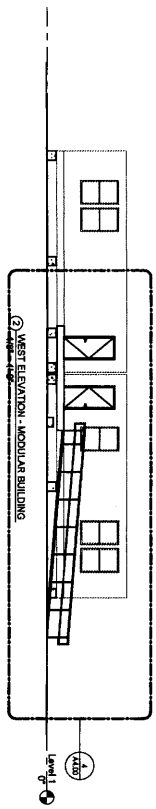
A - EAST DEMOLITION ELEVATION -
EXISTING BUILDING
1/8" = 1'-0"



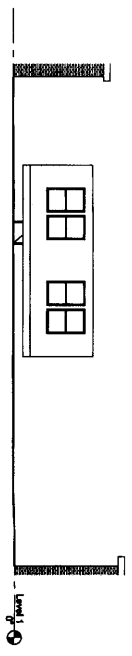
1 - EAST ELEVATION - MODULAR BUILDING
1/8" = 1'-0"



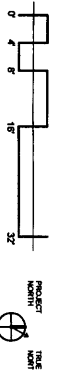
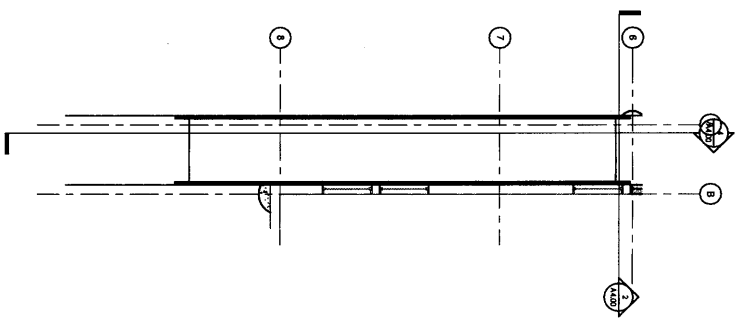
2 - WEST ELEVATION - MODULAR BUILDING
1/8" = 1'-0"



3 - SOUTH ELEVATION - MODULAR BUILDING
1/8" = 1'-0"



4 - ENLARGED PLAN & RAMP
1/4" = 1'-0"



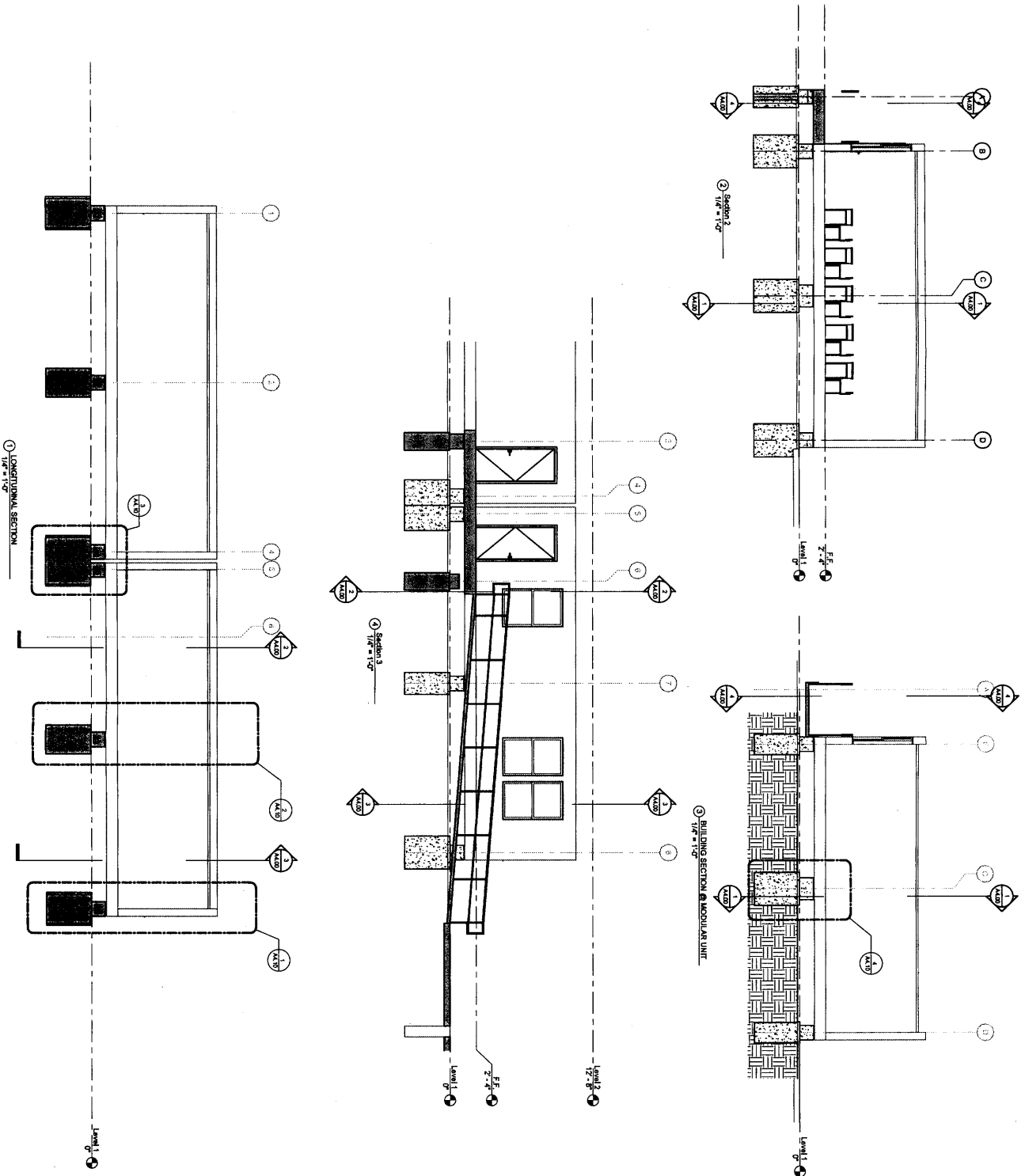
Raymond Design Associates, Inc.
Architects & Planners
60 Lodgewood Place
Rochester, MA 02370

BROWN MODULAR BUILDINGS
125 MEADOWBROOK RD, NEWTON, 02459
ELEVATIONS & ENLARGED PLANS

NO.	DATE	DESCRIPTION

Drawn By:
 Checked By:
 Approved By:
 Project Name:
 Project Number:
 DATE: MAY 10, 2019

A3.00



Raymond Padgin
 Associates, Inc.
 Architects &
 Planners
 60 Ludgemoor Place
 Rockland, MA 02370

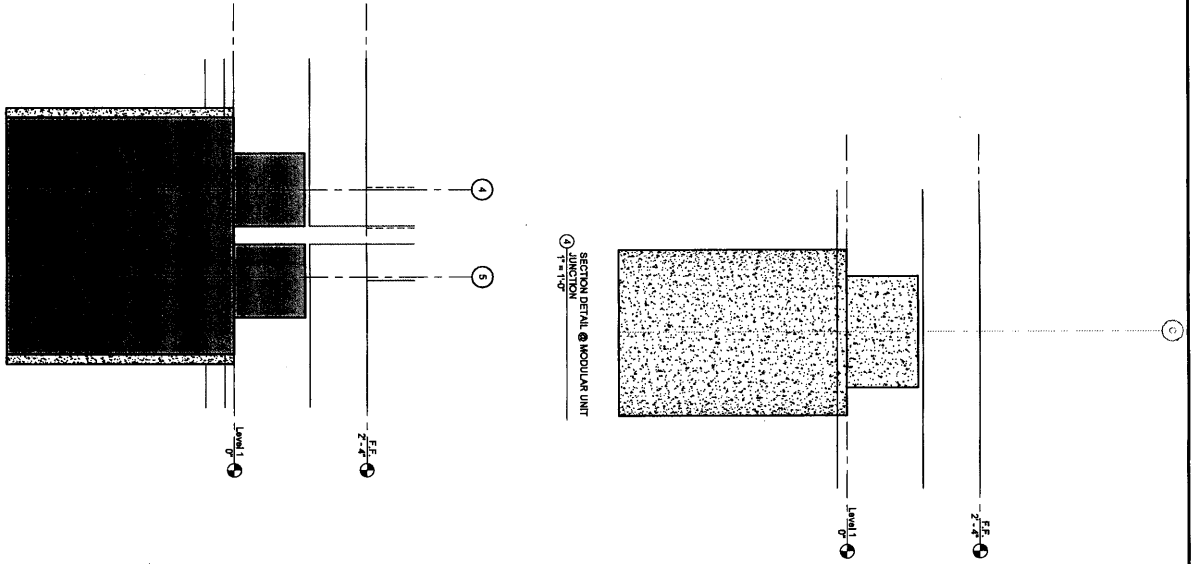
BROWN MODULAR BUILDINGS
 125 MEADOWBROOK RD, NEWTON, 02459

BUILDING SECTIONS

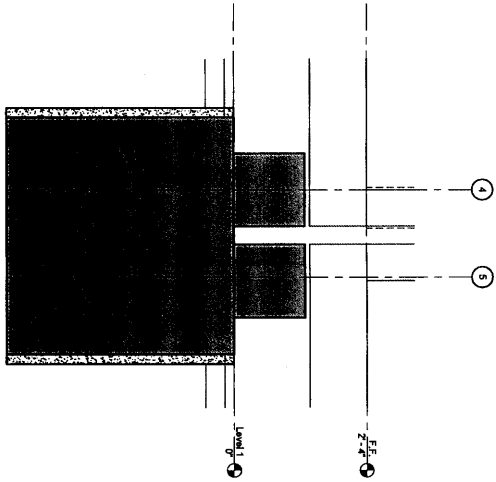
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Drawn by	Checked by
Approved by	
Project Number	
Sheet Number	
Date	

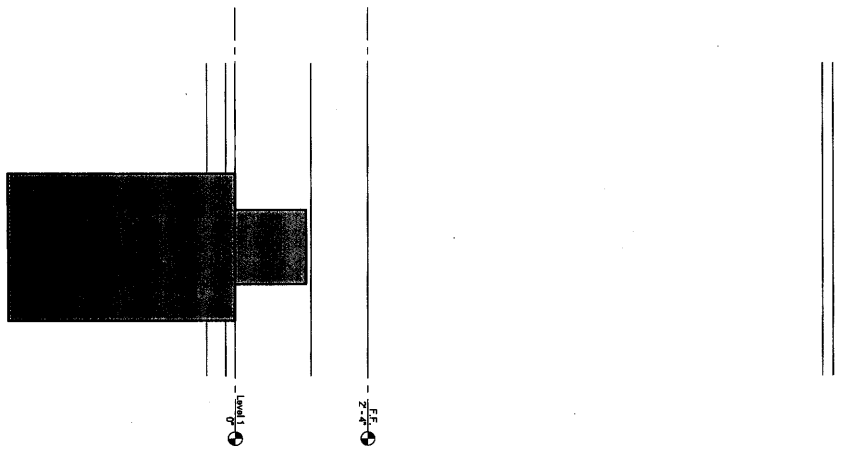
A4.00



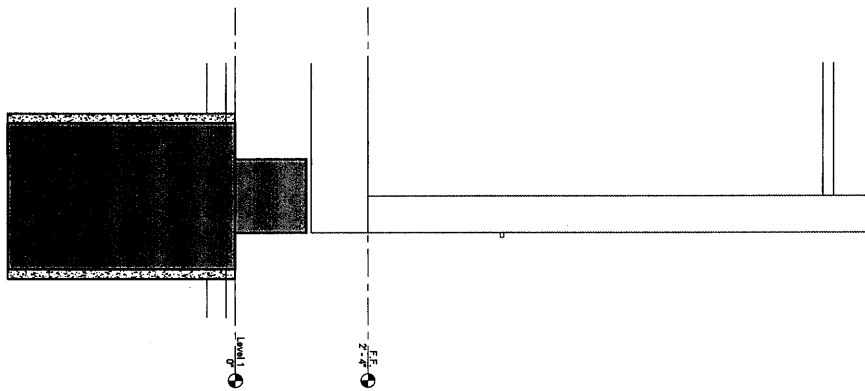
SECTION DETAIL @ MODULAR UNIT JUNCTION
1" = 1'-0"



SECTION DETAIL @ SKIMTUBE
1" = 1'-0"



WALL SECTION @ DECK TO CANYON
1" = 1'-0"



WALL SECTION @ MODULAR EXT. WALL
1" = 1'-0"

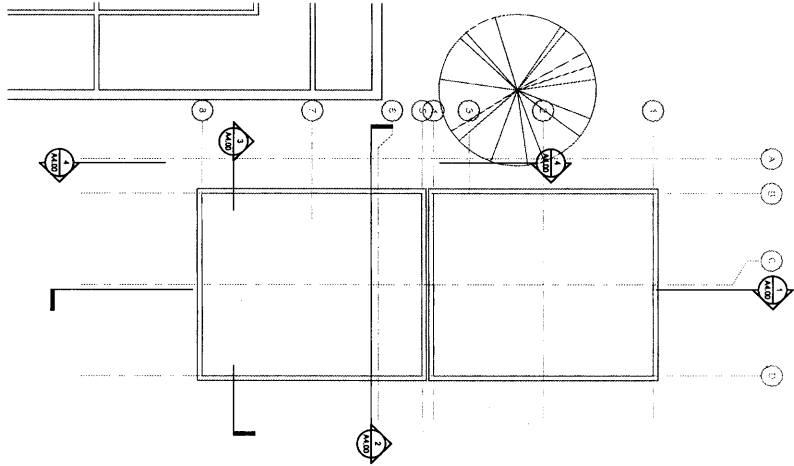
Raymond Design
Associates, Inc.
Architects &
Planners
40 Ludgewood Place
Bedford, MA 02370

BROWN MODULAR BUILDINGS
125 MEADOWBROOK RD, NEWTON, 02459

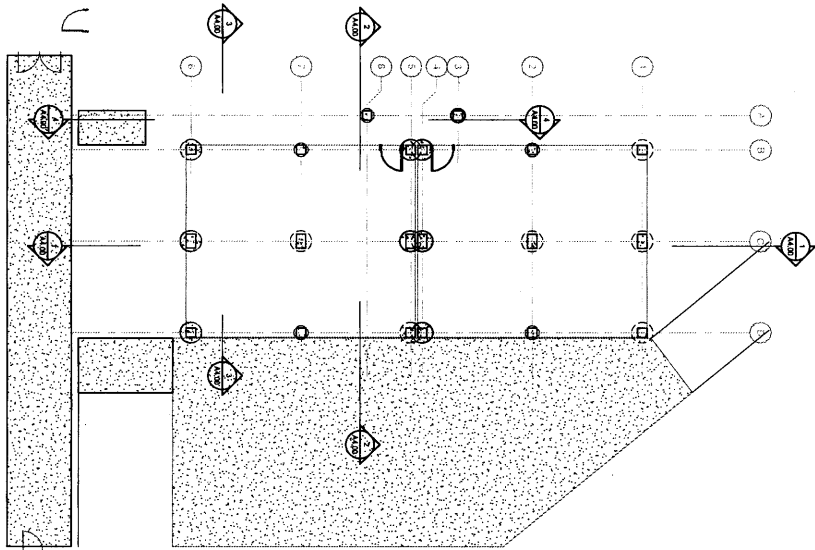
WALL SECTIONS

Revision	NO.	DATE	DESCRIPTION

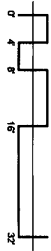
Drawn by: _____
 Checked by: _____
 Approved by: _____
 Project No. 191-16
 Project Name: Project Number
 Date: 04/18/2012



01 - ROOF FRAMING PLAN
1/8" = 1'-0"



02 - FOUNDATION PLAN
1/8" = 1'-0"



Raymond Pridin
Associates, Inc.
Architects &
Planners
40 Ludgemoor Place
Needham, MA 02470

BROWN MODULAR BUILDINGS
125 MEADOWBROOK RD, NEWTON, 02459

STRUCTURAL PLANS

NO.	SIZE	Description

Project Name: Project Number
 Date: MAY 12, 2018
 Prepared by: [Signature]
 Checked by: [Signature]
 Approved by: [Signature]
 Drawing Scale: 1/8" = 1'-0"

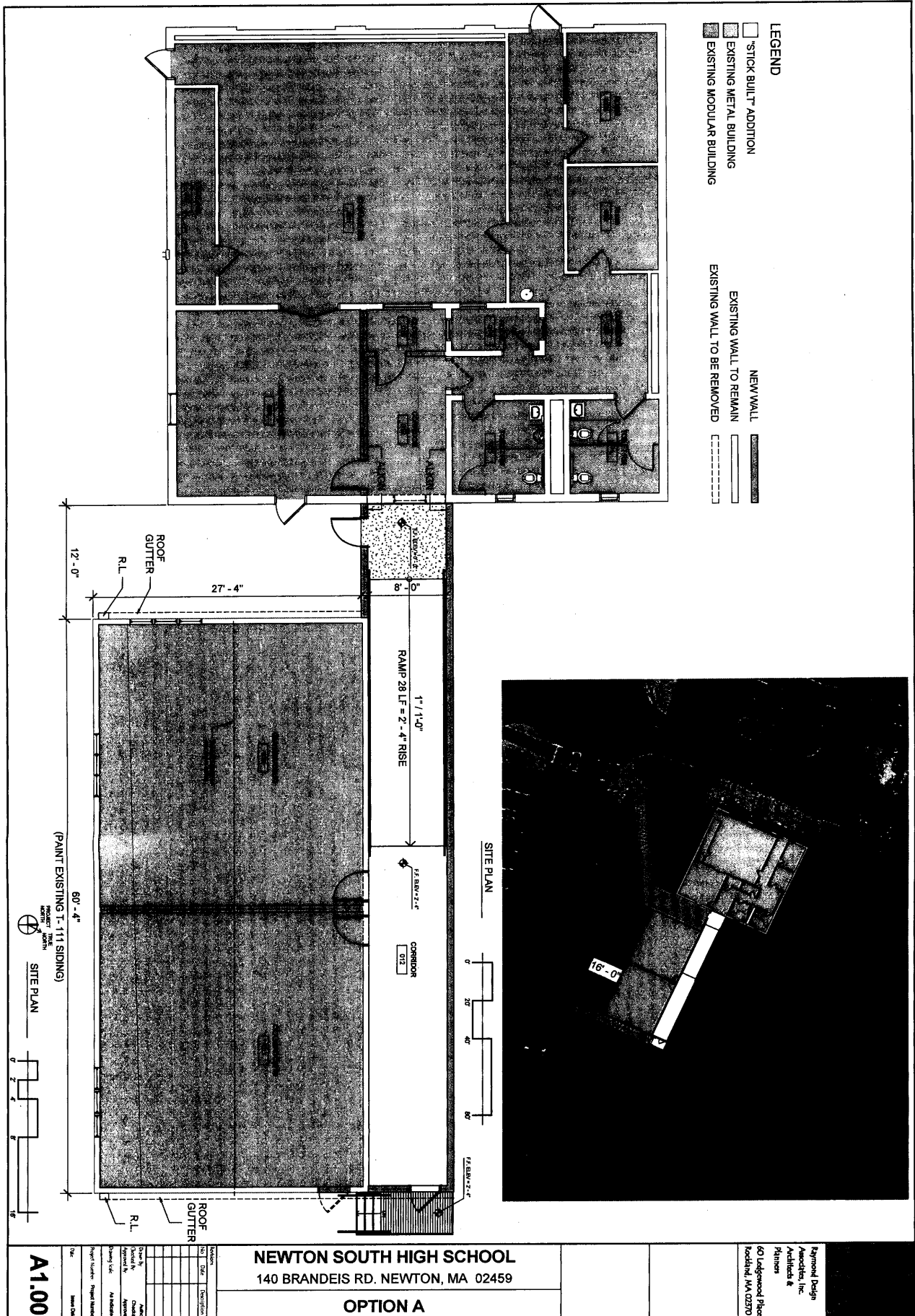
A6.01

NSHS Alternative HS - Modular Classrooms

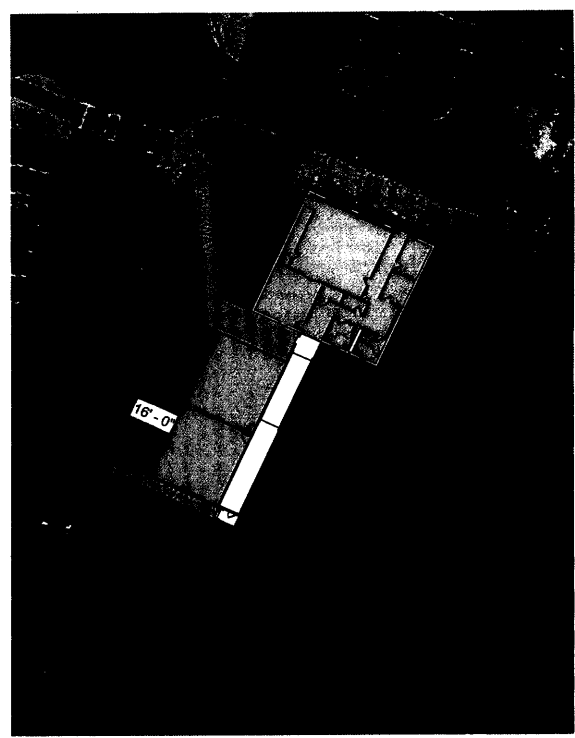
4/24/2016

TEK Consultants, Inc

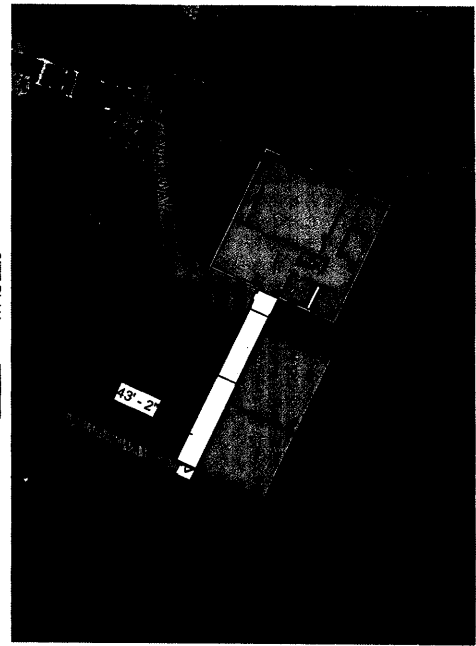
	Qty	Unit	Labor	Material	Option 3	Option 3	RUNNING TOTAL
Clear Trees / Grub Site		LS			2,500	\$	3,625
Remove Fill / Excavate	100	CY	5,000	2,500	2,000	\$	6,525
Sonotubes / Setting Plates/Prep Bidg Area Under Modulators (Stone) Hellical Piles	30	Ea	12,500	4,500	11,500	\$	23,200
Move and Reset Modulators(Ready to Trailer at Exist Site)		LS			10,000	\$	37,700
Frame PT Skirt Structure	250	LF	1,500	1,000	2,500	\$	41,325
Sht Mtl / Cement Bd Skirt 24-inches below grade	250	LF	1,500	1,000	2,500	\$	44,950
Patch Roofing at Modular Units		LS	1,000	1,000	2,000	\$	47,850
New Gutters and Downspouts to Grade		LS	1,000	1,000	2,000	\$	50,750
Electrical Power Feed - Power distribution		LS			7,500	\$	61,625
Assume light fixtures are operable (Remove/Reset)		LS	0	0	500	\$	62,350
Assume existing fire alarm devices to existing metal bidg panel system		LS			3,000	\$	66,700
Assume new data and wireless lines to metal bidg	1800	SF			3,000	\$	71,050
Assume new security alarm devices to metal bidg panel (By Owner)					500	\$	71,775
RTU's - Assume Operable, but need to Reset /Start Up / New Trunk	2	Ea	5,000	0	5,000	\$	79,025
HVAC - reconnect/clean ductwork and registers		LS	0	0	2,000	\$	81,925
Gas Piping - Connect to existing building		LS	3,000	1,500	4,500	\$	88,450
Remove Vanities / Patch		LS			1,000	\$	89,900
Demo Existing ACT / Keep Grid / Adjust - Replace Tile in Modulators	1800	SF			12,500	\$	108,025
New VCT/VCB in Existing Modular CR's + Luann encapsulate	1800	SF			9,000	\$	121,075
Interior Wall Patching		LS			2,000	\$	123,975
Paint all surfaces - Entire Project					10,000	\$	138,475
New Window Shades - NOT REQUIRED					0	\$	138,475
Assume MB's and TB's are OK as-is					0	\$	138,475
Access Ramp / Walkway / Slab on Grade / Support Stone					9,500	\$	152,250
Access Ramp Sonotubes / Framing Canopy / Roof / Liting					7,500	\$	163,125
Exterior Doors / Cut inot Modular Wall - Patch Existing (Double Door)	1	Ea	1,000	1,000	2,000	\$	166,025
PT Stairs / Rails		LS	1,000	1,500	2,500	\$	169,650
Steel Ramp					18,000	\$	195,750
Concrete Walks	600	SF	500	500	2,500	\$	199,375
New Partitions (Exist Bldg)	250	SF		N/A		\$	199,375
Doors / Frames / Hardware (Exist Bldg)	2	Ea	1,500	1,500	3,000	\$	203,725
Re-work Electrical / Liting / Fire Alarm /		LS			5,000	\$	210,975
Re-Work HVAC		LS			2,700	\$	214,890
Architectural - Ceilings / Paint / Floor	5,000	SF			0	\$	214,890
Siding Hardy Plank (over existing T-111 siding)		SF	0	0	16,000	\$	238,110
						\$	11,905
5% Contingency						\$	25,125
Design						\$	
Project Total						\$	275,140



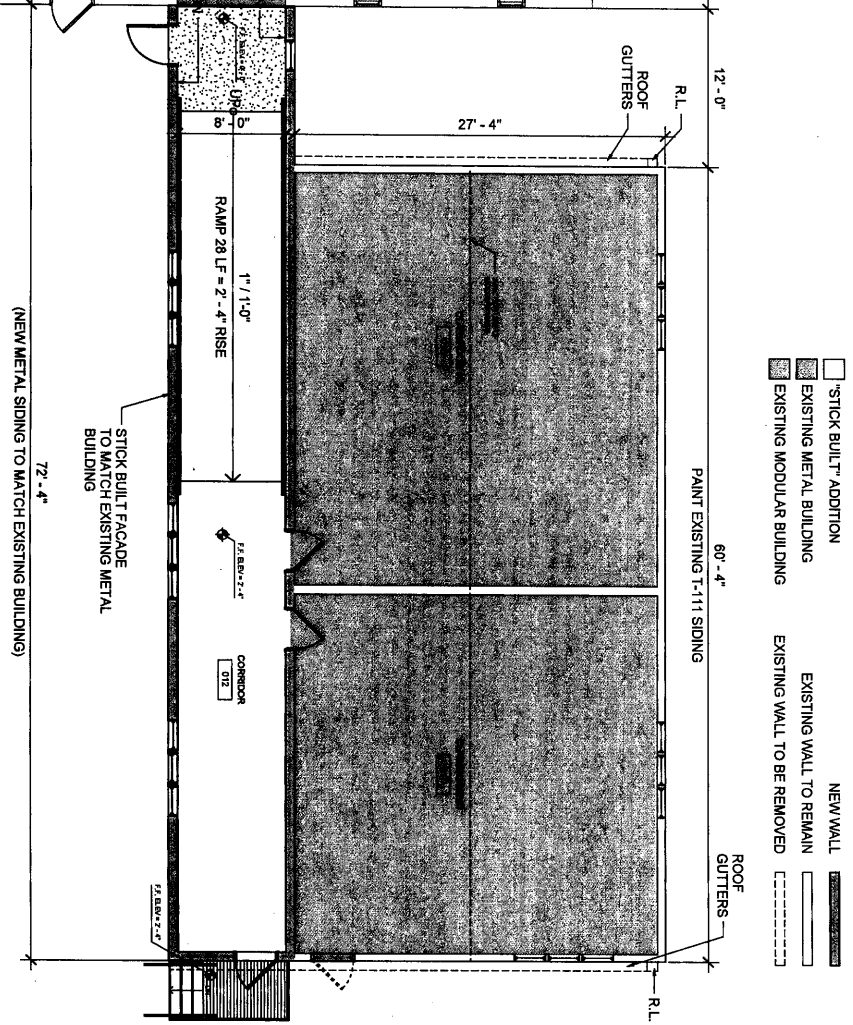
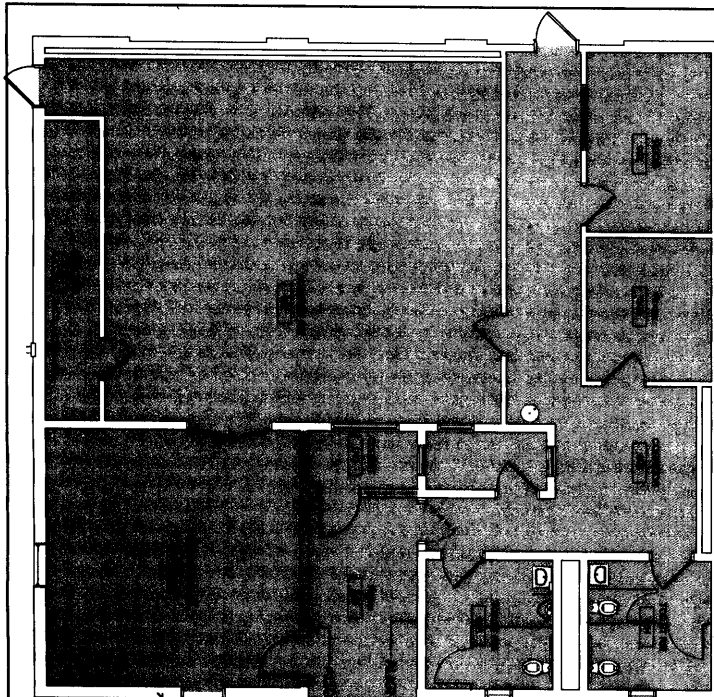
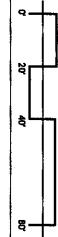
- LEGEND**
- STICK BUILT ADDITION
 - ▨ EXISTING METAL BUILDING
 - ▩ EXISTING MODULAR BUILDING
 - NEW WALL
 - EXISTING WALL TO REMAIN
 - - - EXISTING WALL TO BE REMOVED



<p>A1.00</p>	<p>NEWTON SOUTH HIGH SCHOOL 140 BRANDEIS RD. NEWTON, MA 02459</p> <p>OPTION A</p>	<p>Raymond Design Architects, Inc. Planners 60 Ludgwood Place Roslindale, MA 02127</p>																	
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION													<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;"> Drawn by: _____ Checked by: _____ Project No.: _____ Drawing No.: _____ Project Name: _____ Sheet Name: _____ Date: _____ </td> <td style="width: 50%;"> Author: _____ Reviewer: _____ Approver: _____ Date: _____ </td> </tr> </table>	Drawn by: _____ Checked by: _____ Project No.: _____ Drawing No.: _____ Project Name: _____ Sheet Name: _____ Date: _____	Author: _____ Reviewer: _____ Approver: _____ Date: _____	
NO.	DATE	DESCRIPTION																	
Drawn by: _____ Checked by: _____ Project No.: _____ Drawing No.: _____ Project Name: _____ Sheet Name: _____ Date: _____	Author: _____ Reviewer: _____ Approver: _____ Date: _____																		



SITE PLAN

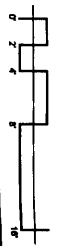


- LEGEND**
- STICK BUILT™ ADDITION
 - ▨ EXISTING METAL BUILDING
 - ▩ EXISTING MODULAR BUILDING
 - NEW WALL
 - EXISTING WALL TO REMAIN
 - - - EXISTING WALL TO BE REMOVED
 - ROOF GUTTERS



PROJECT TITLE
 NORTH

FLOOR PLAN

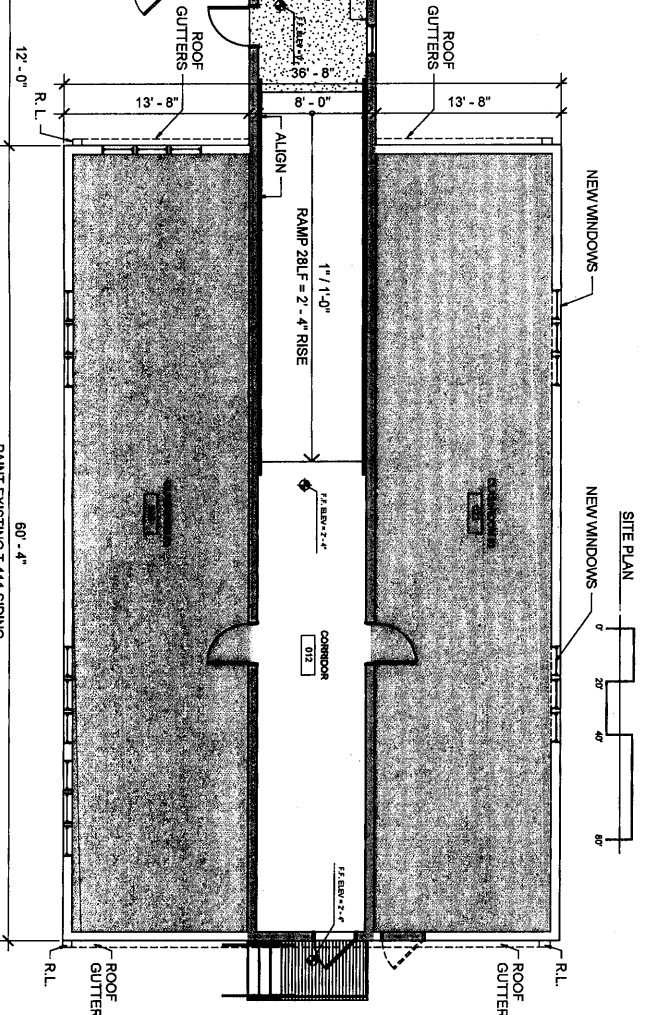
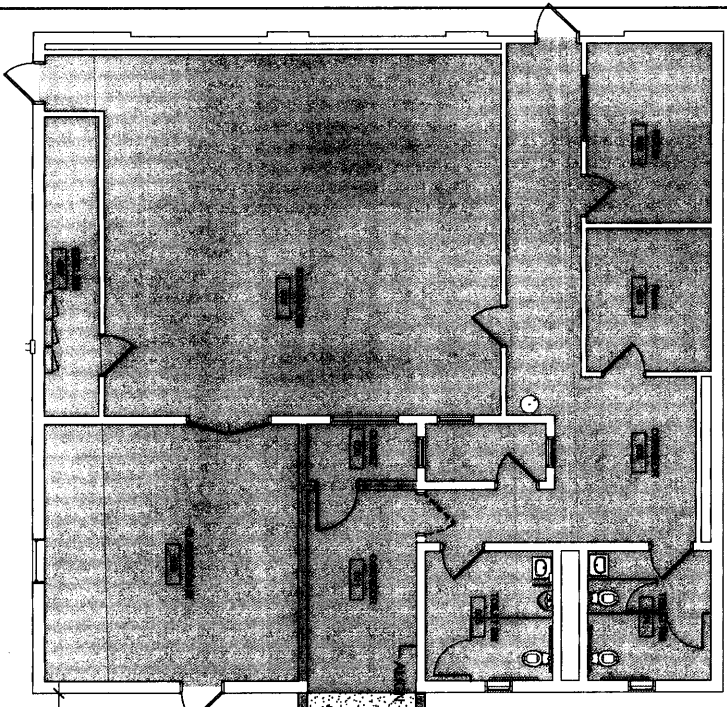


<p>A2.00</p>	<p>NEWTON SOUTH HIGH SCHOOL 140 BRANDEIS RD. NEWTON, MA 02459</p> <p>OPTION B</p>	<p>Raymond Budge Architect, Inc. Architects & Planners 60 Ludgemoor Place Needham, MA 02459</p>
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LEGEND

- STICK BUILT ADDITION
- EXISTING METAL BUILDING
- EXISTING MODULAR BUILDING

- NEW WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED



PROJECT TITLE:
 NORTH
 SOUTH
 FLOOR PLAN

NO.	DATE	DESCRIPTION


NEWTON SOUTH HIGH SCHOOL
 140 BRANDEIS RD. NEWTON, MA 02459

OPTION C

A3.00

Raymond Design Associates, Inc.
 Architects & Planners
 60 Ludgemoor Place
 Needham, MA 02770

From:	MAYOR'S OFFICE SALARIES 0110301-511001	40,000
	FIS SALARIES 0111801-511001	35,000
	TREASURY DEBT SERVICE 0110772-502448	403,784
	0110772-502449	21,216
To:	MODKUM RELOCATION 0115030-52407	500,000


5/12/2016

David C. Wilkinson

From: Cinder McNerney (HTS) <Cinder.McNerney@hilltopsecurities.com>
Sent: Wednesday, May 11, 2016 11:21 AM
To: David C. Wilkinson
Cc: Abby Jeffers (HTS); Megan Hyland (HTS); Henriqueta Teixeira DaCosta (HTS)
Subject: Newton Paying Agreement re 2008 State Qualified Bonds [ED-01.FID981101]
Attachments: Newton.pdf; NewtonREVISEDExBPayingAgentAgreement.pdf; Newton2008 BondsREfundingEscrow CashflowExtractFromVericiationReport.pdf

Hi Dave. Attached are revised documents relating to the Successor Paying Agent in connection with the City's 2016 refunding of its 2008 bonds, in February, including a revised Appendix B, as discussed. Please see Kara's email below regarding the state and US Bank being on board with the correction. Please let us know if you have any questions or need any additional information. THANKS

Cinder McNerney
Managing Director
FirstSouthwest, a division of Hilltop Securities Inc.
54 Canal Street, Suite 320, Boston, MA 02114
Direct: 617.619.4408 | Fax: 617.619.4411
Cinder.McNerney@hilltopsecurities.com

Please note: Our email address has changed. Please update your contact info.

From: Adams, Kara [<mailto:Kara.Adams@lockelord.com>]
Sent: Wednesday, May 11, 2016 11:01 AM
To: Cinder McNerney (HTS) <Cinder.McNerney@firstsw.com>; Abby Jeffers (HTS) <Abby.Jeffers@firstsw.com>
Subject: FW: Newton Paying Agreement re 2008 State Qualified Bonds [ED-01.FID981101]

Hi, I think we are all set. I spoke to Jim Loring on the phone about it this morning (and sent him an email), and John Durgin at the State is on board with swapping out the Exhibit B to the paying agent agreement.

Kara

