

CITY OF NEWTON

IN BOARD OF ALDERMEN

PUBLIC FACILITIES COMMITTEE AGENDA

WEDNESDAY, NOVEMBER 28, 2012

7 PM
Room 209

THE FOLLOWING TWO ITEMS ARE SCHEDULED FOR PUBLIC HEARING

- #393-12 LIGHTOWER FIBER NETWORKS petitioning for a grant of location to install 135' ± of 4" conduit in WELLS AVENUE from Verizon Manhole 47/322A to 60 Wells Avenue to provide fiber optic service. (Ward 8) [11/02/12 @ 9:48 AM]
- #394-12 DESIGN REVIEW COMMITTEE in accordance with §5-58 of the City of Newton Ordinances petitioning for schematic design and site plan approval for the proposed new Fire Station 10 (755 Dedham Street) with the inclusion of a possible Wires Division building on the site of the existing Fire Station 10. [11/06/12 @ 8:57 AM]

REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES

- #311-10(A) HIS HONOR THE MAYOR requesting an appropriation in the amount of three million three hundred thirty-five thousand dollars (\$3,035,000) from bonded indebtedness for the purpose of funding the FY 2011 Capital Improvement Plan projects as follows: [11/29/ 10 @ 3:23 PM]

Architectural Design and Engineering/Next Scheduled Fire Station \$400,000
A-2 - HELD 6-0 \$270,000 for final design bidding and construction admin on
12/08/10

REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES

- #401-12 HIS HONOR THE MAYOR requesting authorization to transfer the sum of one hundred twenty-one thousand sixty-three dollars from the Storm Water Management Fund Surplus for the sediment removal and maintenance of the City Hall ponds. [11/13/12 @ 5:12 PM]

ITEMS NOT SCHEDULED FOR DISCUSSION:

Appointment by His Honor the Mayor

- #395-12 MARC RESNICK, 57 Westgate Road, Newton Centre, appointed as a member of the DESIGN REVIEW COMMITTEE for a term to expire on December 31, 2013. (60 days 01/19/13) [11/01/12 @ 4:28 PM]

The location of this meeting is handicap accessible, and reasonable accommodations will be provided to persons requiring assistance. If you have a special accommodation need, please contact the Newton ADA Coordinator Trisha Guditz, 617-796-1156, via email at TGuditz@newtonma.gov or via TDD/TTY at (617) 796-1089 at least two days in advance of the meeting date.

Appointment by His Honor the Mayor

#396-12 WILLIAM ELDREDGE, 275 Nevada Street, Newton appointed as a member of the DESIGN REVIEW COMMITTEE for a term to expire on December 31, 2013. (60 days 01/19/13) [11/01/12 @ 4:28 PM]

#356-12 NSTAR ELECTRIC petitioning for a grant of location to install 12,432' ± of supplemental 8" diameter steel cooling circulation pipeline and a 4" conduit in the same trench in DEDHAM STREET from the Boston town line near the intersection of Spiers Road and Dedham Street to the intersection of Dedham, Winchester and Needham Streets. The project also includes the installation of eleven street rated hand-holes (3' x 3' x 3) in Dedham Street to facilitate the installation of fiber optic cable as shown on the plan and profile drawings. The pipeline and conduit will continue down Needham Street (state road) to the Elliot Street Substation. NStar is requesting the grant of location in order to address the need to provide additional electric transmission reliability and capacity to address current and future demand supply at the existing Elliot Street Substation #292 in Newton. (Ward 5 & 8) [10-18-12 @ 4:34 PM]

REFERRED TO PROGRAMS & SERV. AND PUBLIC FACILITIES COMMITTEES

#315-12 ALD. FULLER, RICE AND GENTILE of the Angier School Building Committee providing updates and discussion on the Angier School Building project as it develops through the site plan approval process. [10-02-12 @ 3:37PM]

REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES

#54-12(2) PUBLIC FACILITIES COMMITTEE proposing that Chapter 26, Section 71 (b)(1) & (2) and Section 73(c)(2) of the City of Newton Ordinances be amended by increasing the assessment minimum from five hundred dollars (\$500) to no more than two thousand dollars (\$2,000). [10/17/12]

REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES

#41-10(2) COMMUNITY PRESERVATION COMMITTEE requesting authorization to appropriate the sum of one hundred eighty thousand dollars (\$180,000) from the Community Preservation Fund for the purpose of providing supplemental funding for the Newton Community Farm Barn Rehabilitation Project.

REFERRED TO FINANCE AND APPROPRIATE COMMITTEES

#322-12 HIS HONOR THE MAYOR submitting the FY14-FY18 Capital Improvement Program pursuant to section 5-3 of the Newton City Charter. [10/09/12 @ 2:38 PM]

REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES

- #320-12 ALD. SALVUCCI AND GENTILE requesting a discussion with the Engineering Division of the Public Works Department regarding the billing and collecting of street opening permit fees. [09/28/12 @ 10:28 AM]

REFERRED TO PUB.FAC, ZONING&PLANNING, PROG & SERV COMMITTEES

- #316-12 DEPARTMENT HEADS HAVENS, ZALEZNIK, LOJEK requesting amendments to **Sec. 26-30. Licenses for cafe furniture on sidewalks.** to streamline the procedure allowing businesses to place café furniture on public sidewalks. [09/24/12 @3:17 PM]

REFERRED TO FINANCE AND APPROPRIATE COMMITTEES

- #257-12 RECODIFICATION COMMITTEE recommending (1) review of the Fees, Civil Fines/Non-Criminal Disposition contained in Chapter 17 LICENSING AND PERMITS GENERALLY and Chapter 20 CIVIL FINES/NON-CRIMINAL DISPOSITION CIVIL FINES to ensure they are in accordance with what is being charged and (2) review of the acceptance of G.L. c. 40 §22F, accepted on July 9, 2001, which allows certain municipal boards and officers to fix reasonable fees for the issuance of certain licenses, permits, or certificates.

REFERRED TO PROG & SERV, PUB. FAC., ZAP, AND FINANCE COMMITTEES

- #256-12 ALD. HESS-MAHAN, SANGIOLO & SWISTON proposing an ordinance promoting economic development and the mobile food truck industry in the City of Newton. [08/06/12 @4:46 PM]
- #246-12 RECODIFICATION COMMITTEE recommending Sec. 25-1, which requires a permit to create a trench, be reviewed to determine if a new section relative to excavation should be established to regulate unsafe excavation beyond the regulation of trenches, as the City Engineer has advised that all trenches are excavations, but not all excavations are trenches, which amendment would replace **Sec. 20-53. Excavations; protection; erection of barriers.**, which was deleted as part of recodification because it conflicted with Sec. 25-1.
- #245-12 RECODIFICATION COMMITTEE recommending that Chapter 11, RECYCLING AND TRASH as most recently amended by Ordinance Z-68 and Z-87, dated 6/21/10 and 5/16/11, respectively, be reviewed and be amended as necessary.
- #244-12 LEO D. SULLIVAN requesting an opportunity to make a presentation on a Community Choice Aggregation Program to lower the electric power rates for residents of Newton. 06/22/12 @ 1:36 PM

REFERRED TO PUBLIC FACILITIES AND PROGRAMS & SERVICES COMMITTEES

- #231-12 RECODIFICATION COMMITTEE recommending that **Sec. 11-11. Permit to cart trash and/or recyclable materials.** be deleted as G.L.c.111 §31A authorizes the Health Department to require registration. for “garbage,” which is addressed in Sec. 11-5.

REFERRED TO PROG & SERV AND PUBLIC FACILITIES COMMITTEES

- #170-12 ALD. SANGIOLO, BAKER, BLAZAR , JOHNSON, and YATES requesting the creation of an ordinance to govern the naming of public assets of the City, including the interior and exterior features of public buildings, lands, and water bodies of the City, as well as any public facilities and equipment associated with them, all to serve the best interests of the City and to insure a worthy and enduring legacy for the City's physical facilities and spaces, including appropriately honoring historic events, people, and places. [05/29/12 @ 1:34 PM]
- #99-12 ALD. LAREDO, ALBRIGHT, CROSSLEY & KALIS requesting a discussion with His Honor the Mayor regarding the creation of a long-range master plan (20-25 years) regarding the means, methods, timing, and coordination to address the City's complete infrastructure needs, including but not limited to school buildings, fire stations, other municipal buildings, streets, sidewalks, trees, playgrounds and other recreational facilities, water, stormwater, and sewer systems, and all other facilities and infrastructure identified in the city's recent capital assessment. The master plan should be comprised of specific plans from individual departments and at a minimum, the master plan should (a) identify those infrastructure needs and (b) present a phased plan, with identifiable funding sources for meeting those needs. [04-04-12 @ 10:30 PM]
- #98-12 ALD. SALVUCCI AND CICCONE requesting an update on the new water meter installation project and information on how the meters and related equipment are functioning. [03-27-12 @ 9:06 AM]

REFERRED TO PROG. & SERV AND PUBLIC FACILITIES COMMITTEES

- #36-12 ALD. CROSSLEY & FULLER requesting Home Rule legislation or an ordinance to require inspections of private sewer lines and storm water drainage connections prior to settling a change in property ownership, to assure that private sewer lines are functioning properly and that there are no illegal storm water connections to the city sewer mains.
- A) Sewer lines found to be compromised or of inferior construction would have to be repaired or replaced as a condition of sale;
 - B) Illegal connections would have to be removed, corrected, and re-inspected in accordance with current city ordinances and codes, as a condition of sale.
- [01/24/12 @ 8:07 AM]
- #418-11 ALD. CROSSLEY, HESS-MAHAN, LINSKY AND SALVUCCI requesting a report from the administration on the status of a strategy to meet the City's obligation as a Department of Energy Resources Green Community to reduce municipal energy consumption by 20% over five years, and how that strategy is incorporated into the capital improvement plan. [12/08/11 @ 4:09 PM]

REFERRED TO PS&T AND PUBLIC FACILITIES COMMITTEES

- #413-11 ALD. CICCONE, SALVUCCI, GENTILE & LENNON updating the Public Facilities and Public Safety & Transportation Committees on the progress of renovations to the city's fire stations. [11-17-11 @ 11:07 AM]

REFERRED TO PUBLIC FACILITIES AND FINANCE COMMITTEES

- #383-11(4) HIS HONOR THE MAYOR recommending that Section 29-80 (b)(1) of the City of Newton Revised Ordinances, 2007 be amended by revising the stormwater rates as follows: single-family residences \$25 per year, two-family residences \$37.50 per year, and multi-family (3 units or more), commercial, industrial, and institutional properties (to include non-profits) would be charged at a rate of \$25 per Equivalent Residential Unit of 2,600 square feet of impervious surface on the property to take effect on July 1, 2012. [04-09-12 @ 2:39 PM]
- #352-11 ALD. JOHNSON & SCHNIPPER requesting a discussion with the Utilities Department regarding the City of Newton's current water billing practices. [10/14/11 @ 2:31 PM]
- #172-11 ALD. CROSSLEY, FULLER AND SCHNIPPER requesting discussion with the Utilities Division of the Public Works Department regarding the identification of storm water inflow connections to the sewer system, so as to begin the process of systematically eliminating such illegal connections, including notifications to property owners, educational materials, requirements for corrective actions and technical and financial assistance that may be available from the City in order to facilitate removal of inflow connections. [05/26/11 @ 3:33 PM]
- #139-11 ALD. LINSKY, DANBERG & SALVUCCI proposing that §26-71, 26-72 and 26-73, **Sidewalk construction requested by owners, Materials for sidewalk construction, and New curbing installation**, respectively, be amended to extend participation in the betterment program to property owners who voluntarily pay the residual 50% of the costs over time in addition to the 50% initial payment provided under the ordinance. [04-27-11 @ 9:38 AM]
- #138-11 ALD. CROSSLEY AND SCHNIPPER requesting a report from the Department of Public Works regarding the energy use and maintenance costs for the City's streetlights and gaslights and costs/payback associated with recommended energy efficiency measures. [04-21-11 9:08 AM]

REFERRED TO PS&T AND PUBLIC FACILITIES COMMITTEE

- #41-11 ALD. JOHNSON, LENNON AND DANBERG requesting discussion of the elimination, except during snow emergencies, of the overnight parking ban which is in effect from November 15 through April 15. [01/18/11 @ 9:00 PM]

REFERRED TO PROG & SERV AND PUBLIC FACILITIES COMMITTEES

- #245-10 ALD. SCHNIPPER AND SANGIOLO requesting discussion with National Grid regarding the possible damage to trees as a result of gas leaks. [09/01/10 4:00 PM]
- #244-10 ALD. SALVUCCI requesting discussion with the Utilities Director and the Public Works Commissioner regarding the possibility of installing second water meters for outside irrigation. [08/17/10 @ 12:18 PM]
- #223-10 ALD. YATES & ALBRIGHT requesting updates on the status of the reconstruction of the Needham/Newton Street corridor, which include details on the reconstruction funding, plans for the revitalization of the area, and plans for the implementation of transportation improvements. [07/15/10 @ 1:02 PM]
- #367-09 PUBLIC FACILITIES COMMITTEE requesting discussion with the Law Department on how to resolve the dispute with NStar regarding whose responsibility it is to repair the streetlight connection between the manhole and the base of the streetlight. [10/21/09 @ 9:00 PM]
- #175-09 PUBLIC FACILITIES COMMITTEE requesting monthly updates from the Department of Public Works on the Commonwealth Avenue project. [06-03-09 @ 10:30 PM]
- #253-07 ALD. LINSKY ALBRIGHT, JOHNSON, HARNEY, SANGIOLO, SALVUCCI, MANSFIELD, BURG, SCHNIPPER requesting (1) a review as to how provisions of applicable ordinances, specifically 5-58, were implemented during the course of the Newton North project, and (2) consider proposed revisions of 5-58 including, but not limited to:
- (a) timely provision of documentation by the public building department to the Board of Aldermen and Design Review Committee;
 - (b) establishment of liaison committees to facilitate communications and input from neighborhoods affected by projects subject to this ordinance;
 - (c) approval of final design plans by the Board of Aldermen of projects subject to this ordinance;
 - (d) oversight during the construction phase of projects subject to this ordinance by appropriate Board committee(s) both in respect to approval of change orders as well as design changes; and
 - (e) generation of a required record detailing the entire construction process by the public building department to guide present and future oversight of projects subject to this ordinance. [08/07/07 @ 3:12 PM]
 - (f) establishment of a committee to provide oversight for public building construction and renovation during all phases of planning, design and construction.

Respectfully submitted,

Anthony J. Salvucci, Chairman

CITY OF NEWTON
MASSACHUSETTS

PETITION for GRANT OF LOCATION

To the Petitioner:

City of Newton Ordinance Section 23-52 requires that each petition for grant of location be submitted to the Board of Aldermen before it is sent to the Public Works Department for a preliminary review. The comments of the Public Works Commissioner will be part of the record submitted to the Board of Aldermen. Upon filing with the Board of Aldermen, the petition will be scheduled for a public hearing before the Public Facilities Committee of the Board of Aldermen. **The petitioner is responsible for insuring that the petition is complete and all required materials are in order for review.** Attached please find the City Engineer's Standard Requirements for Plans and the Department of Public Works Permit Processing brochure.

Grant of Location Process:

1. Applicant submits completed Petition Form and required materials to the Board of Aldermen
2. Public Works Department conducts preliminary review and gives written comments to the applicant
3. Engineering Division files Petition Form with comments with the Clerk of the Board of Aldermen
4. Board of Aldermen schedules petition for a public hearing before the Public Facilities Committee of the Board of Aldermen
5. Public Facilities Committee recommendations are forwarded to the Board of Aldermen for a final decision

Questions may be directed to:

Lou Taverna, City Engineer, 617-796-1020
Shawna Sullivan, Clerk of the Board of Aldermen, 617-796-1213

I. IDENTIFICATION (Please Type or Print Clearly)

Company Name LIGHTTOWER FIBER NETWORKS

Address 80 CENTRAL ST
BOXBOROUGH, MA. 01719

Phone Number 781-589-6137 Fax Number 978-264-6100

Contact Person HERB BERTONI Title ENGINEER

Signature Herb Bertoni Date 11-2-12
Person filing application

RECEIVED
 Newton City Clerk
 2012 NOV - 2 AM 9:48
 David A. Oison, CMC
 Newton, MA 02459

If a telecommunications company, indicate how certified by the Department of Telecommunications and Energy:

II. DESCRIPTION OF PROJECT: to be completed by petitioner

A. Write here or attach a description of the project including, location, proposed time frame for completion, type of materials to be used, benefit provided to the City, project mitigation plan as applicable, street reconstruction plan including timetable for completion.

LIGHTOWER FIBER NETWORKS IS PROPOSING TO PLACE 1-4" PVC CONDUIT FOR A NEW FIBER OPTIC SERVICE LATERAL INTO 60 WELLS AVE IN NEWTON, MA. INSTALL DATE TO BE DETERMINED AS DIRECTED BY THE CITY OF NEWTON, MA.

B. Include or attach a sketch to provide a visual description of the project. If plans are attached, provide:

Title of Plan PROPOSED CONDUIT INSTALLATION Date of plan 11-1-12
AT 60 WELLS AVE IN THE CITY OF NEWTON, MA.

III. PUBLIC WORKS DEPARTMENT REVIEW

Date received by Public Works Department _____

Check One:

Minor Project

Major Project

Lateral

(Refer to City Engineer Standard Requirements for Plans for definition of minor and major project)

Plans Submitted:

Certified Plot Plan

Stamped Plans

DATE AND COMMENTS:

11/5/12

1. Street opening permit required from City of Newton
2. Notify Engineering 48 hours prior to work.
3. Police detail required

L. Luvema 11/5/12

RECOMMENDATIONS:

1. 30" minimum cover on all trenches
2. Backfill shall be excavatable-flowable fill.
3. Bituminous concrete roadway shall be replaced in kind to City of Newton specifications.
4. Bituminous concrete sidewalk damaged shall be replaced in kind and grade to City of Newton specifications.
5. Granite curbing damaged shall be replaced in kind and grade to City of Newton specifications.
6. Trees shall be protected.
7. Traffic shall be maintained.

V. RECOMMENDATION TO PUBLIC FACILITIES COMMITTEE:

[Signature]
Commissioner, Public Works

11/5/12
Date

11/5/12
9:48
VED
Clerk
02459
CMC

Final Label Report

#393-12

SBL	Owner	Number	Street	Unit
84034 0002A	ONE WELLS AVE LTD PTNRSH	1	WELLS AVE	
84034 0002K	WELLS AVENUE LLC	2	WELLS AVE	
84034 0002B	NS 7/57 ACQUISITION LLC	7-57	WELLS AVE	
84034A0001	WELLS 60 REALTY LLC	60	WELLS AVE	
84034A0008	WRP REALTY INC TR	70	WELLS AVE	
84034 0002C	NS WELLS ACQUISITION LLC	75-95	WELLS AVE	
84034A0003	180 WELLS REALTY LLC	180	WELLS AVE	
84034 0002U	MPL GROUP INC TR	199	WELLS AVE	
84034A0002	RJ WELLS MANAGEMENT LLC	200	WELLS AVE	

City of Newton



Design Review Committee
PUBLIC BUILDINGS DEPARTMENT
Arthur Cohen, Chairman
Stephanie Kane Gilman, Commissioner
Telephone (617) 796-1600
FAX (617) 796-1601
TTY: (617) 796-1089
52 Elliot Street
Newton Highlands, MA 02461-1605

Setti D. Warren
Mayor

Honorable Board of Aldermen
City of Newton
1000 Commonwealth Avenue
Newton Centre, MA 02459

Date: 26 October 2012

RE: Fire Station 10

SUBJECT: 100% Schematic Design and Site Plan Review

Honorable Board:

On Thursday, 18 October 2012 the Design Review Committee (DRC) met and reviewed the Schematic Design and proposed site plans dated 18 October 2012 as submitted by Donham & Sweeney Architects on behalf of the Public Buildings Department and Newton Fire Department for the above referenced project.

Schematic Design and Site Plan Approval

The Design Review Committee has determined that the schematic design and site plans herein submitted are appropriate and consistent with the concepts, space needs program, and recommendations identified in the Feasibility Study. The Fire Department has indicated to the DRC that the proposed layout is the Department's preferred solution and addresses the needs they have identified. . Through various DRC reviews, the architect has addressed concerns raised by the DRC regarding the placement and orientation of the Wires Division building with respect to the neighboring residential properties while providing appropriate site utilization and circulation. The Committee believes that the proposed circulation and placement of Station 10 and the future Wires Division facility as shown are the appropriate design solution.

In accordance with Section 5-58 of the Revised Ordinances, this letter is to petition the Board of Aldermen on behalf of the Fire Department for Site Plan Approval subject to the following:

- The inclusion of the Wires Division on the Station 10 site is consistent with the recommendations of the Feasibility Study.
- The Wires Division project shall be required to complete the design review process at such time that the City determines that it will proceed with that project.
- The Wires building design indicated in the proposed site shows the general massing and intent, any substantive changes to the Wires building as a result of its final design may require additional Site Plan Approval by the Board of Alderman.

RECEIVED
Newton City Clerk
2012 NOV -6 AM 8:57
David A. Olson, CMC
Newton, MA 02459

The Design Review Committee's Schematic Design and Site Plan Approval is based on the following project and background information.

Feasibility Study

In the fall of 2011 the City of Newton engaged Donham and Sweeny Architects to conduct a feasibility study for the Fire Department Headquarters, Fire Station 3 and Wires Division, and Fire Station 10. The development of the Feasibility Study; program and space needs analysis; conceptual alternatives and budgets; and the recommendations of that study were discussed and reviewed with the DRC. The Feasibility Study dated 26 January 2012 recommended a phased approach for the three facilities in question.

1. New Facility for Fire Station 10 to be developed on the existing site.
2. The Wires Division to be relocated to the Station 10 site (to allow future Fire Station 3 and Headquarters program and space needs to be addressed on their existing sites).
3. Address Fire Station 3 and Headquarters future needs.

Fire Station 10 Design

Areas within the existing Fire Station 10 for fire fighter living space, work areas and such are currently undersized while areas for apparatus, boiler rooms, and electrical rooms are oversized. The existing building configuration houses both the fire fighter living spaces and apparatus / equipment areas on the first floor. As identified in the Feasibility Study construction over the existing apparatus bays or extensive renovations of the existing station would be prohibitive based on current structural code requirements and the existing building configuration.

The existing Fire Station 10 will be demolished and replaced with a new Fire Station 10 that will accommodate the proposed program requirements established with the Newton Fire Department for its current and future space needs. The preferred Fire Station 10 design herein submitted provides the living spaces on the second floor over the first floor apparatus and equipment areas, thereby segregating the activities.

Once the site plan approval has been achieved the Design Review Committee will continue to work with the design team, the Fire Department and the Public Buildings Department to develop the concepts presented in this schematic design submission.

Sincerely,



Arthur Cohen, FAIA, LEED AP
Chair Design Review Committee

CC: Design Review Committee Members
Stephanie Gilman, Commissioner of Public Buildings
Robert Rooney, Chief Operating Officer
Maureen Lemieux, Chief Financial Officer
Chief Bruce Proia, NFD

NEWTON FIRE STATION 10

OAK HILL NEWTON, MA



OWNER
CITY OF NEWTON
52 ELLIOT STREET
NEWTON HIGHLANDS, MA 02461

PHONE 617.796.1609
FAX
www.newtonma.gov

ARCHITECT
DONHAM & SWEENEY, INC.
68 HARRISON AVENUE
BOSTON, MA 02111

PHONE 617.423.1400
FAX 617.423.2939
www.donhamandsweeney.com

CIVIL ENGINEER
POLARIS CONSULTANTS
1495 HANCOCK STREET, SUITE 206
QUINCY, MA 02169

PHONE 617.689.1010
FAX 617.689.3010
www.polariscon.com

STRUCTURAL ENGINEER
ROOME & GUARRACINO, CONSULTING STRUCTURAL ENGINEERS
48 GROVE STREET
SOMERVILLE, MA 02144

PHONE 207.729.1061
FAX 207.729.2941

MECHANICAL, PLUMBING, ELECTRICAL & FIRE PROTECTION ENGINEERS
GARCIA GALUSKA DESOUSA CONSULTING ENGINEERS INC.
370 FAUNCE CORNER ROAD
N. DARTMOUTH, MA 02747-1217

PHONE 508.998.5700
FAX 508.998.0883

COST CONSULTANT
A.M. FOGARTY & ASSOCIATES
175 DERBY STREET
HINGHAM, MA 02046

PHONE 781.749.7272
FAX 781.740.2652
www.amfogarty.com

- A000 COVER SHEET
- A001 SITE ELEVATIONS
- C1.00 EXISTING CONDITIONS PLAN
- C2.00 PROPOSED DEMOLITION PLAN
- C3.00 PROPOSED UTILITIES PLAN
- C4.00 PROPOSED GRADING AND PAVING PLAN
- C5.00 DETAIL SHEET ONE
- C6.00 DETAIL SHEET TWO
- A100 SITE PLAN
- A101 SITE SECTION
- A200 BASEMENT PLAN
- A201 FIRST FLOOR PLAN
- A202 SECOND FLOOR PLAN
- A203 ROOF PLAN
- A300 BUILDING ELEVATIONS

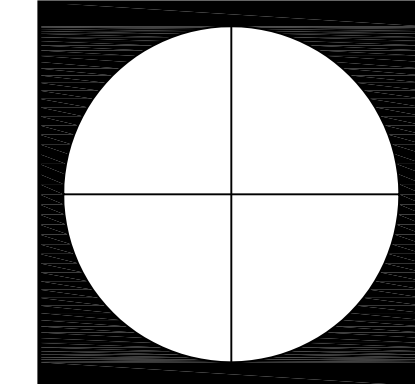
PROJECT NO.
1106
#394-12

68 Harrison Avenue
Boston, MA 02111
vox 617.423.1400
fax 617.423.2939
www.donhamandsweeney.com

Donham & Sweeney, Inc.
ARCHITECTS

A000
SET NO.

SITE PLAN REVIEW 11.28.12



1 EXISTING SITE ELEVATION
SCALE: NTS



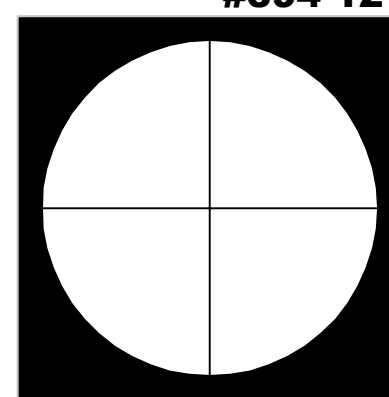
2 PROPOSED SITE ELEVATION
SCALE: NTS

Donham & Sweeney
ARCHITECTS
68 Harrison Avenue 4 Head Tide Church Rd.
Boston MA 02111 Post Office Box 265
617 423 1400 Alna ME 04535
donhamsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
Newton, MA 02459
project number: 1106.00
SITE ELEVATIONS

Scale: NTS
Drawn by: JV
Issue Date
Site Plan Review 11.28.12

A001



GENERAL NOTES

Miscellaneous

1. No excavation is allowed within any City right-of-way between November 15th and April 15th. If an emergency exists or there are extenuating circumstances, Applicant may seek permission for such work from the City DPW Commissioner via the City Engineer. If permission is granted, special construction standards will be applied. Applicant or Applicant's representative must contact the City of Newton Engineering Department prior to start of work for clarification.
2. The Contractor needs to notify the Engineering Division 48-hours in advance and schedule an appointment to have the drainage system, water & sewer services inspected. The system & utilities must be fully exposed for the inspector. Once the inspector is satisfied, the system & utilities may then be back-filled.
3. All trench excavation contractors shall comply with Massachusetts General Laws Chapter 82A, Trench Excavation Safety Requirements, to protect the general public from unauthorized access to unattended trenches. A Trench Excavation Permit is required and shall be the Contractor's responsibility. This applies to all trenches on public and private property.
4. Prior to Occupancy permit being issued, an As-Built Plan shall be submitted to the Engineering Division in both digital format and in hard copy. The plan should show all utilities and final grades, any easements and final grading.
5. The Contractor will have to apply for a Street Opening & Utilities Connection Permits as well as a sidewalk-crossing permit with the Newton DPW.

Demolition

1. The existing water & sewer services shall be cut and capped at the main and be completely removed from the site and properly back filled. The Engineering Division must inspect this work; failure to having this work inspected may result in the delay of issuance of the Utility Connection Permit

Sewer

1. All new sewer service and/or structures shall be pressure tested or video-taped after final installation is complete. Method of final inspection shall be determined solely by the construction inspector from the City Engineering Division. All sewer manholes shall be vacuum tested in accordance to the City's Construction Standards & Specifications. The sewer service will NOT be accepted until one of the two methods stated above is completed. All testing MUST be witnessed by a representative of the Engineering Division. A Certificate of Occupancy will not be recommended until this test is completed and a written report is received by the City Engineer.
2. The service connection from the proposed building to the existing sewer manhole will have to be cored by either a hydraulic or an electric coring machine to eliminate groundwater infiltration. Jackhammering a hole for the connection will not be allowed. A rubber boot and hydraulic cement will also be required for the connection.

OPERATIONS AND MAINTENANCE PLAN

EROSION CONTROLS:

1. INSTALL EROSION CONTROLS PRIOR TO COMMENCEMENT OF THE EARTHWORK OPERATIONS.
2. INSTALL EROSION CONTROLS IN ACCORDANCE WITH CITY OF NEWTON PERMIT AND IN ACCORDANCE WITH THE DETAILS.
3. INSPECT EROSION CONTROLS IMMEDIATELY AFTER EACH STORM AND REMOVE ACCUMULATED SEDIMENT AS REQUIRED.
4. REPLACE DAMAGED EROSION CONTROLS AS REQUIRED.

DEEP SUMP CATCH BASINS AND STORMCEPTORS:

1. CATCH BASINS AND STORMCEPTORS ARE TO BE CLEANED WHEN SEDIMENT BUILDUP IS 18" ABOVE THE BOTTOM OF THE BASIN.
2. BASINS ARE TO BE CLEANED FOUR TIMES PER YEAR AND INSPECTED ANNUALLY.
3. DISPOSE OF THE ACCUMULATED SEDIMENT AND HYDROCARBONS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.

PARKING AREA SURFACE:

1. REGULARLY PICK UP AND REMOVE LITTER FROM THE PARKING LOT, LANDSCAPED ISLANDS AND PERIMETER LANDSCAPED AREAS AND DETENTION AREAS.
2. THE PARKING AREA IS TO BE SWEEP BI-ANNUALLY AT A MINIMUM, AT LEAST ONCE IN THE SPRING AND ONCE IN THE FALL.

LEACHING BASIN:

1. THE PROPERTY OWNER SHALL BECOME THE LEACHING BASINS OWNER.
2. THE LEACHING BASINS WILL BE INSPECTED AND MAINTAINED BY THE PROPERTY OWNER.
3. INSPECT THE LEACHING BASINS AFTER EACH MAJOR STORM IN THE FIRST FEW MONTHS AFTER CONSTRUCTION TO ENSURE THE PROPER STABILIZATION AND FUNCTION. THEREAFTER INSPECT AT LEAST ONCE PER YEAR.

OWNER INFORMATION:

1. THE OWNER OF THE SITE SHALL BE THE CITY OF NEWTON, ACTING THROUGH ITS FIRE DEPARTMENT.

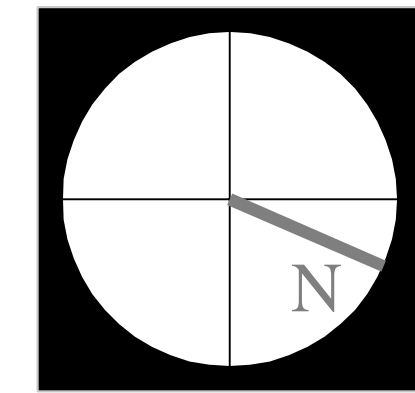
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Newton Fire Station 10 - Oak Hill
 Newton, MA 02459
 project number: 1106.00
GENERAL NOTES

Scale: As Shown
 Drawn by: PGC
 issue date
 REV. 1 11-19-12

CO.00



- NOTES:**
- 1) THE EXISTING CONDITIONS PLAN IS BASED ON THE "TOPOGRAPHIC PLAN OF LAND" PREPARED BY FELDMAN LAND SURVEYORS, DATED 5/2/12.
 - 2) BENCH MARK INFORMATION:
 BENCH MARK USED:
 INVERT OF SEWER MANHOLE AT THE INTERSECTION OF BROOKLINE STREET AND DEDHAM STREET HAVING A STATION OF 13+25 AS SHOWN ON THE CITY OF NEWTON "PLAN AND PROFILE SHOWING SEWER AND SEWER ASSESSMENT" OF 1950. ELEVATION=151.28
 TEMPORARY BENCH MARKS SET:
 TBM-1: RIGHT FRONT CORNER OF CONCRETE CAP OF BRICK PILLAR AT THE END OF A FIELDSTONE AND MORTAR WALL LOCATED AT No. 756 DEDHAM STREET AS SHOWN HEREON. ELEVATION=169.09
 TBM-2: RIGHT OUTER CORNER LOWER BRICK STEP (R.O.C.L.B.S.) AT MAIN ENTRANCE OF No. 765 DEDHAM STREET AS SHOWN HEREON. ELEVATION=169.07
 - 3) ELEVATIONS REFER TO BOSTON CITY BASE (SEE SKETCH SHOWING RELATIONSHIP OF DATUM PLANES BELOW)
 - 4) CONTOUR INTERVAL EQUALS ONE (1) FOOT.
 - 5) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS. SINCE SUB-SURFACE UTILITIES CANNOT BE VISIBLY VERIFIED, BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
 - 6) THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF HARRY R. FELDMAN, INC. ISSUED TO OUR CLIENT FOR PURPOSES RELATED DIRECTLY AND SOLELY TO HARRY R. FELDMAN INC.'S SCOPE OF SERVICES UNDER CONTRACT TO OUR CLIENT FOR THIS PROJECT. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN CONSENT IS PROVIDED BY HARRY R. FELDMAN, INC.
 - 7) CABLE TELEVISION LINES ARE OVERHEAD.
 - 8) THE CITY OF NEWTON HAS NO RECORD OF DRAIN LINES IN DEDHAM STREET.

REFERENCES:

MIDDLESEX COUNTY REGISTRY OF DEEDS
 BOOK 13516 PAGE 395
 BOOK 26063 PAGE 567
 BOOK 44554 PAGE 104
 BOOK 48256 PAGE 416
 BOOK 57318 PAGE 282

PLAN NO. 1558 OF 1951
 PLAN NO. 291 OF 1952

CITY OF NEWTON ENGINEERING DEPARTMENT
 PLAN NO. N-73, N-78 AND S-52

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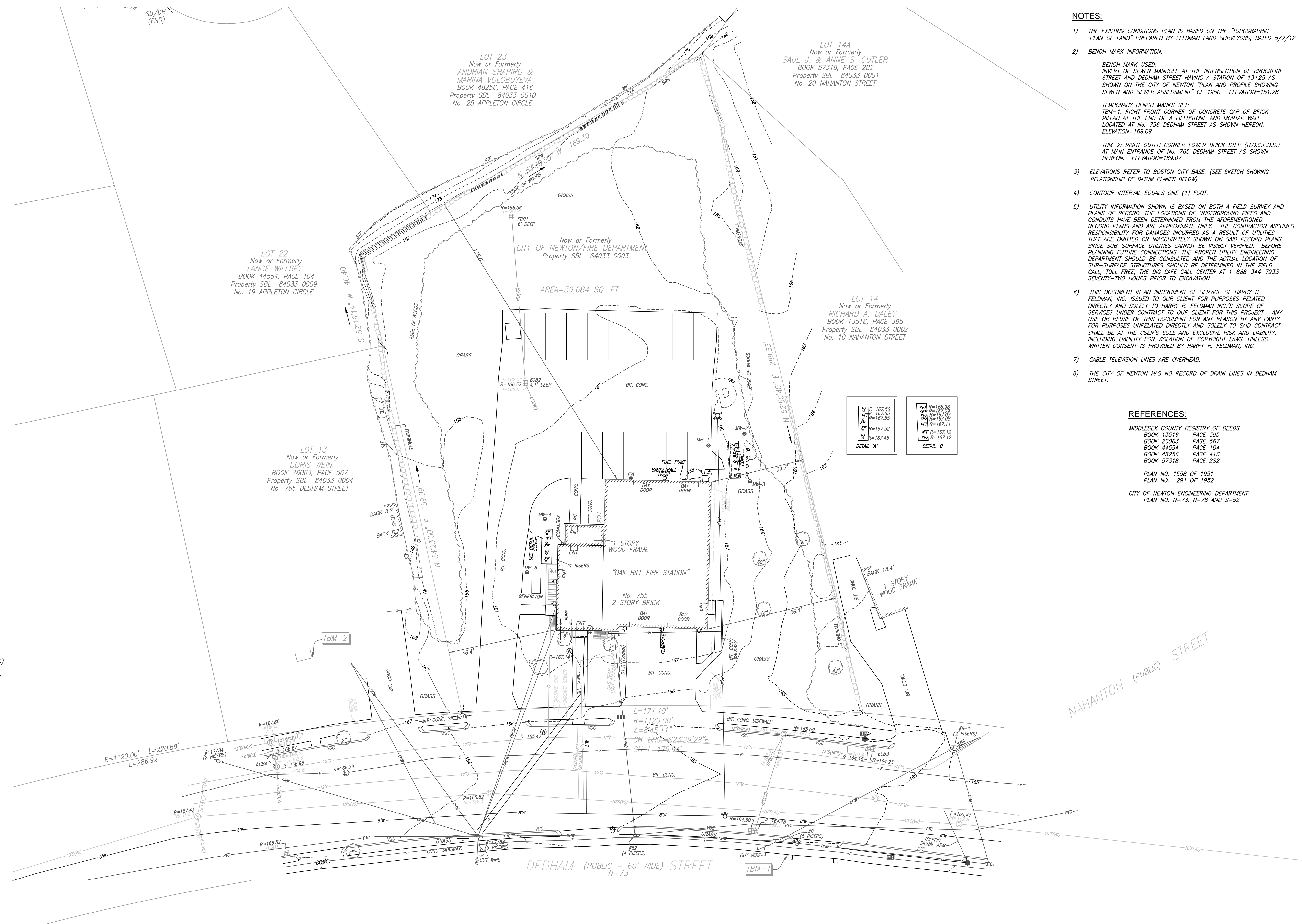
Newton Fire Station 10 - Oak Hill
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 project number: 1106.00
EXISTING CONDITIONS PLAN

Scale: As Shown
 Drawn by: PGC
 issue date
 DRC Set 10-31-12
 REV.1 11-19-12

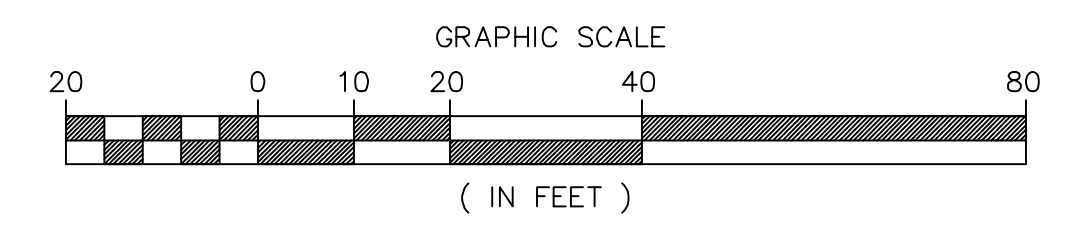
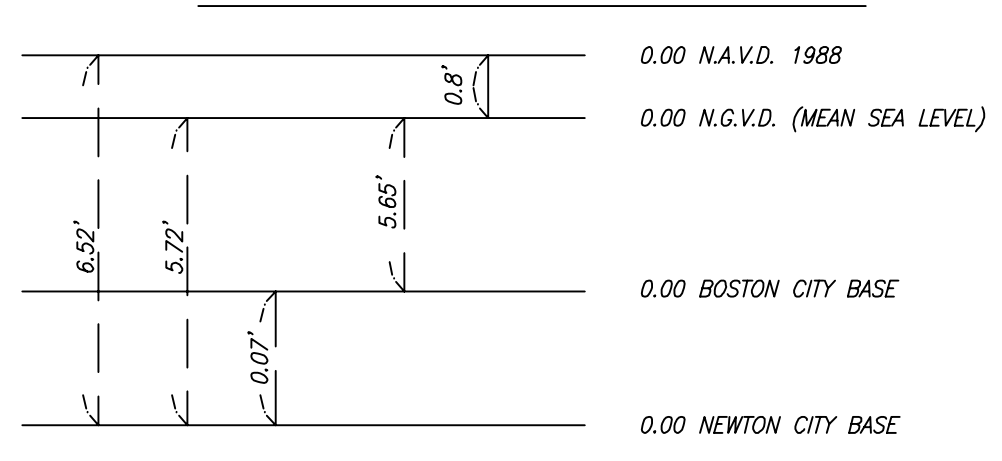
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PLAN NO. 1558 OF 1951

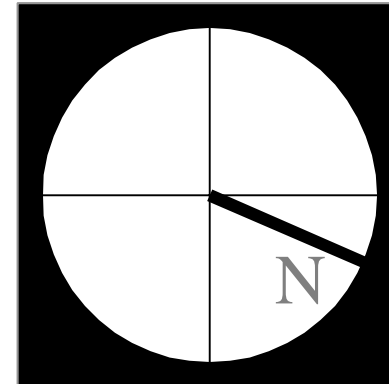
- LEGEND**
- ⊙ SEWER MANHOLE
 - ⊕ DRAIN MANHOLE
 - ⊖ ELECTRIC MANHOLE
 - ⊗ MANHOLE
 - ⊘ WATER MANHOLE
 - ⊙ HYDRANT
 - ⊙ WATER SHUT OFF
 - ⊙ GAS SHUT OFF
 - ⊙ CATCH BASIN
 - ⊙ TRAFFIC CONTROL BOX
 - ⊙ TRAFFIC SIGNAL
 - ⊙ LIGHT POLE
 - ⊙ ELECTRIC HANDHOLE
 - RD ROOF DRAIN
 - BOLLARD
 - SIGN
 - OBSERVATION WELL
 - FA FIRE ALARM
 - FF FUEL FILL
 - TBM TEMPORARY BENCH MARK
 - VCC VERTICAL GRANITE CURB
 - BIT BITUMINOUS
 - CONC CONCRETE
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - IN INVERT ELEVATION
 - TOD TOP OF DEBRIS
 - TR CENTERLINE OF TROUGH
 - FOD FULL OF DEBRIS
 - SQ. FT. SQUARE FEET
 - R= RADIUS OR RIM ELEVATION
 - L= LENGTH
 - TH THRESHOLD
 - FFE FINISHED FLOOR ELEVATION
 - SB STONE BOUND
 - DH DRILL HOLE
 - FND FOUND
 - BW BOTTOM OF WALL
 - TW TOP OF WALL
 - CLF CHAIN LINK FENCE
 - STF STOCKADE FENCE
 - SRW STONE RETAINING WALL
 - EDGE OF WOODS
 - STONEWALL
 - WOOD FENCE
 - X METAL FENCE
 - S SEWER
 - D DRAIN
 - W WATER
 - G GAS
 - E ELECTRIC
 - OHW OVERHEAD WIRES
 - T TELEPHONE
 - PTC PIPE TYPE CABLE (ELECTRIC)
 - 12"(RCP) PIPE SIZE AND MATERIAL
 - RCP REINFORCED CONCRETE PIPE
 - CI CAST IRON
 - VC VITRIFIED CLAY PIPE
 - FP FIRE PROTECTION
 - DECIDUOUS TREE



SKETCH SHOWING RELATIONSHIP OF DATUM PLANES



BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN A "X" (UNSHADED), AN AREA OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD, AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 2501700562E HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.



NOTES:

- 1) THE EXISTING CONDITIONS PLAN IS BASED ON THE TOPOGRAPHIC PLAN OF LAND PREPARED BY FELDMAN LAND SURVEYORS, DATED 5/2/12.
- 2) BENCH MARK AND DATUM INFORMATION IS PROVIDED ON SHEET C1.00.
- 3) UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING DEMOLITION WORK.
- 4) BEFORE STARTING ANY DEMOLITION WORK, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUB-SURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION. TEST PITS WILL BE ALLOWED AS NECESSARY TO LOCATE SUBSURFACE UTILITIES.
- 5) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A DEMOLITION PERMIT FROM THE CITY OF NEWTON PRIOR TO ANY DEMOLITION WORK. ALL WORK SHALL COMPLY WITH THE CITY PERMIT AND THE PROJECT SPECIFICATIONS. IN THE EVENT OF CONFLICTS BETWEEN THE PERMIT AND THE SPECIFICATIONS, THE CITY'S PERMIT CONDITIONS SHALL PREVAIL.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC MANAGEMENT AND SAFETY DURING CONSTRUCTION ACTIVITIES. A TRAFFIC MANAGEMENT PLAN SHALL BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL BEFORE THE START OF UTILITY VERIFICATION TEST FITTING AND DEMOLITION ACTIVITIES.
- 7) THE EXISTING WATER AND SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND BE COMPLETELY REMOVED FROM THE SITE AND PROPERLY BACKFILLED. THE ENGINEERING DIVISION MUST INSPECT THIS WORK; FAILURE TO HAVING THIS WORK INSPECTED MAY RESULT IN THE DELAY OF ISSUANCE OF THE UTILITY CONNECTION PERMIT.

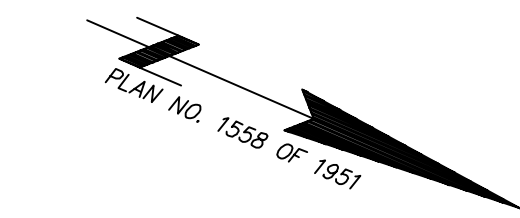
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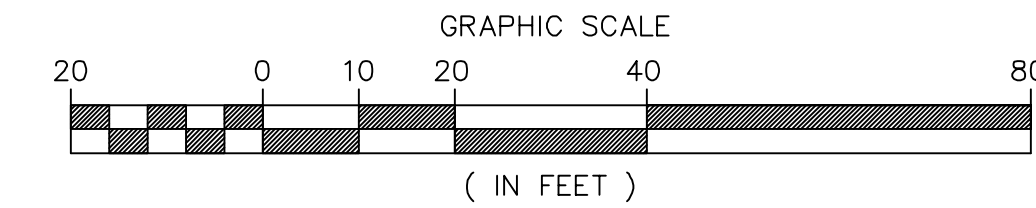
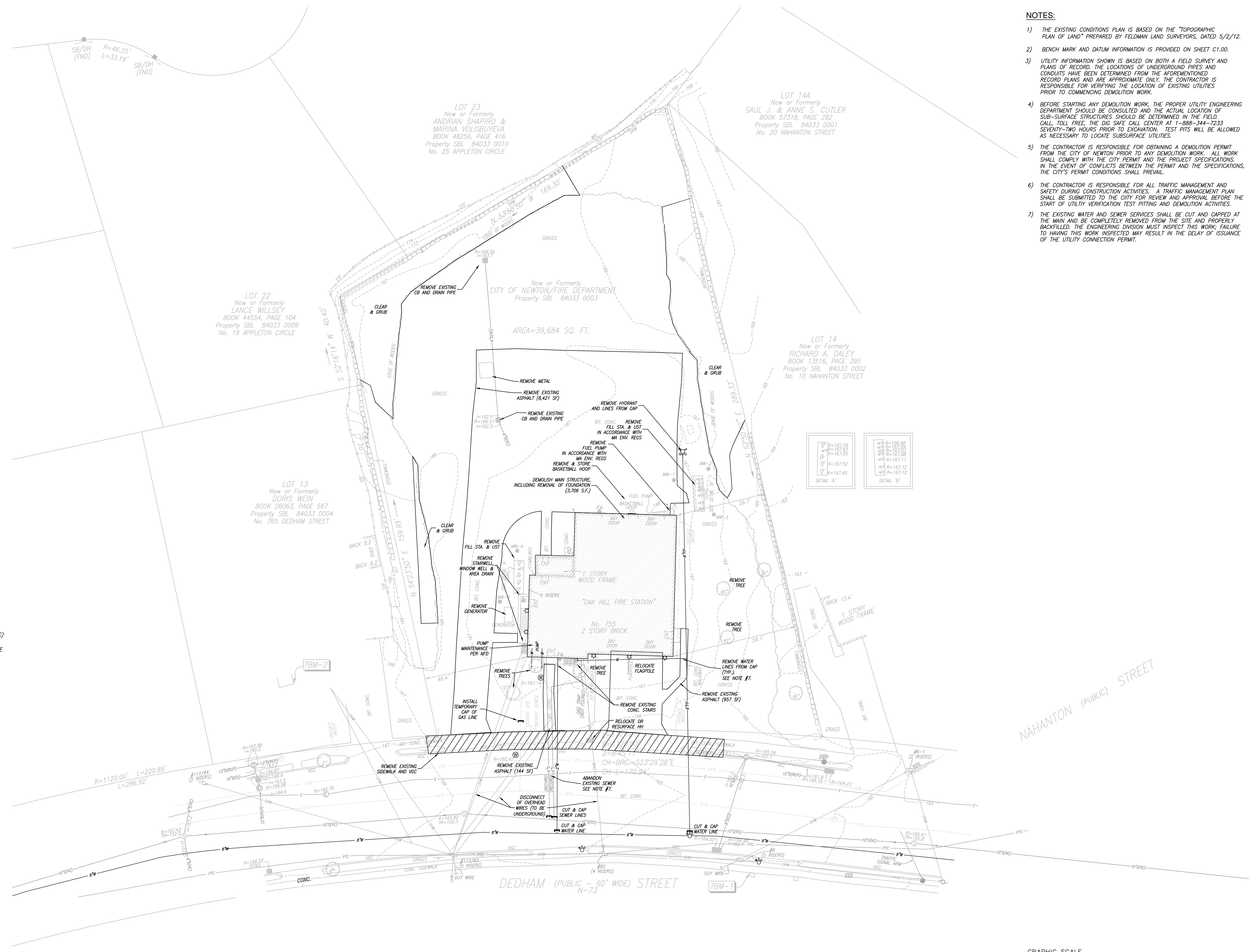
Newton Fire Station 10 - Oak Hill
 Newton, MA 02459
 project number: 1106.00
PROPOSED DEMOLITION PLAN

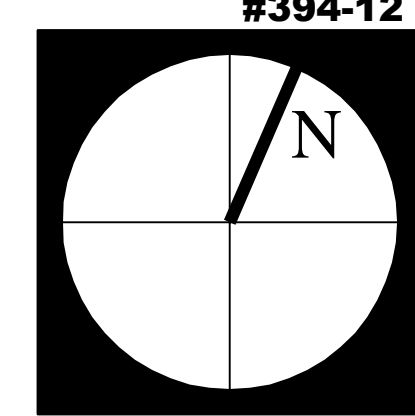
Scale: As Shown
 Drawn by: PGC
 issue date
 DRC Set 10-31-12
 REV. 1 11-19-12

C2.00



- LEGEND**
- ⊙ SEWER MANHOLE
 - ⊕ DRAIN MANHOLE
 - ⊖ ELECTRIC MANHOLE
 - ⊗ MANHOLE
 - ⊘ WATER MANHOLE
 - ⊙ HYDRANT
 - ⊙ WATER SHUT OFF
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 - ⊙ CATCH BASIN
 - ⊙ TRAFFIC CONTROL BOX
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 - ⊙ LIGHT POLE
 - ⊙ ELECTRIC HANDHOLE
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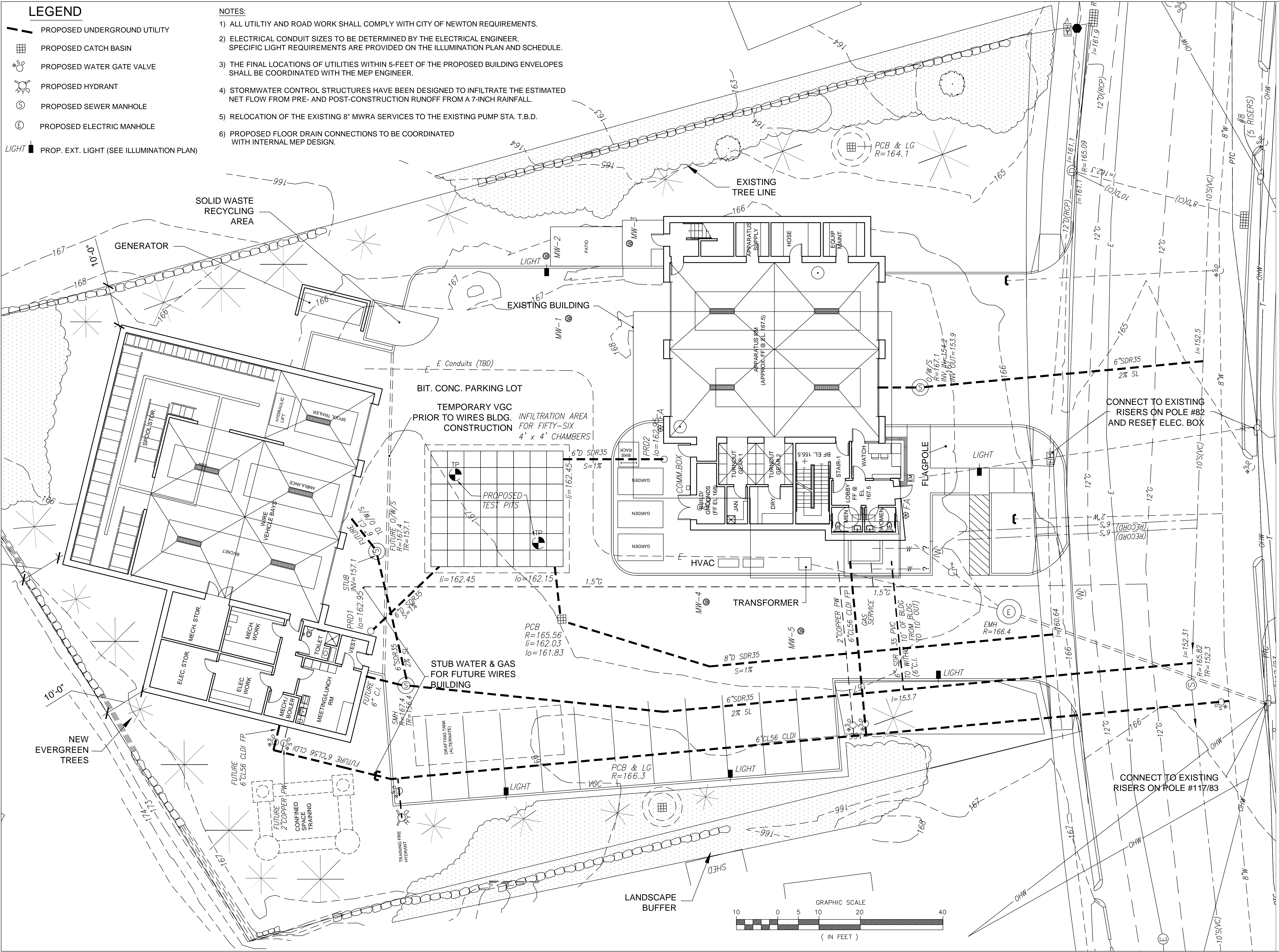
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Newton Fire Station 10 - Oak Hill
 Newton, MA 02459
 project number: 1106.00
PROPOSED UTILITIES PLAN

Scale: As Shown
 Drawn by: PGC
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 DRC Set 10-31-12
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C3.00

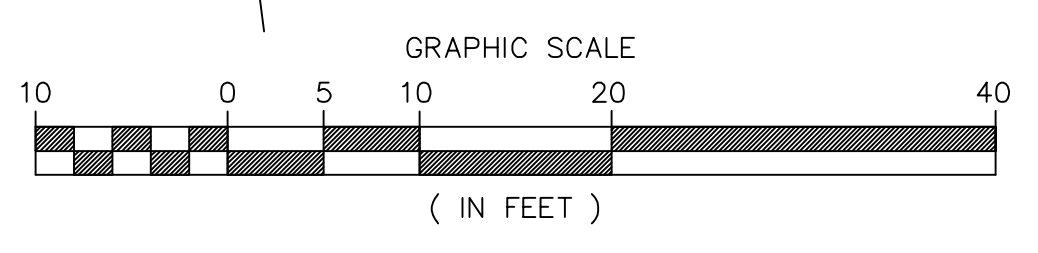


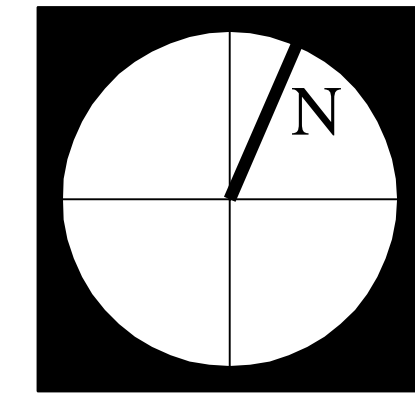
LEGEND

- PROPOSED UNDERGROUND UTILITY
- PROPOSED CATCH BASIN
- PROPOSED WATER GATE VALVE
- PROPOSED HYDRANT
- PROPOSED SEWER MANHOLE
- PROPOSED ELECTRIC MANHOLE
- PROP. EXT. LIGHT (SEE ILLUMINATION PLAN)

NOTES:

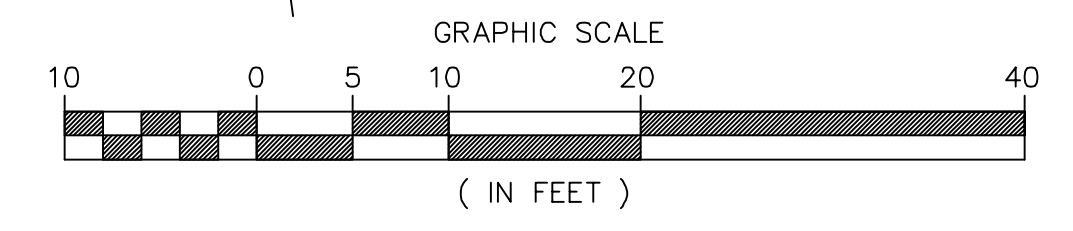
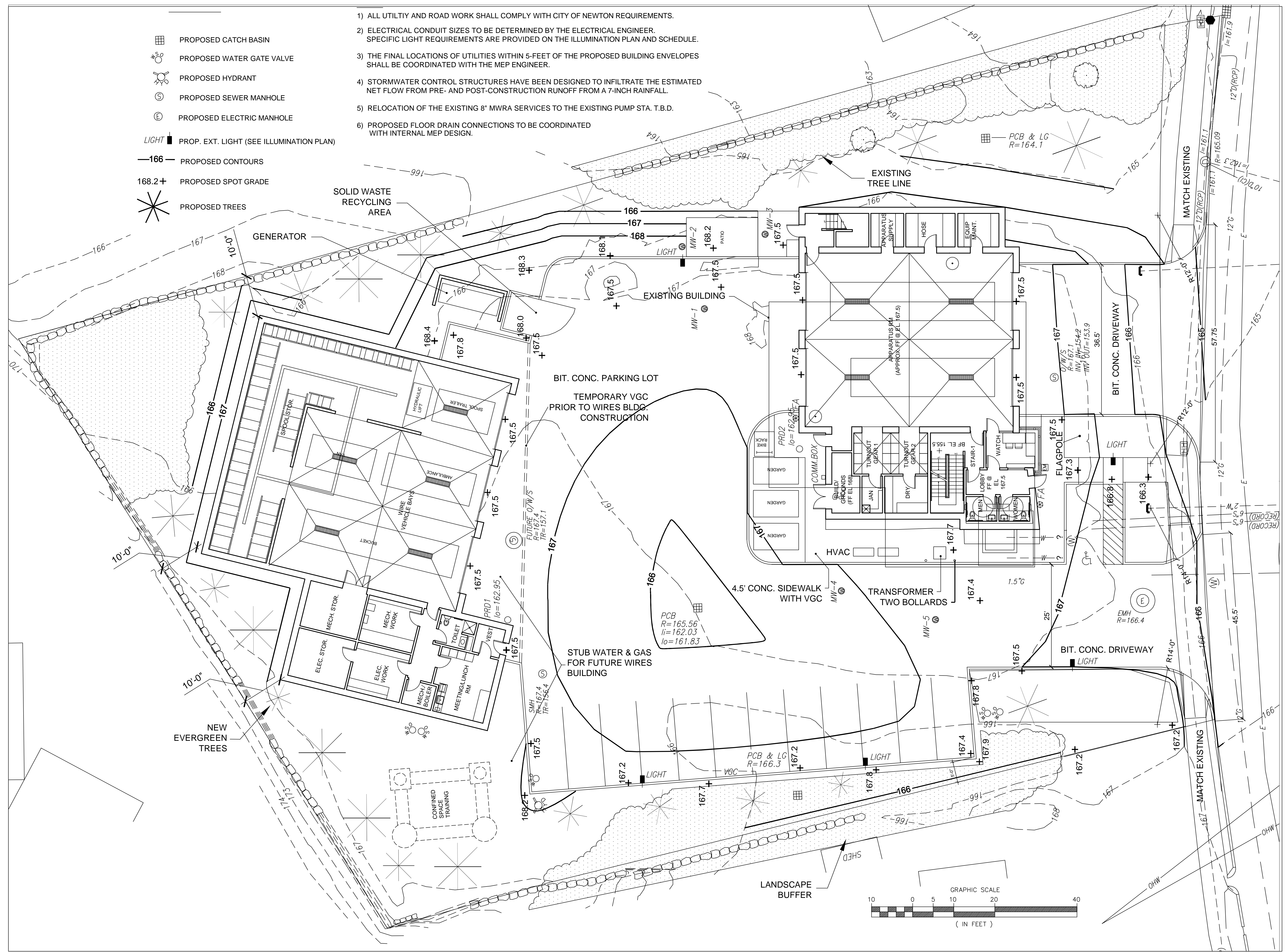
- 1) ALL UTILITIY AND ROAD WORK SHALL COMPLY WITH CITY OF NEWTON REQUIREMENTS.
- 2) ELECTRICAL CONDUIT SIZES TO BE DETERMINED BY THE ELECTRICAL ENGINEER. SPECIFIC LIGHT REQUIREMENTS ARE PROVIDED ON THE ILLUMINATION PLAN AND SCHEDULE.
- 3) THE FINAL LOCATIONS OF UTILITIES WITHIN 5-FEET OF THE PROPOSED BUILDING ENVELOPES SHALL BE COORDINATED WITH THE MEP ENGINEER.
- 4) STORMWATER CONTROL STRUCTURES HAVE BEEN DESIGNED TO INFILTRATE THE ESTIMATED NET FLOW FROM PRE- AND POST-CONSTRUCTION RUNOFF FROM A 7-INCH RAINFALL.
- 5) RELOCATION OF THE EXISTING 8" MWRA SERVICES TO THE EXISTING PUMP STA. T.B.D.
- 6) PROPOSED FLOOR DRAIN CONNECTIONS TO BE COORDINATED WITH INTERNAL MEP DESIGN.





- PROPOSED CATCH BASIN
- PROPOSED WATER GATE VALVE
- PROPOSED HYDRANT
- PROPOSED SEWER MANHOLE
- PROPOSED ELECTRIC MANHOLE
- PROP. EXT. LIGHT (SEE ILLUMINATION PLAN)
- 166- PROPOSED CONTOURS
- 168.2+ PROPOSED SPOT GRADE
- PROPOSED TREES

- 1) ALL UTILITIY AND ROAD WORK SHALL COMPLY WITH CITY OF NEWTON REQUIREMENTS.
- 2) ELECTRICAL CONDUIT SIZES TO BE DETERMINED BY THE ELECTRICAL ENGINEER. SPECIFIC LIGHT REQUIREMENTS ARE PROVIDED ON THE ILLUMINATION PLAN AND SCHEDULE.
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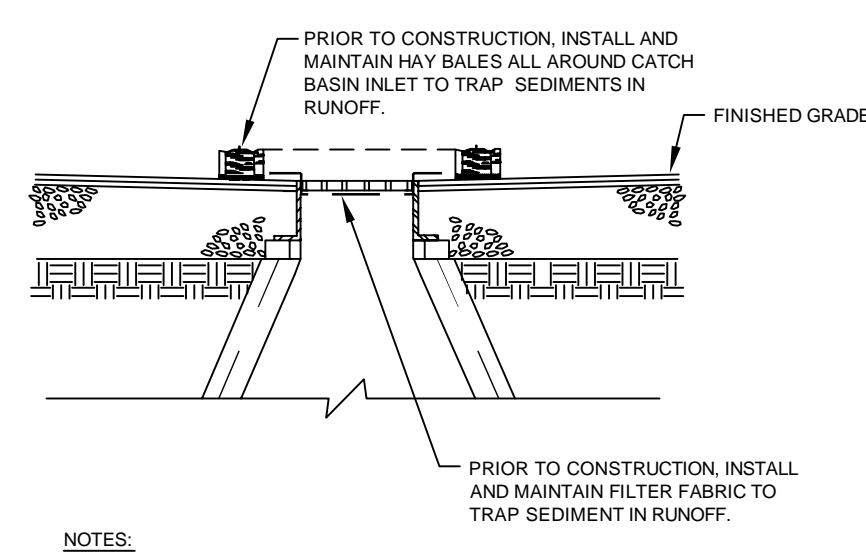
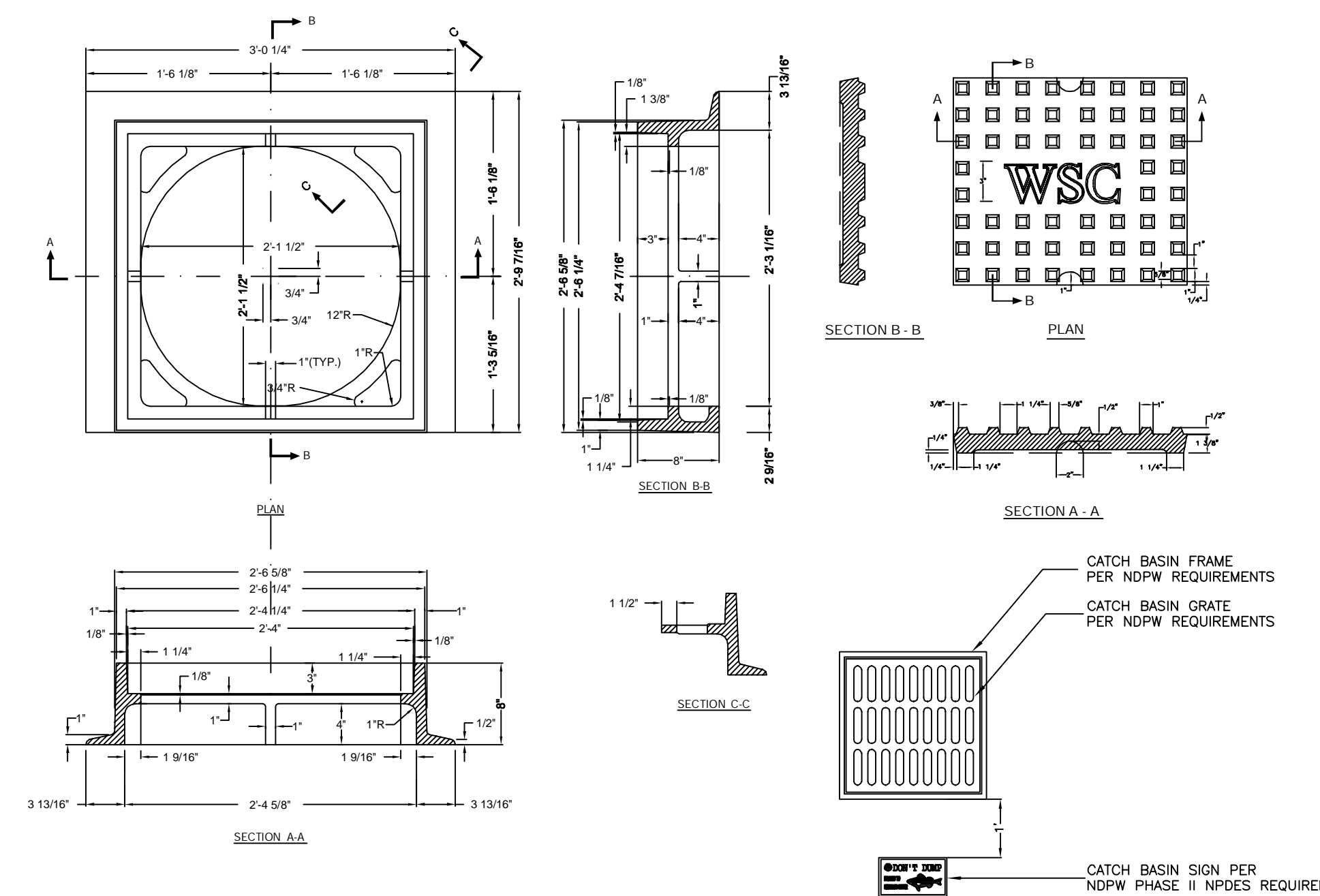
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Newton Fire Station 10 - Oak Hill
Newton, MA
project number: 1106.00
PROPOSED GRADING AND PAVING PLAN

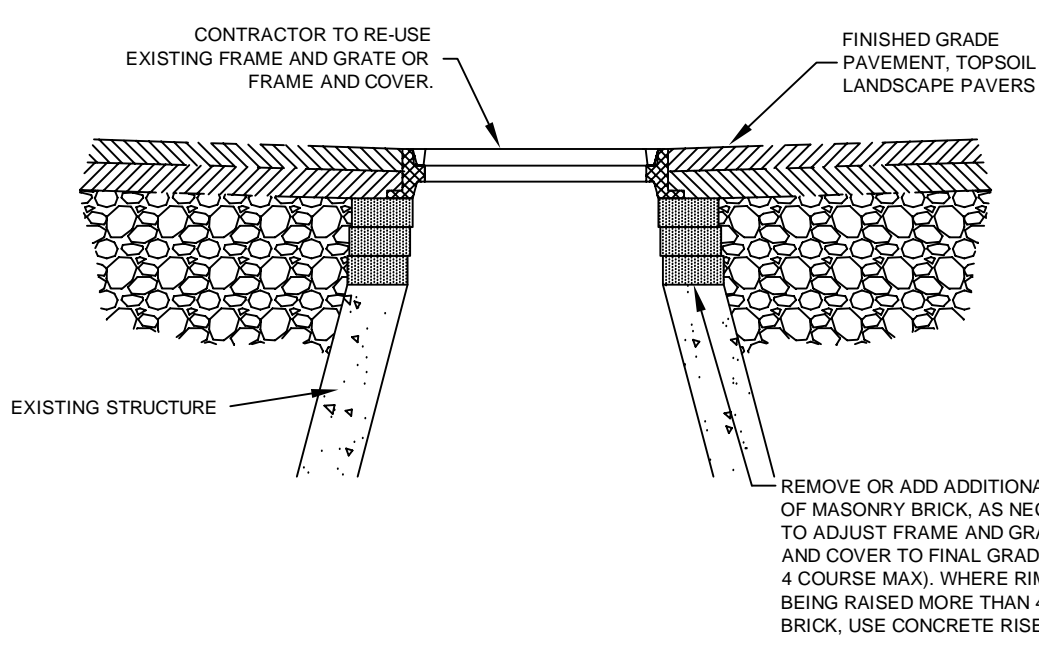
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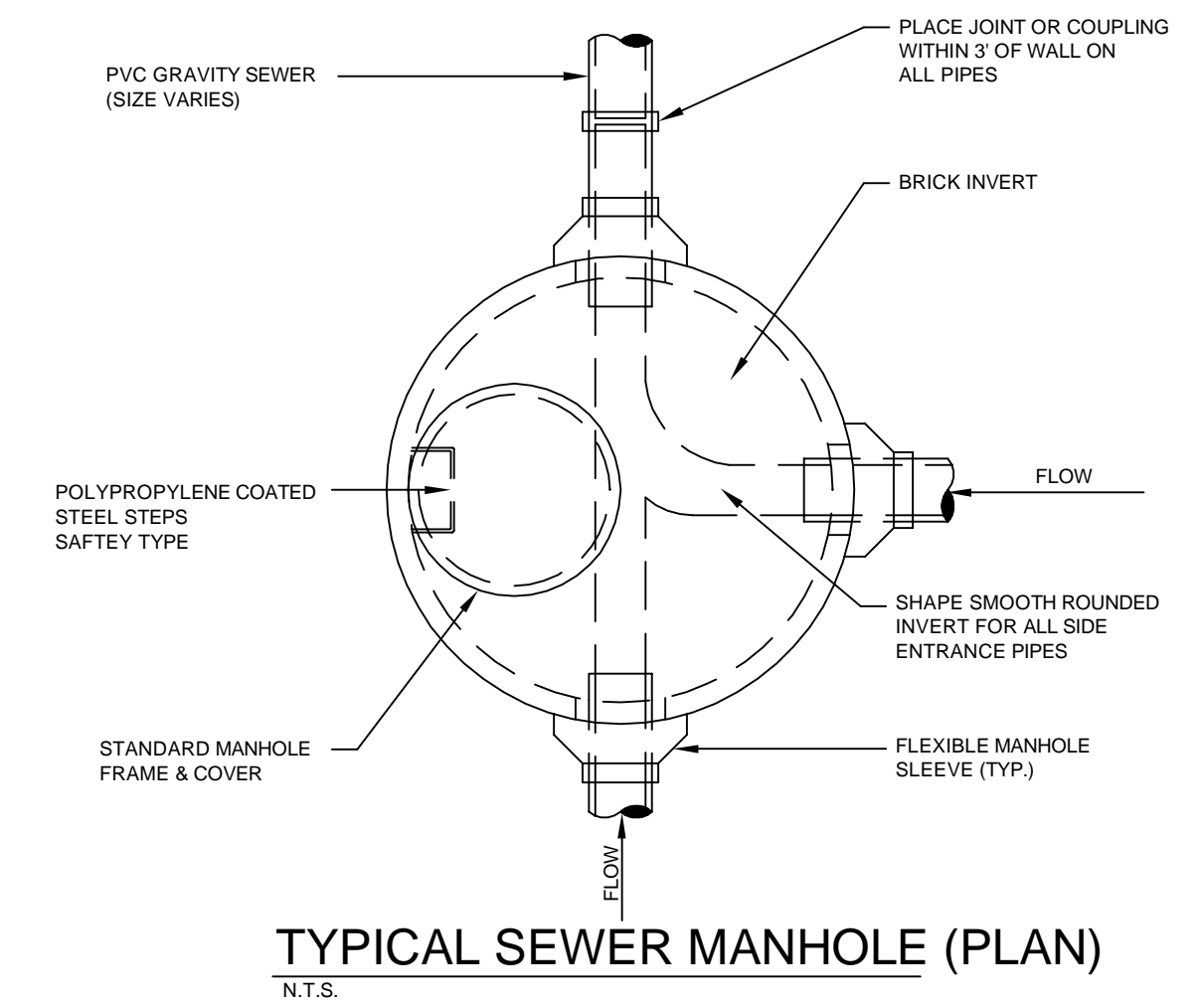
- NOTES:**
- BALES SHALL BE PLACED IN A ROW WITH THE ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
 - BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
 - INSPECTION SHALL BE FREQUENT AND REPAIR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.

EXISTING CATCH BASIN SEDIMENT CONTROL
SCALE: N.T.S.

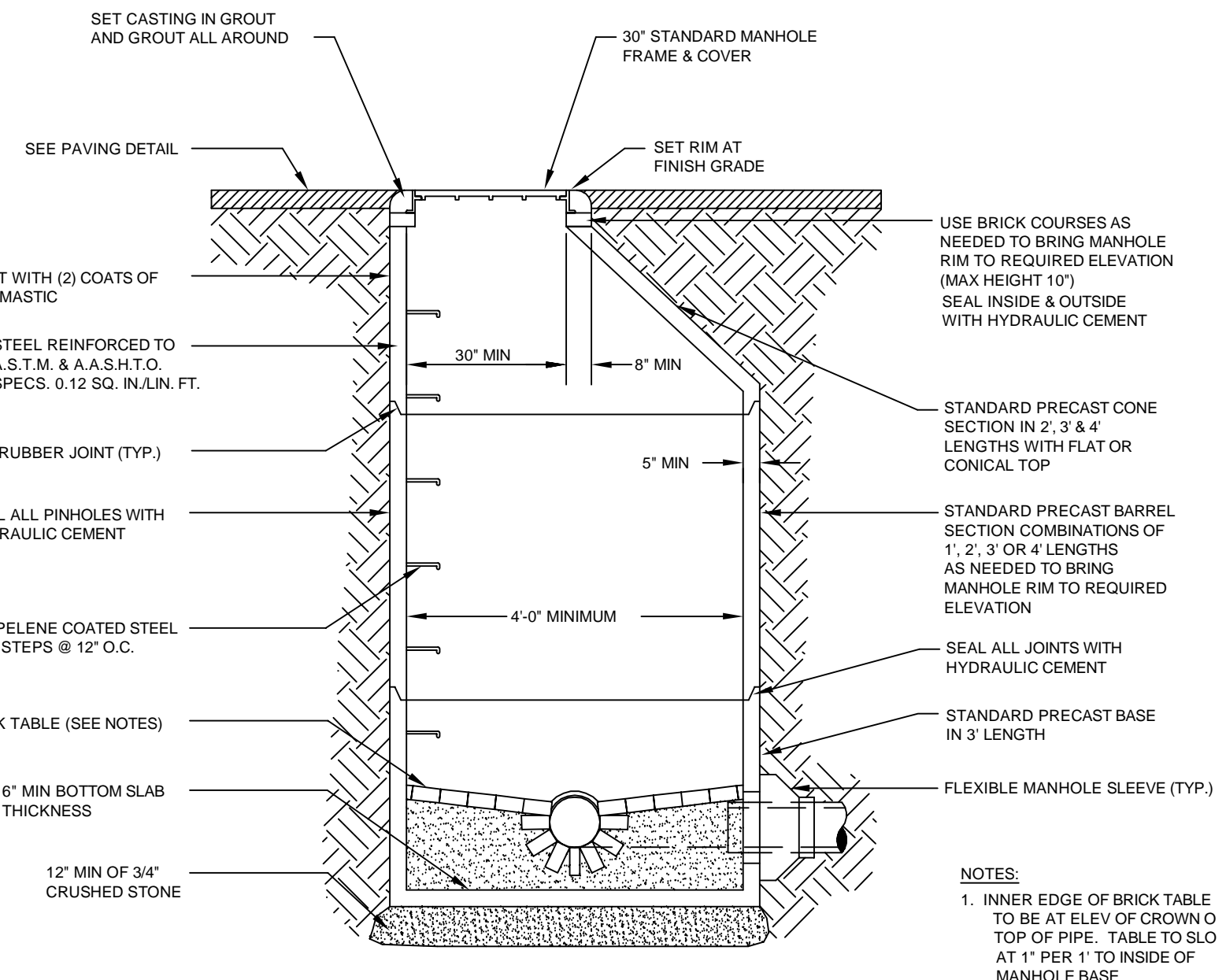


MANHOLE / CATCH BASIN ADJUSTMENT
SCALE: N.T.S.

- NOTES:**
- FRAME AND GRATE SHALL BE LABARON LF 248-2 AND PER NDPW REQUIREMENTS.
 - FOR USE WHEN THE GUTTER GRADE IS LESS THAN OR EQUAL TO 3.00%.
 - FRAME AND GRATE SHALL BE SET IN FULL BED OF MORTAR ON A MINIMUM OF TWO COURSES OF BRICK.

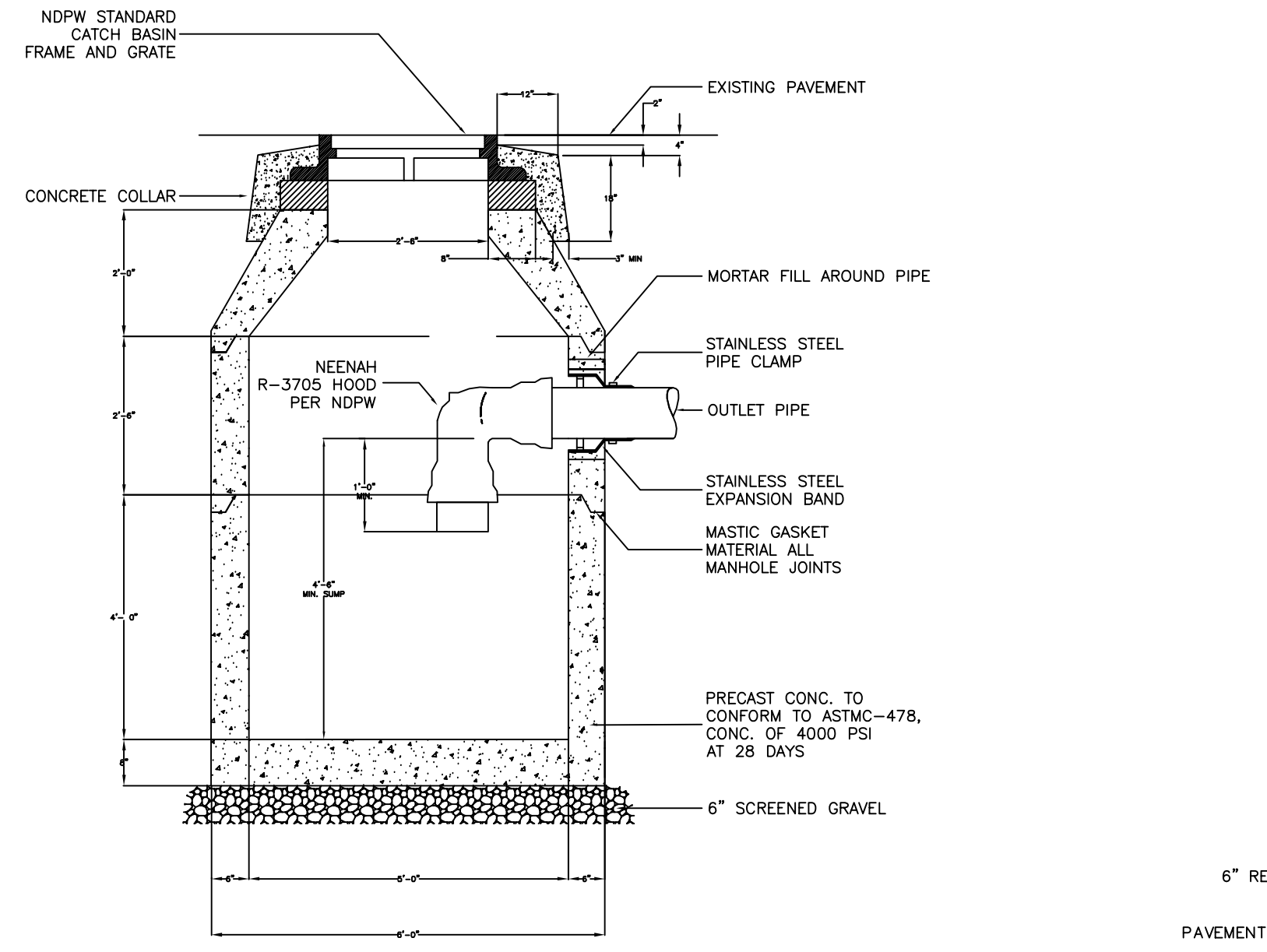


TYPICAL SEWER MANHOLE (PLAN)
N.T.S.

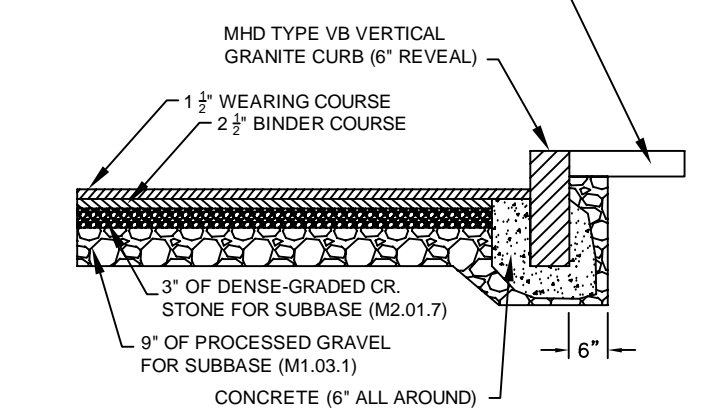


TYPICAL SEWER MANHOLE
N.T.S.

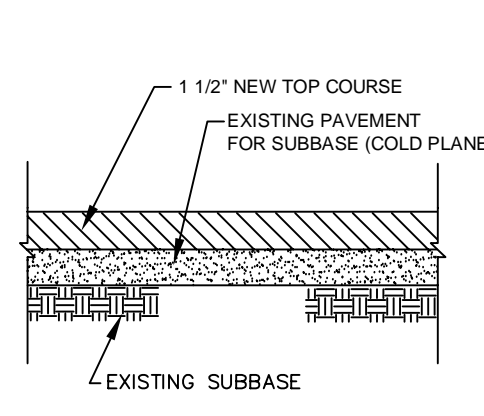
- NOTES:**
- INNER EDGE OF BRICK TABLE TO BE AT ELEV. OF CROWN OF TOP OF PIPE. TABLE TO SLO AT 1" PER 1' TO INSIDE OF MANHOLE BASE.
 - TYPICAL SANITARY MANHOLE TO BE 4 FT. DIA.



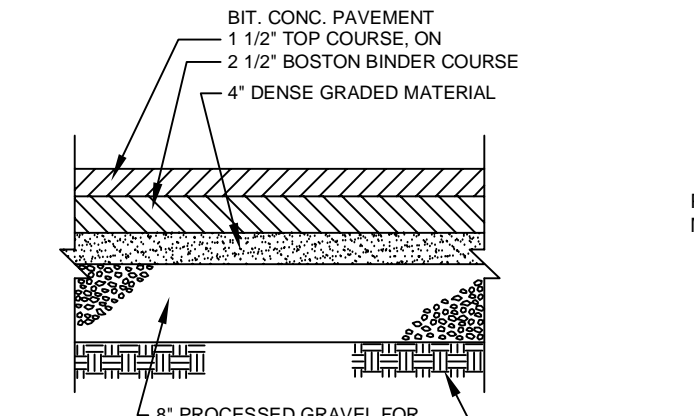
CATCH BASIN DETAILS
SCALE: N.T.S.



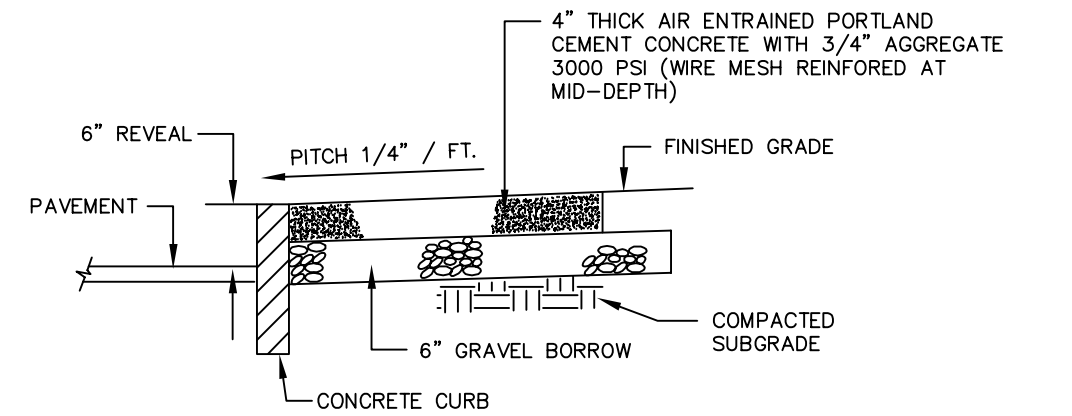
VERTICAL GRANITE CURB
N.T.S.



BITUMINOUS CONCRETE PAVEMENT DETAIL (RECONSTRUCTED DRIVES)
SCALE: N.T.S.

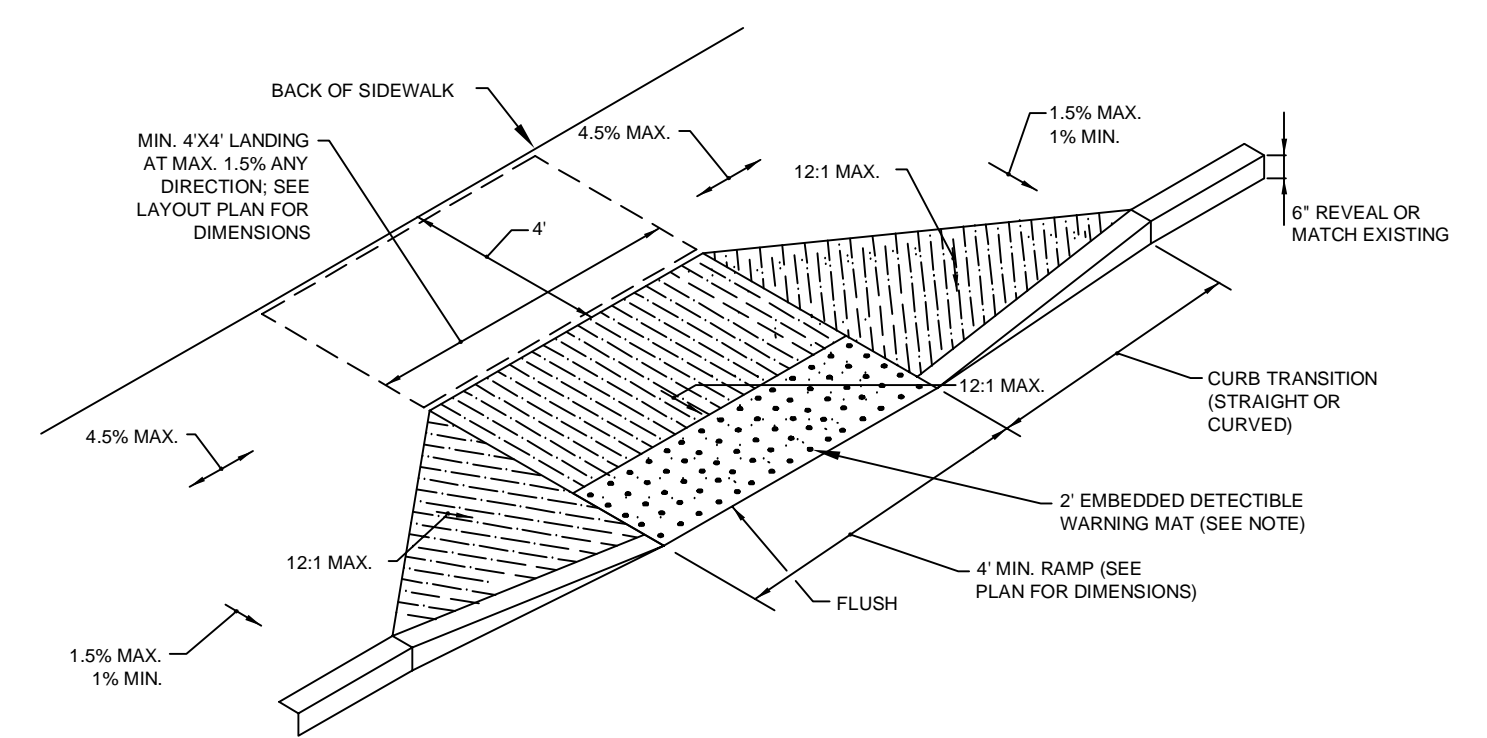


BITUMINOUS CONCRETE PAVEMENT DETAIL (NEW DRIVE AREAS)
SCALE: N.T.S.

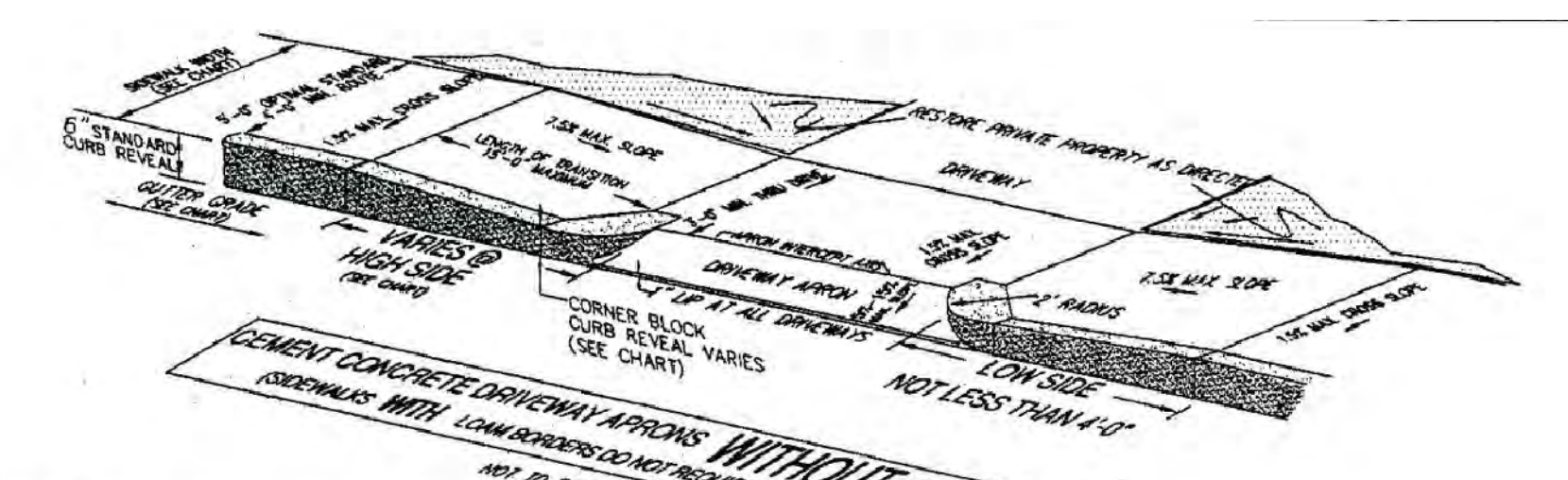


CONCRETE SIDEWALK
N.T.S.

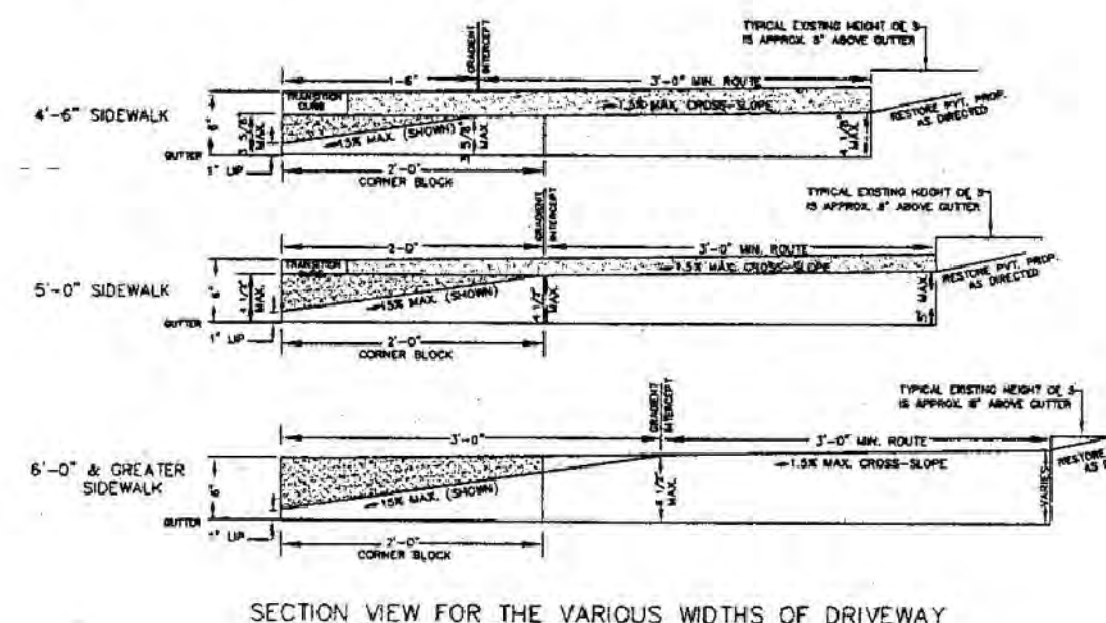
- NOTES:**
- SEE PLANS FOR CURB TYPE.
 - THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 2.0% (1% MIN.).
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 5.0%.
 - THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL BE 7.5%.
 - GRADE BASE OF RAMP TO PREVENT POINDING.
 - OMIT CURBING AT RAMP WHERE IT ABUTS ACCESS DRIVE.
 - ALL RAMP SHALL BE PER NDPW REQUIREMENTS FOR CEMENT CONCRETE WITH A TEXTURED AND COLORED NON-SLIP SURFACE (WARNING MAT) CONFORMING TO APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ACCESSIBLE RAMP DETECTABLE WARNING MAT SHALL BE AS MANUFACTURED BY ADA SOLUTIONS' WETSET OR EQUAL IN FEDERAL YELLOW COLOR.



ACCESSIBLE CURB RAMPS
SCALE: N.T.S.



- ORDER OF OPERATIONS FOR ALL DRIVEWAY APRON INSTALLATIONS**
- DETERMINE SIDEWALK WIDTH.
 - SET THE CORNER BLOCK REVEAL TO THE DIMENSIONS SHOWN ON THE CHART BELOW AND INSTALL THE TRANSITION CURB.
 - LOCATE THE INTERCEPT AREAS AND RE-CHECK FOR THE MINIMUM ACCESSIBLE ROUTE WIDTH.
 - SET THE 1.5% GRADIENT TO THE BACK OF THE WALK WITH A 2" SMART LEVEL AND ROD STRAIGHTEDGE.
 - FINE GRADE THE APRON AREA MAINTAINING THE INTERCEPT AREAS AND BACK OF SIDEWALK GRADE POINTS.
 - CHECK THE FINISH. HOWEVER, THE CONTRACTOR MUST USE A 2" SMART LEVEL DISPERSED THROUGHOUT TO ENSURE THAT THE FINAL LINE AND GRADE COMPLES WITH THE HORIZONTALS AND/OR GRADIENTS.
 - DURING THE FINISHING OPERATIONS OF THE CEMENT CONCRETE, THE CONTRACTOR IS TO CHECK THE FINAL PRODUCTS TO ENSURE CONTINUED COMPLIANCE WITH THE NOTED STANDARDS.



DRIVEWAY APRONS
IMPORTANT NOTE (APPLICABLE TO ALL CURB & DRIVEWAYS)
ALL DIMENSIONAL INFORMATION IS FOR GUIDELINE PURPOSES ONLY. THE FINAL PRODUCTS SHALL COMPLY WITH THE RULES & REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICANS WITH DISABILITIES ACT.
HANDICAP ACCESS ROUTE DRIVEWAY APRON CRITERIA (3/3)
N.T.S.

WALK WIDTH	CORNER BLOCK REVEAL	DISTANCE TO APRON INTERCEPT	RISE TO APRON INTERCEPT	OUTTER GRADE TO APRON INTERCEPT	HIGH SIDE LENGTH OF TRANSITION CURB INCLUDING THICKNESS OF CURB	
					7' & GREATER	7' & GREATER
4'-6"	3 5/8" MAX.	1'-0" FIXED	3 3/8" MAX.	UP TO 3"	1	4'-0"
					2	4'-0"
					3	4'-0"
5'-0"	4 1/2" MAX.	2'-0" FIXED	4 1/2" MAX.	UP TO 3"	1	4'-0"
					2	4'-0"
					3	4'-0"
6'-0" & GREATER	6" STANDARD	3'-0" FIXED	6 1/2" MAX.	ALL GRADES	1	15'-0" MAX.
					2	15'-0" MAX.
					3	15'-0" MAX.

- NOTES:**
- FINAL PRODUCTS MUST NOT EXCEED THE 7.5% GRADIENT OR 1.5% CROSS SLOPE STANDARDS.
 - WHEN THE FACTOR FALLS BETWEEN THE LISTED RANGE, USE THE LESSER GRADIENT FACTOR.
 - SIDEWALKS WITH LOAM BORDERS DO NOT REQUIRE TRANSITION CURBS.

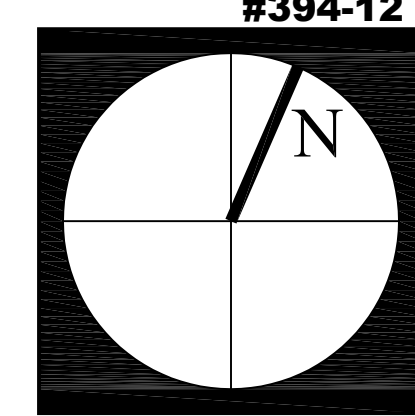
Donham & Sweeney ARCHITECTS
4 Head Tide Church Rd.
Boston, MA 02111
617-689-1010
donhamsweeney.com 2 0 7 5 8 6 6 0 0 0

POLARIS Consultants LLC
34 Main Street, Suite 201
Plymouth, MA 02560
617-889-1010
www.polariscon.com

Newton Fire Station 10 - Oak Hill
Newton, MA 02459
project number: 1106.00
DETAIL SHEET TWO

Scale: As Shown
Drawn by: PGC
issue date
DRC Set 10-31-12
REV. 1 11-19-12

C6.00



SAMPLE PRIVACY FENCE

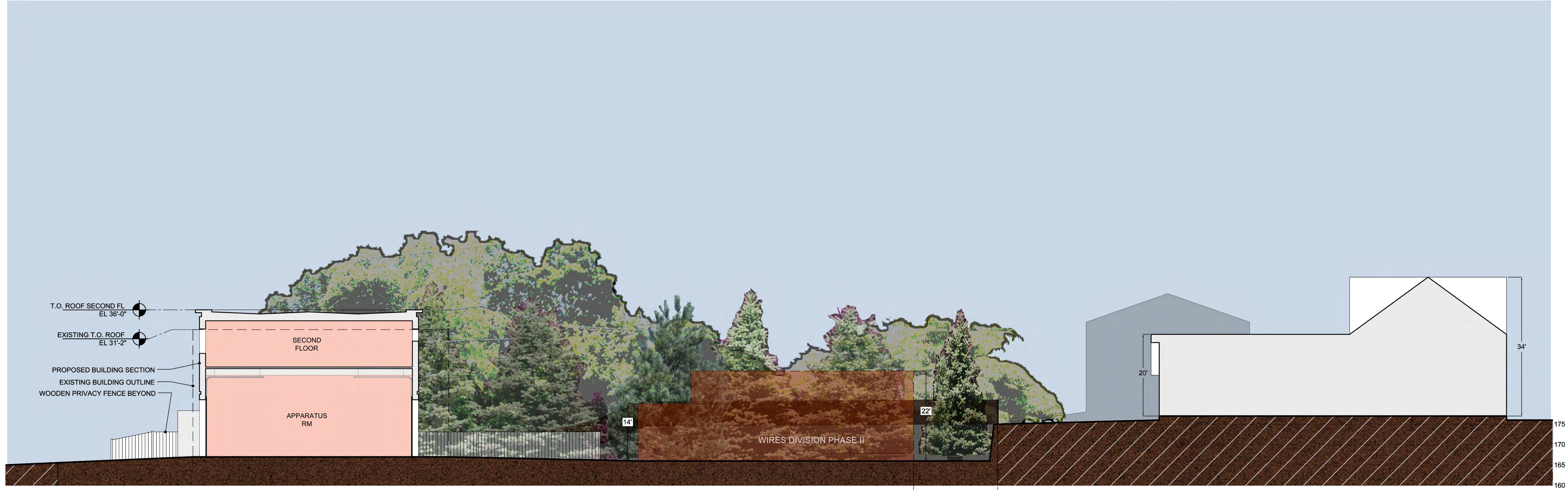
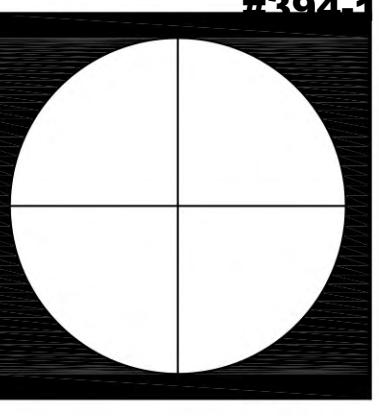


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ARCHITECTS
 68 Harrison Avenue 4 Head Tide Church Rd.
 Boston MA 02111 Post Office Box 265
 617 423 1400 Alna ME 04535
 donhamsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
 Newton, MA 02459
 project number: 1106.00
SITE PLAN

Scale: 1"=10'
 Drawn by: JV
 Issue Date
 Site Plan Review 11.28.12

A100



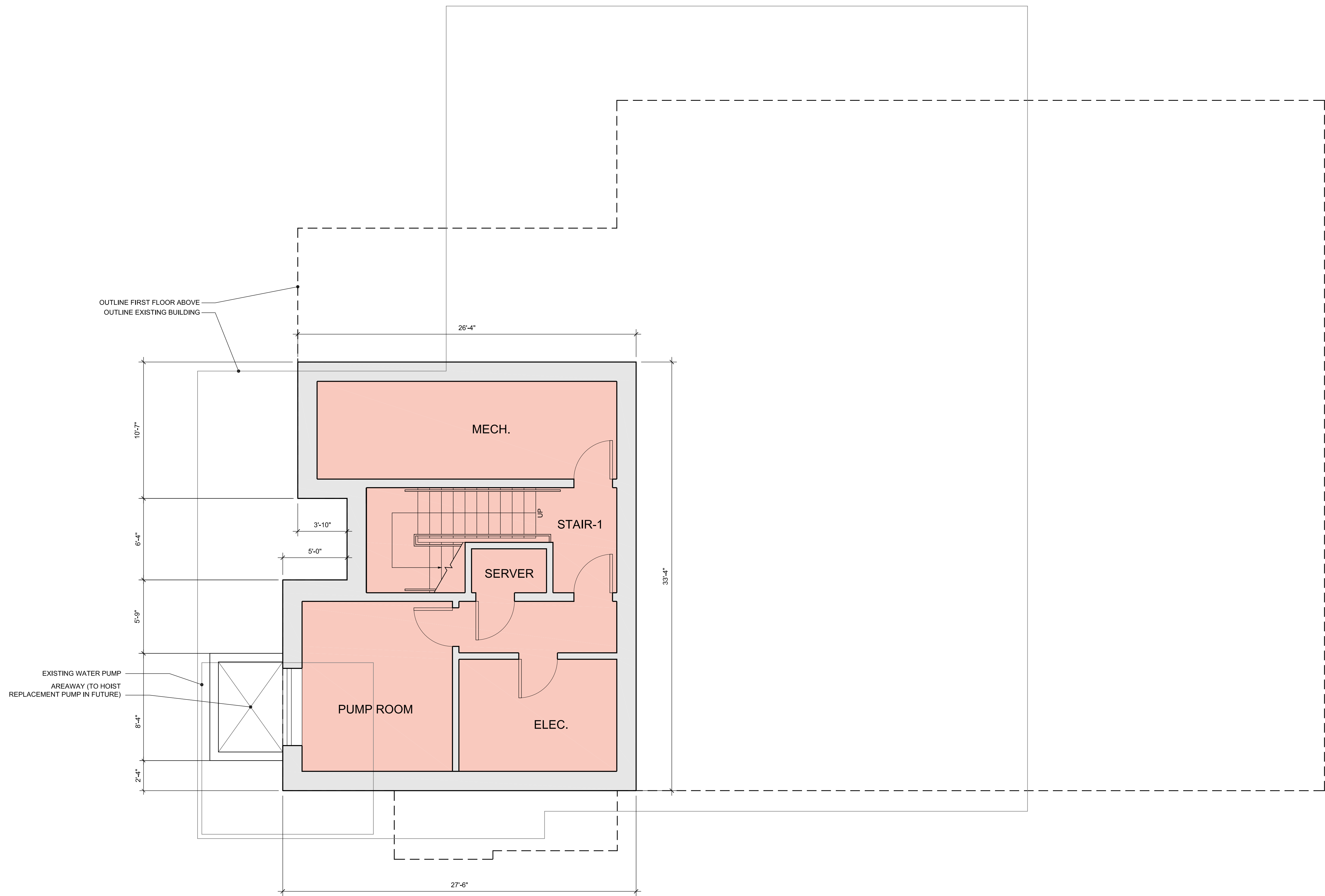
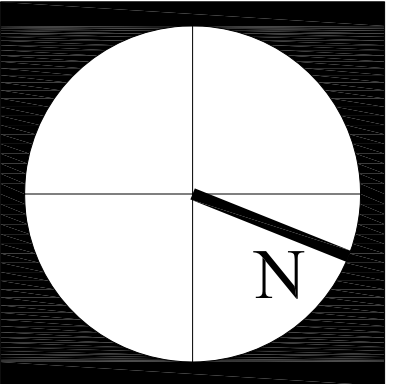
1 SITE SECTION
SCALE: NTS

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 68 Harrison Avenue 4 Head Tide Church Rd.
 Boston, MA 02111 Post Office Box 265
 617 423 1400 Alpha ME 04535
 donhamandsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
 Newton, MA 02459
 project number: 1106-00
SITE SECTION

Scale: 1"=12.5'
 Drawn by: JV
 Issue Date
 Site Plan Review 11.28.12

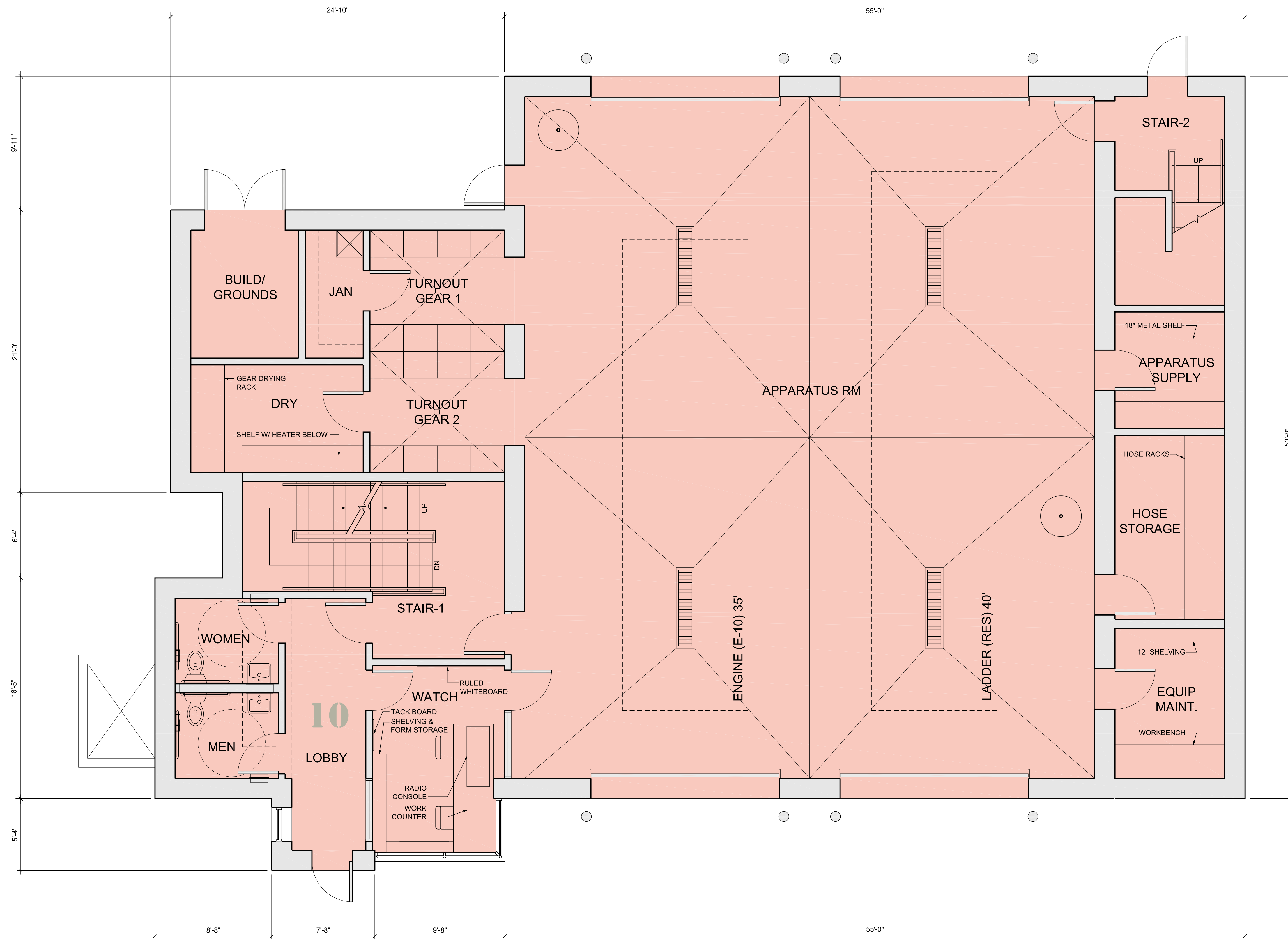
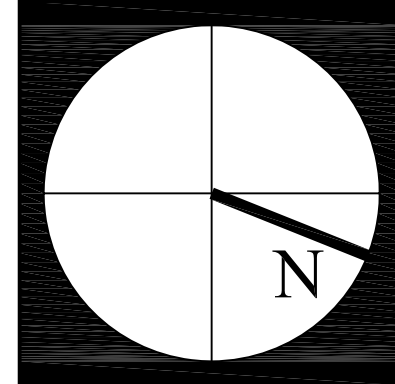
A101



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ARCHITECTS
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 Boston, MA 02111
 617 423 1400
 donhamsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
 Newton, MA 02459
 project number: 1106.00
BASEMENT PLAN

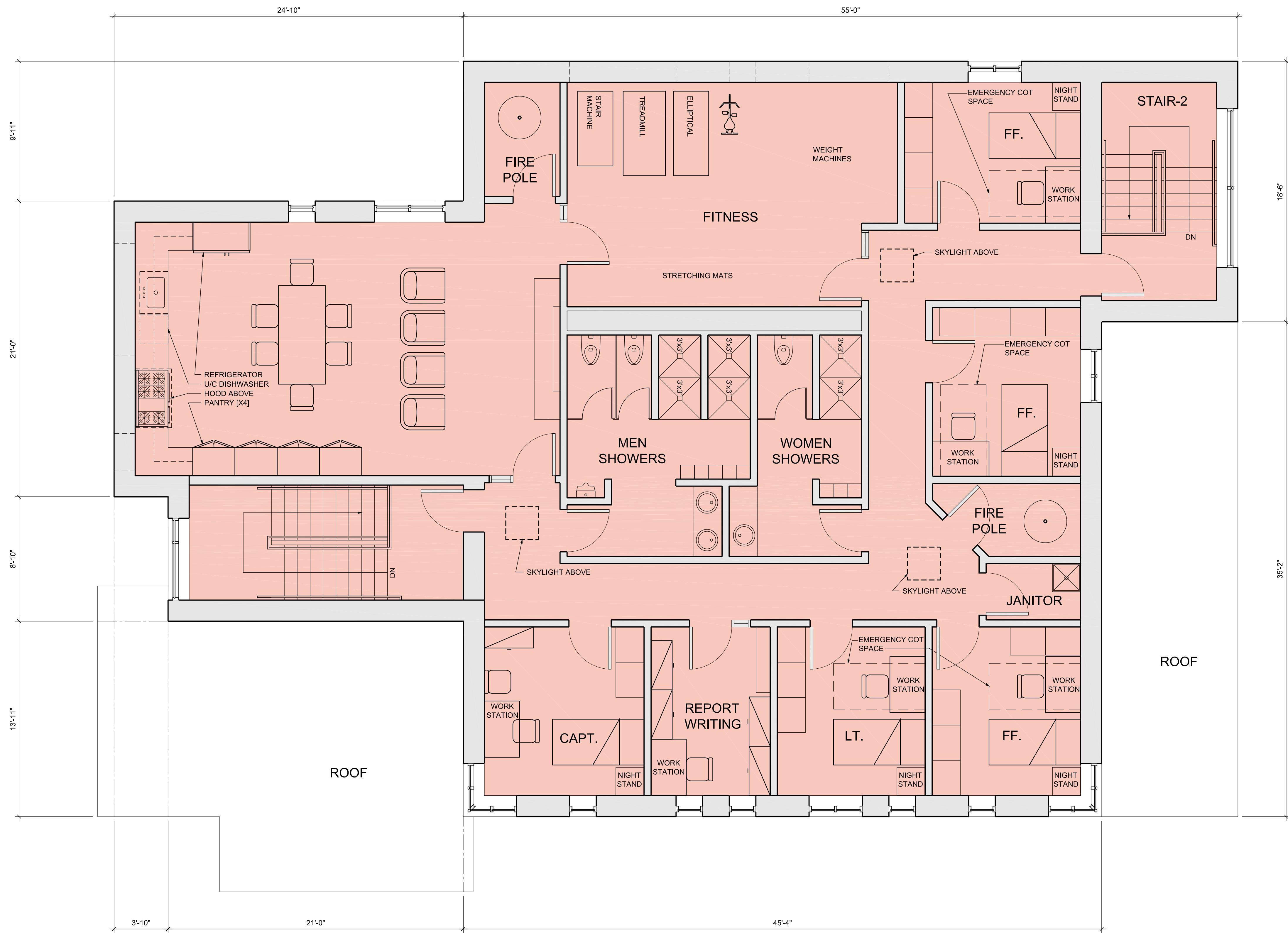
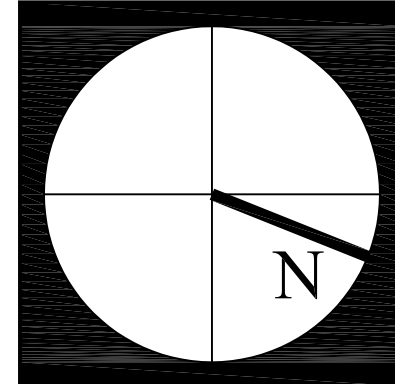
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 Drawn by: JV
 Issue Date
 Site Plan Review 11.28.12



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 Boston MA 02111 Post Office Box 265
 617 423 1400 Alpha ME 04535
 donhamsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
 Newton, MA 02459
 project number: 1106.00
FIRST FLOOR PLAN

Scale: 1/4"=1'
 Drawn by: JV
 Issue Date
 Site Plan Review 11.28.12

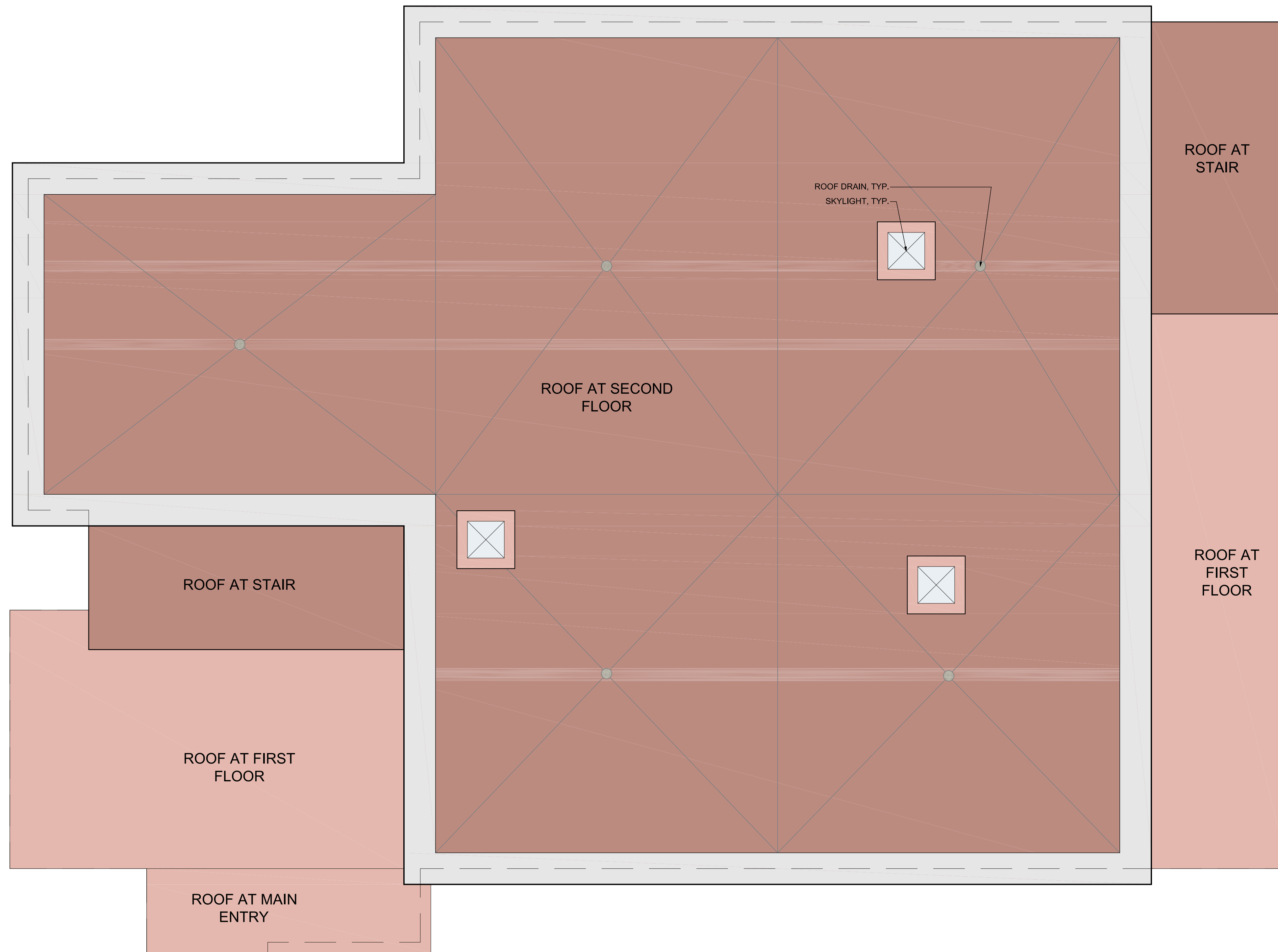
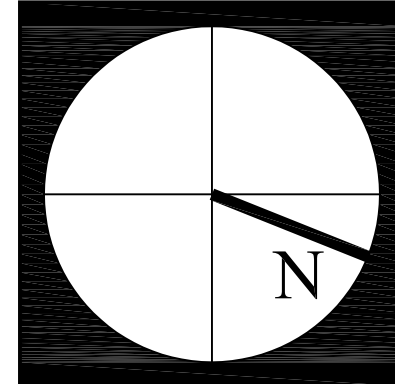


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ARCHITECTS
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 Boston MA 02111 Post Office Box 265
 617 423 1400 Alina ME 04535
 donhamsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
 Newton, MA 02459
 project number: 1106.00
SECOND FLOOR PLAN

Scale: 1/4"=1'
 Drawn by: JV
 Issue Date
 Site Plan Review 11.28.12

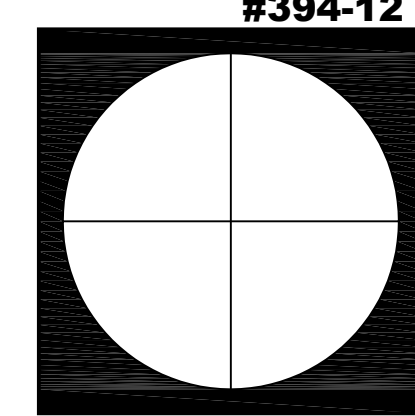
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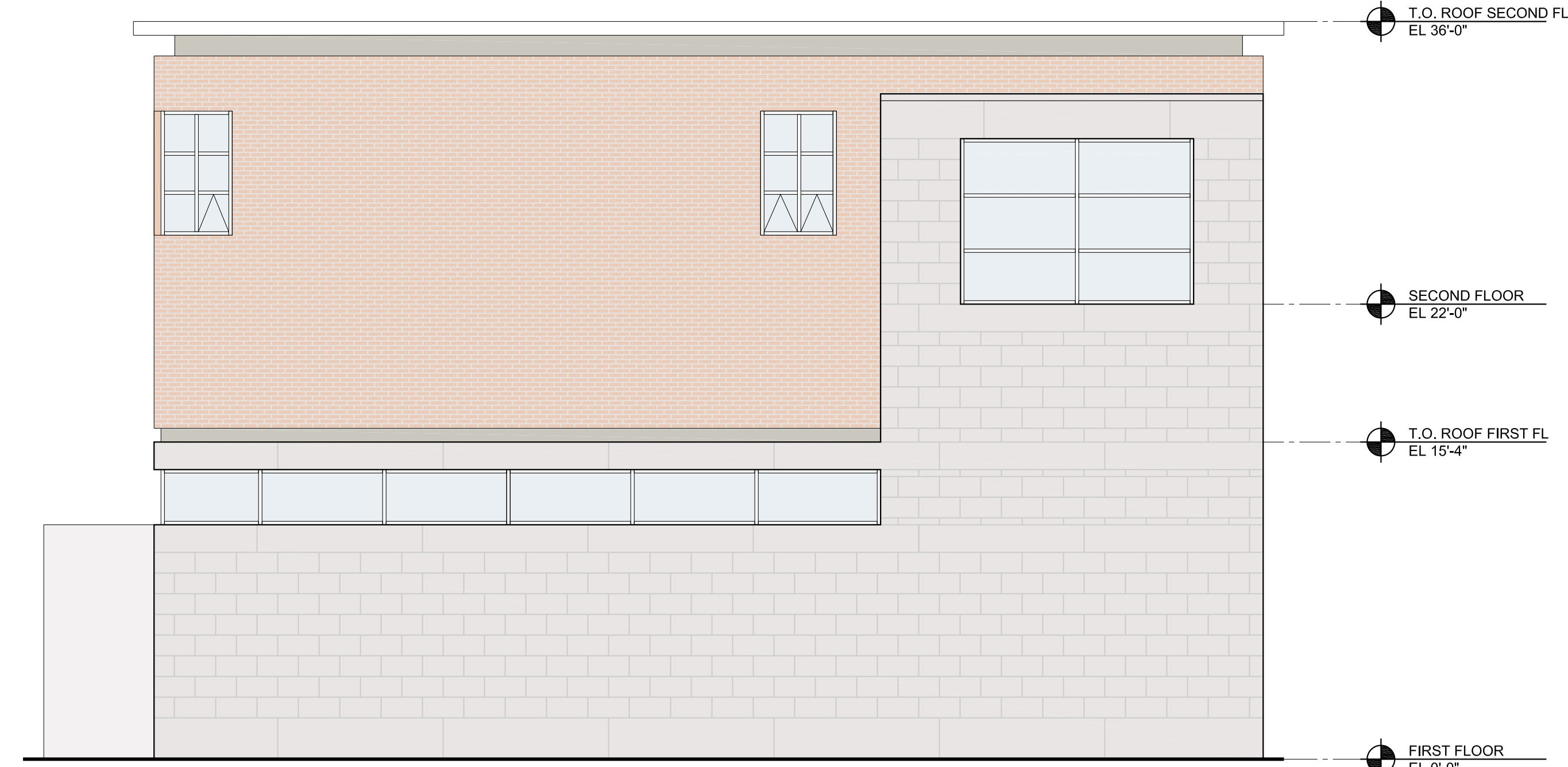
Donham & Sweeney
ARCHITECTS
 68 Harrison Avenue 4 Head Tide Church Rd.
 Boston MA 02111 Post Office Box 265
 617 423 1400 Alna ME 04535
 donhamsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
 Newton, MA 02459
 project number: 1106.00
ROOF PLAN

Scale: 1/4"=1'
 Drawn by: JV
 Issue Date
 Site Plan Review 11.28.12



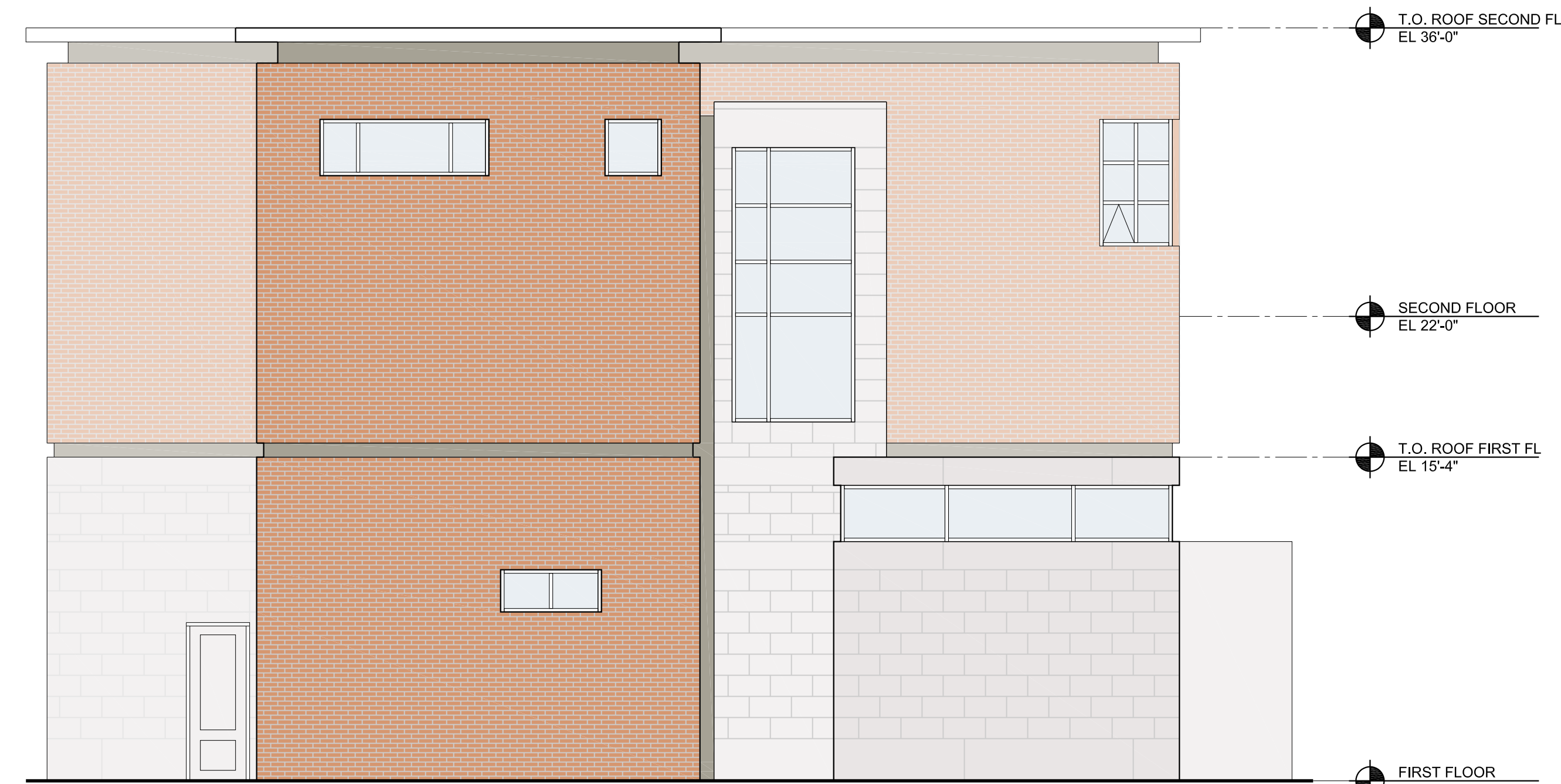
NORTHEAST ELEVATION



NORTHWEST ELEVATION



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

Donham & Sweeney
ARCHITECTS
68 Harrison Avenue 4 Head Tide Church Rd.
Boston MA 02111 Post Office Box 265
617 423 1400 Alma ME 04535
donhamsweeney.com 207 586 6000

Newton Fire Station 10 - Oak Hall
Newton, MA 02459
project number: 1106.00
BUILDING ELEVATIONS

Scale: 3/16"=1'
Drawn by: JV
Issue Date
Site Plan Review 11.28.12

A300

Final Label Report

Station 10

SBL	Owner	Number	Street	Unit
84033 0008	YEE JASON V & MIN X	9	APPLETON CIR	
84033 0012	PLATT DAVID & NAOMI	12	APPLETON CIR	
84033 0009	HENSCH TAKAO	19	APPLETON CIR	
84033 0011	GOLDSTEIN ALVIN TR	22	APPLETON CIR	
84033 0010	VOLOBUYEVA MARINA	25	APPLETON CIR	
82015 0116	LAYEVSKY DMITRY	470	BROOKLINE ST	
84033 0007	LIBSON EKATERINA	15	CARLSON AVE	
83036 0004	CHARLES RIVER COUNTRY CLUB INC	483-655	DEDHAM ST	
82015 0125	CHOU JOSEPH S K & LOUISE M	712	DEDHAM ST	
82015 0124	MALININ LEONID & YELENA	720	DEDHAM ST	
82015 0123	GOLDBERG JOEL M	728	DEDHAM ST	
83036 0005	PRINCE MARIAN L	729	DEDHAM ST	
82015 0122	TEPPER RUTH C L/E	736	DEDHAM ST	
82015 0121	OSTROVSKI SERGE TR	744	DEDHAM ST	
82015 0120	KASRAIE MOHAMMAD YOUSEF	756	DEDHAM ST	
82015 0119	MADDEN THOMAS J & DOLORES R	760	DEDHAM ST	
84033 0004	WEIN DORIS & BRENT	765	DEDHAM ST	
82015 0118	CHEN CHIN	770	DEDHAM ST	
84033 0005	ROSEN CAROLYN WEXLER	775	DEDHAM ST	
82015 0117	MIRKATULI ATHAR TR	778	DEDHAM ST	
84033 0002	DALEY RICHARD A	10	NAHANTON ST	
84033 0001	CUTLER SAUL J & ANNE S	20	NAHANTON ST	
83036 0006	CARCHIA JOSEPHINE A	23	NAHANTON ST	
83036 0007	MARMAI PAUL J	31	NAHANTON ST	
84034 0004	CHARLES RIVER COUNTRY CLUB INC	200	NAHANTON ST	
82015B0001P	FAIN BARBARA J	26	OBER RD	P
82015B0001Q	LAMBERT JUDITH E	28	OBER RD	Q
82015B0001	ZHANG XUESONG	30	OBER RD	A
82015B0001A	HARRINGTON SHEILA E TR	32	OBER RD	B
82015B0001B	MASLER WENDY	34	OBER RD	C
82015B0001C	HOWELL MARIAN B	36	OBER RD	D
82015B0001R	TELLES-PALLADINO DEBORAH S TR	38	OBER RD	R
82015B0001D	HECHTMAN ABIGAIL R	40	OBER RD	E
82015B0001E	ROYSTER ROBERT S & JEAN	42	OBER RD	F
82015B0001F	SHRIBER RICHARD J	44	OBER RD	G
82015B0001N	ANTAL MIKLOS	46	OBER RD	O
82015B0001G	WANG WENXIAN	48	OBER RD	H
82015B0001U	WHISTLER PETER	52	OBER RD	U
82015B0001T	LINN ANDREW I & JONATHON J TRS	54	OBER RD	T
82015B0001W	REEM PROPERTY LLC	56	OBER RD	W
82015B0001V	RIORDAN JAMES F	58	OBER RD	V
82015B0001M	KELMAN ROCHELLE	60	OBER RD	N
82015B0001L	KATS MARK	62	OBER RD	M
82015B0001K	JONES MARY KATHERINE BURTON	64	OBER RD	L
82015B0001J	KOLLAARD MACHIEL & DINGENA	66	OBER RD	K

SBL	Owner	Number	Street	Unit
82015B0001H	BRUKER IZI	68	OBER RD	J
82015B0001S	FINK CARL B	70	OBER RD	S



City of Newton, Massachusetts

Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

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www.newtonma.gov

Setti D. Warren
Mayor

DATE: November 16, 2012

TO: Board of Aldermen

FROM: Candace Havens, Director of Planning and Development
Eve Tapper, Chief Planner for Current Planning ^{ET}
Katy Hax Holmes, Land Use Planner

SUBJECT: §5-58 of the City of Newton Ordinances, request for site plan approval for site and building improvements at Newton Fire Station #10

CC: Mayor Setti Warren
Design Review Committee
Public Buildings Department
Ward 8 Aldermen

EXECUTIVE SUMMARY

The proposed action is to demolish the existing Fire Station #10 on Dedham Street and construct a new station on the same site (Phase I). Phase II of the project, which is conditional on approved funding in the future, is a new ancillary building for the Wire Division at the rear of the Station #10 property. The existing fire station building was erected in 1948. There is currently no ancillary building onsite. The current fire station building is over 50 years old, and therefore came under Demolition Review by the Newton Historical Commission (NHC). In October of this year, based on the recommendation of Building Conservation Associates from April 2012 and from Planning staff, the NHC found the building not to be historically significant and therefore no Demolition Delay was instituted. The current proposal by Public Buildings is to erect one new fire station building, a training enclosure, and a drafting tank, and to update the site as required in order to provide a fully operational and code-compliant fire station with modern energy-efficient building systems. Total parking for the fire station and Wire Division buildings is projected to be enough to accommodate a single shift of firefighters (3 per shift, +1 in January, February and March), visitors, one handicap vehicle, and parking for up to five staff members in the Wire Division. Current plans are for 12 lined spaces on the south side of the property and one handicap-accessible space in front of the building, for a total of 13 spaces

Proposed improvements in the new building include moving all living quarters, such as bunk rooms, bathrooms, shower rooms, a fitness room and kitchen, to the second floor. A new walkway, visitor door, and improved pedestrian accommodations would be ensured at all entry points on the first story. Reallocation of the current parking area behind the building to the south side of the lot will accommodate twelve cars on site for the current shift, Wire Division shift and visitors. With the exception of one additional accessible space, there would be no auto parking spaces allotted along the entrance road from Dedham Street or anywhere else onsite. With the addition of Phase II, the parking needs of the Wires Division building will increase and should be studied in relation to the spaces available after Phase I. Amenities should include replacement and/or installation of

deteriorated fencing and the repair of retaining walls where needed throughout; new on-site lighting and signage; and improved outdoor seating. The Confinement Training Enclosure and Drafting Tank are also necessary amenities on-site for continued firefighter training. Currently, training areas and drafting ponds are used in other towns or on private land, requiring advanced notice and requests for permission. Trash enclosures will be provided and an emergency generator and outdoor lighting will be installed. The Design Review Commission met and reviewed the Schematic Design and proposed site plans prepared by Donham & Sweeney Architects dated October 18, 2012.

I. BACKGROUND/SITE PLAN APPROVAL PROCESS

Prior to construction at any municipal building, Section 5-58 of the Newton City Code requires reviews of associated plans by the following:

- The Director of Planning and Development for consistency and compatibility with the *Newton Comprehensive Plan* and other applicable planning and analytical studies
- The Design Review Committee for layout, construction, and relationship to surroundings
- The Public Facilities Committee to provide a forum for public comments and discussion about proposed buildings and their locations, followed by Board of Aldermen action

Once the site plans are formally approved by these bodies, they become part of the final set of project plans and construction drawings and cannot be altered without being resubmitted to the Design Review Committee and to the Board of Aldermen. After the requirements of §5-58(a)(1) through (a)(6) have been satisfied, the Board of Aldermen can appropriate funds for preparation of detailed construction drawings. Work on the fire station is projected to begin in July 2013 and will continue until closeout no later than the summer of 2015. All work, including the interior utility work will be addressed in one phase. Plans submitted by the Public Buildings Department were prepared by Donham and Sweeney Architects, dated November 2, 2012. These are the plans that have been reviewed by Planning Department staff.

II. PROPOSED FIRE STATION IMPROVEMENTS

Site work will be completed on the entire lot. Existing parking at the rear of the lot is proposed for realignment along the south border and, unlike the current parking area, will be striped for twelve spaces. There is no proposed parking on the front of the lot, with the exception of one handicap-accessible space. Vehicular access to the lot from Dedham Street will remain the same, with large vehicular circulation to remain at the rear of the site.

The new building is proposed for the same location as the old, with additional square footage proposed for the new footprint on the north and south sides. On the plans, these expansions appear to be located within the required setbacks. Proposed changes on the inside of the new building will include separating living space from trucks and equipment.

III. TECHNICAL REVIEW OF SITE PLANS UNDER SECTION 5-58**1. Location and Existing Site Conditions**

Newton Fire Station #10 is located at 755 Dedham Street in a residential neighborhood in Oak Hill. The site is bordered on three sides by Single Residence 1 residential zoning and by the Charles River Country Club, and by Single Residence 2 zoning across Dedham Street. The parcel consists of approximately 42,500 square feet of land improved with the fire station and associated parking. The remainder of the parcel is vacant land enclosed on the south and west sides by a collapsed chain link fence, fencing from neighboring parcels, and stone retaining walls in various stages of repair.

The north perimeter of the lot is comprised of overgrown brush, trees and portions of a low stone wall.

2. Proposed Improvements

A new fire station and later, an ancillary building, are proposed for the site. Living quarters and administrative offices will be constructed on the second floor, an improvement over existing conditions at Fire Station #10.

Handicap parking will be provided at the front of the building, but the proposed plans to not show improvements to curb cuts or ramp access to public entrances. Consideration should also be given for bicycle racks or indoor bicycle storage somewhere onsite.

Parking at the site will consist of 13 total spaces for automobiles. These spaces are proposed for the south side of the lot in order to allow vehicular access and turn-around lanes for the fire trucks.

A Confinement Training Enclosure and Drafting Tank are also proposed for the site, located to the west of (behind) the new parking area. The Drafting Tank will be a low shed in appearance, with a sloped roof and gated access to prevent accidents. The Confinement Tank will be accessed by a manhole cover and will be predominantly housed underground.

IV. OTHER REVIEWS

- **Senior Environmental Planner.** The entire fire station property is located outside of riverfront areas. After consulting the Senior Environmental Planner, it was determined that no review is required for the improvements proposed.
- **Associate City Engineer.** Please reference the November 13th, 2012 memorandum regarding this Fire Station #10 project written by John Daghlian, Associate City Engineer, to Candace Havens, Director of Planning. The proposed work will result in a net increase in the amount of impervious surface on the site. The Engineering Division must review the proposed plans to ensure that drainage infrastructure is constructed according to City standards. The Engineering Division will also review soil testing and evaluations prior to the issuance of a building permit.
- In addition, current plans do not address the removal or relocation of an onsite gas pump and underground gas tank, nor do they show dimensional information or elevations for the proposed Confinement Enclosure or Drafting Tank.
- **City Transportation Engineer.** There will be no net change in the amount of parking provided on-site. Public Buildings should work with the Transportation Engineer to

manage parking should it negatively affect the neighborhood as the fire station resumes projected capacity in Phase I, and perhaps later during Phase II.

- **Fire Department.** Fire suppression systems will be installed throughout the newly-constructed building. The Public Buildings Department should continue to coordinate with the Assistant Fire Chief to meet all applicable safety codes.

V. CONSISTENCY WITH NEWTON COMPREHENSIVE PLAN AND OTHER PLANS/STUDIES

The *Newton Comprehensive Plan* notes that Newton residents have made community cohesiveness and safety a strong priority. A new, state-of-the-art fire station in the Oak Hill neighborhood is not inconsistent with this vision.

The Plan also acknowledges change over time is inevitable and spatial needs must respond to them. For the long term, the *Newton Comprehensive Plan* advocates for “creative consideration of future activity and facility configurations.” When addressing such changes, the *Newton Comprehensive Plan* encourages creativity in making continued use of existing structures, where possible. In the pursuit of providing adequate services for the health and safety of Newton’s Oak Hill citizens, restoring and retrofitting the current Fire Station #10 was considered, but was determined not to be a feasible solution.

VI. SITE PLAN REVIEW CRITERIA

In accordance with Section, 5-58, the Design Review Committee has filed plans for Site Plan Approval. These are to be reviewed in accordance with the procedure outlined in Section 30-23 of the Revised Ordinances. The following is a review of the submitted plans with respect to the relevant criteria established in Section 30-23.

- A. Convenience and safety of vehicular and pedestrian movement within the site and in relation to the adjacent streets, properties or improvements

The overall parking count on the site will remain static as a result of this petition. There is currently a paved area behind the station with unlined parking, but the proposed thirteen parking spaces appear to be adequate for the continued usage of the site by the on-duty crew, a crew shift change, and visitors. However, the Wire Division staff comprises a maximum of five personnel and would add five more vehicles to the Fire Station #10 lot at the completion of Phase II. The Fire Department should consider shift circulation patterns at the Wire Division in order to best assess the future onsite parking needs for the Station #10 lot. If Public Buildings proceeds with the Phase II construction of the Wire Division ancillary structure, a reassessment of parking needs should be completed.

There are currently no bike racks on site. The Fire Department should consider adding at least one. Accommodations should also be considered for protected bicycle storage.

Vehicular access to on-site parking will continue to be provided from Dedham Street only. Dedham Street is a high-volume residential street that will see no net increase in vehicular traffic with the replacement fire station, but will see a slight increase with the new Wires Division building. New directional signage for the handicap and visitor parking (preferably sited near the entrance to the property), and signage at the training and drafting tank sites are recommended.

B. Adequacy of the methods for regulating surface water drainage

Please reference the November 13th, 2012 memorandum written by John Daghlian, Associate City Engineer to Candace Havens, Director of Planning. On-site monitoring and inspection by the Engineering Division is required and warranted at various phases before and during construction. A drainage analysis needs to be performed based on the City's 100-year storm event of 6.5 inches over a standard period of time. All run-off needs to be infiltrated and accommodated on site. Dry well details also need to specify stone size and location beneath dry wells.

C. Screening of parking areas and structures from adjoining premises. Location of parking between the street and existing or proposed structures shall be discouraged.

The parking configuration will undergo minor changes, but will not be expanded substantially. The majority of the parking will be located to the south side of the building. With the exception of one handicap-accessible space in the front of the fire station building, there will be no other locations on site that will effectively provide vehicular access for visitors of all levels of mobility.

The proposal includes some enhanced landscaping along the perimeter of the site. The proposed side parking area will be more visible from Dedham Street, but landscaping and improved fencing between residential rear yards and the parking lot should be improved. Current conditions show plant overgrowth and a general lack of landscaping maintenance around the perimeter of the lot. Neighbors on the south side of the lot should be consulted regarding their choices for screening plantings and fencing to ameliorate potential affects from the new station, new parking area, training enclosure, and drafting tank. Neighbors on the west and north sides should be consulted regarding their choices for the Wire Division ancillary building and screening, if Phase II is funded in the future. Out of respect for the residential abutters, new lighting fixtures that are proposed for the perimeter of the fire station property should have shields to direct light onto the fire station property and not neighbors' property.

D. Avoidance of topographic changes; tree and soil removal shall be minimized.

No significant topographic changes or tree and soil removal appear to be proposed. Large, mature tree removal should be avoided if possible. Trees should be added for screening as needed.

Stone retaining walls along the rear southwest corner and west perimeter of the lot are in deteriorated condition, in sections, and could worsen with poor drainage and root intrusion over time. According to the Fire Department an engineering study of the stability of these retaining walls has been conducted. The results of this study should be made available for review. The Fire Department and Public Buildings should work with neighbors whose properties are supported by those walls to ensure that the walls are restored to good working order and do not pose a safety hazard.

E. Consideration of site design including relationship to nearby structures

The fire station is located within a modest post-World War II residential neighborhood. The scale and design of this current public structure is somewhat compatible with the residential structures in this neighborhood. As the massing and angularity of the current building will be reflected in the new building, the design changes proposed will not result in substantial additional effects on the neighborhood.

The Planning Department received conceptual elevations and material specifications, which are subject to change during the design process. Final specifications of materials, colors, and landscaping should be submitted to Planning Department for review prior to issuance of a building permit to ensure compatibility with the surrounding neighborhood.

CONSTRUCTION MANAGEMENT



The contractor should submit a Construction Management Plan (“CMP”) to the Director of Planning and Development, the City Engineer, the City Traffic Engineer, and the Commissioner of Inspectional Services for review and approval before any construction activities related to this project are commenced on the site.

This plan should identify hours of construction, expected length of construction, location of proposed on-site contractor parking, and material storage and staging areas. This plan should also incorporate preferences and input from neighbors. If there are on-site activities during construction, the CMP should identify measures to be used to avoid conflicts between the station’s functions and construction activities. The CMP should also include the telephone

number for the contractor's primary contact person. Copies of the final approved CMP should be submitted to the Mayor and each of the Ward 8 Aldermen.

VII. CONCLUSION AND RECOMMENDATIONS

The Director of Planning and Development has determined that the site plans for alterations at the Newton Fire Station #10 property are consistent with the *Newton Comprehensive Plan* and any other relevant plans/studies, including the site plan review criteria listed in Section 30-23. It appears that the Public Buildings Department and the Fire Department have given serious consideration to finding the best plan to accommodate a new fire station in Oak Hill.

With that in mind, the Planning Department offers the following items for consideration:

- Trash storage should be no less than 25' from the building, and properly enclosed;
- New lighting fixtures located at the perimeter of the property should have shields to focus light onto the fire station property and not neighbors' property;
- A neighborhood council should be organized to obtain input from neighbors, and provide a ready means by which to present possible mitigation for construction noise and parking issues



- New directional signage for the handicap and visitor parking (preferably sited near the entrance to the property), and signage at the training and drafting tank sites are recommended;
- Detailed dimensional and elevation information for the Confinement Enclosure and Drafting Tank are necessary for a complete review of potential effects on the site plan and the neighborhood;
- Traffic mitigation should be a high priority during the construction phase of this project;
- There are currently no bike racks on site. The Fire Department should consider adding at least one. Accommodations should also be considered for protected bicycle storage.

If the Board, Mayor and Fire Department choose to approve these plans, prior to applying for Building Permits the Public Buildings Department should submit:

- 1) Revised plans showing any alterations to the site plan, parking or landscaping to the Planning, Engineering, and Fire Departments.
- 2) Detailed dimensional and elevation information for the Confinement Enclosure and Drafting Tanks.
- 3) An on-site soil evaluation, drainage analysis, and CCTV inspection witnessed by the Engineering Division
- 4) Answers to questions posed in the memo written by John Daghlian to Candace Havens November 13th, 2012
- 5) Final material samples to the Planning Department.
- 6) A construction management plan to the Planning Department and Engineering Division and Ward Aldermen.

CITY OF NEWTON
ENGINEERING DIVISION

MEMORANDUM

To: Candace Havens, Director of Planning (via email)

From: John Daghlian, Associate City Engineer

Re: Administrative Site Plan Review – Newton Fire Station #10 Oak Hill

Date: November 13, 2012

CC: Lou Taverna, P.E., City Engineer (via email)
Linda Finucane, Associate City Clerk (via email)
Eve Tapper, Chief Planner (via email)
Alexandra Ananth, Sr. Planner (via email)

In reference to the above site, I have the following comments for a plan entitled:

*Newton Fire Station #10
"Oak Hall"
Newton, MA
Schematic Design
Dated: 11-2-'12
Prepared By: Polaris Consultants Civil Engineer
Architect: Donham & Sweeney, Inc.*

Executive Summary:

The plan indicates total demolition of the existing fire station #10 in Oak Hill and construction of new a facility with all new utilities, and a future ancillary building for the Wire Division at the rear of the lot. Prior to demolition, all utilities shall be cut & capped at their respective mains and completely removed from the site.

On site stormwater, improvements are planned for the new facilities, which will require on-site soils evaluation for each proposed underground system. Soil testing which shall include a deep test pit and one percolation test within 20-feet of each system is required to identify soil type, any groundwater, or any unsuitable soils. These test shall be completed & witnessed by the Engineering Division prior to any Building Permit being issued and shall be accompanied by a drainage study for review and approval. Based on

this schematic design an overflow connection is proposed, this is only allowed when on site soil conditions are not conducive for retaining 100%, or if ledge is encountered. If an over flow connection is warranted then further investigation of the City drainage system needs to be studied prior to allowing any overflow connection.

A new handicapped parking stall is shown at the front of the building, yet no curb cut or ramp is provided, this needs to be corrected. A construction management plan is needed as well as a Storm Water Operations & Maintenance Plan.

Finally based upon a site visit today there is a gas pump and underground gas tank at the rear of the existing building what is the status of this dispensing system, is it to be updated or abandoned?

Drainage:

1. An on-site soil evaluation needs to be performed to obtain the seasonal high groundwater elevation, percolation rate in accordance to Title V. This information must be submitted with the building permit application. The locations of these tests need to be shown on the site plan. All testing must be witnessed by the Engineering Division. The Engineering Division shall be given 48-hours prior notice as to when the testing will occur.
2. A drainage analysis needs to be performed based on the City of Newton's 100-year storm event of 6.5-inches over a 24-hour period. All runoff from increased impervious areas need to be infiltrated on site.
3. The leaching galley's & flow diffusers details needs to specify the size of the crushed washed stone, thickness of the stone around and beneath the dry wells. The elevation of the bottom of the stone, bottom of the dry well structure, and depth to groundwater table need to be labeled. The dry well detail needs a 3" layer of peastone on top of the system, and then covered over with filter fabric.
4. When a connection to the City's drainage system is proposed, prior to approval of the Building Permit a Closed Circuit Television (CCTV) inspection shall be performed and witnessed by the Engineering Division, the applicant shall retain a contractor that specializes in CCTV inspection. The applicant shall contact the Engineering Division 48 hours in advance to schedule an appointment. At the end of the inspection the video or CD shall be given to the inspector. Furthermore, upon completion of the connection to the drainage system a Post – Construction video inspection shall also take place and witnessed as described above. This is required regardless of the connection point, the intent is to ensure that there are no downstream blockages or damaged pipe so that the contractor of record is not held accountable for preexisting conditions.

5. There is a system labeled OWS what is that?

Sewer:

1. A detail for a forced main is shown, yet nothing on the site plan, what is this for?
2. The 4" HDPE is not acceptable as a service connection to the new building, it shall be 6" SDR 35 PVC to within 10' of the foundation at which time it must be 4" cast iron pipe per Massachusetts Plumbing Code.
3. The service connection for the future Wire's building is not indicated.
4. All new sewer service and/or structures shall be pressure tested or video taped after final installation is complete. Method of final inspection shall be determined solely by the construction inspector from the City Engineering Division. All sewer manholes shall be vacuum tested in accordance to the City's Construction Standards & Specifications. The sewer service will NOT be accepted until one of the two methods stated above is completed. All testing MUST be witnessed by a representative of the Engineering Division. A Certificate of Occupancy will not be recommended until this test is completed and a written report is received by the City Engineer. ***This note must be added to the final approved plans.***
5. All sewer manholes shall be vacuum tested in accordance to the City's Construction Standards & Specifications. The sewer service will NOT be accepted until one of the two methods stated above is completed. All testing MUST be witnessed by a representative of the Engineering Division. A Certificate of Occupancy will not be recommended until this test is completed and a written report is received by the City Engineer.
6. The service connection from the proposed building to the existing sewer manhole will have to be cored by either a hydraulic or an electric coring machine to eliminate groundwater infiltration. Jackhammering a hole for the connection will not be allowed. A rubber boot and hydraulic cement will also be required for the connection.
7. The existing sewer manhole table will have to be modified.
8. The slope for the proposed sewer services needs to be indicated.

9. The existing water & sewer services shall be cut and capped at the main and be completely removed from the site and properly back filled. The Engineering Division must inspect this work; failure to having this work inspected my result in the delay of issuance of the Utility Connection Permit. ***This note must be incorporated onto the site plan.***
10. A detailed profile is needed which shows the existing water main, proposed water service, sewer main and proposed sewer service with the slopes and inverts labeled to ensure that there are no conflicts between the sewer services and the water service. The minimum slope for a service is 2.0%, with a maximum of 10%. In order to verify the slopes and inverts of the proposed service connection, two manholes of the existing sanitary sewer system need to be identified on the plan with rim & invert elevations. The crown of the service connection & the sewer man need to match.
11. Is there a reason why the proposed sewer service is not connected to the sewer manhole within Dedham Street instead of the main?
12. The new sewer service and/or structures shall be pressure tested or videotaped after final installation is complete. Method of final inspection shall be determined solely by the construction inspector from the City Engineering Division. The sewer service will NOT be accepted until one of the two methods stated above is completed.
13. The City does not allow sewer saddles for its connections, this needs to be replaced by a tee wye. Use City of Newton Standard details available on line at the City's website.

Water:

1. The proposed 6" water connection should be an 8" from the main in the street to the rear of the property, otherwise two dedicated service connection will be required one for the domestic and one for the fire suppression system.
2. Where is the service connection for the new Wire's building?

General:

1. Use the City of Newton Construction Standards that are available on line (www.ci.newton.ma.us/gov/dpw/engineering) for the following: trench patching,

- CDF trench back-sill, hydrant setting, driveway apron, tactile warning plate shall be ADA Solutions “*Wet Set*” or Equal in *Federal Yellow* color.
2. All curb cuts (a.k.a. HP ramps) shall be constructed of cement concrete per City’s Standards.
 3. Where does the proposed gas service to the fire station connect?
 4. The City does not specify weld wire mesh is City sidewalks.
 5. No excavation is allowed within any City right-of-way between November 15th and April 15th. If an emergency exists or there are extenuating circumstances, Applicant may seek permission for such work from the City DPW Commissioner via the City Engineer. If permission is granted, special construction standards will be applied. Applicant or Applicant’s representative must contact the City of Newton Engineering Department prior to start of work for clarification. ***This note must be incorporated onto the site plan.***
 6. The contractor needs to notify the Engineering Division 48-hours in advance and schedule an appointment to have the drainage system, water & sewer services inspected. The system & utilities must be fully exposed for the inspector. Once the inspector is satisfied, the system & utilities may then be back-filled. ***This note must be incorporated onto the site plan.***
 7. With the exception of natural gas service(s), all utility trenches with the right of way shall be backfilled with Control Density Fill (CDF) Excavatable Type I-E, detail is available in the city of Newton Construction Standards Detail Book.
 8. The new water and sewer services must be in-place AND accepted by the Engineering Division prior to the issuance of the Certificate of Occupancy.
 9. An approved type of siltation control needs to be incorporated onto the plans, as well as a detail of the proposed system.
 10. As of January 1, 2009, all trench excavation contractors shall comply with Massachusetts General Laws Chapter 82A, Trench Excavation Safety Requirements, to protect the general public from unauthorized access to unattended trenches. Trench Excavation Permit required. This applies to all trenches on public and private property. *This note shall be incorporated onto the plans.*
 11. Approval of this plan by the City of Newton Engineering Division implies that the plan meets the minimal design standards of the City of Newton. However, the Engineering Division makes no representations and assumes no responsibility for the design(s) in terms of suitability for the particular site conditions or of the functionality or performance of any items constructed in accordance with the

design(s). The City of Newton assumes no liabilities for design assumption, error or omissions by the Engineer of Record.

12. Prior to Occupancy permit being issued, an As-Built Plan shall be submitted to the Engineering Division in both digital format and in hard copy. The plan should show all utilities and final grades, any easements and final grading. ***This note must be incorporated onto the site plan.***
13. The applicant will have to apply for a Street Opening & Utilities Connection Permits as well as a sidewalk-crossing permit with the DPW. ***This note must be incorporated onto the site plan.***
14. If a Certificate of Occupancy is requested prior to all site work being completed, the applicant will be required to post a Certified Bank Check in the amount to cover the remaining work. The City Engineer shall determine the value of the uncompleted work.
15. The driveway aprons need curb cuts that conform to the Massachusetts Architectural Access Board's (AAB) 1996 or most current Regulations & Standards, and the City's Standard of being a cement concrete apron.
16. All cement concrete shall be 4,000 psi, 7% air –entrained, and must have 2 pounds of emulsified Lamp Black per cubic yard.
17. The contractor of record will have to apply for Street Opening, Sidewalk Crossing, and Utilities connecting permits with the Department of Public Works prior to any construction.

If you have any questions or concerns please feel free to contact me @ 617-796-1023

#311-10(A2)



City of Newton, Massachusetts
Office of the Mayor

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swarren@newtonma.gov

SETTI D. WARREN
MAYOR

RECEIVED
Newton City Clerk
2012 NOV 13 PM 5:12
DAVID A. OLSON, CMC
Newton, MA 02459

November 13, 2012

Honorable Board of Aldermen
Newton City Hall
1000 Commonwealth Avenue
Newton Centre, MA 02459

Ladies and Gentlemen:

I write to request that your Honorable Board amend *Docket #311-10(A) HIS HONOR THE MAYOR requesting an appropriation in the amount of three million three hundred thirty-five thousand dollars (\$3,035,000) from bonded indebtedness for the purpose of funding the FY 2011 Capital Improvement Plan projects as follows: [11/29/ 10 @ 3:23 PM] Architectural Design and Engineering/ Next Scheduled Fire Station \$400,000 A-2 - HELD 6-0 \$270,000 for final design bidding and construction admin on 12/08/10* by replacing the sum of \$270,000 with \$323,857 and authorize the appropriation of this funding to complete the design for Fire Station 10.

Per the request from the Commissioner of Public Buildings the feasibility study recommended that the Wires Division be relocated to the Fire Station 10 site. Therefore, in order to design the Station 10 site appropriately and obtain site plan approval for the entire future site, \$38,435 of the original \$130,000 has been used for schematic design and site plan approval drawings for Fire Station 10 and the future Wires Building. The additional \$15,422 will be set aside for design services contingency.

Thank you for your consideration of this matter.

Sincerely,

Setti D. Warren
Mayor

1000 Commonwealth Avenue Newton, Massachusetts 02459

www.newtonma.gov



DEDICATED TO COMMUNITY EXCELLENCE

City of Newton



PUBLIC BUILDINGS DEPARTMENT

Stephanie Kane Gilman, Commissioner

Telephone (617) 796-1600

FAX (617) 796-1601

TTY: (617) 796-1089

52 ELLIOT STREET

NEWTON HIGHLANDS, MA 02461-1605

Setti D. Warren
Mayor

13 November, 2012

The Honorable Setti D. Warren
Mayor
City of Newton
1000 Commonwealth Avenue
Newton Centre, MA 02459

RE: Fire Station 10

SUBJECT: Balance of Design Funds Request

Dear Mayor Warren:

The Public Buildings Department respectfully requests \$ 323,857 from bonded indebtedness to complete the design for Fire Station 10. This funding request will fund the designer services through Construction Administration for Station 10, the Temporary Facilities required during construction and includes:

Architectural and Engineering Services	\$438,435
Design Services Contingency (5%)	\$15,422
Previously Approved	(\$130,000)
Net Request:	\$323,857

The previously approved \$130,000 funded the Feasibility Study for Stations 3, 10, the Wires Division, and Fire Department Headquarters. The Feasibility Study recommended that the future Wires Division be relocated to the Fire Station 10 site thereby allowing the future needs for Station 3 and Headquarters to be addressed on their existing sites.

With this in mind, the previously approved funding has been used for schematic design and site plan approval drawings for Fire Station 10 and the future Wires Building.

Please do not hesitate to contact me should you have any questions regarding the request for design funds.

Sincerely,

Stephanie Kane Gilman,
Commissioner of Public Buildings

SKG: amv
CC: Robert Rooney, Chief Operating Officer
Maureen Lemieux, Chief Financial Officer
Chief Proia, Fire Department

NEW FIRE STATION #10 DESIGN & CONSTRUCTION & SCHEMATIC DESIGN FOR WIRES DIVISION PROJECT BUDGET**Estimated Project Cost Based on
Schematic Design (10/18/2012)**

CONSTRUCTION CLERK OF WORKS	\$	112,000	
CONSULTANTS	\$	15,000	
ARCHITECTURAL SERVICES	\$	438,435	*
BUILDING SYSTEMS COMMISSIONING	\$	15,000	
GENERAL CONSTRUCTION	\$	3,077,550	**
TEMPORARY HOUSING FOR FIRE FIGHTERS/EQUIPMENT	\$	300,000	
MOVING	\$	30,000	
FURNITURE, FIXTURES & EQUIPMENT	\$	100,000	
PROJECT CONTINGENCY @ 5%	\$	204,399	***
TOTAL	\$	4,292,384	

* FIRE STATION #10 PROJECT FEES PLUS COST OF FEASIBILITY STUDY

** \$2,931,000 CONSTRUCTION COST + (5% DESIGN CONTINGENCY)

*** \$4,087,636 PROJECT COSTS + (5% CONTINGENCY)



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Office of the Mayor

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SETTI D. WARREN
MAYOR

November 13, 2012

Honorable Board of Aldermen
Newton City Hall
1000 Commonwealth Avenue
Newton Centre, MA 02459

RECEIVED
Newton City Clerk
2012 NOV 13 PM 5:12
David A. Olson, CMC
Newton, MA 02459

Ladies and Gentlemen:

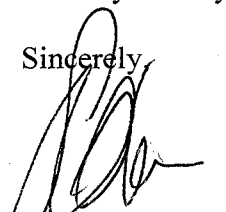
I write to request that your Honorable Board transfer the sum of \$121,063 from the Storm Water Management Fund Surplus for the Sediment Removal and Maintenance of City Hall Ponds. Funds in the amount of \$322,887 were encumbered in last year's storm water operating budget. This project was recently bid out, and prices came back somewhat higher than anticipated.

The goals of this project include: restoring the hydraulic capacity, mitigating storm drainage impacts, and improving the recreational aesthetics of the historic City Hall Ponds. These improvements are intended to be accomplished by performing maintenance sediment removal from the pond, as well as portions of the Hammond Brook and Cold Springs Brook culverts, which convey flow to the ponds. A total of about 3,800 CY of sediment is estimated to be removed from the City Hall Ponds and upgradient culverts. Extensive testing of the sediment material was completed to fully characterize the material and to evaluate the most cost-effective means for disposal of the material. Although this material is not free of contaminants, it is suitable for re-use as daily cover or grading material at MA DEP approved landfills.

As you may know, approximately 1,700 acres of land drain to the City Hall Ponds including the land occupied by the main library parking lot and a portion of Homer Street. These areas are subject to occasional flooding and are mapped as such by the Federal Emergency Management Agency. The ponds have not been dredged since 1992 and the consequences of not dredging the City Hall Ponds could exacerbate flooding in the immediate vicinity, increase sediment loading downstream and allow for the proliferation of invasive plant species.

Thank you for your consideration of this matter.

Sincerely,


Setti D. Warren
Mayor

1000 Commonwealth Avenue Newton, Massachusetts 02459

www.newtonma.gov



DEDICATED TO COMMUNITY EXCELLENCE