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**APPLICATION FOR SPECIAL PERMIT**  
**For a**  
**MARIJUANA RETAILER**

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**UNION TWIST, INC.**  
**630 Worcester Road**  
**Framingham, MA 01702**

**c/o Michael P. Ross, Esq.**  
**Prince Lobel Tye LLP**  
**One International Place, Suite 3700**  
**Boston, MA 02110**

**Applicant**

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**Property Location:**

**1158 Beacon Street**  
**Newton, MA 02461**

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**Prepared by: Michael P. Ross, Esq.**  
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**One International Place, Suite 3700**  
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December 23, 2019

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### SPECIAL PERMIT APPLICATION

#### TO THE NEWTON CITY COUNCIL

The undersigned hereby makes application for permit to erect and use, to alter and use, or to make such uses as may be hereinafter specified of a building or buildings at the location and for the purpose hereinafter specified under the provisions of Chapter 30 of the Revised Ordinances, 2015, as amended, or any other sections

#### PLEASE REFERENCE SECTIONS OF THE ORDINANCES FROM WHICH RELIEF IS REQUESTED:

Section 7.3.3 (grant of a special permit); Sections 6.10.3.D & 4.4.1 (to allow a Marijuana Retailer); Sections 5.1.10 & 5.1.13 (to waive lighting requirements)

Sections 5.1.8.D.1 & 5.1.13 (to waive the minimum driveway width for two-way traffic); Sections 5.1.9.A & 5.1.13 (to waive perimeter screening requirements)

- PETITION FOR:
- Special Permit/Site Plan Approval
  - Extension of Non-conforming Use and/or Structure
  - Site Plan Approval

STREET 1158 Beacon Street WARD 6

SECTION(S) 54 BLOCK(S) 022 LOT(S) 0049A

APPROXIMATE SQUARE FOOTAGE (of property) 20,443 sf ZONED BU2

TO BE USED FOR: The Applicant proposes to use 2,290 SF of interior space for a Marijuana Retailer, remove the rear portion of the structure to allow for improved access and use of parking area, and increase the number of parking spaces.

CONSTRUCTION: See plans submitted herewith.

EXPLANATORY REMARKS: The Petitioner requests a special permit for the operation of a Marijuana Retailer pursuant to Sections 6.10.3.D and 4.4.1. The following waivers are sought, to the extent necessary, pursuant to Section 5.1.13: (i) lighting requirements (Section 5.1.10); (ii) minimum driveway width for two way traffic (Section 5.1.8.D.1); and (iii) perimeter screening requirements along the southern and western property lines (Section 5.1.9.A).

The undersigned agree to comply with the requirements of the Zoning Ordinance and rules of the Land Use Committee of the City Council in connection with this application.

PETITIONER (PRINT) Union Twist, Inc.

SIGNATURE *Sahira Rehnatullah*

ADDRESS 630 Worcester Road, Framingham, MA 01702

TELEPHONE Counsel: 617-456-8149 Email Counsel: mross@princelobel.com

ATTORNEY Michael P. Ross

ADDRESS 1 International Place, #3700, Boston, MA 02110

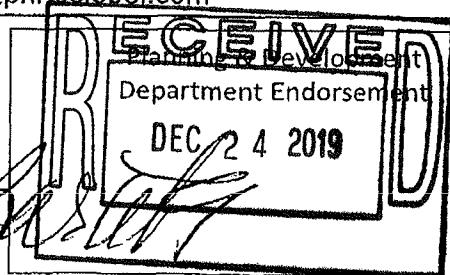
TELEPHONE 617-456-8149 Email mross@princelobel.com

PROPERTY OWNER Gerald A. Baratz & Barbara H. Baratz

ADDRESS 90 Langley Road, Newton Centre, MA 02459

TELEPHONE 617-951-1400 Email bfogel@keeganwerlin.com

SIGNATURE OF OWNER *Barbara H. Baratz*



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December 23, 2019

Via Hand Delivery

Newton City Council  
Land Use Committee  
City of Newton  
1000 Commonwealth Avenue  
Newton, MA 02459

Re:	Special Permit Application
Property Address:	1158 Beacon Street, Newton
Applicant:	Union Twist Inc.

Dear Honorable Chair and Members of the Land Use Committee:

This firm represents Union Twist Inc. ("Union Twist" or the "Applicant") in connection with its application for a Special Permit (the "Special Permit") from the City of Newton (the "City") to permit the operation of its proposed Marijuana Retailer (the "Marijuana Retailer") at 1158 Beacon Street, Newton, MA 02461 (the "Property"). The Property is located in the BU2 zoning district and pursuant to Section 6.10.3 and Section 4.4, of the Newton Zoning Ordinance (the "Ordinance") the use of the property for a Marijuana Retailer is a restricted use, subject to the execution of a HCA with the City, Zoning Review by the Planning and Development Department and Special Permit approval from the City Council. The Host Community Agreement Advisory Group issued its recommendation to the Mayor to move forward with the execution of a HCA on August 30, 2019, a copy of which is attached hereto and incorporated herewith. The HCA is currently being negotiated between the Applicant and the City. The Department of Planning and Development provided its Zoning Review Memorandum on December 2, 2019, a copy of which is attached hereto and incorporated herewith. Please accept this supporting statement and the accompanying attachments as the Applicant's Special Permit Application pursuant to Section 6.10.3(F) and Section 7.3.

**I. Background**

Union Twist, Inc. is committed to providing high-quality adult use cannabis to customers in Massachusetts in a secure, compliant, and wellness-oriented setting. Founded by a consortium of local civic, law enforcement, and retail leaders, Union Twist believes that its success as a Retail Marijuana Establishment will be a direct reflection of its relationship to the surrounding community. Union Twist seeks to serve as leaders in the cannabis industry through excellence in operational protocol, security, compliance, and customer experience.

Union Twist is committed to: (a) Providing customers with access to the highest and best quality of marijuana and marijuana products; (b) Developing best-in-class operational protocol to ensure the safety of our customers, staff, and the surrounding community; (c) Ensuring an outstanding customer experience; (d) Taking measurable, actionable steps to positively impact communities and regions that have been disproportionately harmed by the war on drugs; (e) Leading by example with thoughtful and inclusive hiring, workforce

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development, and employee retention programs; and (f) empowering the next generation of entrepreneurs.

**II. Executive Team**

**Tahira Rehmatullah**

Tahira is President of T3 Ventures, a consulting and advisory firm focused on the cannabis industry. Previously, Tahira was Chief Financial Officer of MTech Acquisition Corp, the first US-listed Special Purpose Acquisition Company, Managing Director of Hypur Ventures, a venture capital fund, General Manager of Marley Natural, the official Bob Marley cannabis brand, and investment associate at Privateer Holdings.

Tahira earned a Master of Business Administration at Yale School of Management and a BSBA from the Ohio State University Fisher College of Business.

**Marie St. Fleur**

*Passionate about: "Removing systemic barriers that prevent upward mobility; particularly for women."*

Marie has been a lawyer, legislator, policy maker and motivational speaker and has launched strategic partnerships that create transformative change in people's lives especially, women and children living in underserved communities. She has created on the ground outreach and engagement approaches: spearheaded the establishment of the Massachusetts Department of Early Education and Care; launched the Put MA Kids First Coalition, a multi-year campaign to increase state investment in Early Education and Care and out of School Time in Massachusetts; and created the Early Education Small Business Innovation Center in Boston.

She served as a Massachusetts State Representative, a Cabinet Chief for the late Boston Mayor Thomas M. Menino, an Assistant State Attorney General, Chair of the Advisory Council for the Haiti Fund at the Boston Foundation, and President and CEO of a non-profit. She has used her talents to support women who represent over 50% of the American workforce, small business which represent 98% of all employers in the United States, and children from birth to 8, who represent 100% of the future skilled workforce, build their pathway to success. As a former state legislator, she also has an insightful understanding of state and local funding streams, strategically blending and leveraging resources and advocacy for new investments.

**Amy McNamee**

Amy McNamee is a Massachusetts native who grew up in Milton and has resided in the City of Boston since 1983. She is a trial attorney who has practiced law in the Commonwealth of Massachusetts for twenty plus years. Before law school, she was employed at Scudder Stevens and Clark Investment Firm where she worked with Private Investment Counsel and Mutual Fund Portfolio Management.

Amy worked as an Assistant District Attorney in Suffolk County 1998 -2010. She was assigned to the West Roxbury District Court, The Boston Municipal Court and Suffolk Superior Court where she spent the majority of her career as a prosecutor. She was assigned to Suffolk County District Attorney's Gang Unit and Senior Trial Team where she investigated unsolved gang related crimes in the Grand Jury with the Boston Police Department, was a member of the District Attorney's Homicide Response Team, carried pagers for several Boston Police Districts including the Departments Youth Violence Strike Force, where she responded to serious district crime scenes, reviewed and advised on search warrants and prosecuted Gang related cases in the districts where she was assigned in Suffolk Superior Court.

After leaving the District Attorney's Office in 2010, she started her own practice of law practice and worked with a law firm where she represented clients in all most every county in the Commonwealth. Most of her practice focused on criminal defense though she also represented clients in Probate cases, Civil and Housing matters, Clerks Hearings, Restraining Orders, City and State Hearings with Fair Housing and The Massachusetts Commission Against Discrimination.

Amy graduated from Harvard University and Suffolk Law School. She is a mother of four sons and lives in the City of Boston. She is an advocate for holistic health and healing as an alternative to traditional medicine. This interest coupled with her experience and background in law enforcement and community work is what sparked her interest in the cannabis industry.

**Daniel Linskey – Security Consultant**

Daniel is a Managing Director in Kroll's Investigations and Disputes practice, and is head of the Boston office. As the former Superintendent-in-Chief of the Boston Police Department and a 27-year veteran of the force, Dan provided strong leadership through some of the most tragic and contentious events in the city's history, including the Boston Marathon bombings and the Occupy Movement. Dan serves clients in diverse industries with uncommon experience in investigations, crisis response, and risk management, as well as personal, physical, and operational security strategies. Widely respected for his knowledge of the complexities inherent in law enforcement and homeland security, Dan has also consulted with numerous national and international government agencies on a broad range of challenges, including large-scale event management, crisis leadership, and preparedness and community engagement strategies.



### III. Project Description

The Applicant has identified 1158 Beacon Street, an approximate 20,433 square foot lot, as an ideal location in which to establish its Marijuana Retailer. The Property is located in the BU2 zoning district and pursuant to Section 4.4 of the Ordinance, the use of the property for a Marijuana Retailer is a permitted, subject to the execution of a HCA with the City, Zoning Review by the Planning and Development Department and Special Permit approval from the City Council.

The Property currently contains a partially occupied building (the "**Building**") and the Applicant proposes to lease, renovate and convert approximately 2,290 square feet of space previously operated as a dry cleaner for its use as a Marijuana Retailer. The Building is an existing one-story structure wherein approximately 400 square feet will be removed from the rear, in order to allow for additional parking, resulting in a Building that is approximately 4,898 square feet. The Applicant will make necessary improvements to the Building, including state-of-the-art security systems and high-quality amenities and finishes.

More specifically, the Applicant will be utilizing this space for its retail area, storage, fulfillment areas, employee locker rooms and break rooms, a secure loading area and other ancillary uses. The Marijuana Retailer will also include 18 on-site parking stalls. The remainder of the building will continue to be occupied by the current take-out restaurant tenant.

The Property is part of an established commercial district running along Beacon Street towards the intersection of Beacon Street and Walnut Street, easily accessible by car and strategically situated to serve Newton Centre, Newton Highlands, and other nearby Villages. The site will include a large illuminated and monitored parking lot allowing for safe passage for customers to and from the store. Due to the size of the facility, the Applicant is able to take advantage of ample square footage which it will utilize for providing an expansive sales floor area, comprehensive security systems, secure loading and storage areas, limited access areas, and ample spaces for business uses ancillary to the Marijuana Retailer (offices and vault areas). Furthermore, the Property is located on a heavily trafficked commercial and business corridor in Newton specifically targeted for a Marijuana Retail use.

The Property will be made safe and secure through reinforced construction materials and technology, cameras and remote monitoring, and on-site security personnel. The project will include various security and safety equipment and technology, including but not limited to secure access control areas, customer entrance protocols, and redundant security alarms and controls. In addition, all personnel will be trained extensively and the operation will fully comply with Massachusetts regulations and guidelines.

Please also see the engineering and architectural plans attached hereto and incorporated herein by reference (the "**Plans**") for additional project details.

**IV. Special Permit Criteria**

The Applicant respectfully submits that it has satisfied the criteria for obtaining a Special Permit from the City Council set forth in the Process and the Ordinance as follows:

**Section 6.10.3 Registered Marijuana Use**

**A. Purpose.** The purpose of this Sec. 6.10.3 is to provide for the limited establishment of Registered Marijuana Dispensaries ("RMDs") and adult use Marijuana Establishments within the City as they are authorized pursuant to state regulations set forth in 105 CMR 725.000 and 935 CMR 500.000. Since RMDs and Marijuana Establishments are strictly regulated by the Massachusetts Department of Public Health and the Cannabis Control Commission, the intent of this Sec. 6.10.3 is to permit RMDs and Marijuana Establishments where there is access to regional roadways and public transportation, where they may be readily monitored by law enforcement for health and public safety purposes, and where they will not adversely impact the character of residential neighborhoods and business districts.

The Applicant respectfully submits that its proposal satisfies the purpose and intent of Section 6.10.3 of the Ordinance as it is proposing to site a Marijuana Retailer within the BU2 zoning district. The BU2 Zoning district has been deemed an appropriate location for Marijuana Retailers, subject to the granting of a Host Community Agreement from the Mayor's Office and a Special Permit from the City Council.

The Applicant respectfully submits that the Property is ideally situated for a Marijuana Retailer. The Property has adequate access to Beacon Street a regional roadway. The Property is located near Newton Centre Route 16 provide further direct access to Interstate Highway 90 providing additional access across the Commonwealth. Additionally, the Property has ample access to public transportation options, including the MBTA 59 bus line, which stops at Walnut Street and Beacon Street, a five-minute walk from the Marijuana retailer, and the Newton Highlands MBTA Green Line stop is approximately a fifteen-minute walk from the Marijuana Retailer.

Pursuant to the Applicant's proposed security plan, attached hereto and incorporated herewith, the Applicant respectfully submits that its Marijuana Retailer's security plan and procedures will be put in place by Kroll Inc., an international security firm, and its managing director of their Boston Office, Daniel Linskey, a 27-year veteran of the Boston Police Department and former Superintendent-in-Chief of the Boston Police Department. The Applicant will provide direct video feed access to its video surveillance system and will work with local law enforcement and the Cannabis Control Commission to ensure its video cameras are properly positioned within the Marijuana Retailer.

The Property is also ideally located in that it will not adversely impact the character of the neighborhood. The Property located in a commercial business corridor and neighbors' multiple businesses including the takeout restaurant occupying a portion of the building, Dunkin Donuts, and Manow Thai Kitchen, Edible Arrangements, Ravioli's restaurant and less than 1 mile from Newton

Centre. Furthermore, across the street from the Property is Newton Cemetery and to the rear of the Property is Cold Spring Park. Improvements to the Property will include a security fence along the side of the Property nearer to Cold Spring Park.

Additionally, the Applicant respectfully submits that upon receipt of its HCA, it shall immediately seek to make application to the Cannabis Control Commission for a license as a Marijuana Retailer, pursuant to 935 CMR 500.000.

**B. Definitions.**

The Applicant respectfully submits that it is proposing to site a Marijuana Retailer, or an entity licensed to purchase and transport cannabis or marijuana product from Marijuana Establishments and to sell or otherwise transfer this product to Marijuana Establishments and to consumers at the Property.

**C. Marijuana uses not Allowed As-of-Right. Marijuana uses are not included within the definition of retail sales or services, agriculture, manufacturing, research, or any other lawful business permitted as of right or by special permit as provided in this Chapter.**

Pursuant to this application the Applicant respectfully submits that it is in compliance with this requirement.

**D. Marijuana uses allowed by special permit. Use of land, buildings or structures for an RMD or Marijuana Establishment shall be allowed only by special permit in the districts specified in Sec. 4.4.1 subject to the requirements and criteria of this Sec. 6.10.3.**

Pursuant to this application the Applicant respectfully submits that it is in compliance with this requirement.

**E. Minimum criteria and limitations on approval**

- I. An RMD shall not be located within a radius of 500 feet from a school, daycare center, preschool or afterschool facility or any facility in which minors commonly congregate, and a Marijuana Retailer shall not be located within a radius of 500 feet from an existing public or private k-12 school, unless the City Council finds that the RMD or Marijuana Retailer is sufficiently buffered such that these facilities or uses will not be adversely impacted by the RMD or Marijuana Retailer's operation. Such distance shall be measured in a straight line from the nearest property line of the proposed RMD or Marijuana Retailer to the nearest property line of the facility.**

The Property is not located within a radius of 500 feet from an existing public or private K-12 school. Please see the radius map included with the Plans and incorporated herein.

2. **An RMD or Marijuana Establishment shall be properly registered with the Massachusetts Department of Public Health or Cannabis Control Commission pursuant to 105 CMR 725.100 or 935 CMR 500.100 and shall comply with all applicable state and local public health regulations, public safety code regulations and all other applicable state and local laws, ordinances, rules and regulations. No building permit or certificate of occupancy shall be issued for an RMD or Marijuana Establishment that is not properly registered with the Massachusetts Department of Public Health or Cannabis Control Commission. The RMD or Marijuana Establishment shall file copies of its initial certificate of registration and each annual renewal certificate with the clerk of the City Council within one week of issuance and shall immediately notify said clerk if its registration is not renewed or is revoked. The RMD or Marijuana Establishment shall provide the Newton Police Department with the names and contact information for all management staff and shall immediately notify the police department of any changes.**

The Applicant hereby submits that it shall diligently pursue registration from the Cannabis Control Commission pursuant to 935 CMR 500.000 *et. seq.* and shall comply with all applicable state and local public health regulations, public safety code regulations and all other applicable state and local laws, ordinances, rules and regulations. The Applicant further pledges to file copies of its initial certificate of registration and each annual renewal certificate with the clerk of the City Council within one week of issuance and shall immediately notify said clerk if its registration is not renewed or is revoked. The Applicant shall provide the Newton Police Department with the names and contact information for all management staff and shall notify the police department of any changes.

3. **A special permit granted by the City Council authorizing the establishment of an RMD or Marijuana Establishment shall be valid only for the registered entity to which the special permit was issued, and only for the lot on which the RMD or Marijuana Establishment has been authorized by the special permit. If the registration for the RMD or Marijuana Establishment is revoked, transferred to another controlling entity, or relocated to a different site, a new special permit shall be required prior to the issuance of a certificate of occupancy.**

The Applicant hereby submits that it shall maintain the registered entity for which the special permit is issued on the Property.

4. **An RMD or Marijuana Establishment shall be located only in a permanent building and not within any mobile facility. All sales shall be conducted either within the building or by home delivery to qualified clients pursuant to applicable state regulations.**

The Applicant hereby submits that the Marijuana Retailer will be located within a restored and renovated freestanding permanent building and all sales shall be conducted either within the building or by home delivery to qualified customers pursuant to applicable state regulations.

- 5. An RMD or Marijuana Establishment shall be subject to the number of parking stalls required in Sec. 5.1 unless a lesser or greater number of stalls is required by the City Council based on the transportation analysis provided by the applicant. An RMD or Marijuana Retailer shall comply with the parking requirements for Retail uses; a Marijuana Cultivator, Craft Marijuana Cooperative, Marijuana Microbusiness, or Marijuana Product Manufacturer shall comply with the parking requirements for Manufacturing; and a Marijuana Research Facility or Independent Testing Laboratory shall comply with the parking requirements for Research, Laboratory.**

Pursuant to the Plans, the Applicant respectfully submits that it is in compliance with this requirement. The Applicant is proposing to include 18 parking spaces on site, exceeding the required number of parking stalls pursuant to Section 5.1 of the Ordinance. Pursuant to Section 5.1.4, and as determined in the Zoning Review Memorandum, retail uses are required to have one (1) parking stall per every three (3) employees at the highest shift plus one (1) parking stall per three hundred (300) square feet of retail space. The Marijuana Retailer is proposed to be 2,290 square feet and combined with the proposed 10 employees, the Ordinance therefore requires 12 parking spaces, plus an additional two (2) parking spaces for the takeout restaurant, bringing the total required spaces to 14 spaces, or four (4) fewer than the allotted 18 parking spaces.

- 6. All signage shall conform to the requirements of 105 CMR 725.105(L) and 935 CMR 500.105(4) and to the requirements of Sec. 5.2. No graphics, symbols or images of marijuana or related paraphernalia shall be displayed or clearly visible from the exterior of an RMD or Marijuana Establishment. The City Council may impose additional restrictions on signage to mitigate impact on the immediate neighborhood.**

The Applicant hereby submits that it will comply with this requirement. All signage at the Marijuana Retailer be subject to review and approval by the Cannabis Control Commission and shall conform to 935 CMR 501.105(12), 935 CMR 500.105(4) and Section 5.2 of the Ordinance. No graphics, symbols or images of marijuana or related paraphernalia will be displayed or clearly visible from the exterior of the Marijuana Retailer.

- 7. The RMD or Marijuana Retailer's hours of operation shall not adversely impact nearby uses. The hours of operation shall be set by the City Council as a condition of the Special Permit, but in no case shall the Marijuana Retailer open before 9:00 a.m. or remain open after 9:00 p.m.**

The Applicant hereby submits that it shall comply with this requirement.

- 8. The number of Marijuana Retailers shall not exceed 20 percent of the number of liquor licenses issued in the City pursuant to G.L. c.138 § 15 (commonly known as “package stores”).**

The Applicant respectfully submits that to the best of its knowledge and belief, there is currently only one (1) licensed Marijuana Retailer in the City. Accordingly, should it receive a license, the Applicant shall not violate this requirement.

- 9. No RMD or Marijuana Retailer shall be located within a radius of one half-mile of an existing or approved RMD or Marijuana Retailer. Such distance shall be measured in a straight line from the nearest property line of the proposed RMD or Marijuana Retailer to the nearest property line of the existing RMD or Marijuana Retailer. The co-location of a RMD and Marijuana Retailer on the same site shall not be subject to this buffer requirement.**

The Applicant hereby submits that the Marijuana Retailer will not be located within a radius of one half-mile of an existing or approved RMD or Marijuana Retailer. Please see the attached Proximity Map as prepared by Hayes Engineering.

- 10. No RMD or Marijuana Establishment shall be located within a building containing a residential use.**

The Applicant hereby submits that the building currently located on the Property that will host the proposed Marijuana Retailer is a standalone building. The Applicant’s proposed Marijuana Retailer and the existing take-out restaurant are the only uses in the Building and as such the building will not contain any residential uses.

- 11. No RMD or Marijuana Retailer or co-located facility shall exceed 5,000 square feet of floor area.**

The Applicant hereby submits that it is in compliance with this requirement as the proposed Marijuana Retailer is approximately 2,290 square feet of floor area.

- 12. All RMDs and Marijuana Establishments shall submit a state approved security plan to the Newton Police Department for review and approval.**

The Applicant respectfully submits that it has submitted a preliminary security plan along with this submittal and also pledges to submit a state approved security plan to the Newton Police Department for review and approval.

- 13. All RMDs and Marijuana Establishments shall submit a state approved emergency response plan to the Newton Police Department and Newton Fire Department for review and approval.**

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The Applicant will provide the Newton Police Department and Newton Fire Department copies of its emergency response plan.

- 14. All RMDs and Marijuana Establishments shall submit a state approved Operation and Management Plan to the Inspectional Services Department and the Department of Planning and Development for review and approval.**

The Applicant shall submit its state approved plans as required in the Management and Operations Profile application to the Inspectional Services Department and the Department of Planning and Development for review and approval.

- 15. An RMD or Marijuana Retailer located at the ground level shall provide at least 25 percent transparency along building's front façade at ground level and existing buildings shall not be modified to reduce the transparency of the front façade at the ground level to below 25 percent, unless the City Council finds impacts to security and aesthetics have been appropriately mitigated.**

Please see the attached Plans for further details on the Applicant's proposal.

- 16. Any marijuana cultivation shall offset 100 percent of energy used for cultivation through renewable energy, either by any combination of purchasing Renewable Energy Certificates through the State, generating renewable energy onsite, and/or through Newton Power Choice, if available.**

The Application respectfully submits that this requirement is not applicable, this application is for a Marijuana Retailer.

- 17. The RMD or Marijuana Establishment shall be ventilated in such a manner that no:**
- a. Pesticides, insecticides, or other chemicals or products in cultivation or processing are dispersed into the outside atmosphere; or**
  - b. Odor from marijuana may be detected by a person with a normal sense of smell at the exterior of the building or at any adjoining use or property.**

The Applicant hereby submits that it will use industry best practices to ventilate its proposed Marijuana Retailer and shall comply with the aforementioned requirements to the extent reasonably practicable. Furthermore, this application is for a Marijuana Retailer, not a cultivator, and as such will not include the active use of any pesticides, insecticides, or other chemicals or products relating to cultivation.

- 18. A Marijuana Research Facility may not sell marijuana cultivated under its research license.**

The Application respectfully submits that this requirement is not applicable, this application is for a Marijuana Retailer.

- 19. Marijuana Retailers are prohibited from delivering cannabis or marijuana products to consumers; and from offering cannabis or marijuana products for the purposes of onsite social consumption on the premises of a Marijuana Establishment.**

The Applicant hereby submits that it shall comply with all rules and regulations enacted by the City of Newton regarding delivery and consumption of cannabis.

#### **F. Special Permit Application and Procedure**

- 1. Description of Activities: A narrative providing information about the type and scale of all activities that will take place on the proposed site, including but not limited to cultivating and processing of marijuana or marijuana infused products (MIP's), research, testing, on-site sales, off-site deliveries, distribution of educational materials, and other programs or activities.**

The Applicant respectfully submits that this Application provides the materials necessary for the Land Use Committee to conduct a thorough and comprehensive review of this proposal. To the extent additional information is required, the Applicant shall provide such additional information.

- 2. RMD Service Area: Applications for an RMD shall include a map and narrative describing the area proposed to be served by the RMD and the anticipated number of clients that will be served within that area. This description shall indicate where any other RMD's exist or have been proposed within the expected service area.**

N/A, this application is associated with a Marijuana Retailer, not an RMD.

- 3. RMD and Marijuana Retailer Transportation Analysis: An application for an RMD or Marijuana Retailer shall include a quantitative analysis, prepared by a qualified transportation specialist acceptable to the Director of Planning and Development and the Director of Transportation, analyzing the proposed new vehicular trips, the expected modes of transportation used by clients and employees, and the frequency and scale of deliveries to and from the site. An RMD or Marijuana Retailer that does not provide the number of parking stalls required per this Sec. 6.10.E.6. shall also provide a parking study.**

The Applicant hereby submits its Transportation Letter as prepared by Fuss & O'Neil, a copy of which is attached hereto and incorporated herewith.

- 4. Lighting Analysis: A lighting plan showing the location of proposed lights on the building and the lot and a photometric plan showing the lighting levels.**



The Applicant hereby submits its Site Lighting Photometric Plan as prepared by Fuss & O'Neill, a copy of which is attached hereto and incorporated herewith.

- 5. Context Map: A map depicting all properties and land uses within a minimum 1,000-foot radius of the proposed lot, whether such uses are located in the City or within surrounding communities, including but not limited to all educational uses, daycare, preschool and afterschool programs. The context map shall include the measured distance to all uses described in paragraph D.1 above.**

The Applicant hereby submits a Context Map as prepared by Fuss & O'Neill and notes that Livius Tutoring is located at 858 Walnut Street.

- 6. Registration Materials: Copies of registration materials issued by the Massachusetts Department of Public Health or Cannabis Control Commission and any materials submitted to that Department for the purpose of seeking registration, to confirm that all information provided to the City Council is consistent with that provided to the Massachusetts Department of Public Health or Cannabis Control Commission.**

The Applicant hereby submits that it shall provide copies of all required registration materials upon submission to the Cannabis Control Commission.

**G. Special Permit Criteria**

**I. Criteria for all marijuana uses:**

- a. The lot is designed such that it provides convenient, safe and secure access and egress for clients and employees arriving to and leaving from the lot, whether driving, bicycling, walking or using public transportation.**

The Property is located in the BU2 district, which is one of the limited areas that the City of Newton has permitted the use of property as a Marijuana Retailer, subject to the granting of a Special Permit from the City Council. The Property has adequate access to Beacon Street. Additionally, the Property has ample access to public transportation options, including the MBTA 59 bus line which stops at Walnut Street and Beacon Street a five-minute walk to the Marijuana Retailer and the MBTA Newton Highlands Train Stop, approximately a fifteen-minute walk from the Marijuana Retailer.

The Applicant respectfully submits that the Property as it is currently designed provides convenient, safe and secure access and egress for clients and employees arriving to and leaving from the Property by multiple means of transportation.

- b. Loading, refuse and service areas are designed to be secure and shielded from abutting uses.**

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The Applicant shall be conducting an interior fit-up of the existing building located on the Property. It shall design loading, refuse and services areas in compliance with state regulations subject to review and approval by the Cannabis Control Commission.

**c. The RMD or Marijuana Establishment is designed to minimize any adverse impacts on abutters.**

The Applicant and its team has deep experience in the cannabis industry and has designed a number of cannabis establishments, all with the goal of minimizing impacts on abutters. The Applicant has spent a significant amount of time searching for appropriate locations for its Marijuana Retailer, and chose this location because of its business character and significant distance from sensitive uses. The Property is ideally located in that it will not adversely impact the character of the neighborhood. The Property is bounded to the north by the Newton Cemetery and the South and West by the Cold Spring Park and the East by numerous other commercial businesses. Accordingly, the Applicant respectfully submits that any adverse impacts on abutters shall be de minimus.

**d. The RMD or Marijuana Establishment has satisfied all of the conditions and requirements in this section.**

The Applicant respectfully submits that it will comply with all of the conditions and requirements in this Section G.

**2. Additional criteria for RMDs and Marijuana Retailers:**

**a. The lot location complies with Sec. 6.10.3.E.1, or the lot is located at a lesser distance if the City Council finds that the lot is sufficiently buffered such that these facilities or uses will not be adversely impacted by the RMD or Marijuana Retailer's operation.**

The Property is not located within a radius of 500 feet from an existing public or private K-12 school.

**b. Traffic generated by client trips, employee trips, and deliveries to and from the RMD or Marijuana Retailer shall not create a significant adverse impact on nearby uses.**

The Property is an ideal location for the proposed Marijuana Retailer with respect to traffic and congestion. The Marijuana Retailer will be located in a stand-alone building with a private parking lot, in a commercial corridor of the City that is part of a limited area of the City that allows for Marijuana Retailers. Accordingly, it will not cause any more traffic or congestion than other allowed uses for this zoning district. The proposed Marijuana Retailer will not disturb the existing right of way, pedestrian access, and will not cause a serious hazard to vehicle or pedestrian traffic or create a nuisance. The Applicant will be improving the lot so as to make traffic and parking safe thereon, as well as make 18 parking stalls available, exceeding the minimum zoning requirements.

As such, the Applicant respectfully submits that any impact on traffic flow and safety and parking and loading requirements on nearby uses will be de minimus.

- c. The building and lot have been designed to be compatible with other buildings in the area and to mitigate any negative aesthetic impacts that might result from required security measures and restrictions on visibility into the building's interior.**

The Marijuana Retailer will be located in a renovated one-story building previously built and designed to be compatible with other buildings in the area. The renovated interior will be tastefully designed to prevent any negative aesthetic impacts that might result from required security measures and restrictions on visibility into the building's interior.

- d. The building and lot are accessible to persons with disabilities.**

The Applicant respectfully submits that the building and lot will be accessible to persons with disabilities as required by the Ordinance and 935 CMR 500.000 *et. seq.*

- e. The lot is accessible to regional roadways and public transportation.**

The Property is located on Beacon Street, a major thoroughfare for Newton and has ample access to public transportation options, including the MBTA 59 bus line which stops at Walnut Street and Beacon Street a five-minute walk to the Marijuana Retailer and the MBTA Newton Highlands Train Stop, approximately a fifteen-minute walk from the Marijuana Retailer.

- f. The lot is located where it may be readily monitored by law enforcement and other code enforcement personnel.**

The Property is located along a major roadway in a business subdistrict, promoting ease of monitoring for both law enforcement and other code enforcement personnel. The Applicant will provide direct video feed access to its video surveillance system and will work with local law enforcement and the Cannabis Control Commission to ensure its video cameras are properly positioned within the Marijuana Retailer.

- g. The RMD or Marijuana Retailer's hours of operation will have no significant adverse impact on nearby uses.**

Pursuant to the Ordinance, the hours of operation shall be set by the City Council as a condition of the Special Permit, but in no case shall the Marijuana Retailer open before 9:00 a.m. or remain open after 9:00 p.m. The planned hours of operation for the Marijuana Retailer will be 9:00 a.m. to 9:00 p.m. Accordingly, the Applicant respectfully submits that any impact from these hours of operation will be de minimus.

Newton City Council  
Land Use Committee  
December 20, 2019  
Page 15 of 15

**V. Summary**

The Applicant hereby requests that its proposed Marijuana Retailer will be in harmony with the purpose and intent of the Ordinance and will not have any adverse effect on the neighborhood within which the Property is located in particular, and the City of Newton as a whole. The findings are made in view of the particular characteristics of the Property and of the Applicant's proposed Marijuana Retailer, as detailed above and herein. The Property is the most appropriate location for the Marijuana Retailer and adequate and appropriate facilities will be provided for the proper operation of the use of the Property as a Marijuana Retailer and finally that such a use will not create any nuisance.

For the foregoing reasons the Applicant respectfully requests that the Land Use Committee approve its Special Permit Application as described herein.

Sincerely,



Michael P. Ross, Esq.

Direct: 617-456-8149

Email: [mross@princelobel.com](mailto:mross@princelobel.com)

**3**



**Ruthanne Fuller**  
Mayor

**City of Newton, Massachusetts**  
Department of Planning and Development  
1000 Commonwealth Avenue Newton, Massachusetts 02459

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**Barney S. Heath**  
Director

## ZONING REVIEW MEMORANDUM

Date: December 2, 2019

To: John Lojek, Commissioner of Inspectional Services

From: Jane Santosuosso, Chief Zoning Code Official  
Jennifer Caira, Chief Planner for Current Planning

Cc: Scott M. Baratz (POA), applicant  
Union Twist, Inc.  
Michael P. Ross, Attorney  
Barney S. Heath, Director of Planning and Development  
Jonah Temple, Assistant City Solicitor

**RE: Request to allow a marijuana retail establishment and associated dimensional waivers for the parking facility**

Petitioner: Union Twist, Inc.	
Site: 1158 Beacon Street	SBL: 54022 0049A
Zoning: BU2	Lot Area: 20,443 square feet
Current use: Dry cleaner	Proposed use: Marijuana retail establishment

### BACKGROUND:

The property at 1158 Beacon Street consists of a 20,443 square foot lot improved with a one-story commercial building constructed in 1964 currently occupied by a dry cleaner and small take-out restaurant. The petitioner seeks to operate a marijuana retail establishment pursuant to section 6.10.3 in the space occupied by the dry cleaner. The petitioner intends to remove approximately 400 square feet from the rear of the building, and to reconfigure the existing parking areas to increase from 12 to 18 parking stalls.

The following review is based on plans and materials submitted to date as noted below.

- Zoning Review Application, prepared by Michael P. Ross, attorney, dated 10/25/2019
- Existing Conditions Plan, signed and stamped by Gerry L. Holbright, surveyor, dated 4/1/2019
- Site Plan, prepared by Fuss & O'Neill, dated 10/23/2019
- Floor Plans, signed and stamped by Keith Bettencourt, architect, dated 9/9/2019
- Traffic Impact Statement, prepared by Hayes Engineering, Inc, dated 1/7/2019

**ADMINISTRATIVE DETERMINATIONS:**

---

1. The petitioner is proposing to operate a marijuana retail establishment. This use requires a special permit from the City Council per Section 6.10.3.D of the Newton Zoning Ordinance.
2. Section 6.10.3.E.5 states that a marijuana retailer is subject to the parking requirements of 5.1.4.A, which requires one stall for every 300 square feet of gross floor area, and one stall for every three employees at the highest shift for the retail use. The petitioners are proposing to occupy 2,290 square feet for the operation and is contemplated to have 10 employees at the busiest shift. The proposed establishment requires 12 parking stalls.

A take-out only restaurant occupies the second tenant space within the existing commercial building. Per section 5.1.4.A, a restaurant requires one parking stall per every three seats, plus one stall for every three employees at the busiest shift. The existing restaurant requires two parking stalls.

The petitioner is proposing to reconfigure the existing parking area with 18 parking stalls, which satisfies the requirements of section 5.1.4.A.

3. Section 5.1.8.D.1 requires that two-way entrance and exit drives must be a minimum of 20 feet wide. The driveway to the rear parking area narrows to less than 19 feet wide, requiring relief.
4. Per section 5.1.9.A, outdoor parking facilities with more than five stalls must be screened from abutting streets and properties with a strip of at least five feet in width of dense shrubs or trees and/or a wall, fence etc. of at least six feet in height. The petitioners propose shrubs along the eastern border, some fencing and shrubs along the rear half of the western border and three trees at the rear. The landscaping along the southern (rear) and western property lines do not meet the perimeter screening requirements of section 5.1.9.A, requiring a waiver.
5. Section 5.1.10.A requires that parking facilities which are used at night have security lighting with a minimum intensity of one-foot candle on the entire surface of the parking facility. To the extent that any proposed lighting in the parking facility does not meet the requirements of section 5.1.10.A, a special permit is required.

6. See "Zoning Relief Summary" below:

<b>Zoning Relief Required</b>		
<i>Ordinance</i>	<i>Required Relief</i>	<i>Action Required</i>
§6.10.3.D §4.4.1	To allow a marijuana retailer	S.P. per §7.3.3
§5.1.8.D.1 §5.1.13	To waive the minimum driveway width for two-way traffic	S.P. per §7.3.3
§5.1.9.A §5.1.13	To waive perimeter screening requirements	S.P. per §7.3.3
§5.1.10 §5.1.13	To waive the lighting requirements	S.P. per §7.3.3



**4**



## FUSS & O'NEILL

April 2, 2019

Amy McNamee, CEO  
Union Twist, Inc.  
c/o Prince Lobel Tye, LLP  
One International Place  
Boston, MA 02110

Re: Traffic Review Letter  
Cannabis Dispensary  
1158 Beacon Street, Newton, MA  
Fuss & O'Neill Reference No. 20190241.A30

Dear Ms. McNamee:

Union Twist, Inc. proposes to remodel a portion of the existing building at 1158 Beacon Street Newton, Massachusetts and convert its use to a cannabis dispensary. The proposed project building will have approximately 2,300 square feet of gross floor area to be used for retail. The development is expected to open in 2020.

The existing property is situated on 20,000 square feet of land, approximately 800 feet west of the intersection of Beacon Street and Walnut Street at the City of Newton. Two existing driveways provide access to the parcel from Beacon Street. The proposed development will continue using the two existing driveways for access and egress. On-street parking is not permitted in the vicinity of the site.

The site is accessible via the Massachusetts Bay Transportation Authority (MBTA) bus line number 59 which runs north and south on Walnut Street, approximately 800 feet away, as noted above. The 59 bus connects directly to the T system at the Newton Highlands station on the Green Line. The site is also located approximately one mile west of the Waban Green Line station, with a walking time of approximately 20 minutes. Sidewalks are provided on Beacon Street throughout the area, and have recently been reconstructed by the City of Newton.

The parcel is bounded by Beacon Street to the north, commercial properties to the east, the Caliper Corporation Mapping Software to the west and residential property to the south. This area is located in the Business 2 District (BU2).

Fuss & O'Neill has been retained to study the impact of the proposed development on traffic conditions throughout the adjacent roadway network. This letter has been prepared to document

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Connecticut  
Massachusetts  
Rhode Island  
New Hampshire



Ms. McNamee

April 2, 2019

Page 2

the findings of the study and is being submitted to the City of Newton in support of the project's land use applications.

#### Traffic Volumes and Speeds

The greatest potential for traffic impact on the roadway network by the proposed development will occur during the morning and afternoon peak hours, the periods when commuter related trips are at their highest levels. In order to determine the traffic impact of the proposed development on adjacent street traffic, representatives of Fuss & O'Neill, Inc. conducted 24-hour traffic volume and speed counts with automatic traffic recorder (ATR) road tubes. The count was located on Beacon Street east of Beaconwood Road. Copies of the ATR data is included as an attachment to this letter.

The 85<sup>th</sup> percentile speed on Beacon Street was recorded at 33 miles per hour westbound and 29 miles per hour. The 24-hour traffic volume on this roadway (total for both directions) was recorded to be 11,539 vehicles.

#### Trip Generation

The expected site generated traffic for the morning and afternoon peak hours was calculated using existing empirical data from the Institute of Transportation Engineers (ITE) publication Trip Generation, 10th edition, 2017. This publication is an industry-accepted resource for determining trip generation.

Land Use Code (LUC) 882, "Marijuana Dispensary" was used for the analysis. This LUC is expected to provide a conservative estimate of the number of trips generated by this facility.

Based on approximately 2,300 square feet of retail space, ITE Trip Generation indicates that the facility is expected to generate a total of 24 vehicle trips (13 entering, 11 exiting) in the morning peak hour, and 50 vehicle trips (25 entering, 25 exiting) in the afternoon peak hour.

#### Trip Distribution

The distribution of traffic entering and exiting the proposed site was applied to the road network based on the existing regional traffic distributions and the layout of the adjacent roadway network. During the peak hours, the following arrival distributions of traffic are anticipated:

- 55 percent from Beacon Street east of the site
- 45 percent from Beacon Street west of the site



Ms. McNamee

April 2, 2019

Page 3

A regional arrival/departure distribution for the new site generated traffic traveling to and from the project site is depicted in *Figure No. 1* of the attached traffic volume figures.

#### Intersection Sight Distance Analysis

Intersection sight distances were calculated at the proposed site driveway in accordance with criteria set forth in the 2006 Massachusetts Highway Department Project Development & Design Guide (PDDG). This sight distance is measured from a point 15 feet back from the edge of travel-way at a height of 3.5 feet, the standard height of a driver's eye.

The 85<sup>th</sup> percentile speed on Beacon Street was recorded at 33 miles per hour westbound and 29 miles per hour eastbound. In accordance with criteria set forth in the 2006 PDDG, 325 feet of intersection sight distance is required for a passenger car looking to the right and 370 is required for a passenger car looking to the left from the site driveway when approaching a two-lane roadway.

At the site driveway, sight distance extends approximately 650 feet looking left (west) and 800 feet looking right (East).

For drivers looking left or right out of the site driveway, the sight distance triangle is not obstructed and does not encroach upon abutting landowner property. The sight distances exceed MassDOT criteria for safe egress from the site.

#### Crash Analysis

Crash data was gathered from the MassDOT Crash Portal along Beacon Street in vicinity of the site driveway. The records were gathered for the most recent three years of available data, 2014 through 2016. A total of 12 crashes were reported over this time period, four in 2016, three in 2015 and five in 2014, for an average of four crashes per year. Of these 12 crashes, only four were associated with personal injury, and the majority occurred in the area east of the site between Beaconwood Road and Walnut Street.

A summary of the crash data per segment is attached as Table A-1.

#### Conclusions

The purpose of preparing a traffic impact study is to identify the impact of the proposed development's site generated traffic. The study efforts have indicated that the proposed facility will generate a total of 24 vehicle trips (13 entering, 11 exiting) in the morning peak hour, and 50 vehicle trips (25 entering, 25 exiting) in the afternoon peak hour.



FUSS & O'NEILL

Ms. McNamee

April 2, 2019

Page 4

The 85<sup>th</sup> percentile speed on Beacon Street was recorded at 33 miles per hour westbound and 29 miles per hour eastbound. The 24-hour traffic volume on this roadway (total for both directions) was recorded to be 11,539 vehicles.

A review of crash data provided by the MassDOT Crash Portal indicated that there were no abnormal crash patterns or frequencies in the study area.

For drivers looking left or right out of the site driveway, the sight distance triangle is not obstructed and does not encroach upon abutting landowner property. The sight distances exceed CTDOT criteria for safe egress from the site.

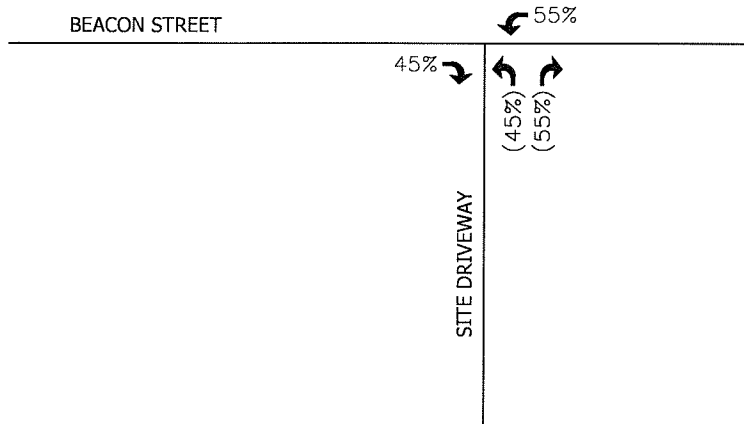
Based on the results of the foregoing analysis, it is the professional opinion of Fuss & O'Neill, Inc. that the proposed development will not have a significant impact to traffic operations within the study area.

We trust that this information will be sufficient for your review; however, if you should require additional information or have any questions, please contact me.

Sincerely,

Matthew Skelly, PTOE

Senior Transportation Engineer



XXX(XXX) = ENTERING TRAFFIC (EXITING TRAFFIC)



**FUSS & O'NEILL**

108 MYRTLE STREET, SUITE 502  
QUINCY, MA 02171  
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www.fundo.com

## FIGURE 1: TRIP DISTRIBUTION

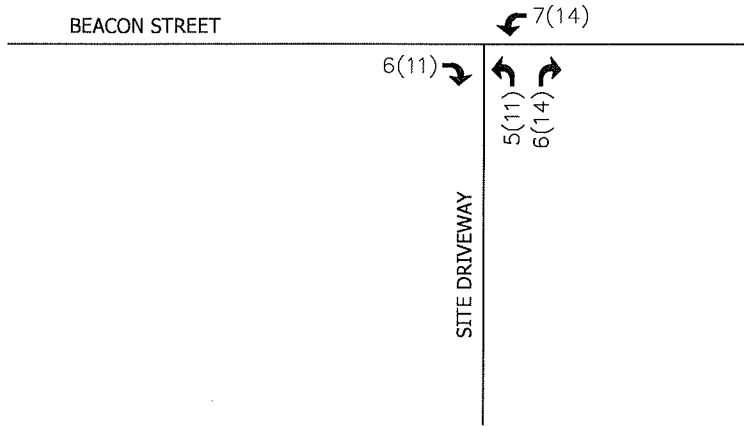
PROJ. NO: 20190241.A30

1158 BEACON STREET  
NEWTON, MA

APRIL 2, 2019



SITE GENERATED TRAFFIC VOLUMES			
	ENTER	EXIT	TOTAL
MORNING	13	11	24
AFTERNOON	25	25	50



xxx(xxx) = WEEKDAY MORNING PEAK HOUR (WEEKDAY PM PEAK HOUR)



**FUSS & O'NEILL**

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## FIGURE 2: TRIP GENERATION

PROJ. NO: 20190241.A30

1158 BEACON STREET  
NEWTON, MA

APRIL 2, 2019

**Accurate Counts**  
978-664-2565

Location : Beacon Street  
Location : East of Beaconwood Road  
City/State: Newton, MA

1158VOL1

Start Time	3/28/2019 Thu	WB		Hour Totals		EB		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		1	81			2	97				
12:15		0	86			0	86				
12:30		1	86			2	98				
12:45		2	106	4	359	0	96	4	377	8	736
01:00		4	89			2	78				
01:15		0	71			3	78				
01:30		0	86			0	97				
01:45		1	105	5	351	1	100	6	353	11	704
02:00		2	91			2	77				
02:15		2	91			0	91				
02:30		0	110			0	109				
02:45		0	127	4	419	1	80	3	357	7	776
03:00		3	117			1	103				
03:15		1	156			5	120				
03:30		0	115			2	107				
03:45		1	118	5	506	2	130	10	460	15	966
04:00		1	132			3	116				
04:15		2	126			1	93				
04:30		1	128			6	122				
04:45		1	121	5	507	2	111	12	442	17	949
05:00		5	124			10	114				
05:15		6	120			14	85				
05:30		6	134			17	124				
05:45		7	113	24	491	25	138	66	461	90	952
06:00		10	118			22	118				
06:15		15	110			34	127				
06:30		22	112			56	111				
06:45		44	88	91	428	78	98	190	454	281	882
07:00		37	72			110	72				
07:15		63	69			138	42				
07:30		84	52			133	61				
07:45		88	73	272	266	125	66	506	241	778	507
08:00		96	47			146	57				
08:15		107	38			143	43				
08:30		95	35			165	49				
08:45		89	35	387	155	155	30	609	179	996	334
09:00		77	36			139	38				
09:15		76	34			152	27				
09:30		80	29			114	33				
09:45		59	34	292	133	117	17	522	115	814	248
10:00		65	20			119	17				
10:15		69	20			84	9				
10:30		71	20			68	12				
10:45		61	7	266	67	103	12	374	50	640	117
11:00		67	4			79	7				
11:15		67	12			80	3				
11:30		97	4			107	6				
11:45		78	4	309	24	93	3	359	19	668	43
Total		1664	3706			2661	3508			4325	7214
Percent		31.0%	69.0%			43.1%	56.9%			37.5%	62.5%
Grand Total		1664	3706			2661	3508			4325	7214
Percent		31.0%	69.0%			43.1%	56.9%			37.5%	62.5%

ADT                      ADT 11,539                      AADT 11,539



Accurate Counts  
978-664-2565

Location : Beacon Street  
Location : East of Beaconwood Road  
City/State: Newton, MA

1158VOL1

Start Time	3/28/2019 Thu	WB	EB	Total
12:00 AM		4	4	8
01:00		5	6	11
02:00		4	3	7
03:00		5	10	15
04:00		5	12	17
05:00		24	66	90
06:00		91	190	281
07:00		272	506	778
08:00		<b>387</b>	<b>609</b>	<b>996</b>
09:00		292	522	814
10:00		266	374	640
11:00		309	359	668
12:00 PM		359	377	736
01:00		351	353	704
02:00		419	357	776
03:00		506	460	<b>966</b>
04:00		<b>507</b>	442	949
05:00		491	<b>461</b>	952
06:00		428	454	882
07:00		266	241	507
08:00		155	179	334
09:00		133	115	248
10:00		67	50	117
11:00		24	19	43
Total		5370	6169	11539
Percent		46.5%	53.5%	
AM Peak	-	08:00	08:00	08:00
Vol.	-	387	609	996
PM Peak	-	16:00	17:00	15:00
Vol.	-	507	461	966
Grand Total		5370	6169	11539
Percent		46.5%	53.5%	
ADT		ADT 11,539	AADT 11,539	

Accurate Counts  
978-664-2565

Location : Beacon Street  
Location : East of Beaconwood Road  
City/State: Newton, MA

1158SPD1

WB

Start Time	15	20	25	30	35	40	45	50	55	60	65	70	75	999	Total
03/28/19	0	0	0	1	3	0	0	0	0	0	0	0	0	0	4
01:00	0	0	0	2	2	1	0	0	0	0	0	0	0	0	5
02:00	0	0	2	1	1	0	0	0	0	0	0	0	0	0	4
03:00	0	1	0	2	0	2	0	0	0	0	0	0	0	0	5
04:00	0	0	1	1	2	0	1	0	0	0	0	0	0	0	5
05:00	1	1	1	9	9	3	0	0	0	0	0	0	0	0	24
06:00	0	1	10	26	32	21	1	0	0	0	0	0	0	0	91
07:00	6	10	29	99	94	26	8	0	0	0	0	0	0	0	272
08:00	3	11	61	161	118	32	1	0	0	0	0	0	0	0	387
09:00	11	16	55	108	80	20	2	0	0	0	0	0	0	0	292
10:00	10	16	41	90	84	24	1	0	0	0	0	0	0	0	266
11:00	4	17	51	127	84	16	10	0	0	0	0	0	0	0	309
12 PM	0	12	65	163	100	18	1	0	0	0	0	0	0	0	359
13:00	9	16	45	137	113	26	5	0	0	0	0	0	0	0	351
14:00	4	12	83	171	113	30	6	0	0	0	0	0	0	0	419
15:00	10	22	124	185	152	13	0	0	0	0	0	0	0	0	506
16:00	11	26	101	230	110	26	3	0	0	0	0	0	0	0	507
17:00	17	76	155	157	76	9	1	0	0	0	0	0	0	0	491
18:00	23	40	98	160	94	12	1	0	0	0	0	0	0	0	428
19:00	4	13	48	111	79	11	0	0	0	0	0	0	0	0	266
20:00	0	11	12	80	43	7	2	0	0	0	0	0	0	0	155
21:00	0	7	16	47	56	6	1	0	0	0	0	0	0	0	133
22:00	0	3	8	20	24	12	0	0	0	0	0	0	0	0	67
23:00	0	0	4	7	7	6	0	0	0	0	0	0	0	0	24
Total	113	311	1010	2095	1476	321	44	0	0	0	0	0	0	0	5370

Daily  
 15th Percentile : 21 MPH  
 50th Percentile : 27 MPH  
 85th Percentile : 33 MPH  
 95th Percentile : 36 MPH  
 Mean Speed(Average) : 28 MPH  
 10 MPH Pace Speed : 26-35 MPH  
 Number in Pace : 3571  
 Percent in Pace : 66.5%  
 Number of Vehicles > 30 MPH : 1841  
 Percent of Vehicles > 30 MPH : 34.3%

Grand Total	113	311	1010	2095	1476	321	44	0	0	0	0	0	0	0	5370
-------------	-----	-----	------	------	------	-----	----	---	---	---	---	---	---	---	------

Overall  
 15th Percentile : 21 MPH  
 50th Percentile : 27 MPH  
 85th Percentile : 33 MPH  
 95th Percentile : 36 MPH  
 Mean Speed(Average) : 28 MPH  
 10 MPH Pace Speed : 26-35 MPH  
 Number in Pace : 3571  
 Percent in Pace : 66.5%  
 Number of Vehicles > 30 MPH : 1841  
 Percent of Vehicles > 30 MPH : 34.3%

Accurate Counts  
978-664-2565

Location : Beacon Street  
Location : East of Beaconwood Road  
City/State: Newton, MA

1158SPD1

EB

Start Time	15	20	25	30	35	40	45	50	55	60	65	70	75	999	Total
03/28/19	0	0	0	0	2	2	0	0	0	0	0	0	0	0	4
01:00	0	0	0	4	2	0	0	0	0	0	0	0	0	0	6
02:00	0	0	0	1	2	0	0	0	0	0	0	0	0	0	3
03:00	0	1	3	1	3	2	0	0	0	0	0	0	0	0	10
04:00	0	1	3	1	6	1	0	0	0	0	0	0	0	0	12
05:00	1	1	11	23	21	7	1	1	0	0	0	0	0	0	66
06:00	4	11	28	63	51	29	3	1	0	0	0	0	0	0	190
07:00	106	131	144	76	42	6	1	0	0	0	0	0	0	0	506
08:00	120	168	183	89	42	5	2	0	0	0	0	0	0	0	609
09:00	107	138	171	66	27	12	1	0	0	0	0	0	0	0	522
10:00	26	52	95	125	60	15	1	0	0	0	0	0	0	0	374
11:00	18	44	103	135	51	6	2	0	0	0	0	0	0	0	359
12 PM	7	51	106	146	58	8	1	0	0	0	0	0	0	0	377
13:00	23	33	103	127	57	8	2	0	0	0	0	0	0	0	353
14:00	31	51	88	119	57	11	0	0	0	0	0	0	0	0	357
15:00	42	64	166	147	36	4	1	0	0	0	0	0	0	0	460
16:00	53	87	131	121	46	3	1	0	0	0	0	0	0	0	442
17:00	187	140	94	31	9	0	0	0	0	0	0	0	0	0	461
18:00	118	122	107	71	30	6	0	0	0	0	0	0	0	0	454
19:00	3	20	71	92	48	7	0	0	0	0	0	0	0	0	241
20:00	0	7	43	80	41	8	0	0	0	0	0	0	0	0	179
21:00	4	1	19	51	36	3	1	0	0	0	0	0	0	0	115
22:00	0	1	6	21	17	4	1	0	0	0	0	0	0	0	50
23:00	0	1	0	9	7	2	0	0	0	0	0	0	0	0	19
Total	850	1125	1675	1599	751	149	18	2	0	0	0	0	0	0	6169

Daily  
 15th Percentile : 15 MPH  
 50th Percentile : 23 MPH  
 85th Percentile : 29 MPH  
 95th Percentile : 34 MPH  
 Mean Speed(Average) : 23 MPH  
 10 MPH Pace Speed : 21-30 MPH  
 Number in Pace : 3274  
 Percent in Pace : 53.1%  
 Number of Vehicles > 30 MPH : 920  
 Percent of Vehicles > 30 MPH : 14.9%

Grand Total	850	1125	1675	1599	751	149	18	2	0	0	0	0	0	0	6169
-------------	-----	------	------	------	-----	-----	----	---	---	---	---	---	---	---	------

Overall  
 15th Percentile : 15 MPH  
 50th Percentile : 23 MPH  
 85th Percentile : 29 MPH  
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 Number in Pace : 3274  
 Percent in Pace : 53.1%  
 Number of Vehicles > 30 MPH : 920  
 Percent of Vehicles > 30 MPH : 14.9%

Accurate Counts  
978-664-2565

Location : Beacon Street  
Location : East of Beaconwood Road  
City/State: Newton, MA

1158SPD1

WB, EB

Start Time	1 15	16 20	21 25	26 30	31 35	36 40	41 45	46 50	51 55	56 60	61 65	66 70	71 75	76 999	Total
03/28/19	0	0	0	1	5	2	0	0	0	0	0	0	0	0	8
01:00	0	0	0	6	4	1	0	0	0	0	0	0	0	0	11
02:00	0	0	2	2	3	0	0	0	0	0	0	0	0	0	7
03:00	0	2	3	3	3	4	0	0	0	0	0	0	0	0	15
04:00	0	1	4	2	8	1	1	0	0	0	0	0	0	0	17
05:00	2	2	12	32	30	10	1	1	0	0	0	0	0	0	90
06:00	4	12	38	89	83	50	4	1	0	0	0	0	0	0	281
07:00	112	141	173	175	136	32	9	0	0	0	0	0	0	0	778
08:00	123	179	244	250	160	37	3	0	0	0	0	0	0	0	996
09:00	118	154	226	174	107	32	3	0	0	0	0	0	0	0	814
10:00	36	68	136	215	144	39	2	0	0	0	0	0	0	0	640
11:00	22	61	154	262	135	22	12	0	0	0	0	0	0	0	668
12 PM	7	63	171	309	158	26	2	0	0	0	0	0	0	0	736
13:00	32	49	148	264	170	34	7	0	0	0	0	0	0	0	704
14:00	35	63	171	290	170	41	6	0	0	0	0	0	0	0	776
15:00	52	86	290	332	188	17	1	0	0	0	0	0	0	0	966
16:00	64	113	232	351	156	29	4	0	0	0	0	0	0	0	949
17:00	204	216	249	188	85	9	1	0	0	0	0	0	0	0	952
18:00	141	162	205	231	124	18	1	0	0	0	0	0	0	0	882
19:00	7	33	119	203	127	18	0	0	0	0	0	0	0	0	507
20:00	0	18	55	160	84	15	2	0	0	0	0	0	0	0	334
21:00	4	8	35	98	92	9	2	0	0	0	0	0	0	0	248
22:00	0	4	14	41	41	16	1	0	0	0	0	0	0	0	117
23:00	0	1	4	16	14	8	0	0	0	0	0	0	0	0	43
<b>Total</b>	<b>963</b>	<b>1436</b>	<b>2685</b>	<b>3694</b>	<b>2227</b>	<b>470</b>	<b>62</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>11539</b>

Daily  
 15th Percentile : 17 MPH  
 50th Percentile : 25 MPH  
 85th Percentile : 32 MPH  
 95th Percentile : 34 MPH  
  
 Mean Speed(Average) : 25 MPH  
 10 MPH Pace Speed : 21-30 MPH  
 Number in Pace : 6379  
 Percent in Pace : 55.3%  
 Number of Vehicles > 30 MPH : 2761  
 Percent of Vehicles > 30 MPH : 23.9%

<b>Grand Total</b>	<b>963</b>	<b>1436</b>	<b>2685</b>	<b>3694</b>	<b>2227</b>	<b>470</b>	<b>62</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>11539</b>
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Overall  
 15th Percentile : 17 MPH  
 50th Percentile : 25 MPH  
 85th Percentile : 32 MPH  
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 Number in Pace : 6379  
 Percent in Pace : 55.3%  
 Number of Vehicles > 30 MPH : 2761  
 Percent of Vehicles > 30 MPH : 23.9%

## Marijuana Dispensary (882)

**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 7 and 9 a.m.**

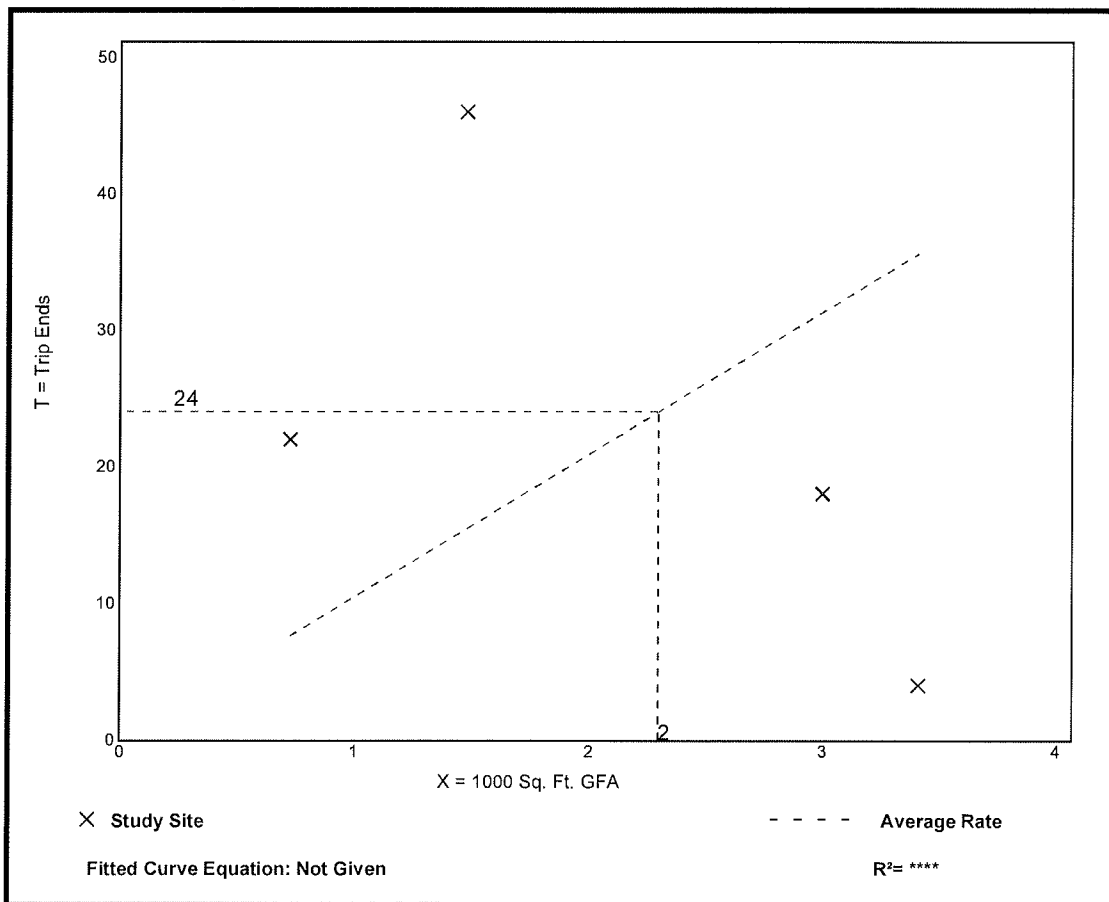
**Setting/Location: General Urban/Suburban**  
 Number of Studies: 4  
 Avg. 1000 Sq. Ft. GFA: 2  
 Directional Distribution: 56% entering, 44% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
10.44	1.17 - 31.08	14.00

### Data Plot and Equation

*Caution – Small Sample Size*



*Trip Generation Manual, 10th Edition • Institute of Transportation Engineers*

## Marijuana Dispensary (882)

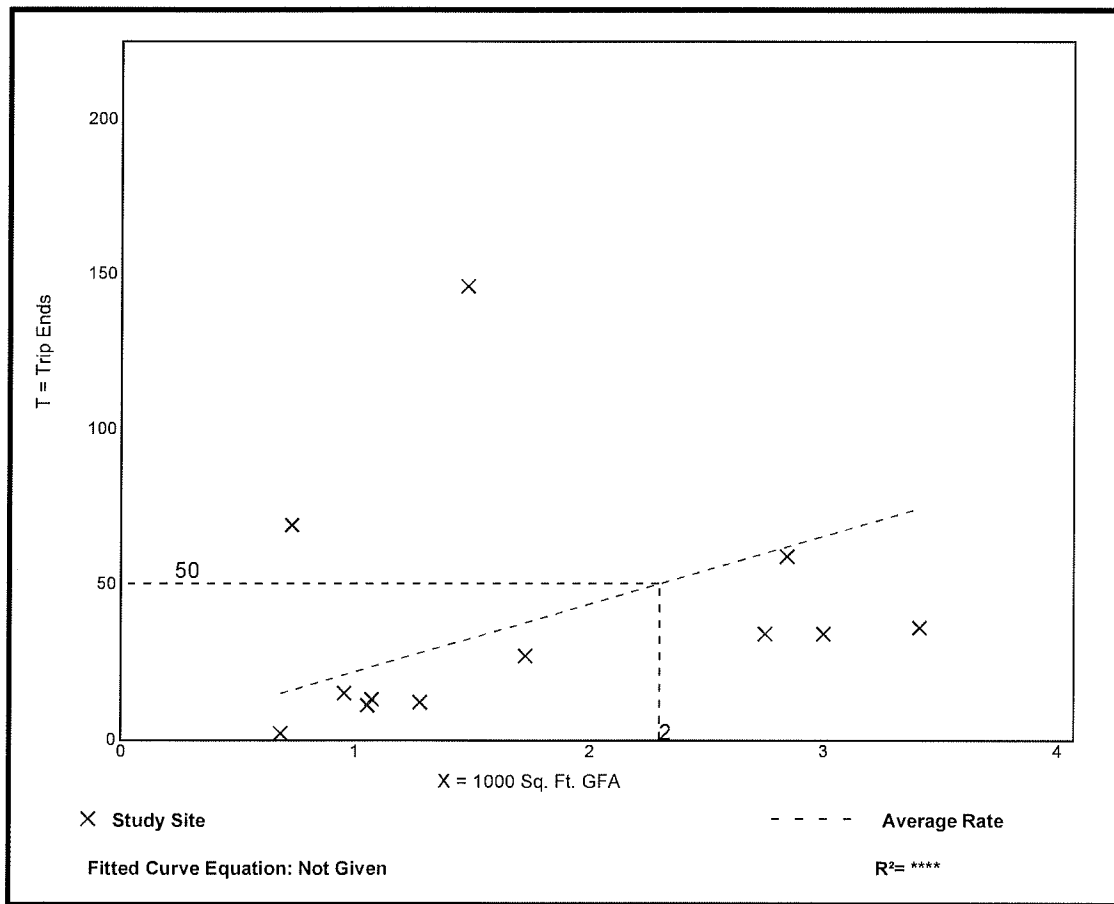
**Vehicle Trip Ends vs: 1000 Sq. Ft. GFA**  
**On a: Weekday,**  
**Peak Hour of Adjacent Street Traffic,**  
**One Hour Between 4 and 6 p.m.**

**Setting/Location: General Urban/Suburban**  
 Number of Studies: 12  
 Avg. 1000 Sq. Ft. GFA: 2  
 Directional Distribution: 50% entering, 50% exiting

### Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
21.83	2.94 - 98.65	27.36

### Data Plot and Equation



*Trip Generation Manual, 10th Edition • Institute of Transportation Engineers*

**TABLE A-1**  
**CRASH DATA SUMMARY - 2014 to 2016**  
**STUDY AREA SEGMENT**

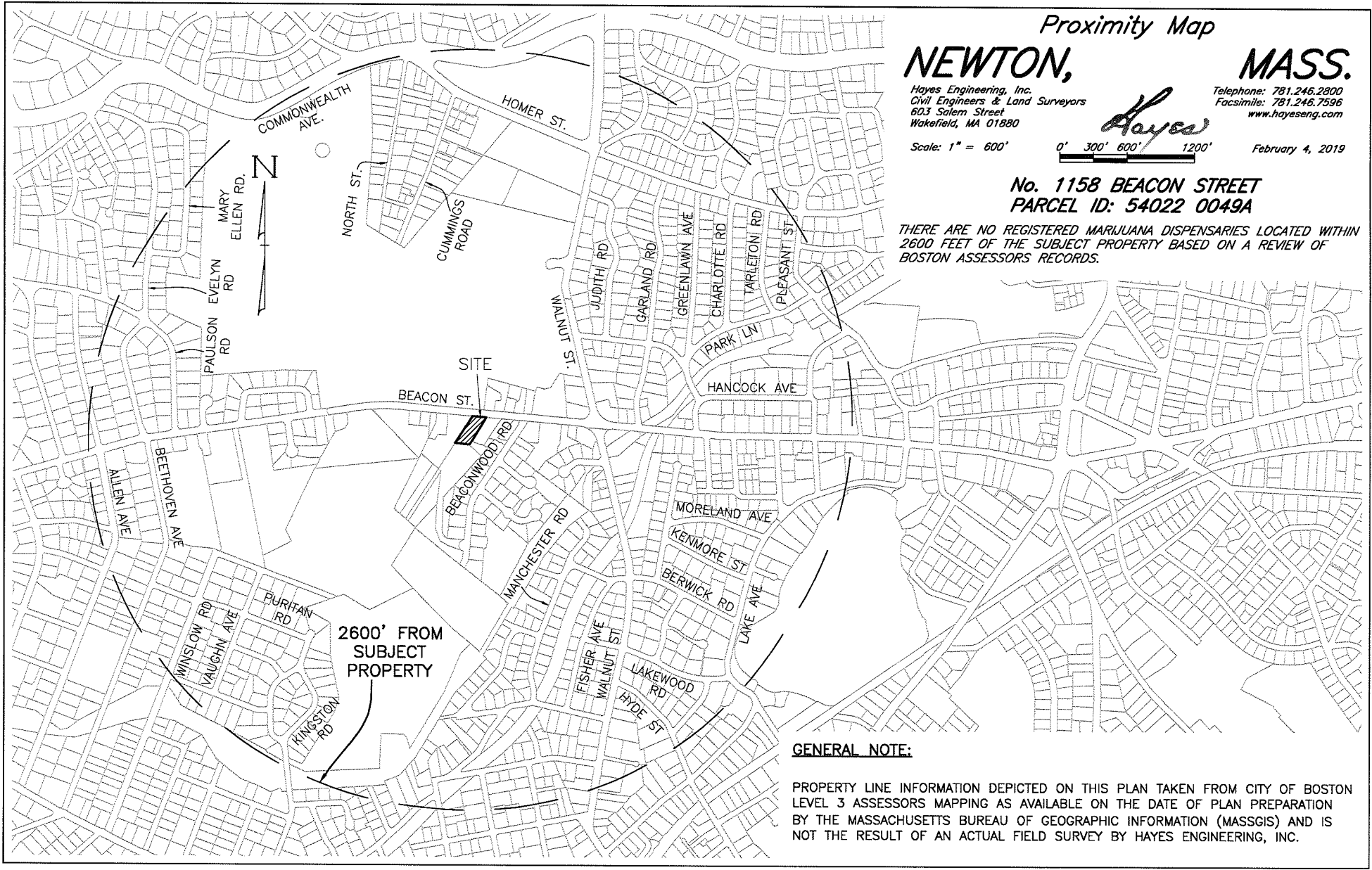
<u>Criteria</u>	<b>Beacon Street</b>
<b>YEAR</b>	
2014	5
2015	3
<u>2016</u>	<u>4</u>
Total	12
Average No. of Crashes	4.00
Crash Rate	1.90
<b>TYPE</b>	
Angle	2
Rear-End	5
Head-On	0
Sideswipe	2
Pedestrian/Bicycle	2
Collision w/ Fixed Object	0
<u>Unknown/Other</u>	<u>1</u>
Total	12
<b>SEVERITY</b>	
Property Damage Only	7
Non-fatal Injury	4
Fatality	0
<u>Unknown/Other</u>	<u>1</u>
Total	12
<b>WEATHER</b>	
Clear	9
Wet	0
Snow/Ice	0
Clouds	2
Fog	0
<u>Unknown/Other</u>	<u>1</u>
Total	12
<b>TIME</b>	
Weekday 7:30 AM - 9:30 AM	1
Weekday 3:30 PM - 5:30 PM	4
<u>Other</u>	<u>0</u>
Total	5

District #6 Average Crash Rates: 0.71 Signalized Intersections  
0.52 Unsignalized Intersections  
Major Collector: 3.58

**5**



N:\NEW29\ProximityMap-Beacon1158.dwg, 2/4/2019 9:13:43 AM, REB



Proximity Map

**NEWTON,**

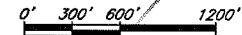
**MASS.**

Hayes Engineering, Inc.  
Civil Engineers & Land Surveyors  
603 Salem Street  
Wakefield, MA 01880

*Hayes*

Telephone: 781.246.2800  
Facsimile: 781.246.7596  
www.hayeseng.com

Scale: 1" = 600'



February 4, 2019

**No. 1158 BEACON STREET  
PARCEL ID: 54022 0049A**

THERE ARE NO REGISTERED MARIJUANA DISPENSARIES LOCATED WITHIN 2600 FEET OF THE SUBJECT PROPERTY BASED ON A REVIEW OF BOSTON ASSESSORS RECORDS.

2600' FROM  
SUBJECT  
PROPERTY

**GENERAL NOTE:**

PROPERTY LINE INFORMATION DEPICTED ON THIS PLAN TAKEN FROM CITY OF BOSTON LEVEL 3 ASSESSORS MAPPING AS AVAILABLE ON THE DATE OF PLAN PREPARATION BY THE MASSACHUSETTS BUREAU OF GEOGRAPHIC INFORMATION (MASSGIS) AND IS NOT THE RESULT OF AN ACTUAL FIELD SURVEY BY HAYES ENGINEERING, INC.

6



# **Security System Narrative**

**Union Twist, LLC**

**Dispensary – 1158 Beacon Street, Newton**

**DRAFT**

**March 3<sup>rd</sup>, 2019**

## Private & Confidential

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## I. Introduction

I represent Union Twist LLC (UT) as their security consultant. I am submitting the following proposed security plan on behalf of UT. These plans were developed in accordance with 935 CMR 500.000 Cannabis Control Commission regulations, City of Newton Ordinances, and industry best practices using the principles of Crime Prevention Through Environmental Design (CPTED), and my 33+ years of law enforcement and security experience. I have provided security consulting services for the past years to numerous clients in various industries including cannabis companies in Massachusetts.

Our proposal is to locate a Marijuana Retail Establishment at 1158 Beacon Street, Newton Massachusetts. I believe that the security plan outlined below meets all the requirements of the city of Newton and will ensure a minimal impact on public safety services of Newton.

The security system for Union Twist LLC (UT) dispensary in Newton, MA is designed to provide a safe and secure environment for staff, the public, and storage/handling of Marijuana in compliance with Code of Massachusetts Regulations 935 CMR 500.110.

Kroll also considered security principles of Crime Prevention Through Environmental Design (CPTED), Concentric Circles of Protection, and Integrated Design when evaluating opportunities to deter a threat from entering and circulating within the building envelope.

CPTED is a concept that utilizes planned passive resources such as architectural barriers, landscaping, and lighting to reduce the necessity of traditional technical and operational security elements to reduce vulnerability to crime. The key concepts of CPTED include:

- **Natural Access Control:** Use of doors, fences, landscaping, and other man-made and natural obstacles to limit access into the building or other defined interior space.
- **Natural Surveillance:** Increasing visibility by occupants and observers (security and staff) to increase the detection of unauthorized individuals or misconduct within a facility.
- **Natural Boundary Definition:** Establishing a sense of ownership by occupants to increase vigilance in identifying intruders. This sends the message that would-be-offenders will be identified.

The concept of "Concentric Circles of Protection" is based on varying levels of protection originating at the site perimeter, building perimeter, lobby areas, and interior areas with special control requirements, becoming increasingly more stringent as one proceeds through each level to reach the most critical areas. Intervention zones between each layer of the circle provide opportunities for control, detection, evaluation, and response to undesired activity, intruders or other unauthorized individuals.

The Integrated Design Philosophy establishes effective security through the integration of electronic systems with architectural elements, enhanced by security staff and procedures. When the integration of these elements is effectively executed, a synergy is created that meets the desired security objective. The premise for using this concept is that architectural, operational and electronic elements must be implemented to complement one another; thereby creating collaboration between them that results in a strong security program. No one element of the group can stand-alone or operate independently and provide adequate protection. Specifics of the elements used include:

- Architectural Security measures address items such as perimeter barriers, lighting, critical building services, spatial adjacencies, and control barriers.
- Operational Security measures address items such as staff and public access control, staffing, monitoring and administration of systems.
- Electronic Security measures address items such as access control and alarm monitoring, video surveillance, and security communications.

## **II. Security Measures**

Security measures for the UT dispensary consist of both physical barriers and electronic systems that work in concert to provide a robust security program. These measures include:

- Secure Door and Window Hardware
- Security Mesh
- Primary Intrusion Alarm System
- Backup Intrusion Alarm System
- Video Surveillance System
- Access Control System
- Door Interlock System
- Door Intercom System

### **Physical Security Measures**

Measures will be employed by UT that ensure a secure physical perimeter is provided around their entire tenant space as well as walls surrounding the Secure Storage/Limited Access Area (LAA). Where concrete block construction is not used, security mesh and plywood will be utilized to harden ceiling and perimeter walls of the LAA to deter penetration from adjacent space.

Perimeter doors and designated interior doors separating dispensary functions will be provided with locking hardware which will remain secure except when accessed by authorized persons. Perimeter glass for the dispensary is limited to the main entry and exit doors, a Security Room window, and two second floor windows. All perimeter glass will be non-operable and will have laminated glass or security mesh inside to prevent intrusion. A laminated glass transaction window in the Security Room facing the Entry Vestibule will allow security personnel to safely validate persons before they are permitted to enter the Sales Floor.

The layout will allow several options for deliveries.

### **Intrusion Alarm Systems**

Intrusion detection for the UT dispensary is comprised of two independent commercial-grade alarm systems – a primary and a backup – to ensure an intrusion will be detected and reported should a failure of either system occur. The primary alarm system (PAS) and the backup alarm system (BAS) will be installed, serviced and monitored by separate security vendors to ensure redundancy. Control equipment for the PAS and BAS will be located in the Security Room, which will have restricted access.

Perimeter detection of an intrusion is provided using door contacts on perimeter doors and glass break detection for perimeter glass. Interior intrusion detection is provided by motion detection throughout the dispensary and in the LAA. In addition to intrusion devices, hold-up/panic alarms will be provided at point of sale locations within the sales area, in the Security Room and in the LAA.

The intrusion alarm systems will be controlled by numeric keypad arming stations located inside the main entry and exit doors. Keypads will display system armed/disarmed status, status of security devices and any trouble notifications. Authorized users will be issued unique arm/disarm codes to identify who armed or disarmed the systems at a given time. A special duress alarm code will be provided at each PAS and BAS keypad arming station to notify law-enforcement that an authorized user has been forced by an intruder to disarm an alarm system.

The PAS and BAS provide separate detection of intrusion for all perimeter door and window contacts, glass break detectors and motion detectors to ensure a device failure on one system will not compromise intrusion detection by the other. Both systems will have backup batteries for continued operation during power failures for up to twenty-four hours.

### **Video Surveillance System**

The video surveillance system (VSS) is comprised of network-based video cameras and network-based head-end equipment for viewing, recording and playback of security video. VSS head-end equipment will be located in the Security Room to ensure access is restricted and limited to the security function. Exterior cameras will be located around the perimeter of the building, at doors and the side driveway area to monitor and record activity around the dispensary tenant space. Interior cameras will be provided in dispensary areas and in the LAA. The system will provide monitoring and recording of all cameras to aid in identifying all who enter or exit the dispensary and areas where controlled products will be stored, processed, handled and sold. Monitoring and operation of the VSS will be provided in the Security Room.

The VSS will record cameras for a minimum of 90 days and retain (at minimum) the last 24 hours for immediate retrieval and playback. The VSS will save or archive video relating to a particular incident under investigation or pending legal/administrative action for as long as necessary and export still images to industry standard formats. Additionally, the VSS will have an uninterruptible power source for continued operation during a power failure for a minimum of four hours; or for thirty minutes should an emergency backup generator be provided for extended backup power.

### **Access Control System**

A proximity card access control system (ACS) will be provided at perimeter and designated interior doors, including the LAA door, to limit access only to persons issued a valid access card and within their allotted day and time schedule. Each person will be authorized to enter only those doors required in the performance of their duties. Persons accessing the LAA will be required to present a valid access card and enter a unique personally identifiable numeric code before entry is granted. All user activity will be logged by the ACS. Vandalizing or tampering with the ACS card reader on the unsecure side of a door will not unlock the door. The ACS controller will be located in the Security Room and be provided with backup power supply to ensure operation during a power failure for a minimum of four hours; or for thirty minutes in the event an emergency generator is provided for extended backup power.

All authorized personnel will be issued a photo ID badge that also acts as the card to access the controlled doors. Personnel names and photos will be printed on the card. All personnel will be



required to wear their photo ID badge at all times while on the premises. The cards will employ contactless smartcard technology with unique card numbers. Only cards programmed into the ACS will work at the dispensary. The manufacturer will track the individual card numbers to ensure card numbers are not duplicated. These card security measures will help ensure that only authorized personnel will have access to the dispensary facility.

The access control system will also include a visitor management function that will record visitors to the dispensary facility, store personal information, and print visitor badges.

### **Door Intercom System**

An intercom system is provided to allow Security Room personnel to communicate with persons at the Exterior Entry Vestibule door should the door be locked during business hours for any reason. The intercom system will allow the entry door to be remotely unlocked from the Security Room to allow vetted persons into the Entry Vestibule.

### **Door Interlock System**

An exterior and interior door at entry and exit points of the dispensary form a vestibule which will be configured similar as a mantrap to ensure authorized persons entering or exiting cannot allow an unauthorized person into the dispensary Sales Floor. The interlocked doors are controlled such that only one vestibule door can be opened at a given time. Doors are logically-controlled by a controller located in the Security Room. Door release buttons are provided at the reception desk for the entry doors to allow authorized persons to enter the Entry Vestibule, and once verified, will be allowed to enter the Sales Floor.

The exterior entry door is unlocked during business hours to facilitate access into the Entry Area. Once inside the Entry Vestibule, a person must check in at the Security Room transaction window. Once properly vetted, the security officer unlocks the interior Sales Floor door, which interlocks the exterior Entry Vestibule door. When the interior door is closed and locked, the exterior entry door is unlocked. After hours, the exterior Entry Vestibule door is locked by the ACS. The exterior Entry Vestibule door may be locked during business hours for additional security and vetted persons let in via the door intercom system.

When exiting the Sales Floor, a person pushes the exit bar to open the interior Sales Floor exit door. Once inside the Exit Vestibule, the interior Sales Floor door must be closed and secure before the exterior Exit Vestibule door can be opened to exit the building. While the exterior Exit Vestibule door is open, the interior Sales Floor door is interlocked to prevent it from being opened until the outer exit

door is closed and secure. Note: The interlock door controls will be overridden as required by life-safety code.

### **III. Policies and Procedures**

The Company will develop security-related policies and procedures in a written security manual. At minimum, the manual will include the development of the following policies.

1. Marijuana Product Security
  - a. Safes and Vaults
  - b. Security Personnel
  - c. Security Signage
  - d. Video Image Protection and Retention
  - e. Exterior Perimeter Lighting
  - f. Inventory and Disposal
  - g. Physical and Electronic Security Maintenance
  
2. Access Control in accordance with
  - a. Key and Access Code Control
  - b. Dispensary Facility Access
  - c. Client Access
  - d. Staff Only Areas (e.g., Break Room, Safe Room, Receiving area)
  - e. Security Officer Access (e.g., Security Room)
  
3. Visitor Management
  - a. Definition of Authorized Visitor
  - b. Notification of Visitors in Advance
  - c. Visitor Identification Badge (creation, display, and return)
  - d. Visitor Log

- e. Emergency Visitation Circumstance
- 4. Diversion, Theft, and Loss
  - a. Inventory (security aspects)
  - b. Identification
  - c. Reporting/Notification
  - d. Root Cause Analysis
  - e. Disposal of Marijuana
- 5. Alarm Activation, Security Breach and System Failure
  - a. Identification
  - b. Reporting/Notification
  - c. Root Cause Analysis

The Company will develop policies to include the following security policies for a holistic approach to dispensary facility security:

- 1. Workplace Violence
  - a. Definitions and Typologies
  - b. Management's Role and Responsibilities
  - c. Assessment
  - d. Response to Current Violence
  - e. Response to Threats
  - f. Investigation
- 2. Trespassing and Loitering
  - a. 94 C Statutes
  - b. Public Notification
  - c. Response Protocols

3. Weapons
  - a. Company Prohibitions
  - b. Signage
  
4. Bomb Threat
  - a. Bomb Threat Checklist
  - b. Evacuation Procedures
  - c. Search Procedures
  - d. Response Protocols
  
5. Sensitive Information Protection
  - a. Management's Role and Responsibilities
  - b. Sensitive Information Defined
  - c. Safeguarding Sensitive Information (e.g., Protected Health Information Credit Card)
  - d. Document Destruction
  - e. Clean Desk Policy
  
6. Staff Security Awareness
  - a. Management's Role and Responsibilities
  - b. New Employee Security Orientation
    - i. How staff contact security
    - ii. What information staff should report to security
    - iii. The importance of displaying and checking identification
    - iv. Procedures for preventing and responding to security breaches
    - v. Preventing, intervening, reporting and resolving workplace violence issues

- vi. Staff role in crime prevention
  - vii. Reporting environmental safety and security issues
  - viii. Personal safety awareness
  - ix. Confidential information and privacy issues
  - c. On-Going Security Awareness Efforts
  - d. Security Policies
  - e. Security Responsibilities
7. Robbery Prevention and Response
- a. Use of Duress Alarms
  - b. Compliance with Robber Demands
  - c. Video Surveillance
  - d. Employee Training
8. Cash Handling
- a. Acceptance of Cash from Patient
  - b. Cash Storage
  - c. Payments with Cash
9. End of Day Checklist
- a. Secure All Protected Health Information (PHI) Storage Areas
  - b. Secure Cash, Checks, and Credit Card Slip Storage Areas (i.e., Safe, cash boxes, etc.) or Transfer to Financial Institution
  - c. Secure All Marijuana Storage Areas
  - d. Secure All Interior Doors
  - e. Inspect Restrooms for Unauthorized Persons

#### **IV. Security Personnel**

Although not specifically required in the regulations, the UT dispensary facility will have one contracted security officer on-site during all hours that staff is on the premises. The Security Officer will be responsible for managing access, patrolling the dispensary facility, and verifying compliance with The UT security policies.

UT will develop written security post orders for Security Officers assigned to the dispensary facility. Post Orders are an essential document for Security Officers that provide guidance on expectations and instructions on performing security duties for each shift and each post. The Post Orders establish:

- Role in Client Access
- Patrol Requirements (frequency, locations, etc.)
- Alarm Priorities and Response Requirements:
- Duress/Panic/Hold-up Alarms
- Unauthorized Access
- Intrusion Alarms
- Failure Notification System
- Door/Lock Inspections
- Documentation (Daily Activity Reports and Incident Reports)
- End-of-Day Inspections

The Security Officer will be armed and equipped with a radio, flashlight, and cold weather gear.

#### **V. UT will provide training to include Security Policies, dispensary facility characterization, security post orders, systems training**

- Crisis Intervention
- Security Risk Management
- Effective Communications
- Security Awareness
- Use of Force

- Alarm System Fundamentals
- Defensive Tactics and Officer Safety

## **VI. Product Delivery**

The Company will only accept deliveries from production facilities at pre-arranged days and times and only when a proper shipping manifest has been sent from the production facility to UT at least 24 hours before the delivery.

Deliveries of finished product to the dispensary will occur at the rear Warehouse area through the side door of the dispensary. Only scheduled deliveries will be allowed. When a scheduled delivery vehicle arrives, the driver will contact dispensary and security personnel to meet them at the selected entrance. The driver will remain secure in the vehicle until security and dispensary personnel arrive. Finished products will be secured in locked cases until they are secured in the LAA. Security personnel will monitor the delivery and activity in the surrounding area and street. Should any suspicious activity be identified, security personnel will stop the delivery process, secure any product in the delivery vehicle or in the building as soon as possible. Prior to entry, an UT employee will let the delivery vehicle personnel into the delivery vestibule and check their department issued identification card before entering the receiving room. There, the product shall be counted and compared to the shipping manifest.

Once approved, the UT employee shall sign both copies of the shipping manifest and keep one copy. All shipping manifests will be kept in a secure location to be available for inspection. Any returned product or payment will be given to the delivery vehicle personnel and approved appropriately. All received product will immediately be put into a safe in the Safe Room.

The entire product delivery process will be monitored by the Security Officer in the Security Room, and he or she will notify the authorities and respond to the appropriate room if any trouble arises. The delivery vehicle personnel shall not be allowed into the rest of the dispensary facility.

## VII. Kroll's Operational Safety Program for Union Twist Company

Kroll will ensure that the facility will exceed the State's standards for access control and cameras. There will be no queue line on the street. We have designed an internal area for customers to wait to get verified that they are eligible to enter the dispensary. UT personnel will verify proof of age as an individual enters the facility. UT staff will also ensure the person has not previously been prohibited from entry for violation of our good neighbor agreement. Once a person is verified, they will be buzzed through the security door into the sales area. Upon selecting, the client will proceed to the check out where there will be a second verification of the person's ID. UT staff will ensure that there is no loitering on the premises or surrounding area.

All finished marijuana products will be stored in a secure, locked safe or vault in such a manner as to prevent diversion, theft and loss; UT will keep all safes, vaults, and any other equipment or areas used for the production, storage of marijuana products securely locked and protected from entry, except for the actual time required to remove or replace marijuana.

UT will ensure all locks and security equipment are good working order and will prohibit keys, if any, from being left in the locks or stored or placed in a location accessible to persons other than specifically authorized personnel. UT will limit combination numbers, passwords or electronic or biometric security systems, to specifically authorized personnel.

Kroll will ensure that the outside perimeter of the Marijuana Establishment is sufficiently lit to facilitate surveillance, where applicable. In addition, all marijuana products will be kept out of plain sight and are not visible from a public place without the use of binoculars, optical aids or aircraft. UT will develop emergency policies and procedures for securing all product following any instance of diversion, theft or loss of marijuana, and conduct an assessment to determine whether additional safeguards are necessary.

UT will share the Marijuana Establishment's security plan and procedures with Newton Police and Fire Departments and will periodically update law them as needed if the plans or procedures are modified in a material way.



**VIII. Incident Reporting.**

UT shall notify appropriate law enforcement authorities and the Cannabis Control Commission of any breach of security immediately and, in no instance, more than 24 hours following discovery of the breach. Notification shall occur, but not be limited to, during the following occasions:

- Discovery of discrepancies identified during inventory;
- Diversion, theft or loss of any marijuana product;
- Any criminal action involving or occurring on or in the Marijuana Establishment premises;
- Any suspicious act involving the sale, cultivation, distribution, processing or production of marijuana by any person;
- Unauthorized destruction of marijuana;
- Any loss or unauthorized alteration of records related to marijuana;
- An alarm activation or other event that requires response by public safety personnel or security personnel privately engaged by the Marijuana Establishment;
- The failure of any security alarm system due to a loss of electrical power or mechanical malfunction that is expected to last more than eight hours; or
- Any other breach of security.

UT shall, within ten calendar days, provide notice to the Cannabis Control Commission of any incident described in 935 CMR 500.110(7)(a) by submitting an incident report in the form and manner determined by the Commission which details the circumstances of the event, any corrective action taken, and confirmation that the appropriate law enforcement authorities were notified. All documentation related to an incident that is reportable pursuant to 935 CMR500.110(7)(a) shall be maintained by UT for not less than one year or the duration of an open investigation, whichever is longer, and made available to the Cannabis Control Commission and law enforcement authorities upon request.

**IX. Security Audits**

UT will, on an annual basis, obtain at its own expense, a security system audit by a vendor approved by the Commission. A report of such audit will be submitted, in a form and manner determined by the Commission, no later than 30 calendar days after the audit is conducted. If the audit identifies concerns related to the establishment's security system, UT will submit a mitigation plan within ten business days of submitting the audit.

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## **X. Packaging of Edible Marijuana Products**

Any edible marijuana product that is made to resemble a typical food or beverage product will be packaged and labeled as required by M.G.L. c. 94G, § 4(a<sup>1/2</sup>) (xxvi) and 935 CMR 500.105(5). UT will not offer for sale edibles in the distinct shape of a human, animal, or fruit; or a shape that bears the likeness or contains characteristics of a realistic or fictional human, animal, or fruit, including artistic, caricature, or cartoon renderings. UT will ensure all edible marijuana products are prepared, handled, and stored in compliance with the requirements in 935 CMR 500.105(3) and 500.105(11).

Per 935 CMR 500.150(3), in addition to the requirements set forth in M.G.L. c. 94G, § 4(a<sup>1/2</sup>)(xxvi) and 935 CMR 500.105(5) and (6), UT will ensure that the following information or statement is affixed to every container holding an edible marijuana product:

- If the retail edible marijuana product is perishable, a statement that the edible marijuana product must be refrigerated.
- The date on which the edible marijuana product was produced.
- A nutritional fact panel that must be based on the number of THC servings within the container.
- Information regarding the size of each serving for the product by milligrams, the total number of servings of marijuana in the product, and the total amount of active THC in the product by milligrams (mgs). For example: "The serving size of active THC in this product is X mg(s), this product contains X servings of marijuana, and the total amount of active THC in this product is X mg(s)."
- A warning that the impairment effects of edible marijuana may be delayed by two hours or more.

UT will ensure that each single serving of an edible marijuana product is physically demarked in a way that enables a reasonable person to intuitively determine how much of the product constitutes a single serving of active THC. Each serving of an edible marijuana product within a multi-serving package of edible marijuana products will be easily separable in order to allow an average person 21 years of age or older to physically separate, with minimal effort, individual servings of the product. Each single serving of an edible marijuana product contained in a packaged unit of multiple edible marijuana product shall be marked, stamped, or otherwise imprinted with a symbol or easily recognizable mark issued by the Cannabis Control Commission that indicates the package contains marijuana product.

UT will not deliver, sell or otherwise transfer an edible marijuana product with potency levels exceeding the following, as tested by an independent marijuana testing facility licensed in accordance with M.G.L. c. 94G, § 15: for a single serving of an edible marijuana product, five milligrams of active tetrahydrocannabinol (THC); and in a single package of multiple edible marijuana product to be eaten, swallowed, or otherwise ingested, not more than 20 servings or 100 milligrams of active THC. The THC content will be homogenous, or evenly distributed throughout the edible marijuana product.

UT will ensure that all products are marked with an easily recognizable mark issued by the Cannabis Control Commission that indicates that the product is harmful to children. In instances where the labeling of the marijuana product is unreasonable or impractical, UT will include the labeling information on a peel back label or may place the product in a sealed bag with an insert or additional, easily readable label firmly affixed to that bag. UT will employ tamper or opaque or plain child-resistant packaging as approved by the US Consumer Product Safety Commission for their most recent poison prevention packaging regulations.

UT will ensure compliance with 935 CMR 500.105: by not utilizing packaging methods below:

1. Using bright colors, defined as colors that are "neon" in appearance;
2. Imitating or having a semblance to any existing branded consumer products, including foods and beverages, that do not contain marijuana;
3. Featuring cartoons;
4. Featuring a design, brand or name that resembles a non-cannabis consumer product of the type that is typically marketed to minors;
5. Featuring symbols or celebrities that are commonly used to market products to minors;
6. Featuring images of minors; or
7. Featuring words that refer to products that are commonly associated with minors or marketed to minors.

UT will utilize a Cannabis Control Commission approved seed to sale tracking program to track all product coming into and out of the facility.

## **XI. Union Twist Company Good Neighbor Agreement**

Concerns have been raised in some communities that an adult use dispensary will create more open-air marijuana use in and around the area. Kroll notes that increased use in the area has not been the experience of other facilities. Any first-time visitor to the facility will have to sign a good neighbor pledge acknowledging the current laws and regulations regarding the use of cannabis. They will be provided with educational material that will inform them how to safely consume and store their purchases, as well as a warning that anyone found to violate the good neighbor agreement by consuming in public, diverting product to unauthorized persons, or engaging in impaired operation of a vehicle will be trespassed from the property. UT will widely publish a quality of life complaint hotline that would be linked to the facility. If any residents see people engaged in illegal marijuana use in public in the area, they can call not only the Newton Police but our hotline as well. UT will make efforts to determine if the problem activity is being conducted by a client. If UT becomes aware that someone has violated the terms of the good neighbor policy such as consuming the product in public, UT will immediately trespass that individual and will list them as no longer being able to enter the UT facility. UT intends to hire Newton police officers on a detail / reimbursable overtime basis as needed.

- UT understands that police details are not mandatory assignments and officers take them on a voluntary basis there are times the detail assignment can go unfilled.
- UT will suggest that if necessary that the assignment be on reimbursable overtime. Overtime can be a mandatory assignment to ensure that an officer is assigned the duty.

As well as adding police resources to the neighborhood, Kroll believes in the broken windows theory of policing that by addressing disorder in the area environment crime is controlled. It is UT's intention if requested by the police department to purchase and donate to the town a series of cameras that can be deployed into the area surrounding the facility and or at any current areas of concern.



7



**City of Newton, Massachusetts**  
Department of Planning and Development  
1000 Commonwealth Avenue Newton, Massachusetts 02459

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(617) 796-1089  
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Ruthanne Fuller  
Mayor

Barney S. Heath  
Director

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**HOST COMMUNITY AGREEMENT ADVISORY GROUP RECOMMENDATION**

**DATE:** August 30, 2019

**TO:** Mayor Ruthanne Fuller

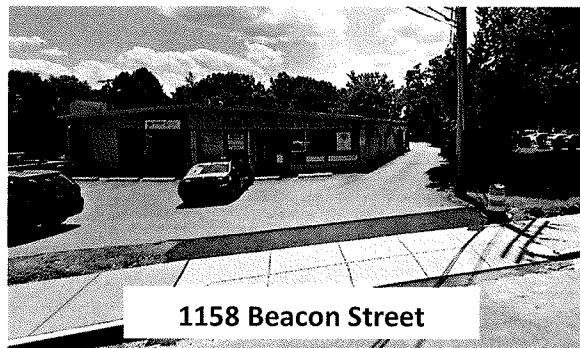
**FROM:** Host Community Agreement Advisory Group

**SUBJECT:** **Host Community Agreement Recommendation for Union Twist, proposing a marijuana retailer at 1158 Beacon Street**

**EXECUTIVE SUMMARY**

Union Twist Inc. (d/b/a Union Twist), is proposing to become a recreational marijuana retailer at 1158 Beacon Street, near Newton Four Corners. Members of the management team met with the Host Community Agreement (HCA) Advisory Group on April 4, 2019.

Union Twist is led by three women who have experience in law enforcement, regulatory compliance, retail and cultivation. The proposed site is located within a commercial strip, outside of a village center. The applicant has presented well thought out plans for operations, security, and social equity. The applicant has appropriate public health, community relations, and sustainability philosophies and the company will provide economic value to the city. For these reasons, and those described in more detail below, the HCA Advisory Group recommends moving forward with a provisional Host Community Agreement for Union Twist Inc.'s marijuana retailer at 1158 Beacon St. and moving the applicant forward to the City Council's and the state's rigorous review processes.





CRITERIA FOR CONSIDERATION:

- I. Security – *Whether there is a sufficient commitment to public safety and a sufficient plan for controlling access to areas with marijuana and preventing sales to underage populations, and other similar factors.*

Union Twist will provide security both inside and outside of the facility to ensure the safety of customers and employees and to prevent crime and diversion. Security will be provided through physical barriers, technology, cameras, and on-site security personnel. All personnel will be trained extensively and Union Twist will provide the Newton Police with direct video feed access to its video surveillance system. Union Twist will work with Newton Police and the Cannabis Control Commission (Commission) to ensure video cameras are properly positioned. Perimeter security, including motion sensors, alarms, and video surveillance, will be installed and intrusion detection sensors will be placed on all exit and entry points, including windows. Multiple redundant alarm systems will ensure the system does not fail in the case of a power. There will be one contracted security officer on-site during all hours that staff is on the premises. The security officer will be responsible for managing access, patrolling the dispensary facility, and verifying compliance with security policies. The security officer, as well as staff, will monitor the parking lot. The door to the retailer will be located in the rear, adjacent to the parking lot and deliveries will happen through the side door.

Union Twist has taken steps to prevent diversion and nuisance and will require all customers to sign a community norms pledge. Union Twist will provide a 24/7 contact number to local business owners and residents.

Dan Linskey is listed as the Director of Security. Mr. Linskey serves as a Managing Director in Kroll's Business Intelligence and Investigations practice and is head of the Boston office. Mr. Linskey is also the former Superintendent-in-Chief of the Boston Police Department (BPD) and a 27-year veteran of the police force. While Superintendent-in-Chief, Mr. Linskey managed the day-to-day operations of a 3,000-person department while overseeing a 30% reduction in major crimes over seven years.

The proposed security plan appears well thought out to both protect customers and employees and prevent diversion, while helping Union Twist be a good neighbor.

The Advisory Group recommends that if the applicant moves forward, they continue to work closely with the Newton Police Department, and they provide careful attention to providing sufficient lighting and security in the rear parking lot.

- II. Public Health – *Whether there is a commitment to help monitor and mitigate health impacts to the neighborhood and to Newton's youth and adult populations, assistance with local substance abuse prevention programming, and other similar factors.*

Union Twist has stated they are committed to working with the Newton Health and Human Services Department to monitor and mitigate health impacts to the City including, but not limited to: ensuring that labeling of all marijuana products complies with state and local requirements; assisting with and providing resources for substance abuse education and prevention programming; and providing supplemental information to company-produced materials for customers regarding safe consumption, transportation and storage of marijuana products. The applicant also agreed to provide information in their store created by the City regarding substance abuse prevention and treatment and to provide links to such information on their website.

III. Community Relations – *What are the plans for community outreach and addressing community concerns, experience with the Newton community, and other similar factors.*

Marie St. Fleur, Chief Operating Officer, and Amy McNamee, Chief Executive Officer, both have backgrounds in public service. Ms. St. Fleur, as a former Massachusetts State Representative and Cabinet Chief for Mayor Menino is experienced in engaging with the community. Ms. St. Fleur is a lawyer, legislator, policy maker, and motivational speaker and states she is passionate about removing systemic barriers that prevent upward mobility; particularly for women. She has created outreach and engagement approaches, spearheaded the establishment of the Massachusetts Department of Early Education and Care, launched the Put MA Kids First Coalition, a multi-year campaign to increase state investment in Early Education and Care and Out of School Time in Massachusetts, and created the Early Education Small Business Innovation Center in Boston. She has also served as a Massachusetts State Representative, a Cabinet Chief for Mayor Menino, an Assistant State Attorney General, Chair of the Advisory Council for the Haiti Fund at the Boston Foundation, and President and CEO of a non-profit.

In addition to the state-mandated community meeting, the applicant will provide a 24/7 contact number so any issues can be reported and resolved, will commit to join local business, civic and neighborhood safety associations and to have the Community Engagement Officer, Store Manager or Assistant Store Manager regularly attend meetings, and will participate in and provide sponsorship of community events. Union Twist has already begun meeting with City Councilors and neighbors and has also agreed to host a community outreach meeting before which it will notify abutters within 300 feet of the property of said meeting.

The Advisory Group recommends that the applicant continue to pursue community outreach efforts above and beyond the required community meeting, and that they engage further with those in the surrounding residential neighborhoods.

IV. Experience – *What are the professional experiences and qualifications of the management team and other similar factors.*

Amy McNamee is a Massachusetts native and trial attorney who has practiced law in the

Commonwealth of Massachusetts for over 20 years. Ms. McNamee worked as an Assistant District Attorney in Suffolk County 1998-2010, where she was assigned to the West Roxbury District Court, The Boston Municipal Court and Suffolk Superior Court and she spent the majority of her career as a prosecutor. She was assigned to Suffolk County District Attorney's Gang Unit and Senior Trial Team where she investigated unsolved gang related crimes in the Grand Jury with the Boston Police Department and was a member of the District Attorney's Homicide Response Team. After leaving the District Attorney's officer, Ms. McNamee started her own law practice, focused on criminal defense.

Tahira Rehmatullah, Cannabis Advisor, is the Chief Financial Officer of MTech Acquisition Corp and Managing Director of Hypur Ventures; both businesses are in the cannabis industry. Ms. Rehmatullah previously served as General Manager of Marley Ventures, the official Bob Marley cannabis brand where she launched and led a cannabis lifestyle brand with four product categories.

The Union Twist management team has deep experience in law enforcement, compliance, public service, security, the cannabis industry and community work. Their combined experience includes managing, hiring, and training for large organizations. Union Twist has assembled an experienced team who appear capable of success and positive integration with the community. The Advisory Group recommends they focus adding staff with direct marijuana retail experience.

V. Sustainability – *What are the proposed sustainable and renewable energy practices, and other similar factors.*

The Applicant is committed to creating a retail space that is energy efficient with a decreased carbon footprint. Employees of the Union Twist location in Newton will be given free MBTA passes, transportation schedules, and secure bicycle racks to discourage driving to and from work. Union Twist's website will encourage customers to utilize public transportation, bicycle infrastructure, and walking as well. Union Twist will also pursue composting and will offer discounts to customers who return packaging to be recycled. They will also seek LEED certification for the building after renovations.

The Advisory Group recommends that Union Twist continue to explore ways to reduce energy consumption and waste within their facility.

VI. Equity – *What are the qualifications of the Applicant under state Economic Empowerment and/or Social Equity programs.*

Union Twist does not qualify for the state Economic Empowerment or Social Equity programs. However, they have created policies and initiatives to encourage diversity and to positively impact communities that have been disproportionately impacted by federal and state drug policies. Union Twist's policies include a goal to employ a workforce consisting of at least 30% racial and ethnic minorities. Union Twist's CEO and COO have both witnessed firsthand the impact of the war on drugs, and are thus committed to

providing employment opportunities to individuals disproportionately affected impacted by its legacy. Union Twist will also develop a management-level diversity committee that will evaluate the breadth and efficacy of its hiring and recruitment practices. Each year Union Twist will measure its hiring goals against the actual number of employees employed or hired that meet the criteria. If Union Twist does not meet this goal, they have committed to making a \$2,000 donation to a local workforce training organization for each percentage point.

- VII. Economic Value – *What is the amount of additional economic value the business would bring to Newton, e.g., new jobs, additional local tax revenue, increased property value, commitment to diverse and local hiring, commitment to use of local businesses for construction, supplies, product, and other business needs, openness to long-term community impact fees, and other similar factors.*

Union Twist will invest in the renovation of a currently underutilized parcel, which build-out process will utilize local businesses for construction to the extent possible. Additionally, Union Twist will bring up to 25 salaried jobs to Newton, which it intends to source locally to the extent permitted by law. They state that employees will have access to a living wage, comprehensive benefits, and substantial workplace training. Union Twist has indicated they will provide 3% of gross revenue to the City as a community impact fee, in addition to the 3% local sales tax option. Union Twist projects that the City will receive an average total revenue of \$700,580, inclusive of the sales tax and community impact fee, annually from the establishment.

- VIII. Context – *Whether the proposed facility is not clearly inappropriate in terms of location, operations as well as transportation, traffic and parking, with those final decisions reserved for the City Council during the Special Permit process.*

The proposed site is located on Beacon Street, approximately 800 feet west of the Walnut Street intersection in the Four Corners area. The abutting properties to the east and west are office and retail buildings. To the north is a residential parcel and the Newton Cemetery and to the south is an apartment building. The entrance to Cold Spring Park is approximately 800 feet to the west.

The subject property consists of an approximately 20,000 square foot lot consisting of a 5,300 square foot retail building as well as paved surface used for deliveries and parking. The building contains two retail spaces. The eastern most space contains IQ Kitchen, a primarily take out restaurant, and Union Twist would locate in the western half of the building, most recently home to Jaylin Cleaners. The property is located in the Business 2 (BU2) zone. The site is not within the 500-foot buffer zone for any public or private k-12 schools and exceeds the half-mile buffer from any existing or approved marijuana retailers or registered marijuana dispensaries. The applicant proposes to utilize approximately 2,290 square feet of the 5,300 square feet of commercial space on the site.

The site contains two driveways and is physically separated from the commercial strip to the east. There are several diagonal parking stalls at the front and additional parking in the rear. Union Twist would upgrade the façade of the entire building and re-stripe the rear parking lot. Customers would enter directly from the rear parking lot through a door at the rear of the building. No customers would utilize the front of the building, though customers to IQ Kitchen would continue to enter at the front of the building. The parking needs of the adjacent take out restaurant can be accommodated by the stalls at the front of the building and the proposed marijuana retailer would utilize the rear parking area. Submitted plans show striping for 11 parking stalls in the rear and four in the front all with sufficient maneuverability. There is ample additional space at the rear of the building for dumpsters, bicycle racks, and landscaping. Employees would be encouraged to utilize transit and will be given MBTA passes, and there will also be bicycle parking onsite for both employees and customers.

The proposed site lacks adequate landscaping at this time. If the application is to move forward, the Advisory Group recommends the Applicant add landscaping, particularly along the southern boundary. While there is no direct access from the rear of the site to Cold Springs Park (the rear of the site abuts parking for the adjacent office and apartment building), the applicant should consider continuous fencing along the southern and western boundaries of the site to further limit connections to the park. Lighting improvements may also be necessary such that there is sufficient lighting within the parking lot for safety purposes but limited light spillover onto adjacent properties.

#### RECOMMENDATION:

The proposed marijuana retailer brings a women-led (including a woman of color) team with deep law enforcement, security, and community work experience. Union Twist has demonstrated success in managing, hiring, overseeing operations and training both in and outside of the cannabis industry. The Applicant also has local ties to the Boston region and is committed to maintaining positive relationships with the community and neighboring businesses and residents. Union Twist has committed to engaging the community, providing 24/7 contact information in order to immediately address any potential issues, and has developed a thorough security plan.

The proposed site has dedicated parking and is located towards the western edge of a commercial strip, a sufficient distance from the busy Beacon Street and Walnut Street intersection. There are safe site distances and adequate parking. The façade upgrade for the building will improve this underutilized parcel and the entrance at the rear of the site will minimize visibility of the retailer for neighbors. The storefront is directly across from the Newton Cemetery and buffered by commercial uses on either side and a fence and landscaping separates the rear of the parking facility and the apartment building to the south, though additional landscaping and fencing is recommended.

There were four applications for HCAs received within a half-mile span of Beacon Street,

where zoning will only allow one establishment. While the proposed site warrants additional consideration of landscaping and transportation demand management measures, the proposal is for a small store, discreetly located at the rear of the building and well buffered from surrounding uses. The site is also the furthest from the Beacon Street and Walnut Street intersection, where congestion is a concern. Additionally, Union Twist has committed to diversity in hiring and has submitted a plan that, if properly implemented, will positively impact historically underserved communities.

Based on this preliminary analysis, the HCA Advisory Group recommends moving forward with a provisional host community agreement for Union Twist, Inc. As part of the Special Permit process, the City Council may wish to consider the topics in more depth: parking plans, community outreach, and landscaping.

8



Setti D. Warren  
Mayor

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John Lojek  
Commissioner

## FLOOR AREA RATIO WORKSHEET

*For Residential Single and Two Family Structures*

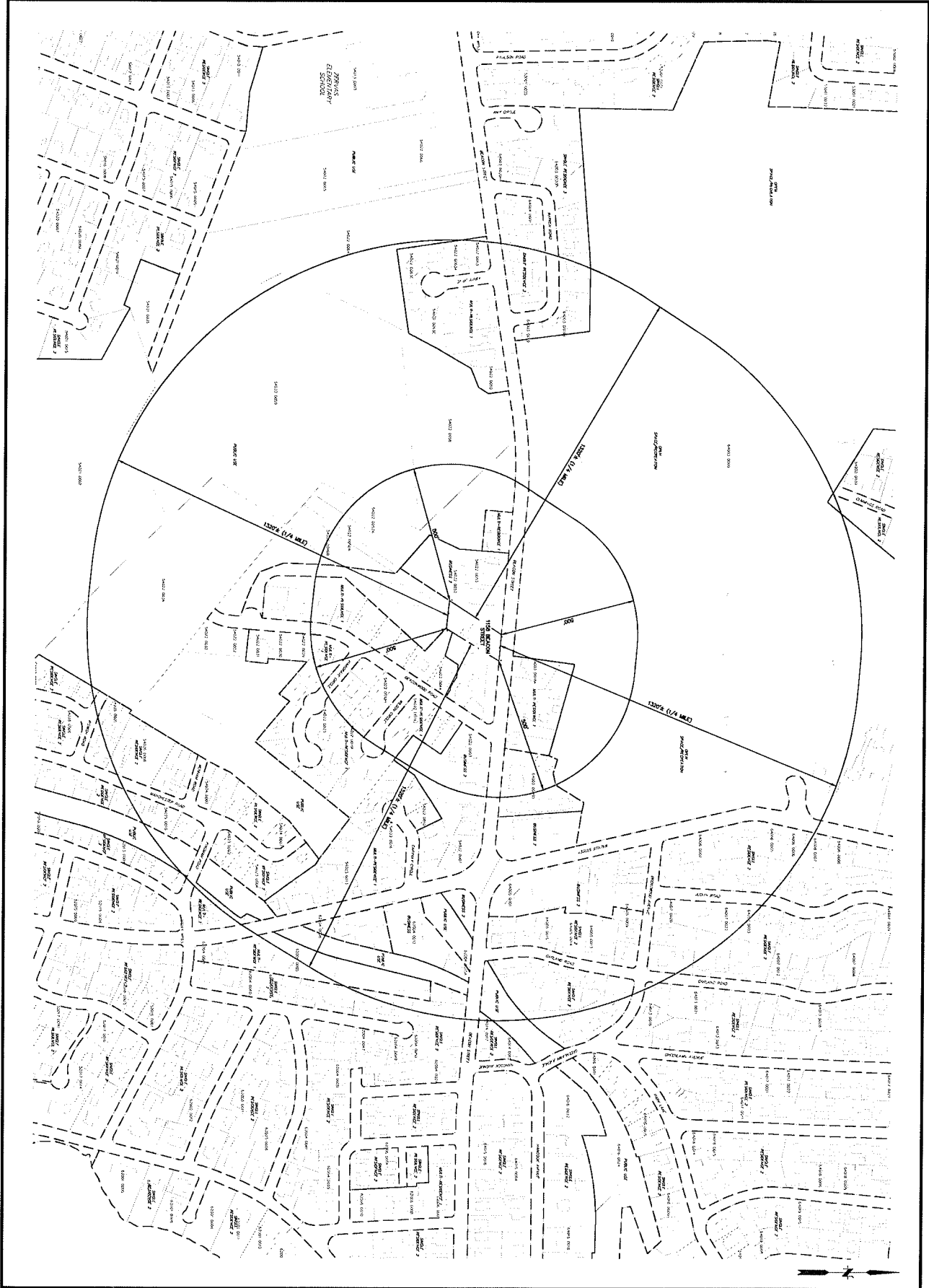
**Property address:** 1158 Beacon Street, Newton, MA 02460

**Zoning District:** BU2                      **Lot Size:** 20,443 square feet (SF)

<b>FAR Calculations for Regulations Effective As Of October 15, 2011</b>	
<b>Inputs (square feet)</b>	
1. First story	4,770
2. Attached garage	N/A
3. Second story	N/A
4. Atria, open wells, and other vertical spaces (if not counted in first/second story)	N/A
5. Certain floor area above the second story <sup>1b</sup>	N/A
6. Enclosed porches <sup>2b</sup>	N/A
7. Mass below first story <sup>3b</sup>	N/A
8. Detached garage	N/A
9. Area above detached garages with a ceiling height of 7' or greater	N/A
10. Other detached accessory buildings (one detached building up to 120 sq. ft. is exempt)	N/A
<b>FAR of Proposed Structure(s)</b>	
A. Total gross floor area (sum of rows 1-9 above)	4,770
B. Lot size	20,443
C. FAR = A/B	0.23
<b>Allowed FAR</b>	
Allowable FAR	1.0
Bonus of .02 if eligible <sup>4b</sup>	
<b>TOTAL Allowed FAR</b>	<b>1.0</b>



9




**FIGURE 1**

UNION TWIST, INC.  
 CONTEXT MAP  
 1158 BEACON STREET  
 NEWTON MASSACHUSETTS



**FUSS & O'NEILL**  
 108 NEWELL STREET, SUITE 502  
 QUINCY, MA 01906  
 617.382.4675  
 www.fuss-on.com

SCALE	HORIZ. 1" = 150'
	VERT. 1" = 150'
DATUM	HORIZ. NAD 83
	VERT. NAVD 83
	
GRAPHIC SCALE	

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

**10**

F R  
M O

FROM ARCHITECTURE D.P.C.  
262 WEST 38TH ST. #1401 NEW YORK NY 10018  
T. 212.500.5482 info@f-d-c.com

ARCHITECT PROPERTY - ALL DESIGNS, DRAWINGS AND SPECIFICATIONS PRODUCED BY FROM ARCHITECTURE D.P.C. SHALL REMAIN THE ARCHITECT'S PROPERTY AND RIGHTS (INCLUDING PATENTS AND TRADEMARKS) AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FROM ARCHITECTURE D.P.C. IN CONNECTION WITH THIS PROJECT. ANY WORK OTHER THAN THESE DRAWINGS, SPECIFICATIONS OR CONCEPTS TO PRODUCE ANY WORK OTHER THAN THESE DRAWINGS, SPECIFICATIONS OR CONCEPTS TO PRODUCE ANY WORK OTHER THAN THESE

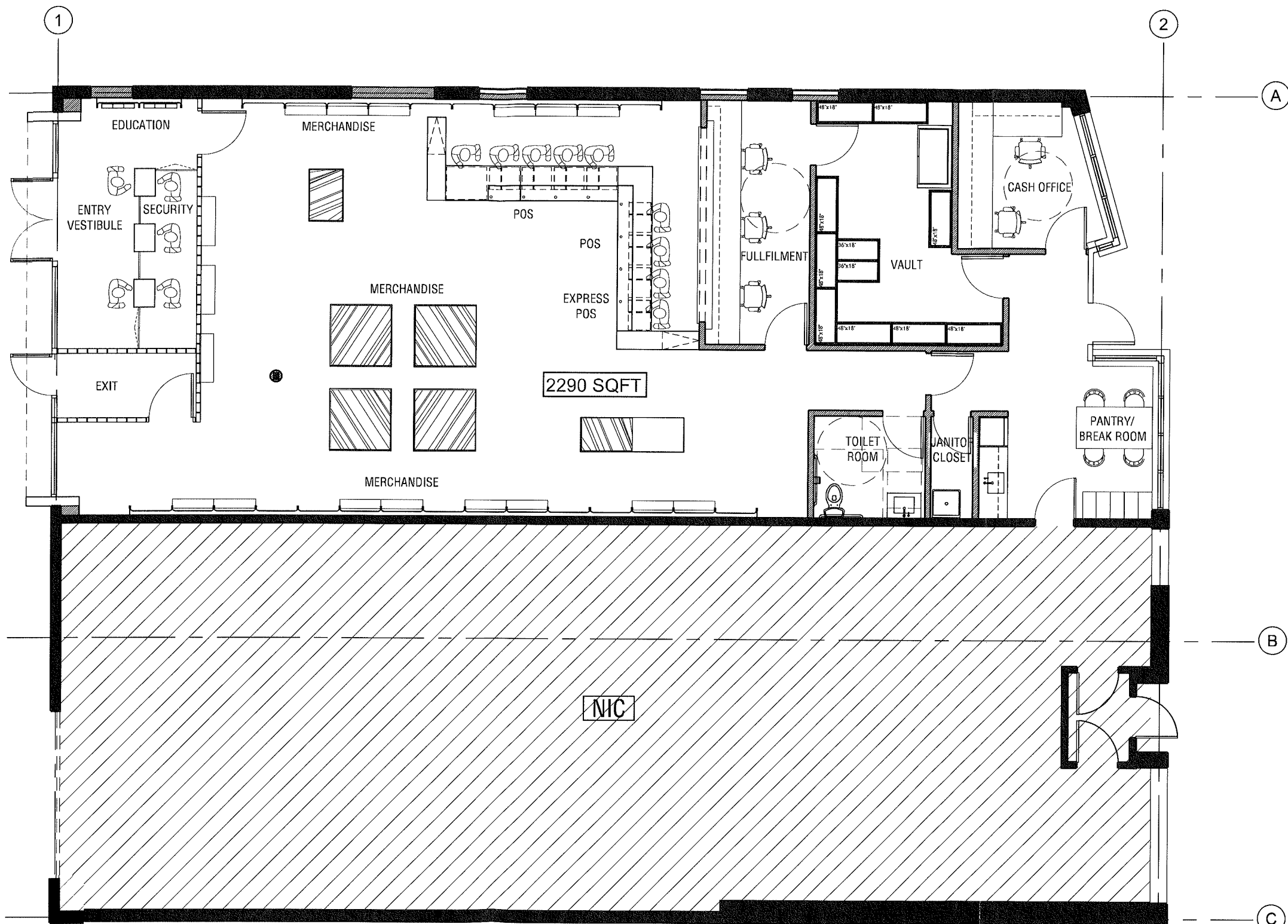
PROJECT TITLE  
UNION TWIST - NEWTON  
1158 Beacon Street, Newton, MA 02461  
SHEET TITLE  
GROUND LEVEL - FLOOR PLAN

DATE  
Oct. 9, 2019

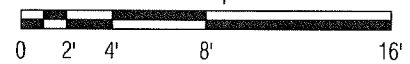
PROJECT NO.  
19002

DWG NO.  
SK-01.7

**PROJECT INFO:**  
LEVELS: 1 FLOORS  
SQUARE FOOTAGE: 2290 SQF (1589 FOH + 701BOH); 30% BOH  
SKU (Dense): TBD total SKUs - TBD unique SKUs  
SKU (Light): TBD total SKUs - TBD unique SKUs  
POS Stations: 9 (2 Express Checkout Stations)  
FULFILLMENT Occupancy: 3 people  
VAULT SIZE: 198 SQF  
BOH SINGLE OFFICES: 0  
BOH OFFICE STATIONS: 2 Cash Office

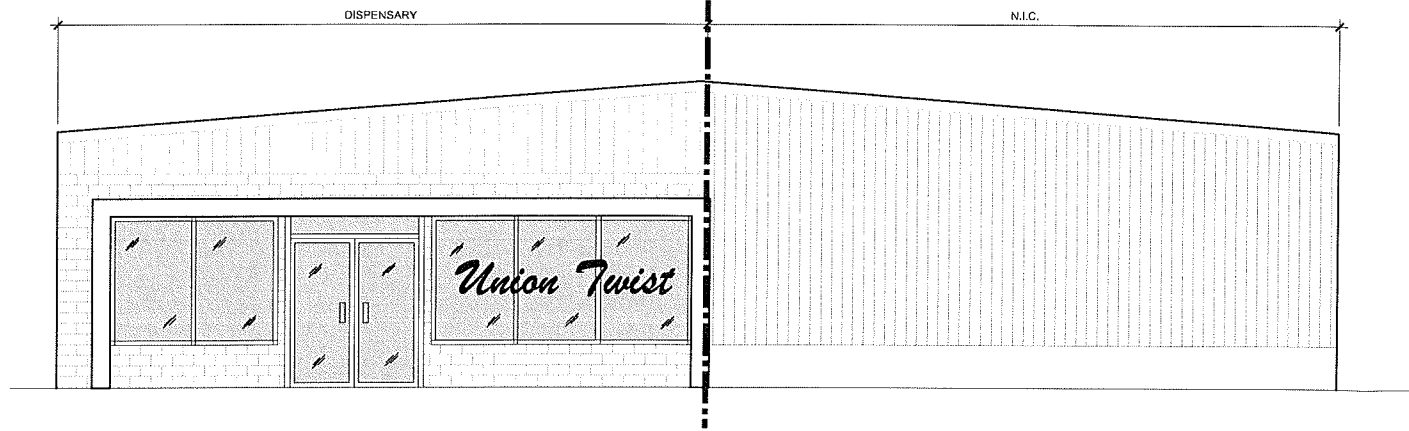


4770 SQFT  
TOTAL BUILDING AREA

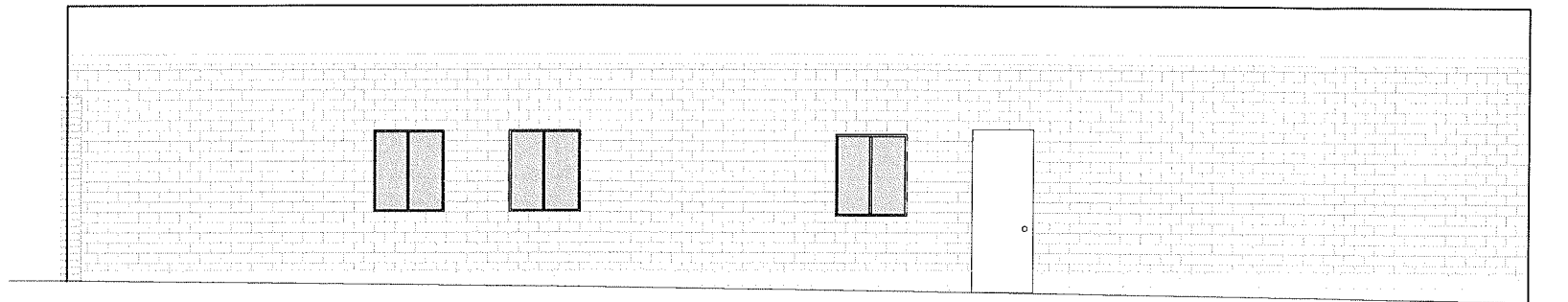


Last save: Dec 23, 2019 - 9:40am

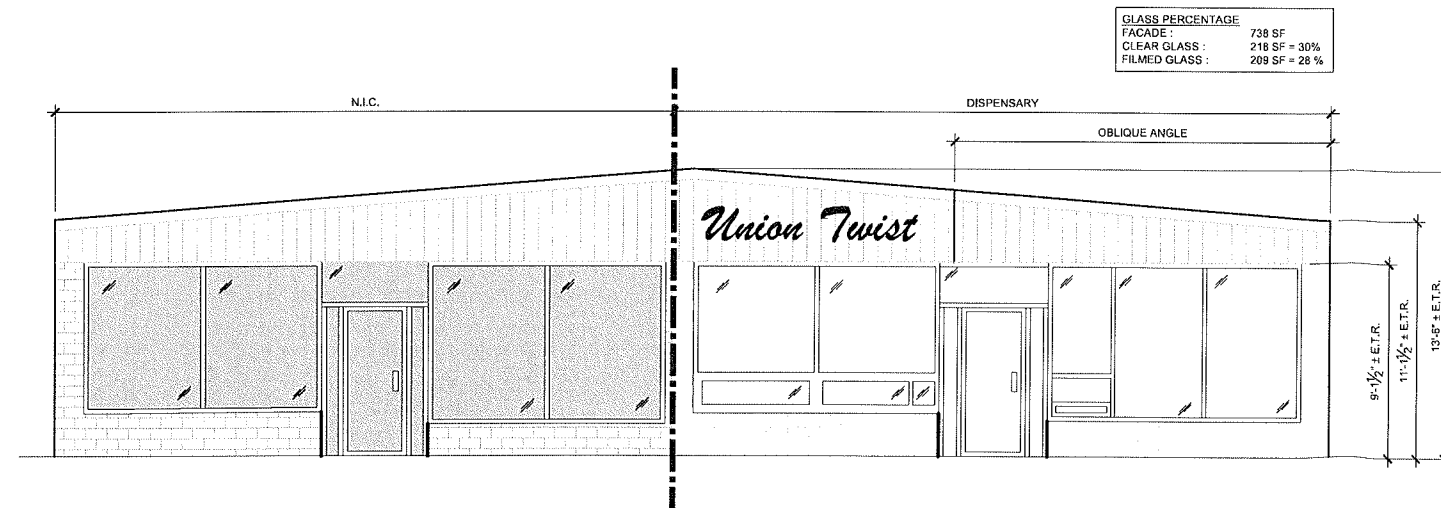
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Copyright © 2019 by BKA Architects, Inc. The architectural plans, drawings, design, interior details and other information on this sheet are the sole property of BKA Architects, Inc. No part thereof shall be copied, reproduced or used in connection with any work of project, other than the approved project for which they have been prepared and developed, without the express knowledge and written consent of BKA Architects, Inc.



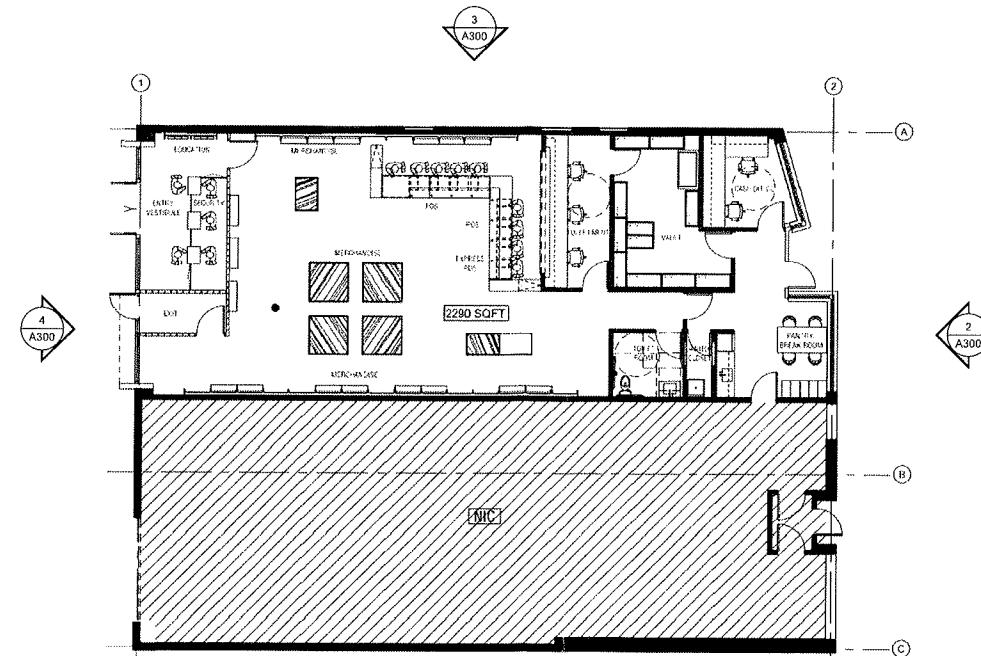
**4 REAR ELEVATION - SOUTH**  
SCALE: 1/4" = 1'-0"



**3 SIDE ELEVATION - WEST**  
SCALE: 1/4" = 1'-0"



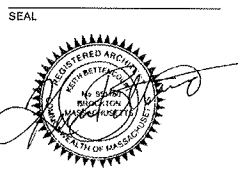
**2 FRONT ELEVATION - NORTH**  
SCALE: 1/4" = 1'-0"



**1 KEY PLAN**  
SCALE: 3/32" = 1'-0"

ARCHITECT  
**BKA** ARCHITECTS  
Boston + Brockton  
142 Crescent Street  
Brockton, MA 02302  
508.583.5603  
bkaarchitects.com

CONSULTANT



ISSUED

REVISIONS

OWNER/CLIENT

PROJECT  
**UNION TWIST**

1158 BEACON STREET  
NEWTON, MA

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DRAWING INFORMATION  
Job Number: 219014  
Checked By: MMJ  
Drawn By: AGZ  
DRAWING NUMBER

**A**  
**300**

# UNION TWIST DISPENSARY

1158 BEACON STREET, NEWTON, MA

PERMITTING PLANS

OCTOBER 23, 2019

PREPARED FOR  
**UNION TWIST, INC.**  
1 INTERNATIONAL PL #3700  
BOSTON, MA 02110



PREPARED BY  
**FUSS & O'NEILL**  
108 MYRTLE STREET, SUITE 502  
QUINCY, MA 02171  
617-282-4675  
www.fando.com

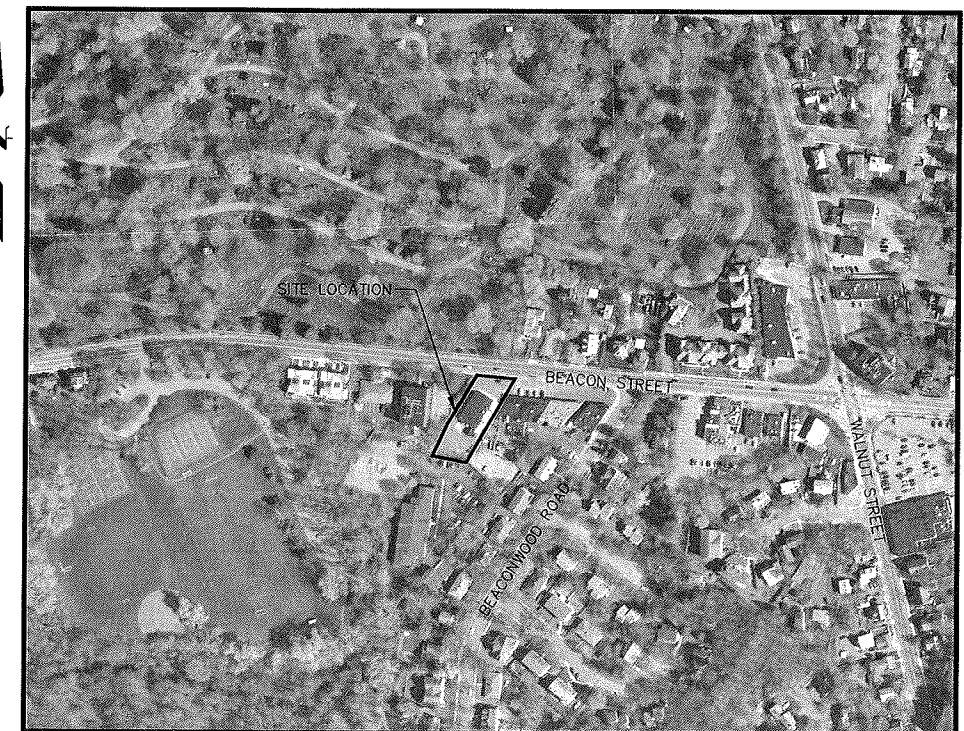
## SHEET INDEX

SHEET No.	SHEET TITLE
GI-001	COVER SHEET
CN-101	GENERAL NOTES
SHEET 1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY BY CONTROL POINT ASSOCIATES
CP-101	SITE PREPARATION PLAN
CE-101	EROSION AND SEDIMENT CONTROL PLAN
CS-101	SITE LAYOUT PLAN
LND-101	SITE LANDSCAPING PLAN
CD-501	EROSION AND SEDIMENT CONTROL DETAILS
CD-502-503	SITE DETAILS
SL-101	SITE PHOTOMETRIC PLAN

## PROJECT TEAM

ARCHITECT  
BKA ARCHITECTS INC  
344 BOYLSTON STREET  
BOSTON, MA 02116  
508-728-3853

LAND SURVEYOR  
CONTROL POINT ASSOCIATES  
45 FRANKLIN STREET 5TH FLOOR  
BOSTON, MA 02110  
857-400-3311



LOCATION MAP  
SCALE: 1" = 200'



NOT FOR CONSTRUCTION

PROJ. No.: 20190241 A30  
DATE: 10/23/2019

GI-001

File Path: J:\DWG\20190221\A30\_DET01.dwg Layer: CN-101 Plotted: Wed, October 23, 2019 - 8:02 AM User: valdez  
PLOTTER: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 CTB File: FO.STB  
LAYER STATE:

**GENERAL**

1. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
2. DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
3. PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
4. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDINGS AND ADJACENT SITE ELEMENTS INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. BASE PLAN: OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY", PREPARED BY CONTROL POINT ASSOCIATED INC., DATED 04/01/19.
6. TOPOGRAPHIC ELEVATIONS ARE BASED ON NAVD83.
7. FLOOD ZONE: THE SUBJECT SITE LIES WITHIN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 25017C0554E, EFFECTIVE DATE JUNE 4, 2010.
8. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE FOR INSPECTION AT THE CONSTRUCTION SITE AT ALL TIMES.

**WORK RESTRICTIONS**

1. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
2. WORK IS RESTRICTED TO THE HOURS OF 7 AM TO 5 PM ON MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

**REGULATORY REQUIREMENTS**

1. WITHIN RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS.
2. AT A MINIMUM, CONSTRUCT ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
3. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
4. SECURE THE PROJECT SITE AND PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
5. DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

**DEMOLITION**

1. THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED. PERFORM A PRE-BID SITE INSPECTION. COORDINATE DEMOLITION OF UNIDENTIFIED UTILITIES OR STRUCTURES WITH OWNER. DEMOLISH STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES.
2. TREES, BRUSH AND STUMPS REMOVED BY CLEARING & GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
3. ITEMS TO BE STOCKPILED ON-SITE FOR REUSE OR TO BE RELOCATED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED IN-KIND AT NO ADDITIONAL COST TO THE OWNER.

**EARTHWORK**

1. NOTIFY THE FOLLOWING AT LEAST 72 HOURS BEFORE STARTING EXCAVATION EXCLUSIVE OF WEEKENDS AND HOLIDAYS:  
"DIG SAFE" AT 1-888-344-7233.
2. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, PERFORM EARTHWORK OPERATIONS TO SUBGRADE ELEVATIONS. SEE DRAWINGS BY OTHERS FOR WORK ABOVE SUBGRADE.

**CONSTRUCTION LAYOUT**

1. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND DRAINAGE STRUCTURES BEFORE START OF CONSTRUCTION.
2. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
4. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
5. BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

**EROSION AND SEDIMENT CONTROL**

1. DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW AND LOCAL ORDINANCE. WORK SHALL COMPLY WITH THE FOLLOWING CRITERIA TO PREVENT OR MINIMIZE SOIL EROSION.
  2. INSTALL, INSPECT, MAINTAIN, AND REPAIR OR REPLACE TEMPORARY AND PERMANENT EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION IN A TIMELY MANNER THROUGHOUT THE LIFE OF THE PROJECT. MAINTAIN PERMANENT MEASURES UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETED OR UNTIL IT IS ACCEPTED BY THE OWNER. DISPOSE OF SEDIMENT IN AN UPLAND AREA.
  3. INSPECT EROSION AND SEDIMENT CONTROLS DAILY AND REMOVE ACCUMULATED SEDIMENTS AS NEEDED. REPAIR OR CORRECT ANY ISSUES.
  4. MAINTAIN A STOCKPILE OF ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES ON SITE AT ALL TIMES. AT A MINIMUM, MAINTAIN A STOCKPILE OF AT LEAST 100 FEET OR 10% OF THE TOTAL AMOUNT OF DEVICES CURRENTLY DEPLOYED AT THE SITE, WHICHEVER IS GREATER.
  5. CLEAN ROADS, CONTROL DUST, AND TAKE NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ROADS BE MAINTAINED IN A MUD- AND DUST-FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO, WATER AND/OR CRUSHED STONE OR COARSE GRAVEL, SUBJECT TO THE APPROVAL OF THE ENGINEER.
  6. INSTALL PERIMETER SEDIMENT CONTROL BARRIERS AS SHOWN ON THE SITE PLANS OR AS MAY BE REQUIRED TO PREVENT SEDIMENT FLOW TO STORM DRAINS OR SURFACE WATERS. A ROW OF STAKED HAYBALES OR A SILT FENCE SHALL ALSO BE INSTALLED AROUND ANY SOIL STOCKPILE AREAS. CLEANOUT OF ACCUMULATED SEDIMENT BEHIND PERIMETER SEDIMENT CONTROL BARRIER IS NECESSARY IF ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER BECOMES FILLED WITH SEDIMENT. REPLACE BARRIER IMMEDIATELY IF BARRIER DECOMPOSED OR BECOMES INEFFECTIVE.
  7. PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED.
  8. IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN THIRTY (30) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS. OUTSIDE OF THE GROWING SEASON, ONLY WOOD MULCH SHALL BE USED.
  9. PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO ALL DISTURBED AREAS THAT HAVE REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS PERMANENTLY CEASED. THE RECOMMENDED PERMANENT SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO SEPTEMBER 30.  
  
LIMESTONE AND FERTILIZER SHALL BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS OFFERED BY THE UNIVERSITY OF MASSACHUSETTS SOIL TESTING LABORATORY. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11.5 POUNDS PER 1,000 SQUARE FEET OF 10-20-20 OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AS FOLLOWS: 4 TONS PER ACRE (OR 180 POUNDS PER 1,000 SQUARE FEET) FOR CLAY, CLAY LOAM AND HIGH ORGANIC SOIL; 3 TONS PER ACRE (OR 135 POUNDS PER 1,000 SQUARE FEET) FOR SANDY LOAM, LOAM, OR SILT LOAM; AND 2 TONS PER ACRE (OR 90 POUNDS PER 1,000 SQUARE FEET) LOAMY SAND OR SAND.
10. EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES THAT MAY BE SUBJECT TO SEDIMENTATION SHALL BE PROTECTED WITH STAKED STRAW BALES, WATTLES, SILT FENCE, SILT SACKS, OR OTHER APPROVED MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
11. WASTE DISPOSAL: MATERIALS WHICH COULD BE A POTENTIAL SOURCE OF STORMWATER POLLUTION SUCH AS GASOLINE, DIESEL FUEL, HYDRAULIC OIL, ETC., SHALL BE STORED AT THE END OF EACH DAY IN A STORAGE TRAILER OR COVERED LOCATION AND TAKEN OFF-SITE AND PROPERLY DISPOSED OF. ALL TYPES OF WASTE GENERATED AT THIS SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS.
12. GOOD HOUSEKEEPING: THE PROJECT SITE SHALL PROVIDE FOR THE MINIMIZATION OF EXPOSURE OF CONSTRUCTION DEBRIS (INCLUDING, BUT NOT LIMITED TO, INSULATION, WIRING, PAINTS AND PAINT CANS, SOLVENTS, WALL BOARD, ETC.) TO PRECIPITATION BY MEANS OF DISPOSAL AND/OR PROPER SHELTER OR COVER. CONSTRUCTION WASTE MUST BE PROPERLY DISPOSED OF IN ORDER TO AVOID EXPOSURE TO PRECIPITATION AT THE END OF EACH WORKING DAY.
13. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES. CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.


**SITE RESTORATION**

1. PROVIDE 6 INCHES OF TOPSOIL AND SEED IN AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED AS IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED. SUPPLEMENT EXISTING TOPSOIL WITH IMPORTED TOPSOIL AS REQUIRED TO ACHIEVE DEPTH.
2. REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
3. RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.


**PLANTING**

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS.
2. SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT NO EXPENSE TO THE OWNER.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. ANY DAMAGED VEGETATION SHALL BE REPLACED OR REPAIRED AT NO EXPENSE TO THE OWNER.
8. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" THICK.
9. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
11. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE SOIL MATERIALS, FINE RAKED, SCARIFIED AND STABILIZED WITH VEGETATION, AND/OR EROSION AND SEDIMENTATION CONTROLS.
12. ADJUSTMENTS TO THE LOCATION OF THE PROPOSED PLANT MATERIALS AS A RESULT OF CONFLICTS WITH EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. MAINTAIN, REPLACE, AND REPAIR PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
14. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
15. SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO CLEARING OPERATIONS.
16. ALL DISTURBED AREAS ARE TO BE SEEDED WITH LAWN UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN.
17. PLANT MATERIAL WITHIN TRAFFIC SIGHT LINES AT INTERSECTIONS TO BE LESS THAN 3 FEET IN HEIGHT AND TREES ARE TO BE LIMBED UP TO A BRANCHING HEIGHT OF AT LEAST 7 FEET.
18. TREES ALONG SIDEWALKS TO BE LIMBED TO A HEIGHT OF 7-8 FEET ABOVE GROUND.

DESIGNER	REVIEWER	DATE	DESCRIPTION	NO.



SCALE	HORZ.: AS NOTED	VERT.: AS NOTED
DATUM	HORZ.: NAD 83	VERT.: NAVD83
GRAPHIC SCALE	1" = 0' 0"	

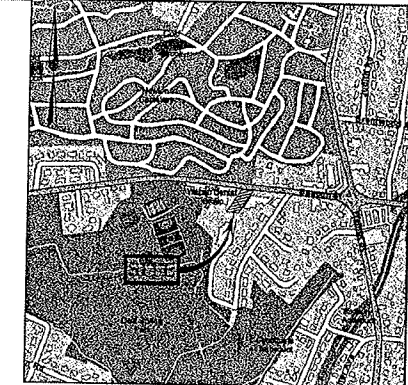


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UNION TWIST, INC.  
GENERAL NOTES  
1158 BEACON STREET  
NEWTON, MASSACHUSETTS

PROJ. No.: 20190241.A30
DATE: 10/23/2019

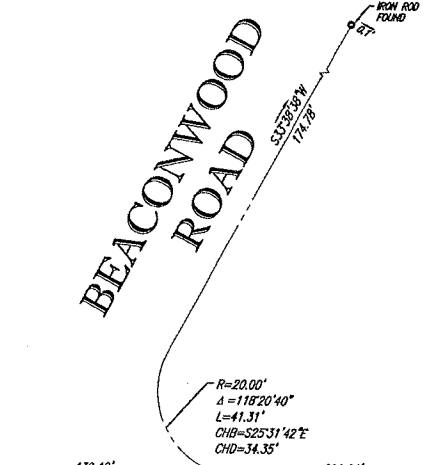
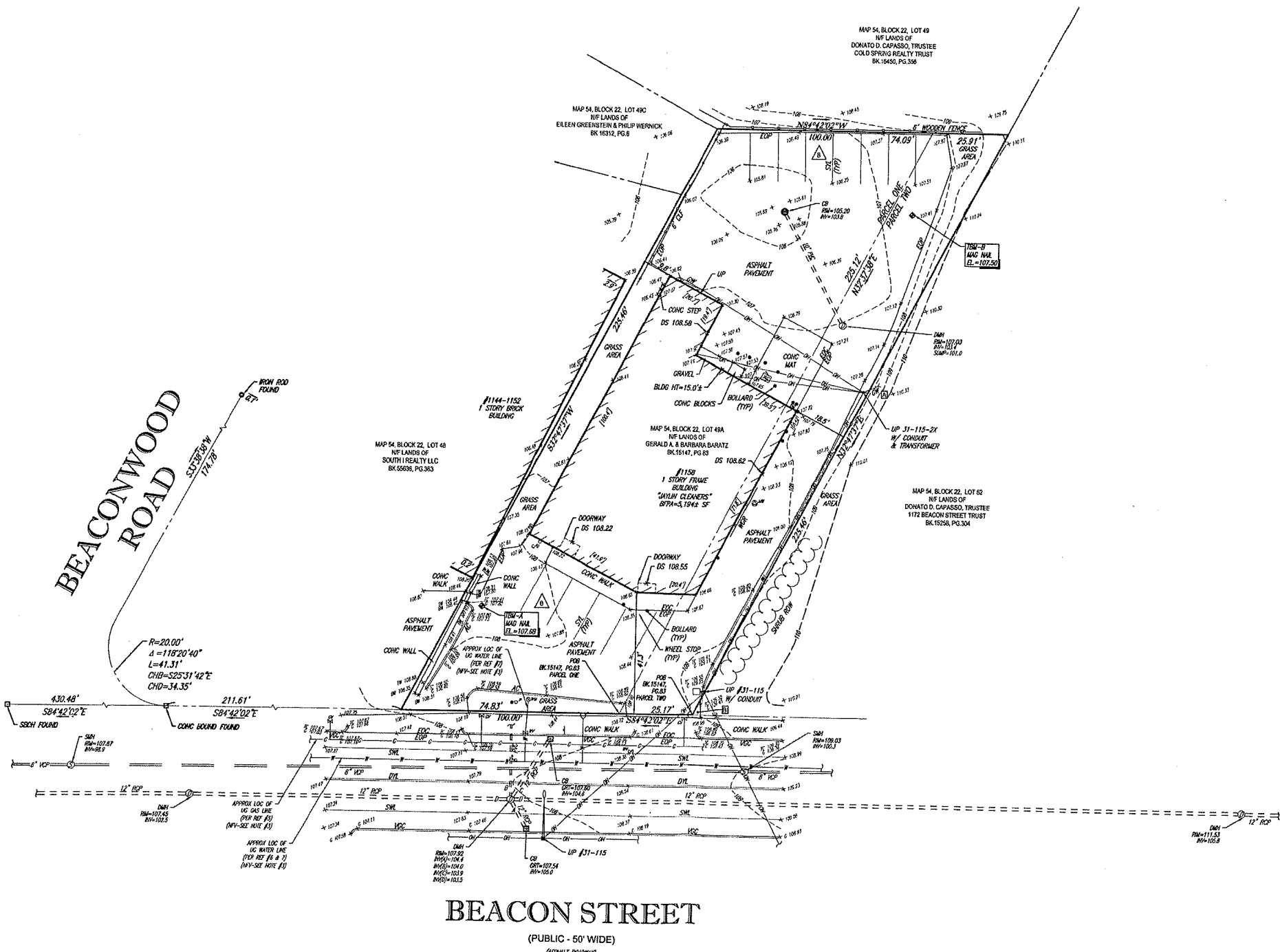
**CN-101**



LOCUS MAP  
© 2013 ISRI WORLD STREET MAPS  
NOT TO SCALE



- LEGEND**
- 124 --- EXISTING CONTOUR
  - 125 --- EXISTING CONTOUR
  - X 123.45 EXISTING SPOT ELEVATION
  - X TC 123.45 EXISTING TOP OF CURB ELEVATION
  - X G 123.55 EXISTING GUTTER ELEVATION
  - X TW 123.45 EXISTING TOP OF WALL ELEVATION
  - X BW 123.45 EXISTING BOTTOM OF WALL ELEVATION
  - X DS 123.45 EXISTING DOOR SILL ELEVATION
  - HYDRANT
  - WATER VALVE
  - WM WATER METER
  - GV GAS VALVE
  - GM GAS METER
  - OH OVERHEAD WIRES
  - C --- APPROX. LOC. UNDERGROUND GAS LINE
  - W --- APPROX. LOC. UNDERGROUND WATER LINE
  - UP P UTILITY POLE
  - UP/P UTILITY POLE/PAINT POLE
  - GW GUY WIRE
  - CO CLEAN OUT
  - SN SIGN
  - AC AIR CONDITIONING UNIT
  - BOLLARD
  - DMH DRAINAGE/STORM MANHOLE
  - SMH SANITARY/SEWER MANHOLE
  - CB CATCH BASIN OR INLET
  - PC PARKING SPACE COUNT
  - UG UNDER GROUND
  - CLF CHAIN LINK FENCE
  - EDC EDGE OF CONCRETE
  - EDP EDGE OF PAVEMENT
  - (TYP) TYPICAL
  - RCP REINFORCED CONCRETE PIPE
  - PVC POLYVINYL CHLORIDE PIPE
  - VCP VITRIFIED CLAY PIPE
  - DYL DOUBLE YELLOW LINE
  - SWL SOLID WHITE LINE
  - SYL SOLID YELLOW LINE
  - HT HEIGHT
  - BLDG BUILDING
  - BFA BUILDING FOOTPRINT AREA
  - SBWH STONE BOUND W/DRILL HOLE
  - LO OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
  - IN INVERT ELEVATION
  - GRY GRATE ELEVATION
  - AC ASPHALT CURB
  - VC VERTICAL GRANITE CURB
  - WGR WOODEN GUIDE RAIL



**TABLE OF APPARENT ENCROACHMENTS**

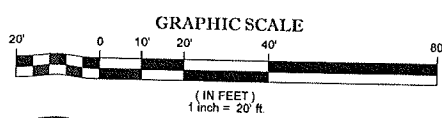
1. GUY WIRE CROSSES ONTO LOT 52 FOR WHICH NO EASEMENT OF RECORD WAS FOUND

2. ASPHALT PAVEMENT CROSSES ONTO LOT 52 FOR WHICH NO EASEMENT OF RECORD WAS FOUND

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

- NOTES:**
- PROPERTY KNOWN AS LOT 49A, BLOCK 22 AS SHOWN ON THE CITY OF CITY OF NEWTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 54.
  - AREA = 20,000 SQUARE FEET OR 0.459 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).  
TEMPORARY BENCH MARKS SET:  
TBM-A: MAG NAIL SET IS ASPHALT PAVEMENT AT ELEVATION 107.68  
TBM-B: MAG NAIL SET IS ASPHALT PAVEMENT AT ELEVATION 107.50  
PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SHEET HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
  - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF CITY OF NEWTON, MIDDLESEX COUNTY, MASSACHUSETTS, MAP 54.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS, PANEL 554 OF 658," MAP NUMBER 250170554E, EFFECTIVE DATE: JUNE 4, 2010.
  - MAP ENTITLED "PLAN OF LAND IN NEWTON, MASS.," PREPARED BY EVERETT M. BROOKS CO., DATED JUNE 1, 1984, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 758 OF 1984.
  - MAP ENTITLED "PLAN OF LAND IN NEWTON, MASS.," PREPARED BY WILLIAM J. FORD, JR., DATED JUNE 7, 1956, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 699 OF 1956.
  - UNDERGROUND GAS FACILITY MAPPING PROVIDED BY NATIONAL GRID
  - UNDERGROUND WATER FACILITY MAPPING PROVIDED BY THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS.
  - WATER TABLE CARDS PROVIDED BY THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS.
  - MAP ENTITLED "SUBDIVISION PLAN OF LAND IN NEWTON," PREPARED BY APEX ASSOCIATES, DATED DECEMBER 20, 1982, LAND COURT CASE 9286D.



**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 20191307163

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800-331-0500
VERIZON	800-822-0204
COMCAST - PEMBROKE LIGHT TOWER	800-954-4489
RCN	855-953-4237
EVERSOURCE - ELECTRIC	600-746-4728
NATIONAL GRID GAS - BOSTON	800-592-2000
WELLESLEY MUNICIPAL LIGHTING PLANT	800-233-5325
	781-235-7600



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

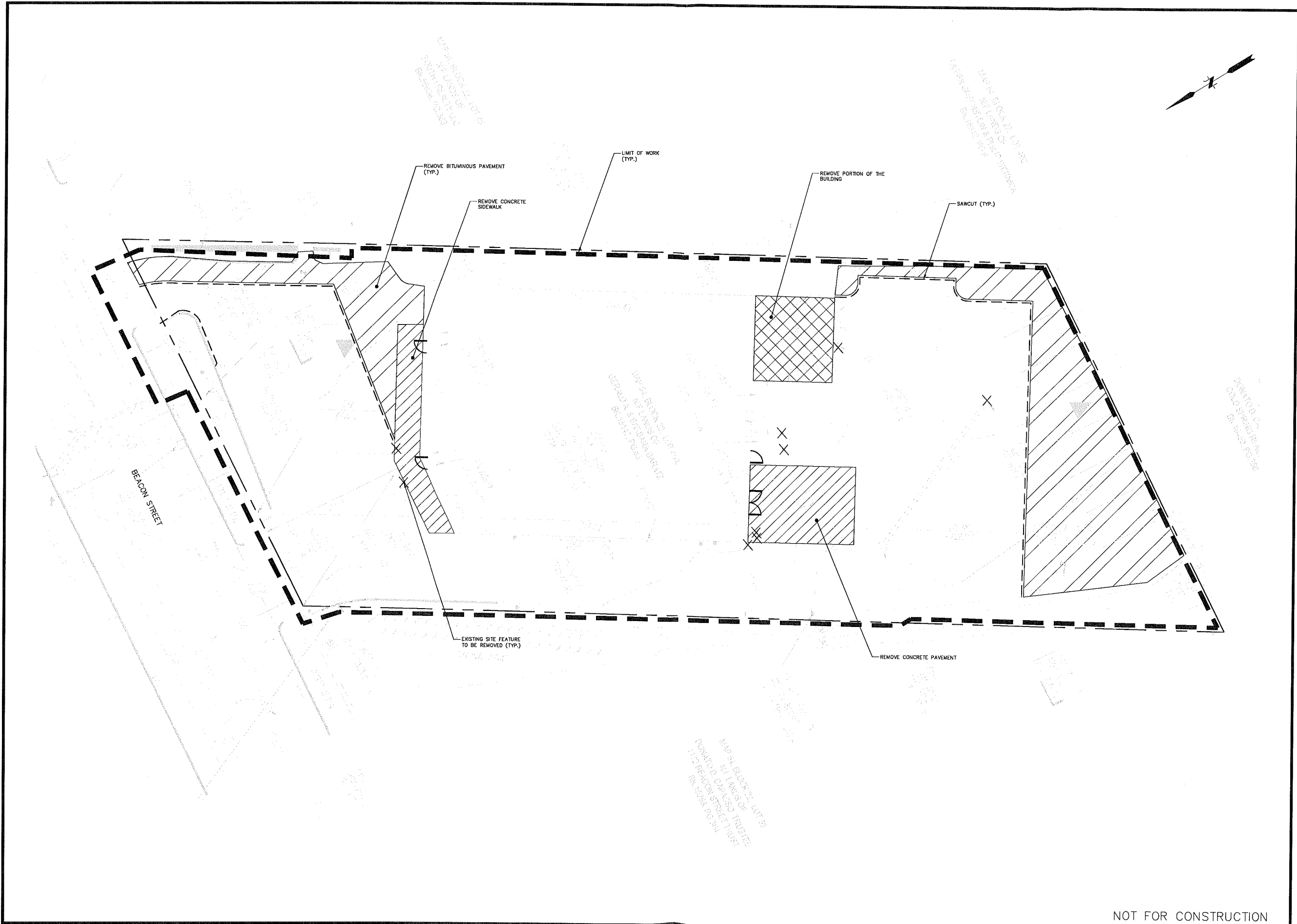
**GERRY L. HOLDRIGHT, PLS**  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211



FIELD DATE	3-27-19	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b> <b>FUSS &amp; O'NEILL, INC.</b> 1158 BEACON STREET LOT 49A, BLOCK 22, MAP 54 CITY OF NEWTON, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS									
FIELD BOOK NO.	19-03MA										
FIELD BOOK PG.	34-35	<b>CONTROL POINT ASSOCIATES, INC.</b> 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 • 508.948.3003 FAX									
FIELD CREW	T.M.										
DRAWN	A.D.A.M.	ALBANY, NY 518212900 CHALFONTE, PA 31712000 MANHATTAN, NY 646800411 MT LAUREL, NJ 609572999 WARREN, NJ 908260099									
REVIEWED:	S.P.P.	APPROVED:	G.L.H.	DATE	4-1-19	SCALE	1" = 20'	FILE NO.	06-190021	DWG NO.	1 OF 1



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 MS VIEW: Layer State



NOT FOR CONSTRUCTION

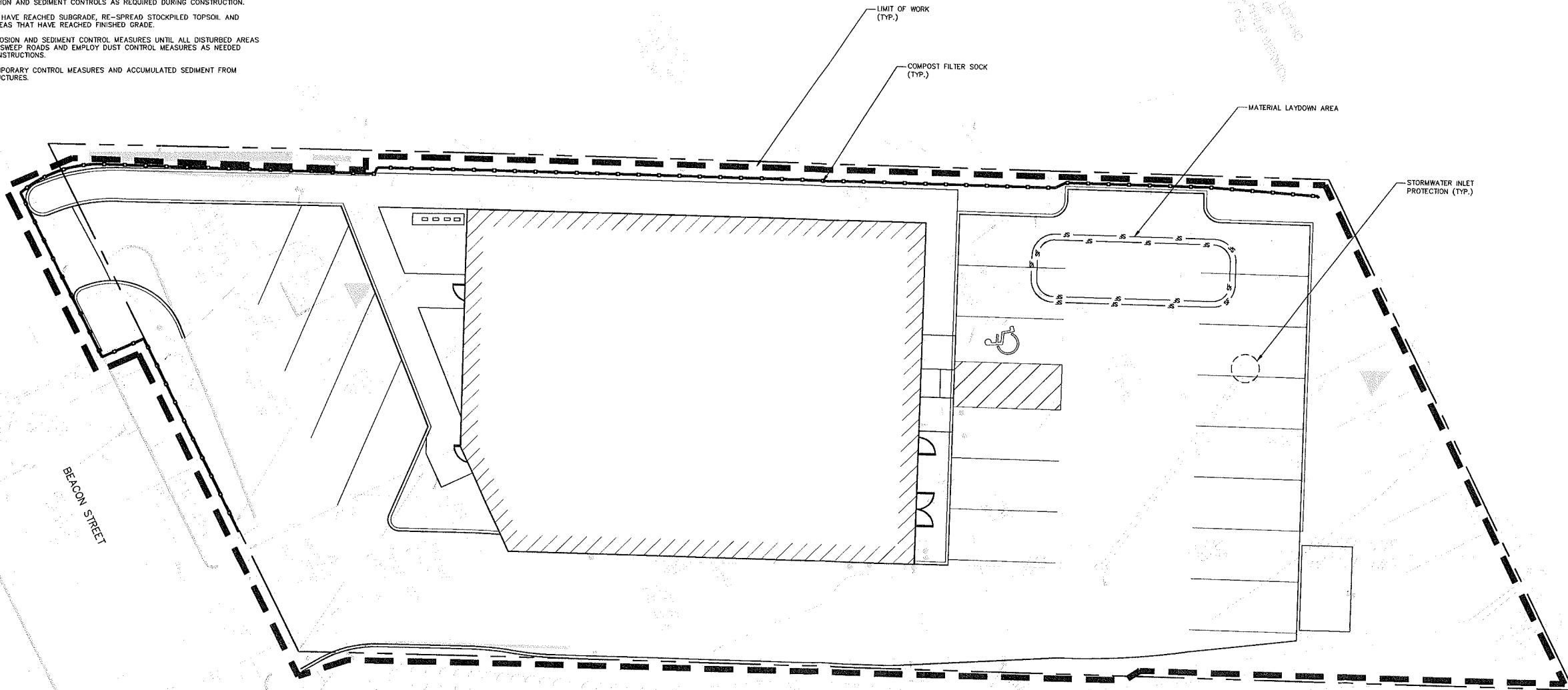
SCALE: HORIZ.: 1" = 10' VERT.: 1" = 10' DATUM: NAVD83	GRAPHIC SCALE 0 5 10
<b>FUSS &amp; O'NEILL</b> 108 MYRTLE STREET, SUITE 502 QUINCY, MA 02171 617.282.4675 www.fandoo.com	
UNION TWIST, INC. SITE PREPARATION PLAN 1158 BEACON STREET NEWTON, MASSACHUSETTS	
PROJ. No.: 20190241A30 DATE: 10/23/2019	
<b>CP-101</b>	
No. 1.	DATE
DESCRIPTION	DESIGNER REVIEWER

**GENERAL CONSTRUCTION SEQUENCE**

CONSTRUCTION IS A DYNAMIC OPERATION THAT IS AFFECTED BY WEATHER AND OTHER UNANTICIPATED CONDITIONS. THEREFORE, THE LAYOUT OF EROSION AND SEDIMENT CONTROLS SHOWN ON THESE PLANS WILL LIKELY BE MODIFIED TO BEST MANAGE CHANGING FIELD CONDITIONS. THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS RECOGNIZE THIS WORK WITH THE ENGINEER, OWNER, AND REGULATORY AGENCIES SO THAT THE INTENT OF THE GUIDELINES ARE MET UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE FOLLOWING IS A GENERAL SEQUENCE OF MAJOR CONSTRUCTION OPERATIONS.

CONSTRUCTION IS ANTICIPATED TO START IN THE SPRING OF 2020.

1. INSTALL EROSION AND SEDIMENT CONTROLS.
2. BEGIN GENERAL CONSTRUCTION.
  - 2.1. STRIP AND STOCKPILE EXISTING TOPSOIL. TEMPORARILY SEED STOCKPILES AS REQUIRED.
  - 2.2. ROUGH GRADE AND TEMPORARY STABILIZED DISTURBED AREAS.
  - 2.3. CONSTRUCT SITE UTILITIES.
  - 2.4. ADJUST EROSION AND SEDIMENT CONTROLS AS REQUIRED DURING CONSTRUCTION.
  - 2.5. ONCE AREAS HAVE REACHED SUBGRADE, RE-SPREAD STOCKPILED TOPSOIL AND STABILIZE AREAS THAT HAVE REACHED FINISHED GRADE.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED. SWEEP ROADS AND EMPLOY DUST CONTROL MEASURES AS NEEDED THROUGHOUT CONSTRUCTIONS.
4. REMOVE ANY TEMPORARY CONTROL MEASURES AND ACCUMULATED SEDIMENT FROM PERMANENT STRUCTURES.



MAP OF BEACON, CT, LOT 10  
 1158 BEACON STREET TRUST  
 BR. 10226 PG. 104

MAP OF BEACON, CT, LOT 10  
 1158 BEACON STREET TRUST  
 BR. 10226 PG. 104

DONALD D. O'NEILL, P.E.  
 1158 BEACON STREET TRUST  
 BR. 10226 PG. 104

MAP OF BEACON, CT, LOT 10  
 1158 BEACON STREET TRUST  
 BR. 10226 PG. 104

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 LAYER STATE: MS VIEW

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.				



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VERT.:	1" = 10'
DATUM: NAVD83	
HORIZ.:	1" = 10'
VERT.:	1" = 10'
GRAPHIC SCALE	

**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 QUINCY, MA 02171  
 617.282.4675  
 www.fuss.com

UNION TWIST, INC.  
 EROSION AND SEDIMENT CONTROL  
 PLAN  
 1158 BEACON STREET  
 NEWTON  
 MASSACHUSETTS

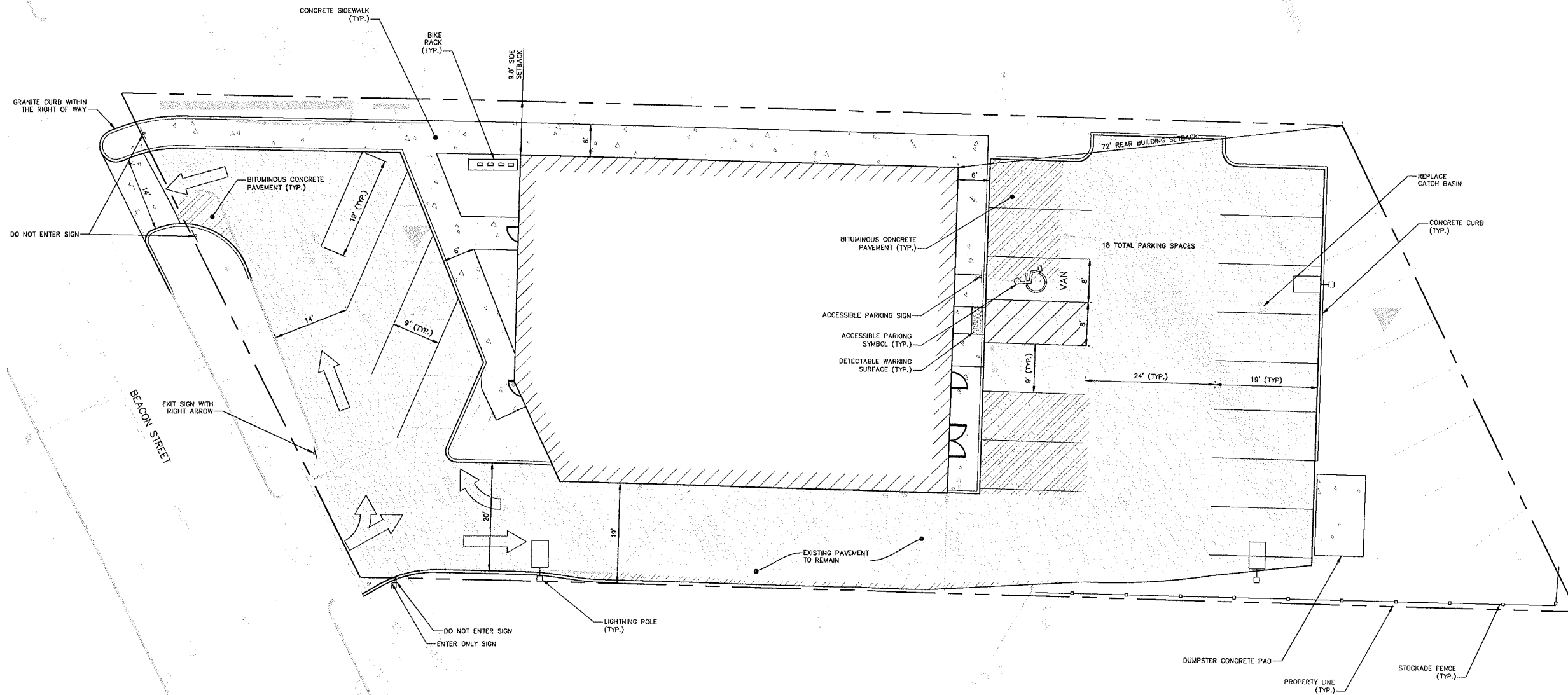
PROJ. No.: 20190241 A30  
 DATE: 10/23/2019

**CE-101**

NOT FOR CONSTRUCTION

**NOTES**

1. THE SITE IS IN THE BU2 DISTRICT OF THE CITY OF NEWTON.
2. THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE FOR THE CHANGE IN USE TO A CANNABIS RETAIL STORE.
3. SITE FEATURES FINAL LOCATIONS MAY DIFFER FROM THIS PLAN.



**ZONING TABLE**

BU2 DISTRICT - 2 STORIES OR LESS			
DIMENSIONAL STANDARD	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SF	20,000 SF	20,443 SF
FRONT SETBACK	10 FT <sup>1</sup>	41.3 FT	41.30 FT
SIDE SETBACK	6.5 FT <sup>2</sup>	9.8 FT	9.8 FT
REAR SETBACK	15 FT <sup>3</sup>	52 FT	72 FT
MAX. BUILDING HEIGHT	24 FT	13 FT	13 FT
FLOOR AREA RATIO	1.00	0.25	0.24

**PARKING REQUIREMENTS**

USE	STANDARD	REQUIRED	EXISTING	PROPOSED
RETAIL STORE 1	1 SPACE/300SF + 1 SPACE/3 EMPLOYEES	12	10	18
RETAIL STORE 2	1 SPACE/3 SEATS + 1 SPACE/3 EMPLOYEES	2	2	2
<b>TOTAL PARKING</b>			12	18

1. PER SECTION 1.5.3(A) OF THE TOWN OF NEWTON ZONING BYLAWS, NO BUILDING NEEDS TO BE SET BACK MORE THAN THE AVERAGE OF THE SETBACKS OF THE BUILDINGS ON THE NEAREST LOT ON EITHER SIDE. A VACANT LOT OR A LOT WHERE BUILDING IS SET BACK MORE THAN 10 FEET IS COUNTED AS THOUGH OCCUPIED BY A BUILDING SET BACK 10 FEET. ABUTTING PROPERTIES FRONT SETBACKS WERE ESTIMATED TO OBTAIN AVERAGE.  $(12.8+10)/2 = 11.4$  FT
2. 1/2 BUILDING HEIGHT OR ABUTTING SETBACK (BUILDING HEIGHT - 13 FT)  $(13/2 = 6.5$  FT)
3. GREATER 1/2 BUILDING HEIGHT (6.5) OR 15 FEET WHEN ABUTTING A RESIDENTIAL LOT OR PUBLIC USE.

1. A MAXIMUM OF 12 EMPLOYEES AT ANY GIVEN TIME HAVE BEEN ASSUMED FOR THE PARKING CALCULATION AND 2,429 SF OF RETAIL SPACE.
2. RESTAURANT GROSS AREA = 2,341. 6 MAXIMUM OF 3 EMPLOYEES AND 3 SEATS AT ANY GIVEN TIME HAVE BEEN ASSUMED.

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No.	DATE	DESCRIPTION	DESIGNER/REVIEWER



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VERT. SCALE	1" = 10'

DATUM: NAVD88

GRAPHIC SCALE

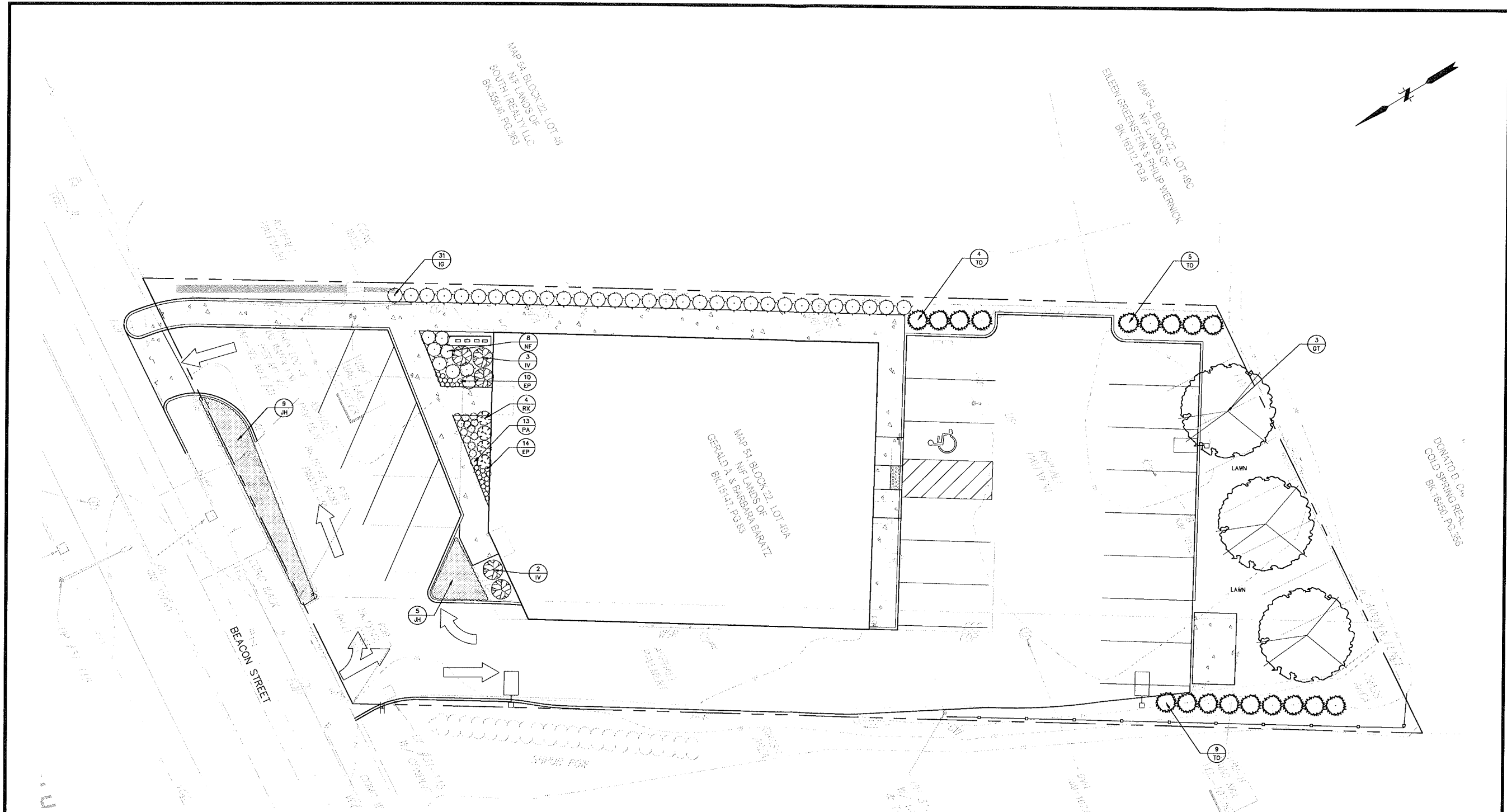
**FUSS & O'NEILL**  
 108 WYATT STREET, SUITE 502  
 QUINCY, MA 02271  
 617.282.4675  
 www.fuss.com

UNION TWIST, INC.  
 SITE PLAN  
 1158 BEACON STREET  
 MASSACHUSETTS  
 NEWTON

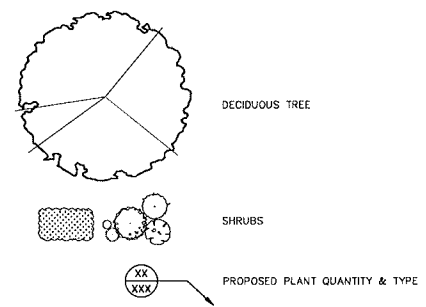
PROJ. No.: 20190241.A30  
 DATE: 10/23/2019

**CS-101**

NOT FOR CONSTRUCTION



**LEGEND**



**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
<b>TREES</b>				
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS SHADEMASTER	SHADEMASTER THORNLESS HONEYLOCUST	3	3"-3.5" CAL.
TO	THUJA OCCIDENTALIS 'SMARAGD'	AMERICAN ARBORVITAE	18	3' - 4' HT.
<b>SHRUBS</b>				
IG	ILEX GLABRA 'GEM BOX'	'GEM BOX' INKBERRY	31	3 GAL.
IV	ILEX VERTICILLATA 'RED SPRITE'	'RED SPRITE' WINTERBERRY	5	5 GAL.
JH	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	'BAR HARBOR' CREEPING JUNIPER	14	3 GAL.
RX	ROSA 'CHEWPAZOUT' 'OSO EASY URBAN LEGEND'	'OSO EASY URBAN LEGEND' ROSE	4	3 GAL.
<b>PERENNIALS/GRASSES/GROUNDCOVERS</b>				
EP	ECHINACEA BUTTERFLY 'PURPLE EMPEROR'	BUTTERFLY 'PURPLE EMPEROR' CONEFLOWER	24	1 GAL.
NF	NEPETA xFAASSENII 'CAT'S MEOW'	'CAT'S MEOW' CATMINT	8	1 GAL.
PA	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	13	1 GAL.

**PLANTING NOTES:**

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" AT 811 PRIOR TO CONSTRUCTION.
8. ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD, WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
11. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND / OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
12. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
14. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE DIRECTED BY THE OWNER.
15. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PARKWAYS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
16. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS 'EXISTING VEGETATION TO REMAIN' WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

MAP 54, BLOCK 22, LOT 38C  
 N/F LANDS OF  
 SOUTH REALTY LLC  
 BR. 10312, P.G.6

MAP 54, BLOCK 22, LOT 38C  
 N/F LANDS OF  
 EILEEN GREENSTEIN & PHILIP WERNICK  
 BR. 10312, P.G.6

MAP 54, BLOCK 22, LOT 40A  
 N/F LANDS OF  
 GEROLD A. & BARBARA BARBatz  
 BR. 10747, P.G.8S

DOMATO D. Co.  
 COLD SPRING REALTY  
 BR. 10400, P.G.36S

SCALE: HORZ. 1" = 10'  
 VERT. 1" = 10'  
 DATUM: NAD 83  
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 VERT. 1" = 10'  
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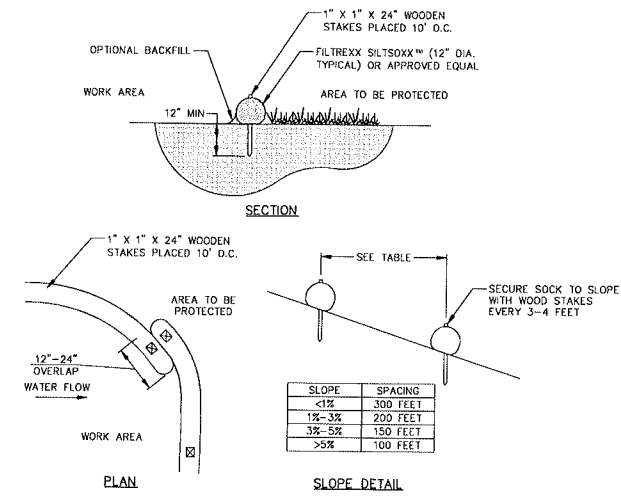
DESIGNER: REVIEWER:  
 DATE: No. DESCRIPTION

SEAL OF THE STATE OF MASSACHUSETTS  
 LANDSCAPE ARCHITECT  
 FUSSELL & O'NEILL  
 108 WYETTLE STREET, SUITE 502  
 QUINCY, MA 02271  
 617.282.4675  
 www.fussandoneill.com

UNION TWIST, INC.  
 LANDSCAPE PLAN  
 1158 BEACON STREET  
 MASSACHUSETTS  
 NEWTON

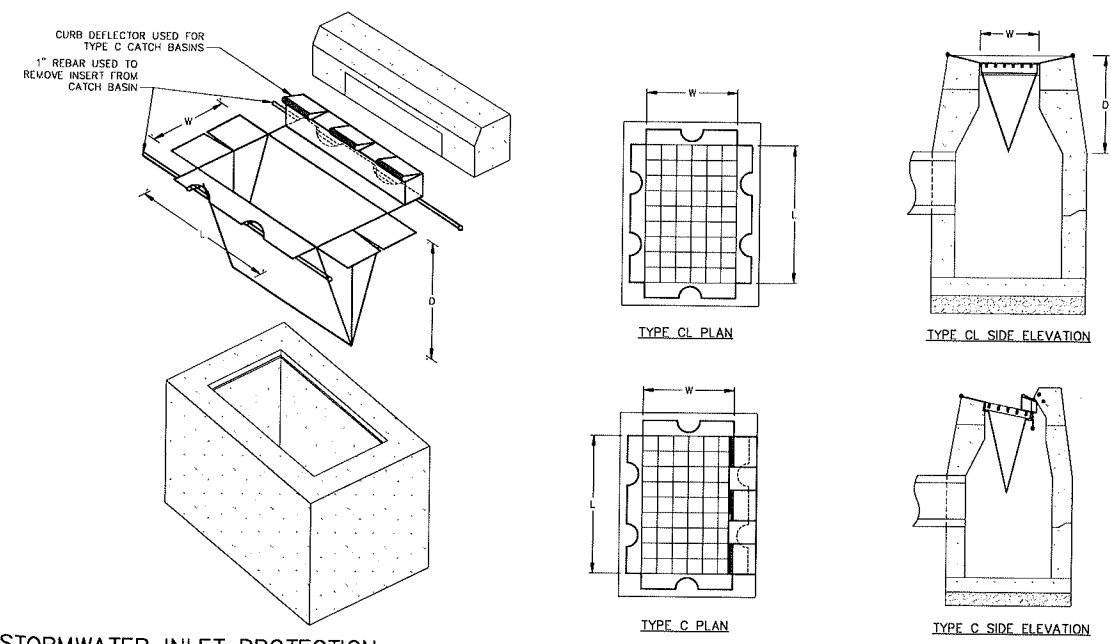
PROJ. No.: 20190241A30  
 DATE: 10/23/2019

LP-101



- NOTES:**
1. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
  2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
  3. SLOPE SPACING BASED ON "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" FOR TEMPORARY DIVERSIONS.

**COMPOST FILTER SOCK**  
 SCALE: N.T.S.



**STORMWATER INLET PROTECTION**  
 SCALE: N.T.S.

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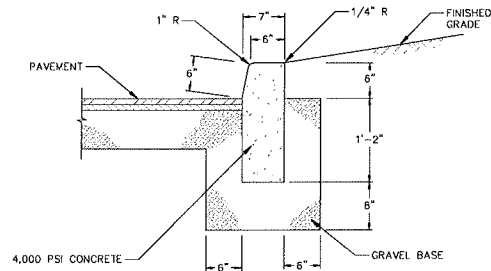
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**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 QUINCY, MA 02271  
 617.282.4575  
 www.fandoi.com

UNION TWIST, INC.  
 EROSION AND SEDIMENT CONTROL  
 DETAILS  
 1158 BEACON STREET  
 NEWTON MASSACHUSETTS

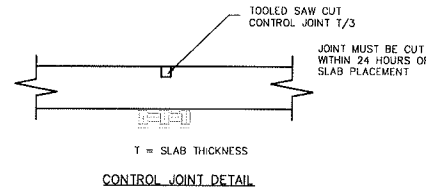
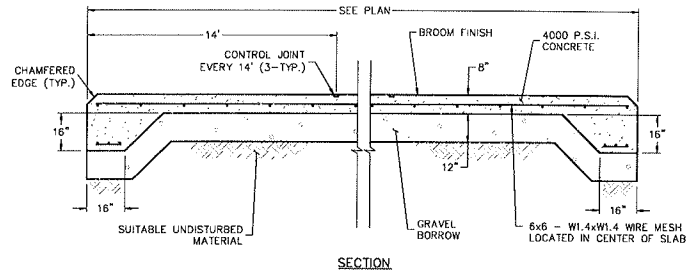
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 DATE: 10/23/2019

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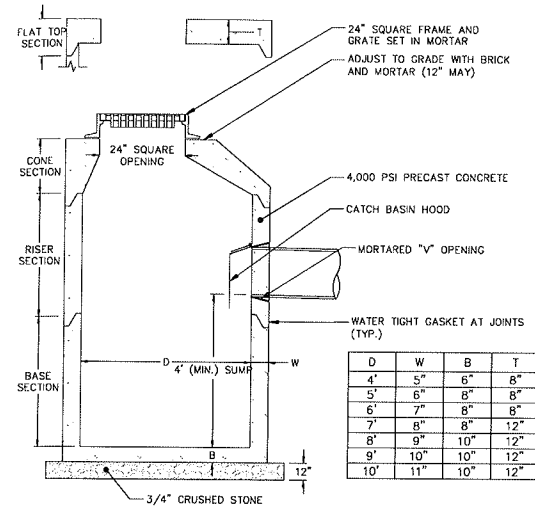


- NOTES**
1. 1 INCH DEEP BEVELED JOINT AT TOP AND FACE OF CURB EVERY 10 FEET.
  2. 1/2 INCH EXPANSION JOINT AND FILLER EVERY 30 FEET.
  3. 1/2 INCH EXPANSION JOINT AND FILLER WHEN CURB IS ADJACENT TO CONCRETE SIDEWALK.

**CONCRETE CURB**  
SCALE: N.T.S.

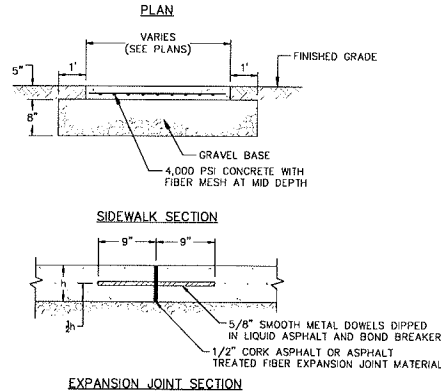
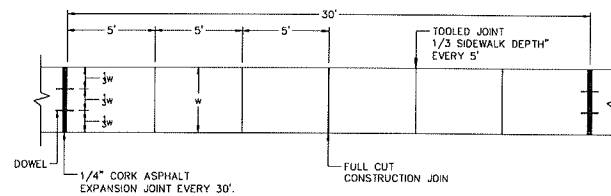


**CONCRETE DUMPSTER PAD**  
SCALE: N.T.S.



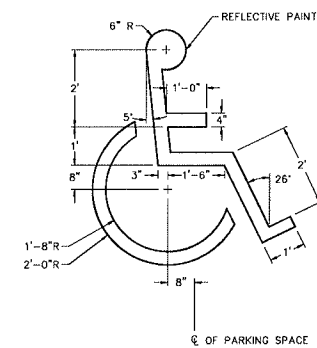
- NOTES**
1. UNLESS OTHERWISE NOTED, INTERIOR DIAMETER (D) SHALL BE 4 FEET. AT A MINIMUM, INTERIOR DIAMETER SHALL BE 6" LARGER THAN THE LARGEST DIAMETER PIPE.
  2. FRAME AND GRATE SHALL CONFORM TO MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS:
    - 2.1. CATCH BASINS
      - 2.1.1. E204.2.0 WHERE ADJACENT TO CURBS.
      - 2.1.2. E201.6.0 AND E201.10.0 IN OTHER AREAS.
    - 2.2. MANHOLES
      - 2.2.1. E202.6.0 AND E202.8.0.
  3. CATCH BASIN HOODS SHALL CONFORM TO MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS E201.12.0.
  4. STEPS SHALL CONFORM TO ASTM C478.
  5. STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING.
  6. REINFORCING STEEL SHALL CONFORM TO ASTM A185.
  7. WATERTIGHT GASKET JOINTS SHALL BE BUTYL RESIN CONFORMING TO ASTM C990.
  8. FLAT TOP SECTIONS ARE TO BE USED FOR STRUCTURE WITH AN INTERIOR DIAMETER (D) OF 6 FEET OR GREATER AND WHEN REQUIRED DUE TO PIPE COVER.

**PRECAST CONCRETE CATCH BASIN**  
SCALE: N.T.S.



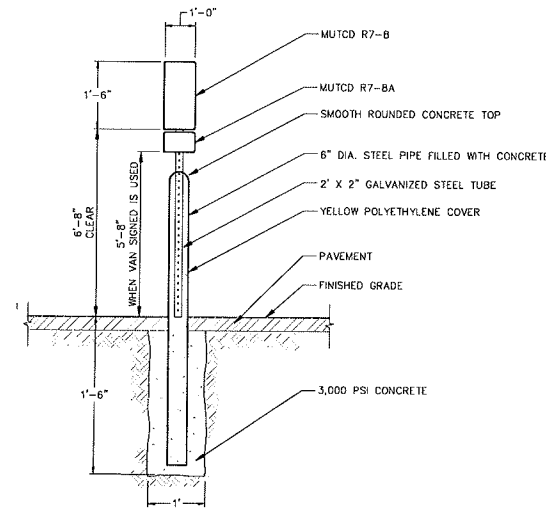
- NOTES**
1. PROVIDE DEEP DUMMY JOINT EVERY 5' (1/3 DEPTH OF SLAB)
  2. REPLACE 1/4" EXPANSION JOINT IF EXISTING JOINT FALLS WITHIN RECONSTRUCTION.

**CONCRETE SIDEWALK**  
SCALE: N.T.S.

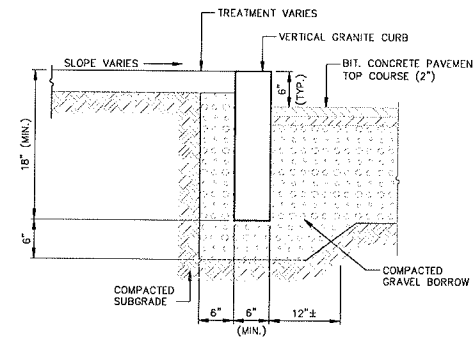


- NOTES**
1. SYMBOL PAINTED HIGHWAY WHITE (TWO COATS)

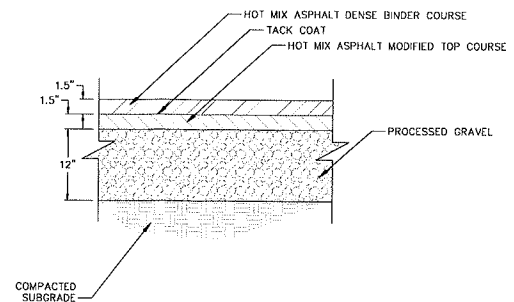
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**ACCESSIBLE PARKING SIGN POST**  
SCALE: N.T.S.



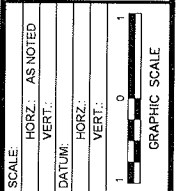
**GRANITE CURB**  
SCALE: N.T.S.



**BITUMINOUS CONCRETE PAVEMENT**  
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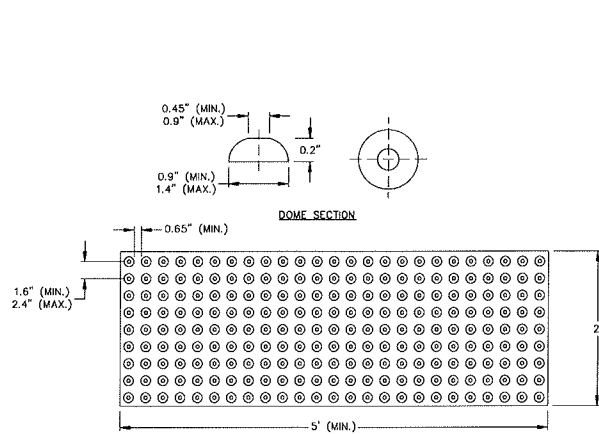


**FUSS & O'NEILL**  
 108 AVENUE STREET, SUITE 502  
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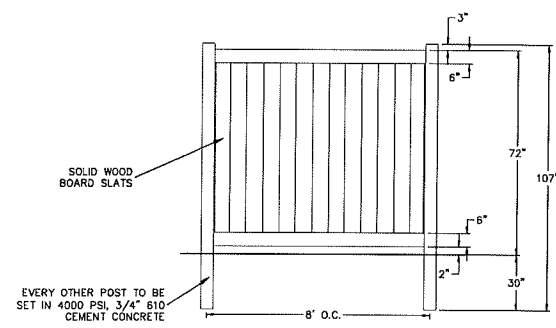
UNION TWIST, INC.  
 SITE DETAILS  
 1158 BEACON STREET  
 NEWTON, MASSACHUSETTS

PROJ. No.: 20190241A30  
 DATE: 10/23/2019

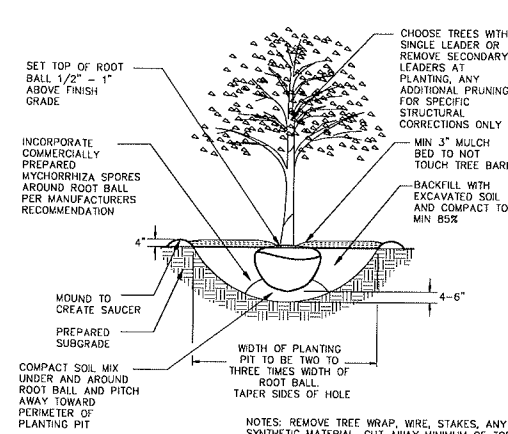
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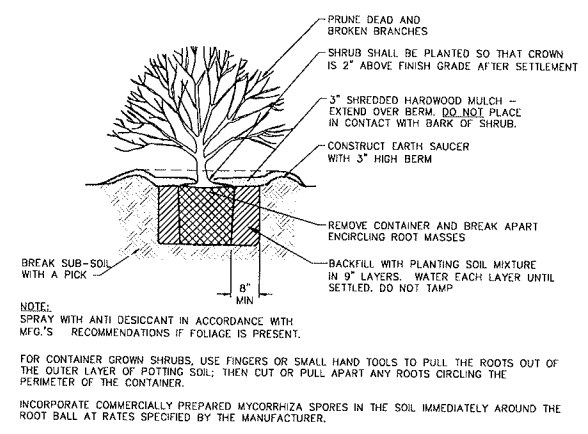
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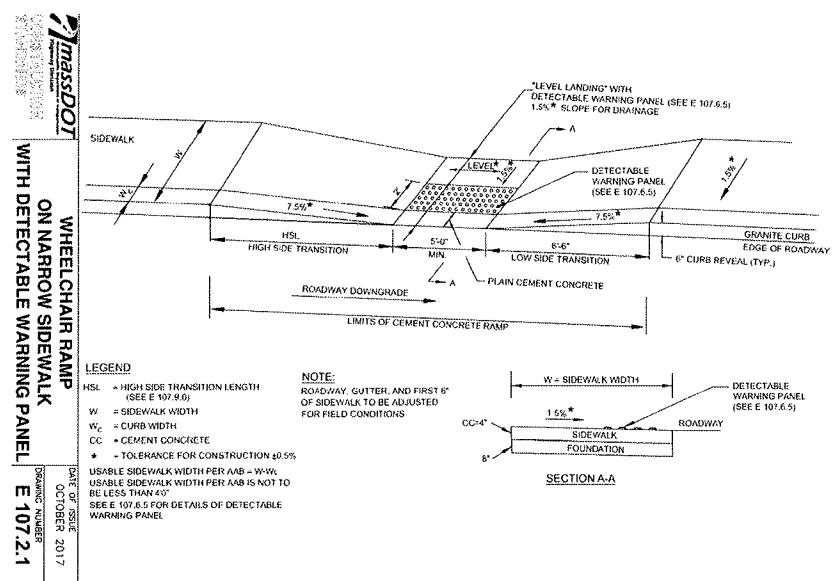
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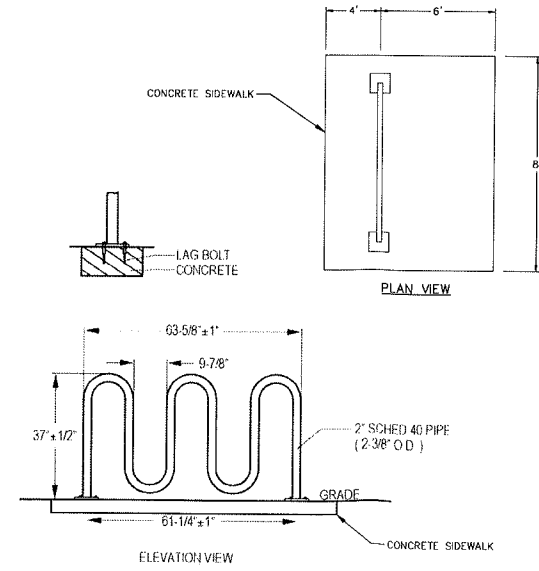
**TREE PLANTING**  
SCALE: N.T.S.



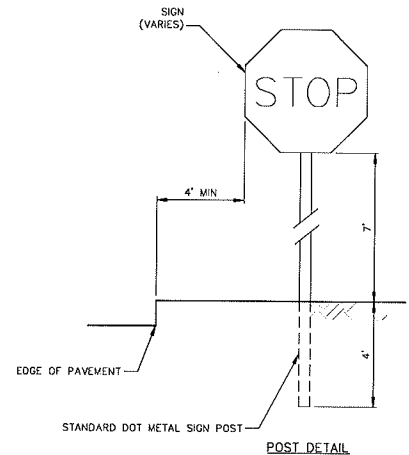
**SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS**  
SCALE: N.T.S.



**ADA RAMP DETAIL**  
SCALE: N.T.S.



**BIKE RACK**  
SCALE: N.T.S.

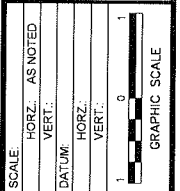


**SIGNS**  
SCALE: N.T.S.

SIGN GRAPHIC	SIGN NAME	SIZE	MUTCD REFERENCE
	ACCESSIBLE PARKING	12"x18"	R7-B
	VAN ACCESSIBLE	18"x9"	R7-BP
	DO NOT ENTER SIGN	24"x24"	R5-1
	EXIT SIGN WITH RIGHT ARROW	24"x24"	N/A
	ENTER ONLY SIGN	24"x24"	N/A

File Path: J:\DWG\2019\0241A30\CD-503\Plan\20190241A30\_DET01.dwg Plotted: Wed, October 23, 2019 - 8:59 AM User: jvaldez Paster: DWG TO PDF: PC3 CTB File: FOLSTB LAYER STATE: DATE OF ISSUE: 2017 DRAWING NUMBER: E 107.2.1

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.			XX/XX	XX



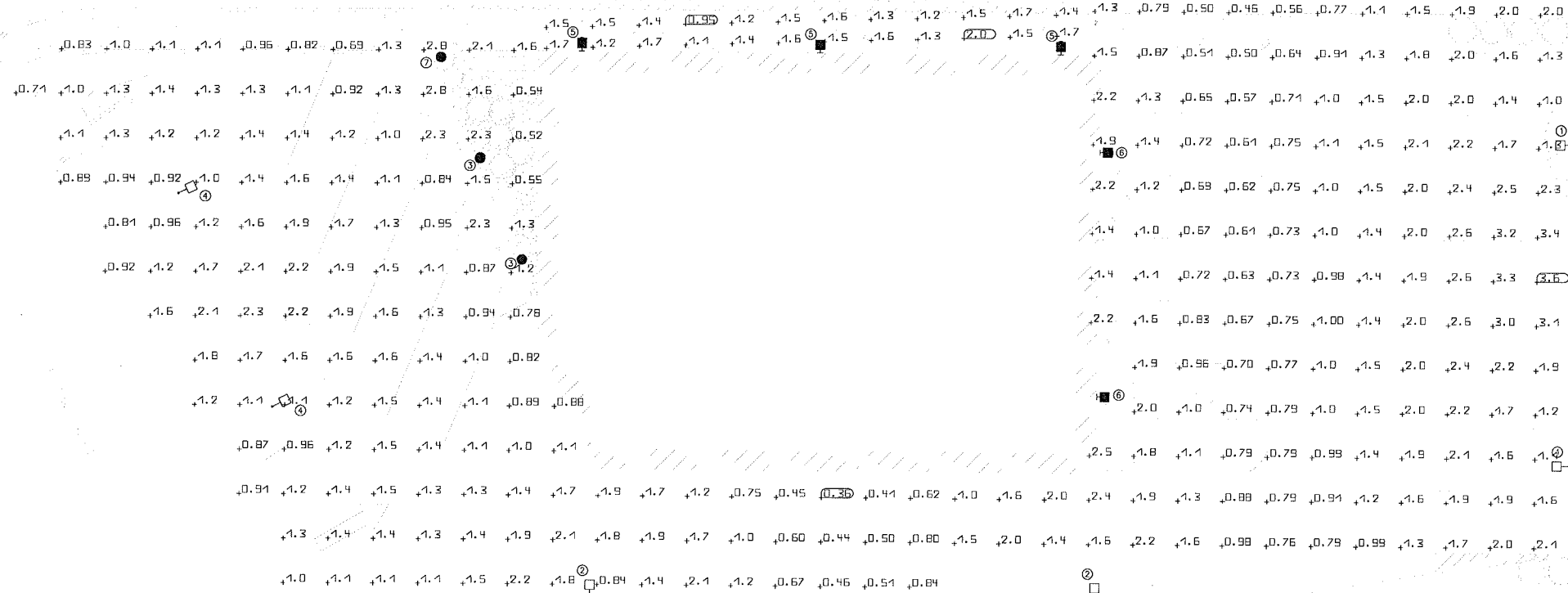
**FUSS & O'NEILL**  
108 MYRTLE STREET, SUITE 502  
QUINCY, MA 02271  
617.282.4675  
www.fuss.com



UNION TWIST, INC.  
SITE DETAILS  
1158 BEACON STREET  
NEWTON  
MASSACHUSETTS

PROJ. No.: 20190241A30  
DATE: 10/23/2019

**CD-503**



- LEGEND**
- ⊙ FIXTURE TYPE, REFER TO LUMINAIRE LIST
  - POLE LIGHT, 20' (TYPE 2 ARE 12')
  - WALL PACK, MOUNT AT 9'
  - BOLLARD STYLE LUMINAIRE, 42"

- NOTES**
1. TYPE 1 AND TYPE 4 LUMINAIRES ARE POLE MOUNTED AT 20'.
  2. TYPE 2 LUMINAIRES ARE POLE MOUNTED AT 12'.
  3. REDUCE TYPE 5 LUMEN OUTPUT (FIELD ADJUSTABLE) TO 600 LUMENS (FAWS SETTING 25%), MOUNT AT 9'.
  4. REDUCE TYPE 6 LUMEN OUTPUT (FIELD ADJUSTABLE) TO 1200 LUMENS (FAWS SETTING 50%), MOUNT AT 9'.

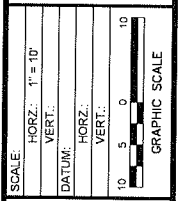
Luminaire list (Beacon St)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
1	PHILIPS GARDCO	Pureform COMFORT Area (P26), 140 LED's, 3000K CCT, TYPE 3 OPTIC,	P26-140L-210 0-WW-G2-3-U NV	1x(1) Square Light Guide Plate DRIVEN AT 700mA	9641 lm	0.80	95.8 W	2
2	PHILIPS GARDCO	Pureform COMFORT Area (P26), 140 LED's, 3000K CCT, TYPE 3 OPTIC,	P26-140L-650 -WW-G2-3-UN V	1x(1) Square Light Guide Plate DRIVEN AT 650mA	3424 lm	0.80	30.4 W	2
3	SIGNIFY GARDCO	Pureform Gen2 - PBL Bollard	PBL-14L-100-NW-G2-3-UNV	1x	250 lm	0.80	6.1 W	2
4	PHILIPS GARDCO	Pureform COMFORT Area (P26), 140 LED's, 3000K CCT, TYPE 3 OPTIC,	P26-140L-115 0-WW-G2-3-U NV	1x(1) Square Light Guide Plate DRIVEN AT 500mA	5801 lm	0.80	52.2 W	2
5	SIGNIFY GARDCO	Pureform COMFORT Sconce (PWS), 140 LED's, 4000K CCT, TYPE 2 OPTIC,	PWS-140L-450 -NW-G2-2-UN V	1x(1) Square Light Guide Plate DRIVEN AT 450mA	1000 lm	0.80	22.3 W	3
6	SIGNIFY GARDCO	Pureform COMFORT Sconce (PWS), 140 LED's, 4000K CCT, TYPE 2 OPTIC,	PWS-140L-450 -NW-G2-2-UN V	1x(1) Square Light Guide Plate DRIVEN AT 450mA	1200 lm	0.80	22.3 W	2
7	SIGNIFY GARDCO	Pureform Gen2 - PBL Bollard	PBL-14L-100-NW-G2-5-UNV	1x	538 lm	0.80	6.1 W	1

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Parking Lot	Horizontal Illuminance	0.36 fc	3.63 fc	1.38 fc	3.80	10.00
2	Side Walkway	Horizontal Illuminance	0.95 fc	2.04 fc	1.46 fc	1.53	2.14

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Overflow	Horizontal Illuminance	0.099 fc	3.33 fc	0.93 fc	9.42	33.84

No.	DATE	DESCRIPTION	DESIGNER/REVIEWER



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UNION TWIST, INC.  
 SITE LIGHTING PHOTOMETRIC PLAN  
 1158 BEACON STREET  
 NEWTON MASSACHUSETTS

PROJ. No.: 20190241A30  
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**SL-101**