

February 10, 2016

Nathaniel Allen House
35 Webster Street
West Newton MA 02465

Summary of 2016 Changes to 2013 Plans

General

The primary use of the building has changed from a music school and day care center operated by Suzuki School of Music as the NAH anchor tenant to a cultural arts center with offices, galleries, meeting and performance spaces with Newton Cultural Alliance (NCA) as the anchor tenant. The third floor caretaker's apartment will remain.

HVAC

The heating and air conditioning system for the building has been changed from two gas fired boilers providing heat and a cooling tower in the Cherry Street yard with an interior chiller providing cooling to a ground source heat pump geothermal system providing both heating and cooling to the entire building. The geothermal wells are being installed below the Webster driveway which is being disturbed by the utility construction.

The third floor apartment remains connected to the existing conventional system. A single proposed gas fired boiler remains to provide domestic hot water and a backup heat source.

Building Exterior

The accessible entrance and ramp from the barn day care and the Cherry Street play area have been removed. The proposed dormer on the west barn roof above day care classroom 2 has been removed.

The wooden arbor in front of the barn facing Webster Street will be removed because it is collapsing and cannot be rebuilt to current structural standards without damaging the historic fabric of the interior beamed ceiling of the historic classroom directly inside. None of the early historic photos of the barn indicate the presence of the arbor.

A very small roof over the Cherry Street barn entrance will be removed because it cannot be properly reconstructed without covering up an adjacent window. This roof has contributed to the water damage in this part of the barn and is clearly not an original feature.

House Interior

The tiny first floor galley kitchen (room 108) has been expanded into the small Servants Wing toilet room behind it, creating a more useful kitchen for building occupants and caterers for events. The original first floor butler's pantry cabinetry scheduled to be demolished to create small office has been restored. The butler's pantry remains.

Three of the original apartment bathrooms have been converted to storage and mechanical rooms to accommodate air handlers and mechanical equipment. The only exposed ductwork in the house is limited to some of the second floor rooms, none of which are the two front bedrooms facing Webster Street or the main stair hall.

The third floor apartment bathroom will be renovated to include a shower. New toilet facilities have been provided in the barn basement to offset the removed toilets.

The second floor servants level elevator lobby has been changed to a program space. The first floor elevator lobby plaster ceiling in the Servants Wing will be removed to increase the height of the space approximately 10" and expose the original post and beam wood framed structure for public view.

Barn Interior

The three day care classrooms and their single user toilet rooms have been removed. The three spaces will be used for program spaces, including meetings and theatre arts. A 9' x 20' wide stage opening will be created in the rear gymnasium wall to allow use of the former raised rear barn apartment space as a stage area. The ramp connecting the two levels has been shifted from the west wall to the east wall, creating a second exit to the rear. Two new double doors matching the existing double door will connect the classroom to the former gymnasium space, enabling the two spaces to be used for a single event.

The new basement indoor play area and new stairway from the day care classroom area to the basement will be removed. The barn basement space will now provide valuable storage and mechanical space to minimize ductwork in the spaces above as well as new toilet rooms, a small concession and a food service prep room for use by caterers. The public accessible basement entrance from the Columbus Place and the basement elevator lobby are retained.

A new basement stairway matching the existing stairway above will replace the unsafe existing winding stairway from the barn entrance lobby. Three existing colonial revival door units from the barn entrance lobby are being reinstalled into the barn basement elevator lobby.

Two decrepit second floor toilet rooms and the wood floor structure above the barn entrance lobby will be removed in order to create a more welcoming two story space at the main accessible entrance of the building. The existing ceiling is only 6'- 10", so low that exit signs and sprinkler piping cannot be installed. The two story space will feature a chandelier and exposed original post and beam ceiling.

The ceilings of the three main upper barn spaces will be removed and insulation installed at the exterior in order to expose the original wood barn ceiling structure and five main heavy timber trusses with central iron chords to view. The existing second floor science class room will not be divided into two program rooms and left as existing.

The plans on the following pages are sized to print on 24 x 36 inch paper. To view these plans at full size on the Newton CPC website, or after downloading from the website, please set your PDF viewer to display them at 100%.

NOTE: This file, though large, is a condensed version of an even larger file of plans on the Newton CPC website. Full details are best viewed in that larger file.

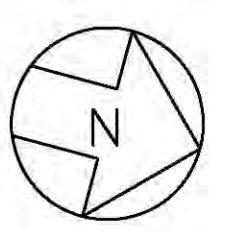
Phase Two- Nathaniel Allen House

35 Webster Street
Newton, MA 02465

Revision	Description

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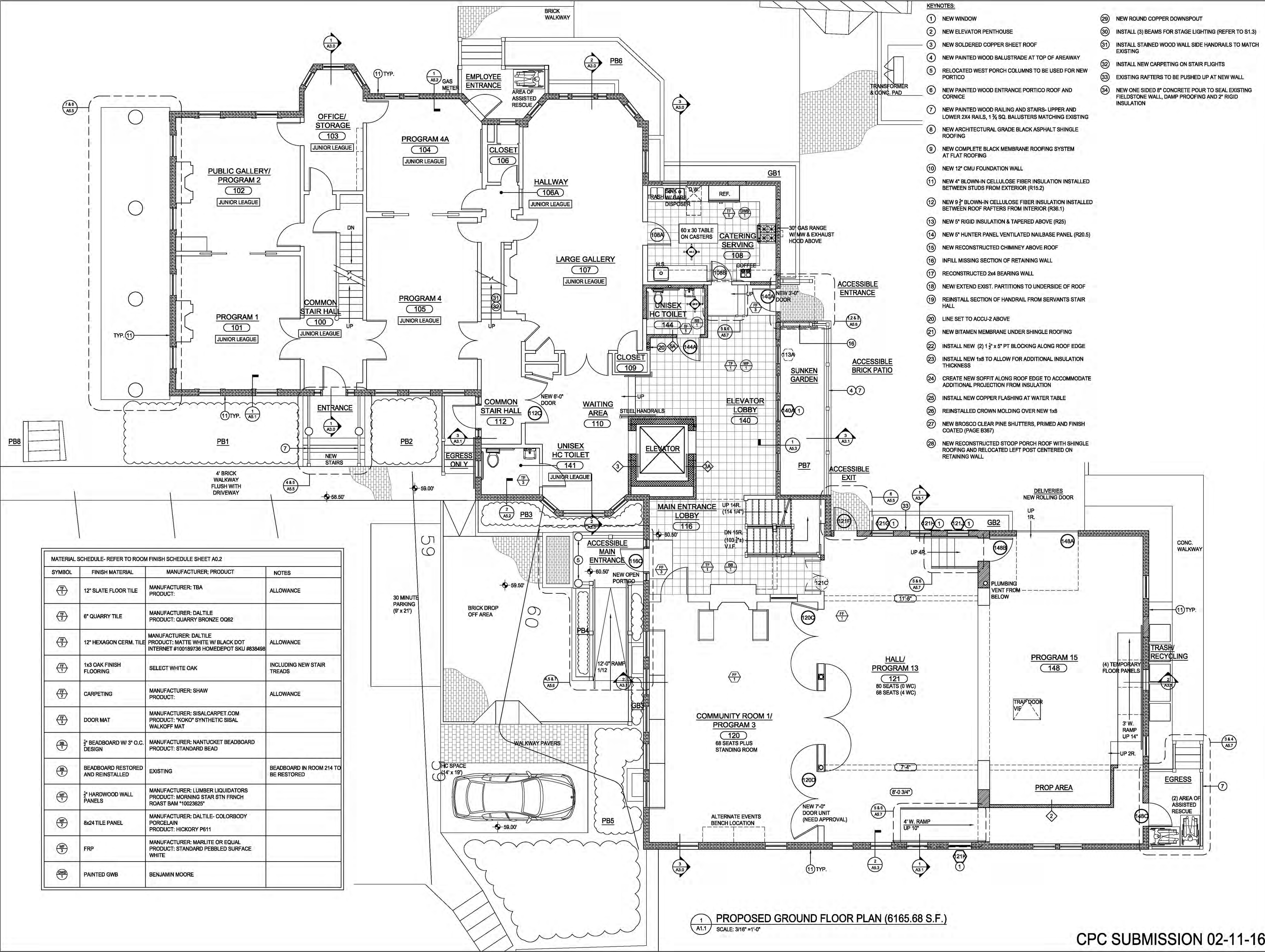
Project No.	W35
File	W35/DWG/Prop Plan
X-Refs	
Date Issued	02-11-16
Drawn By	PH
Checked By	DL



DRAWING TITLE
PROPOSED GROUND FLOOR PLAN

SHEET NUMBER

A1.1



- KEYNOTES:**
- 1 NEW WINDOW
 - 2 NEW ELEVATOR PENTHOUSE
 - 3 NEW SOLDERED COPPER SHEET ROOF
 - 4 NEW PAINTED WOOD BALUSTRADE AT TOP OF AREAWAY
 - 5 RELOCATED WEST PORCH COLUMNS TO BE USED FOR NEW PORTICO
 - 6 NEW PAINTED WOOD ENTRANCE PORTICO ROOF AND CORNICE
 - 7 NEW PAINTED WOOD RAILING AND STAIRS- UPPER AND LOWER 2X4 RAILS, 1 1/2" SQ. BALUSTERS MATCHING EXISTING
 - 8 NEW ARCHITECTURAL GRADE BLACK ASPHALT SHINGLE ROOFING
 - 9 NEW COMPLETE BLACK MEMBRANE ROOFING SYSTEM AT FLAT ROOFING
 - 10 NEW 12" CMU FOUNDATION WALL
 - 11 NEW 4" BLOWN-IN CELLULOSE FIBER INSULATION INSTALLED BETWEEN STUDS FROM EXTERIOR (R15.2)
 - 12 NEW 9" BLOWN-IN CELLULOSE FIBER INSULATION INSTALLED BETWEEN ROOF RAFTERS FROM INTERIOR (R36.1)
 - 13 NEW 5" RIGID INSULATION & TAPERED ABOVE (R25)
 - 14 NEW 5" HUNTER PANEL VENTILATED NAILBASE PANEL (R20.5)
 - 15 NEW RECONSTRUCTED CHIMNEY ABOVE ROOF
 - 16 INFILL MISSING SECTION OF RETAINING WALL
 - 17 RECONSTRUCTED 2x4 BEARING WALL
 - 18 NEW/ EXTEND EXIST. PARTITIONS TO UNDERSIDE OF ROOF
 - 19 REINSTALL SECTION OF HANDRAIL FROM SERVANTS STAIR HALL
 - 20 LINE SET TO ACCU-2 ABOVE
 - 21 NEW BITUMEN MEMBRANE UNDER SHINGLE ROOFING
 - 22 INSTALL NEW (2) 1 1/2" x 5" PT BLOCKING ALONG ROOF EDGE
 - 23 INSTALL NEW 1x8 TO ALLOW FOR ADDITIONAL INSULATION THICKNESS
 - 24 CREATE NEW SOFFIT ALONG ROOF EDGE TO ACCOMMODATE ADDITIONAL PROJECTION FROM INSULATION
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 - 34 NEW ONE SIDED 8" CONCRETE POUR TO SEAL EXISTING FIELDSTONE WALL, DAMP PROOFING AND 2" RIGID INSULATION

MATERIAL SCHEDULE- REFER TO ROOM FINISH SCHEDULE SHEET A0.2

SYMBOL	FINISH MATERIAL	MANUFACTURER; PRODUCT	NOTES
	12" SLATE FLOOR TILE	MANUFACTURER: TBA PRODUCT: ALLOWANCE	ALLOWANCE
	6" QUARRY TILE	MANUFACTURER: DAL TILE PRODUCT: QUARRY BRONZE OQ62	
	12" HEXAGON CERM. TILE	MANUFACTURER: DAL TILE PRODUCT: MATTIE WHITE W BLACK DOT INTERNET #100189736 HOMEDEPOT SKU #838498	ALLOWANCE
	1x3 OAK FINISH FLOORING	SELECT WHITE OAK	INCLUDING NEW STAIR TREADS
	CARPETING	MANUFACTURER: SHAW PRODUCT: ALLOWANCE	ALLOWANCE
	DOOR MAT	MANUFACTURER: SISAL CARPET.COM PRODUCT: "KOKO" SYNTHETIC SISAL WALKOFF MAT	
	3/4" BEADBOARD W/ 3" O.C. DESIGN	MANUFACTURER: NANTUCKET BEADBOARD PRODUCT: STANDARD BEAD	
	BEADBOARD RESTORED AND REINSTALLED	EXISTING	BEADBOARD IN ROOM 214 TO BE RESTORED
	3/4" HARDWOOD WALL PANELS	MANUFACTURER: LUMBER LIQUIDATORS PRODUCT: MORNING STAR STN FRNCH ROAST BAM #10023625	
	8x24 TILE PANEL	MANUFACTURER: DAL TILE- COLORBODY PORCELAIN PRODUCT: HICKORY P611	
	FRP	MANUFACTURER: MARLITE OR EQUAL PRODUCT: STANDARD PEBBLED SURFACE WHITE	
	PAINTED GWB	BENJAMIN MOORE	

1 A1.1 PROPOSED GROUND FLOOR PLAN (6165.68 S.F.)
SCALE: 3/16" = 1'-0"

CPC SUBMISSION 02-11-16

Phase Two- Nathaniel Allen House

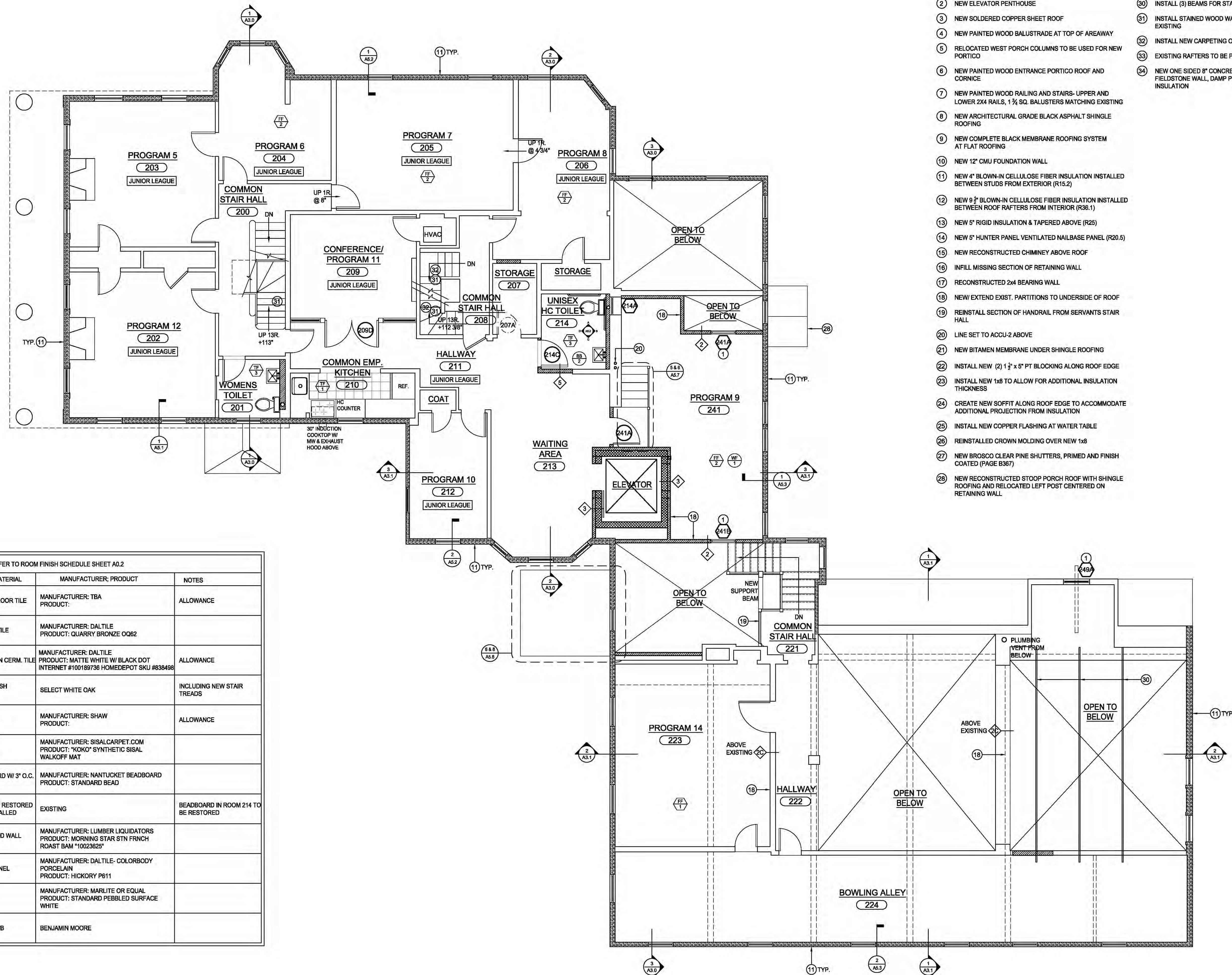
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Date

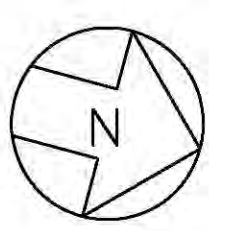
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(FF 3)	12" HEXAGON CERM. TILE	MANUFACTURER: DAL TILE PRODUCT: MATTE WHITE W/ BLACK DOT INTERNET #100189736 HOMEDEPOT SKU #838498	ALLOWANCE
(FF 4)	1x3 OAK FINISH FLOORING	SELECT WHITE OAK	INCLUDING NEW STAIR TREADS
(FF 5)	CARPETING	MANUFACTURER: SHAW PRODUCT:	ALLOWANCE
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(WF 2)	8x24 TILE PANEL	MANUFACTURER: DAL TILE- COLORBODY PORCELAIN PRODUCT: HICKORY P611	
(WF 3)	FRP	MANUFACTURER: MARLITE OR EQUAL PRODUCT: STANDARD PEBBLED SURFACE WHITE	
(PWB)	PAINTED GWB	BENJAMIN MOORE	

1 PROPOSED SECOND FLOOR PLAN (4600.35 S.F. - EXCLUDING OPEN AREA)
A1.2 SCALE: 3/16" = 1'-0"



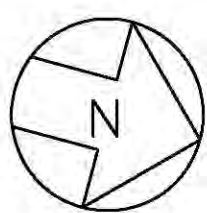
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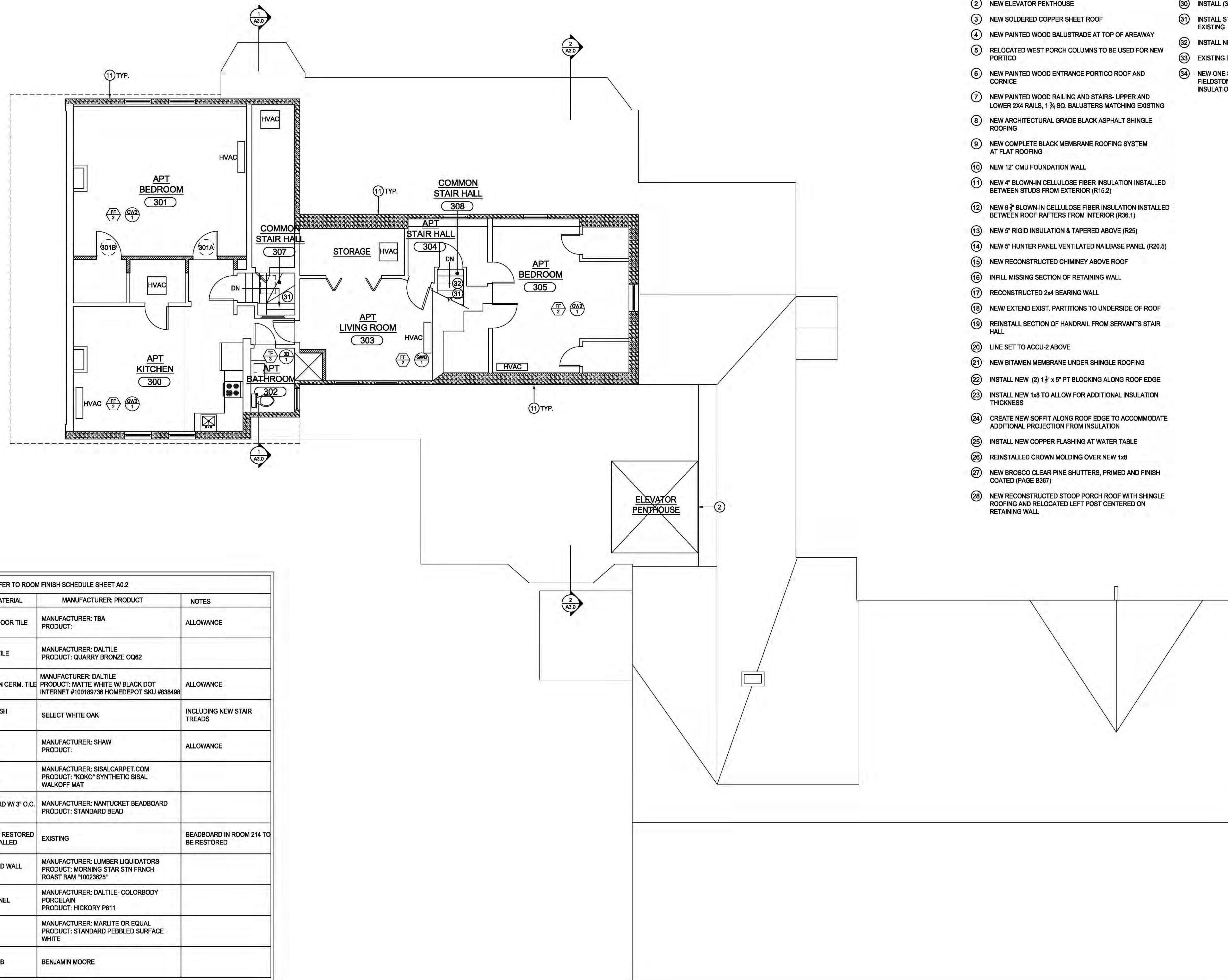
PROPOSED THIRD FLOOR PLAN

SHEET NUMBER

A1.3

KEYNOTES:

- 1 NEW WINDOW
- 2 NEW ELEVATOR PENTHOUSE
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1 **PROPOSED THIRD FLOOR PLAN (1582.37 S.F.)**
A1.3 SCALE: 3/16" = 1'-0"

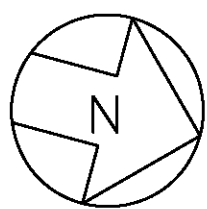
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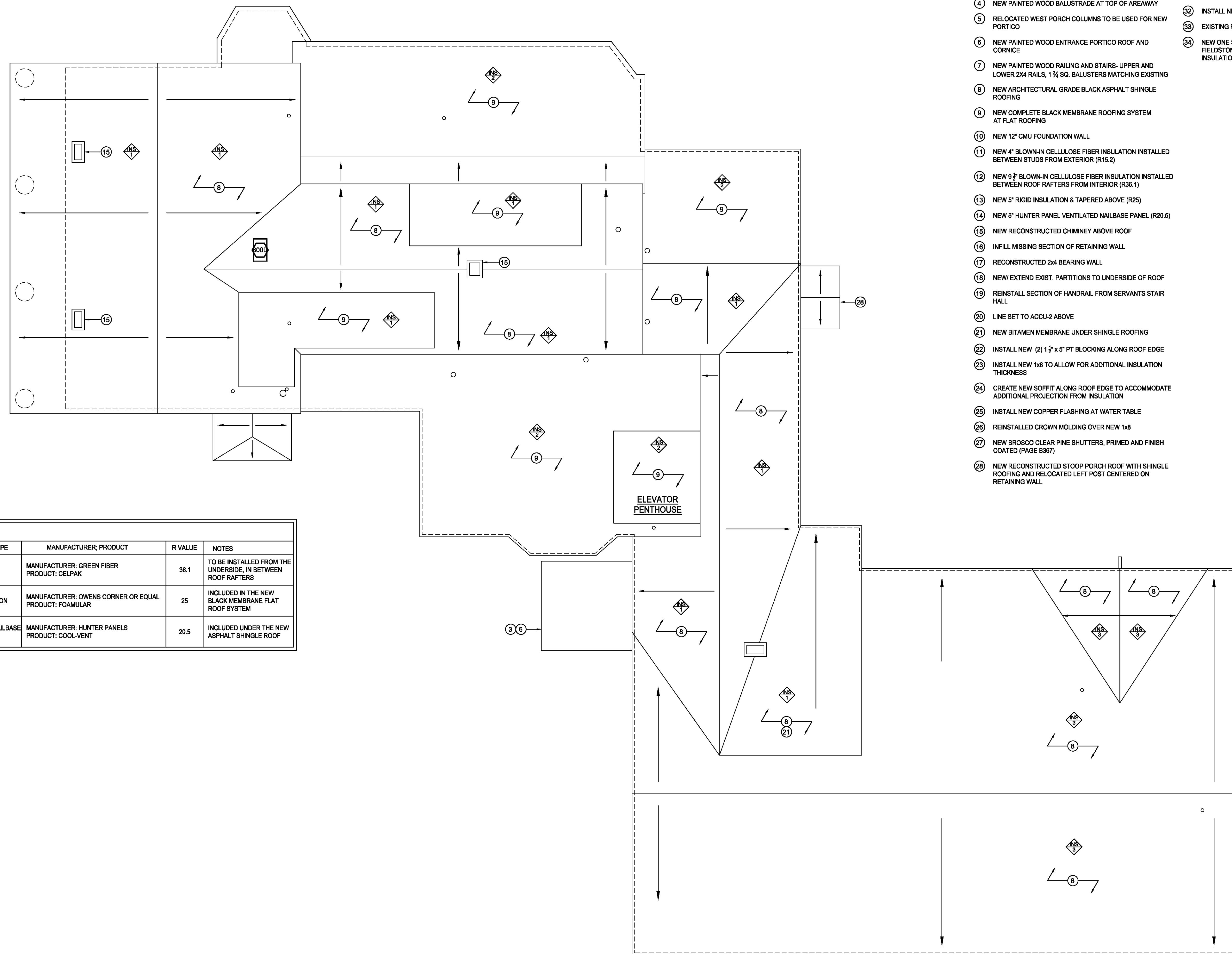
DRAWING TITLE
**PROPOSED ROOF
PLAN**

SHEET NUMBER

A1.4

KEYNOTES:

- 1 NEW WINDOW
- 2 NEW ELEVATOR PENTHOUSE
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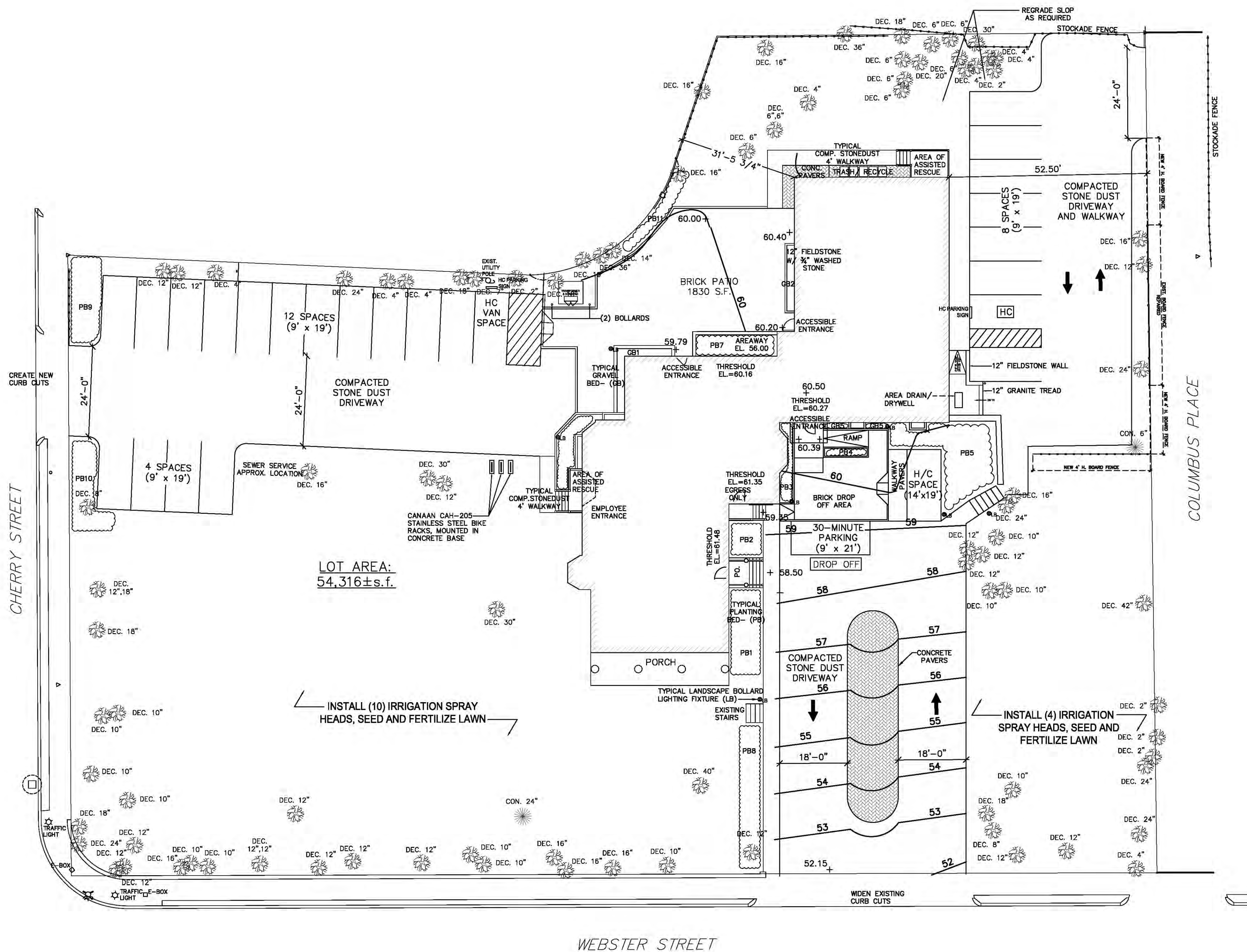


ROOF INSULATION SCHEDULE				
SYMBOL	INSULATION TYPE	MANUFACTURER; PRODUCT	R VALUE	NOTES
	9 3/8" BLOWN-IN CELLULOSE INSULATION	MANUFACTURER: GREEN FIBER PRODUCT: CELPAK	36.1	TO BE INSTALLED FROM THE UNDERSIDE, IN BETWEEN ROOF RAFTERS
	5" RIGID INSULATION	MANUFACTURER: OWENS CORNER OR EQUAL PRODUCT: FOAMULAR	25	INCLUDED IN THE NEW BLACK MEMBRANE FLAT ROOF SYSTEM
	5" VENTILATED NAILBASE PANEL	MANUFACTURER: HUNTER PANELS PRODUCT: COOL-VENT	20.5	INCLUDED UNDER THE NEW ASPHALT SHINGLE ROOF

1 PROPOSED ROOF PLAN
SCALE: 3/16" = 1'-0"

CPC SUBMISSION 02-11-16

Revision	Description

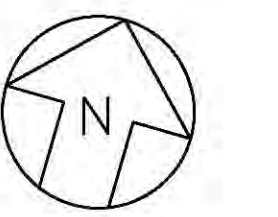


1 PROPOSED LANDSCAPING PLAN- 26 PARKING SPACES (2 HC SPACES)

SCALE: 1/16" = 1'-0"
 NOTE:
 1. REFER TO DRAWING A1.0 & A1.1 FOR ADDITIONAL INFORMATION
 2. UNLESS NOTED OTHERWISE, COMPACTED STONE DUST AND BRICK PAVING TO BE RETAINED BY FLUSH STEEL EDGING

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Project No.	W35
File	W35/DWG/Landscaping
X-Refs	
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Drawn By	BT
Checked By	DL



DRAWING TITLE
PROPOSED LANDSCAPING PLAN

SHEET NUMBER

L1.0

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X-Refs	
Date Issued	02-11-16
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DRAWING TITLE
**PROPOSED NORTH
 ELEVATIONS**

SHEET NUMBER

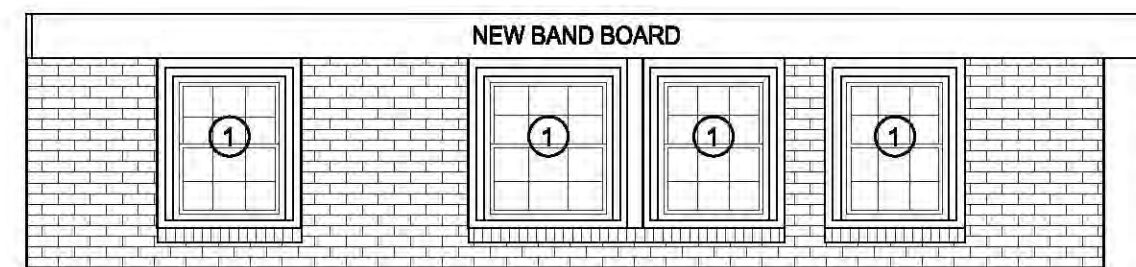
A2.0

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- 7 NEW PAINTED WOOD RAILING AND STAIRS- UPPER AND LOWER 2x4 RAILS, 1 1/2 SQ. BALUSTERS MATCHING EXISTING
- 8 NEW ARCHITECTURAL GRADE BLACK ASPHALT SHINGLE ROOFING
- 9 NEW COMPLETE BLACK MEMBRANE ROOFING SYSTEM AT FLAT ROOFING
- 10 NEW 12" CMU FOUNDATION WALL
- 11 NEW 4" BLOWN-IN CELLULOSE FIBER INSULATION INSTALLED BETWEEN STUDS FROM EXTERIOR (R15.2)
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- 24 CREATE NEW SOFFIT ALONG ROOF EDGE TO ACCOMMODATE ADDITIONAL PROJECTION FROM INSULATION
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- 29 NEW ROUND COPPER DOWNSPOUT
- 30 INSTALL (3) BEAMS FOR STAGE LIGHTING (REFER TO S1.3)
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1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



**3 PROPOSED PARTIAL ELEVATION-
SUNKEN AREAWAY**
 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH BARN ELEVATION
 SCALE: 1/4" = 1'-0"

Phase Two- Nathaniel Allen House

35 Webster Street
 Newton, MA 02465

Revision	Description

Date

Description

KEYNOTES:

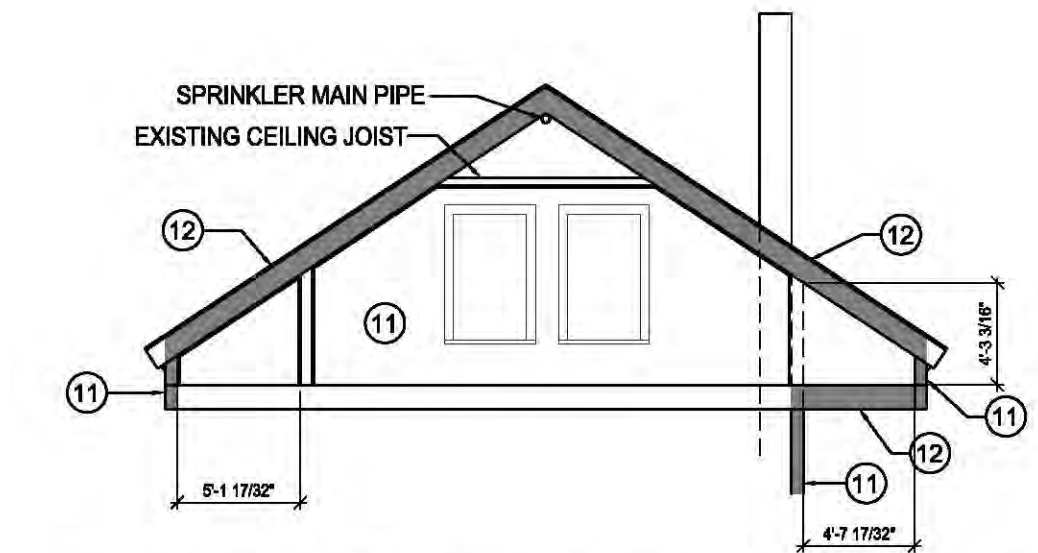
- 1 NEW WINDOW
- 2 NEW ELEVATOR PENTHOUSE
- 3 NEW SOLDERED COPPER SHEET ROOF
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1 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED SOUTH BARN ELEVATION
 SCALE: 1/4" = 1'-0"

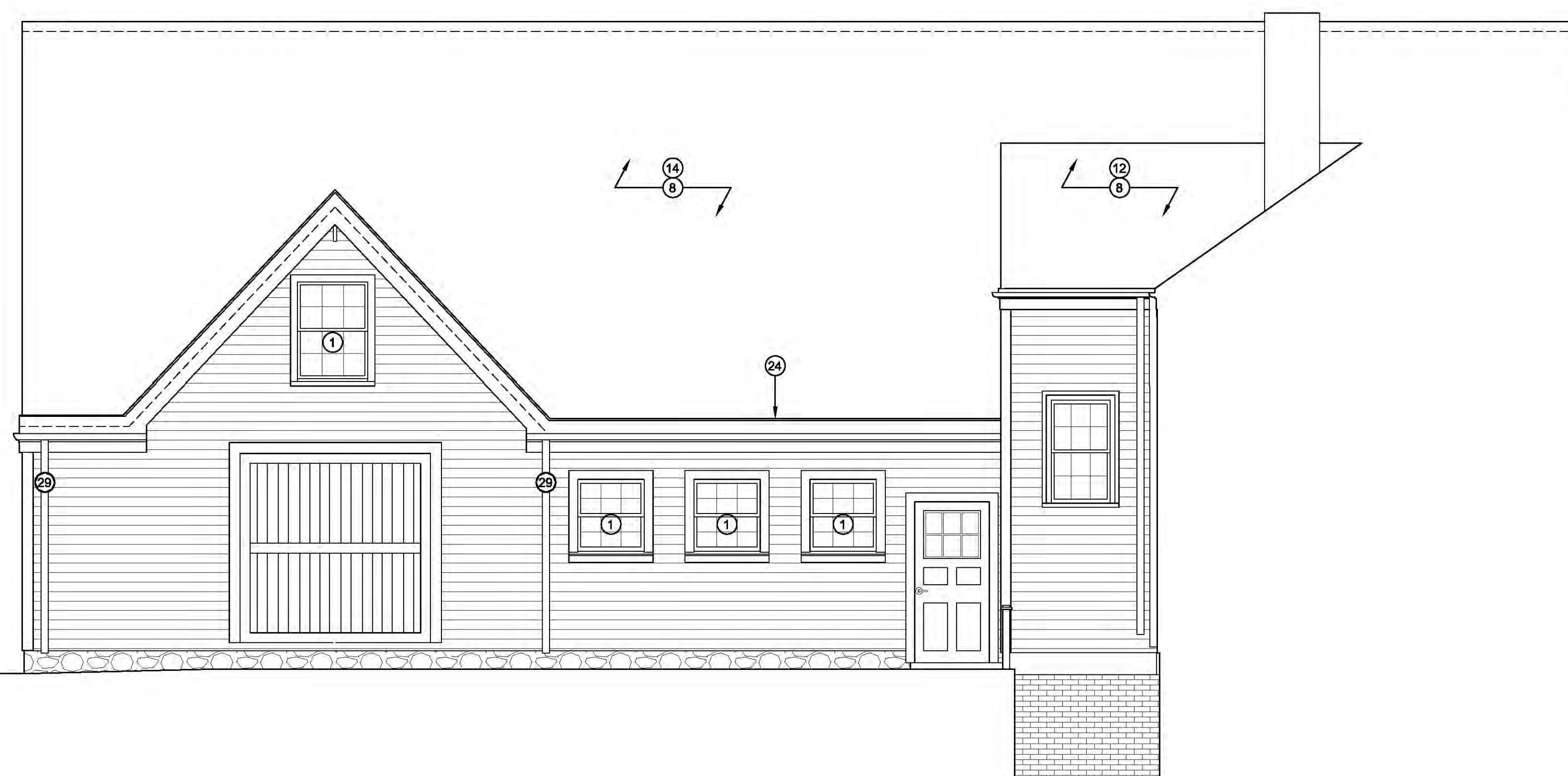


3 PROPOSED BARN ROOF INSULATION SECTION
 SCALE: 1/8" = 1'-0"

Project No.	W35
File	W35/DWG/Prop Elev
X-Refs	
Date Issued	02-11-16
Drawn By	PH
Checked By	DL



1 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED WEST BARN ELEVATION
 SCALE: 1/4" = 1'-0"

KEYNOTES:

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Phase Two- Nathaniel Allen House

35 Webster Street
 Newton, MA 02465

Revision	Description

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Project No.	W35
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X-Refs	
Date Issued	02-11-16
Drawn By	PH
Checked By	DL

DRAWING TITLE
**PROPOSED WEST
 ELEVATIONS**

SHEET NUMBER

A2.3

PHASE TWO- ALTERATIONS FOR FULL OCCUPANCY OF:

Nathaniel Allen House

35 Webster Street, Newton, MA 02465

LOCATION MAP



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DRAWING LIST:

COVER SHEET

CIVIL:

- EL1.0 EXISTING LANDSCAPING PLAN
- L1.0 PROPOSED LANDSCAPING PLAN
- A-UTIL PROPOSED SITE UTILITY PLAN

ARCHITECTURAL:

- EX0.1 EXISTING DOOR SCHEDULE
- EX0.2 EXISTING WINDOW SCHEDULE
- EX1.0 EXISTING BASEMENT PLAN
- EX1.1 EXISTING GROUND FLOOR PLAN
- EX1.2 EXISTING SECOND FLOOR PLAN
- EX1.3 EXISTING THIRD FLOOR PLAN
- EX1.4 EXISTING ROOF PLAN
- EX2.0 EXISTING NORTH ELEVATIONS
- EX2.1 EXISTING EAST ELEVATIONS
- EX2.2 EXISTING SOUTH ELEVATIONS
- EX2.3 EXISTING WEST ELEVATIONS
- EX3.0 EXISTING BUILDING SECTIONS
- EX3.1 EXISTING BUILDING SECTIONS
- EX4.0 EXISTING BASEMENT REFLECTED CEILING PLAN
- EX4.1 EXISTING GROUND FLOOR REFLECTED CEILING PLAN
- EX4.2 EXISTING SECOND FLOOR REFLECTED CEILING PLAN
- EX4.3 EXISTING THIRD FLOOR REFLECTED CEILING PLAN
- A0.0 STANDARDS SHEET
- A0.1 PROPOSED DOOR, WINDOW & LIGHTING FIXTURE SCHEDULES
- A0.2 ROOM FINISH SCHEDULE
- A1.0 PROPOSED BASEMENT PLAN
- A1.1 PROPOSED GROUND FLOOR PLAN
- A1.2 PROPOSED SECOND FLOOR PLAN
- A1.3 PROPOSED THIRD FLOOR PLAN
- A1.4 PROPOSED ROOF PLAN
- A2.0 PROPOSED NORTH ELEVATIONS
- A2.1 PROPOSED EAST ELEVATIONS
- A2.2 PROPOSED SOUTH ELEVATIONS
- A2.3 PROPOSED WEST ELEVATIONS
- A3.0 PROPOSED BUILDING SECTIONS
- A3.1 PROPOSED BUILDING SECTIONS
- A4.0 PROPOSED BASEMENT REFLECTED CEILING PLAN
- A4.1 PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
- A4.2 PROPOSED SECOND FLOOR REFLECTED CEILING PLAN
- A4.3 PROPOSED THIRD FLOOR REFLECTED CEILING PLAN
- A5.0 PROPOSED WALL TYPES & FLOORING DETAILS
- A5.1 PROPOSED WALL SECTIONS
- A5.2 PROPOSED WALL SECTIONS
- A5.3 PROPOSED WALL SECTIONS
- A5.5 PROPOSED PORCH FRAMING DETAILS
- A5.6 PROPOSED PORCH FRAMING DETAILS
- A5.7 PROPOSED PORCH FRAMING & INTERIOR STAIR DETAILS
- A6.0 PROPOSED INTERIOR ELEVATIONS
- A6.1 PROPOSED INTERIOR ELEVATIONS
- A6.2 PROPOSED INTERIOR ELEVATIONS
- A6.3 PROPOSED INTERIOR ELEVATIONS
- A6.4 PROPOSED INTERIOR ELEVATIONS
- KE1.0 PROPOSED KITCHEN EQUIPMENT PLANS

STRUCTURAL:

- S1.0 PROPOSED FOUNDATION PLAN
- S1.1 PROPOSED FIRST FLOOR FRAMING PLAN
- S1.2 PROPOSED SECOND FLOOR FRAMING PLAN
- S1.3 PROPOSED THIRD FLOOR/BARN ROOF FRAMING PLAN
- S1.4 PROPOSED ROOF FRAMING PLAN

MECHANICAL (GEOTHERMAL):

- H000 HVAC LEGEND
- H001 HVAC SCHEDULES (1)

DRAWING LIST continued:

MECHANICAL (GEOTHERMAL) CONT.:

- H002 HVAC SCHEDULES (2)
- H003 HVAC SCHEDULES (3)
- H004 HVAC DETAILS (1)
- H005 HVAC DETAILS (2)
- H006 HVAC DETAILS (3)
- H100 HVAC BASEMENT DUCTWORK PLAN
- H101 HVAC GROUND FLOOR DUCTWORK PLAN
- H102 HVAC SECOND FLOOR DUCTWORK PLAN
- H103 HVAC THIRD FLOOR DUCTWORK PLAN
- H200 HVAC BASEMENT NEW PIPING PLAN
- H201 HVAC GROUND NEW PIPING PLAN
- H202 HVAC SECOND FLOOR NEW PIPING PLAN
- H203 HVAC THIRD FLOOR NEW PIPING PLAN
- H301 HVAC GROUND LOOP CONDENSER WATER FLOW DIAGRAMS
- H302 HVAC EXISTING BOILER HOT WATER FLOW DIAGRAM
- H303 HVAC 3RD FLOOR APT. VRF SYSTEM FLOW DIAGRAMS
- H401 HVAC GROUND HEAT EXCHANGER AND GROUND LOOP PIPING PLAN
- HD100 HVAC BASEMENT DEMO PLAN
- HD101 HVAC GROUND FLOOR DEMO PLAN
- HD102 HVAC SECOND FLOOR DEMO PLAN
- HD103 HVAC THIRD FLOOR DEMO PLAN

ELECTRICAL:

- E000 ELECTRICAL LEGEND
- E100 ELECTRICAL SITE PLAN
- E101 ELECTRICAL SITE DETAILS
- E200 ELECTRICAL BASEMENT LIGHTING PLAN
- E201 ELECTRICAL GROUND FLOOR LIGHTING PLAN
- E202 ELECTRICAL SECOND FLOOR LIGHTING PLAN
- E203 ELECTRICAL THIRD FLOOR LIGHTING PLAN
- E300 ELECTRICAL BASEMENT POWER PLAN
- E301 ELECTRICAL GROUND FLOOR POWER PLAN
- E302 ELECTRICAL SECOND FLOOR POWER PLAN
- E303 ELECTRICAL THIRD FLOOR POWER PLAN
- E400 ELECTRICAL RISER DIAGRAM AND SCHEDULES
- E500 ELECTRICAL SCHEDULES
- E600 ELECTRICAL DETAILS
- ED100 ELECTRICAL BASEMENT FLOOR DEMOLITION PLAN
- ED101 ELECTRICAL GROUND FLOOR DEMOLITION PLAN
- ED102 ELECTRICAL SECOND FLOOR DEMOLITION PLAN
- ED103 ELECTRICAL THIRD FLOOR DEMOLITION PLAN

PLUMBING:

- P000 PLUMBING LEGEND
- P200 PLUMBING BASEMENT FLOOR PLAN
- P200U PLUMBING UNDERGROUND PLAN
- P201 PLUMBING GROUND FLOOR PLAN
- P202 PLUMBING SECOND FLOOR PLAN
- P203 PLUMBING THIRD FLOOR PLAN
- P600 PLUMBING DETAILS
- P700 PLUMBING SCHEDULES
- PD200 PLUMBING BASEMENT DEMO FLOOR PLAN
- PD201 PLUMBING GROUND FLOOR DEMO PLAN
- PD202 PLUMBING SECOND FLOOR DEMOLITION PLAN
- PD203 PLUMBING THIRD FLOOR DEMO PLAN

FIRE PROTECTION:

- FP000 FIRE PROTECTION LEGEND
- FP200 FIRE PROTECTION BASEMENT PLAN
- FP201 FIRE PROTECTION GROUND FLOOR PLAN
- FP202 FIRE PROTECTION SECOND FLOOR PLAN
- FP203 FIRE PROTECTION THIRD FLOOR PLAN
- FP600 FIRE PROTECTION DETAILS
- FP601 FIRE PROTECTION DETAILS

February 11, 2016

Nathaniel Allen House
35 Webster Street
West Newton MA 02465

Outline Drawing List (50% CD)- Dated 02-11-16

Cover Sheet	1 sheet
Existing Landscaping Plan	1 sheet
Proposed Landscaping Plan	1 sheet
Proposed Civil Engineers Plan	1 sheet
Existing Schedules	2 sheets
Existing Floor Plans	5 sheets
Existing Elevations	4 sheets
Existing Building Sections	2 sheets
Existing Reflected Ceiling Plans	4 sheets
Proposed Schedules	3 sheets
Proposed Floor Plans	4 sheets
Proposed Building Sections	2 sheets
Proposed Reflected Ceiling Plans	2 sheets
Proposed Sections & Details	7 sheets
Proposed Interior Elevations	5 sheets
Structural	5 sheets
Mechanical (Geothermal)	23 sheets
Electrical	18 sheets
Plumbing	12 sheets
Fire Protection	7 sheets
Total	114 sheets

**Newton Community Preservation Program Grant Proposal
Newton Cultural Alliance – Nathaniel Allen Homestead
February 2016**

Materials and Finishes

Energy Conservation and Sustainability

The existing historic window and door units have been restored and tightened with some of the funds provided by the CPC in 2014 to improve their energy performance. One hundred per cent (100%) post-consumer recycled cellulose insulation will be blown into all of the exterior walls and poured over the attic ceilings. The existing oil fired heating system will be replaced with a new geothermal system (see introduction document with the plans) for energy efficient heating, ventilating and air conditioning. Complete new energy efficient lighting using both LED and CF technologies will be installed throughout the project.

Environmental Mitigation

There is no visual evidence and the property has historically never been used for any industrial purposes so there is no reason to suspect the presence of underground contamination. There is now one new heating oil tank in the basement and the four older ones have been removed. There is no indication of the presence of any underground storage tanks on the property.

There is no visible evidence of material likely to contain asbestos anywhere in the building. All floor tiles have been tested and found to be void of asbestos. The current heating system for the third floor is relatively recent. The existing heating equipment was installed long after asbestos was used to insulate steam pipes and boilers.

It is that there is lead paint to be found on the building. All state lead paint laws will be followed during the preparation and painting of the building exterior and interior. Comprehensive de-leading of the entire building interior which would require extensive removal of historic fabric including the windows is not contemplated. The barn interior areas is planned will be de-leded since there is very little original woodwork remaining and the existing wood windows have failed and will be replaced.