

Nathaniel Allen House



Phase Two - Full Occupancy

Proposal to Community Preservation Committee - 3/10/16

Phase One Change of Use - Completed



Junior League of Boston Project



Exterior Restoration



Interior Rehabilitation and New Systems



Site Plan



Basement Floor Plan

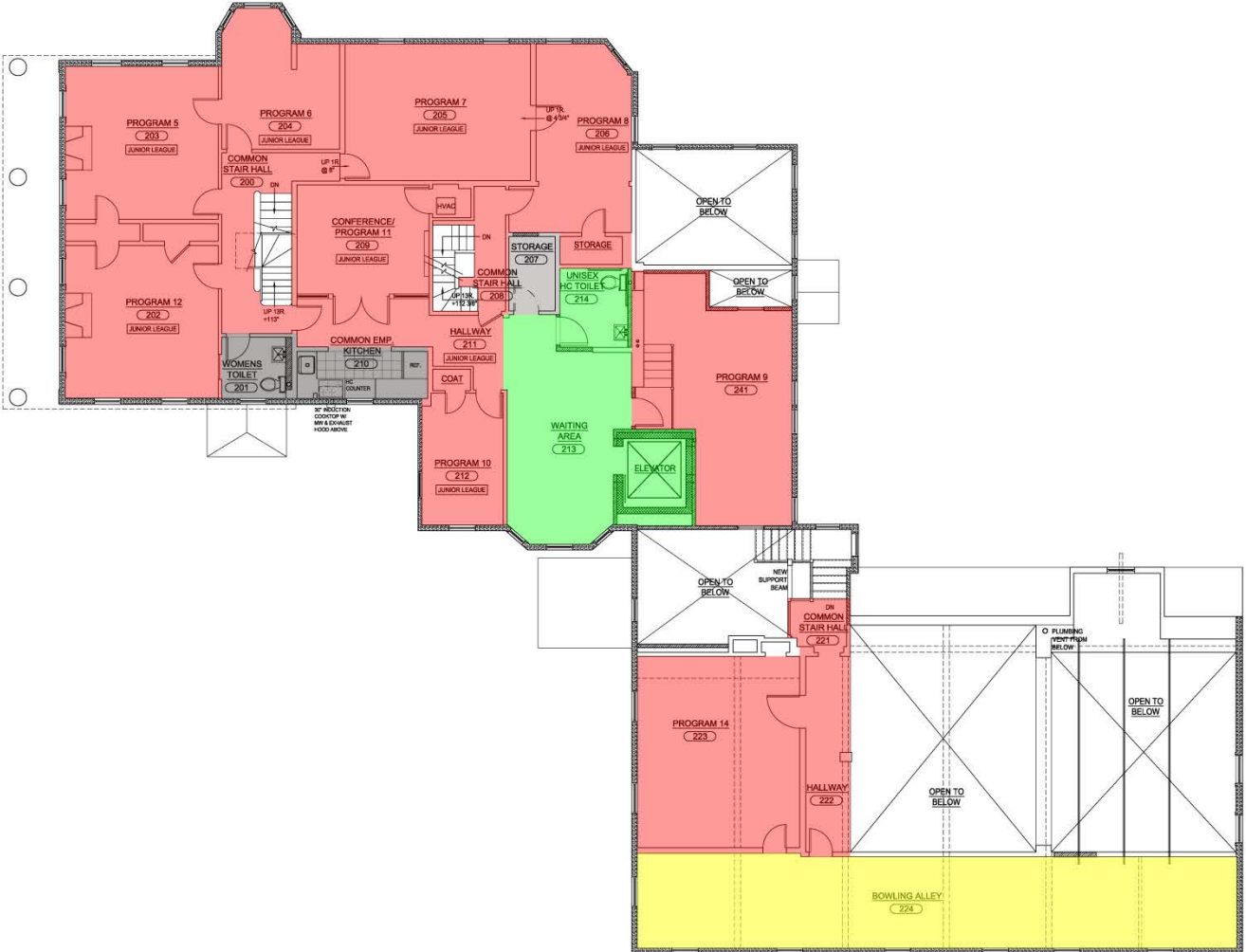


LEGEND:

- ACCESSIBLE ELEMENTS
- MEETINGS/ GALLERIES
- PROGRAMS/ OFFICES
- THEATRICAL/ WORKSHOP/ ASSEMBLIES
- HISTORIC BOWLING ALLEY
- CARETAKERS APARTMENT
- SUPPORT FACILITY SPACES
- MECHANICAL STORAGE

1
A13 PROPOSED BASEMENT PLAN (4928.32 S.F.)
SCALE: 3/16" = 1'-0"

Second Floor Plan

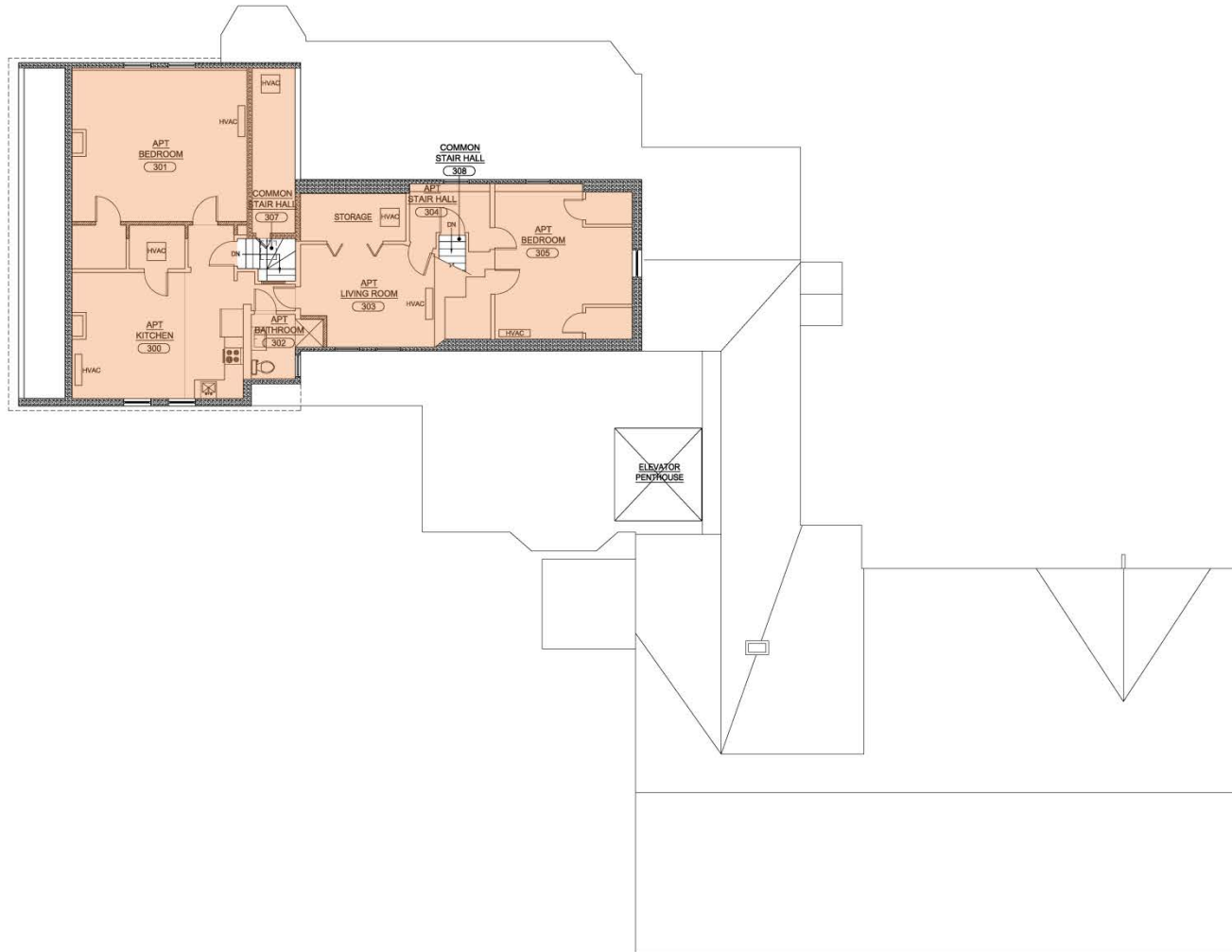


LEGEND:

	ACCESSIBLE ELEMENTS
	MEETINGS/ GALLERIES
	PROGRAMS/ OFFICES
	THEATRICAL/ WORKSHOP/ ASSEMBLIES
	HISTORIC BOWLING ALLEY
	CARETAKERS APARTMENT
	SUPPORT FACILITY SPACES
	MECHANICAL STORAGE

1 PROPOSED SECOND FLOOR PLAN (4600.35 S.F. - EXCLUDING OPEN AREA)
 A17 SCALE: 3/16" = 1'-0"

Third Floor Plan



LEGEND:

ACCESSIBLE ELEMENTS
MEETINGS/ GALLERIES
PROGRAMS/ OFFICES
THEATRICAL/ WORKSHOP/ ASSEMBLIES
HISTORIC BOWLING ALLEY
CARETAKERS APARTMENT
SUPPORT FACILITY SPACES
MECHANICAL STORAGE

1 PROPOSED THIRD FLOOR PLAN (1582.37 S.F.)
 AT3 SCALE: 3/16" = 1'-0"

Uses of Funds

SUMMARY CAPITAL/DEVELOPMENT BUDGET

Uses of Funds (revised for consistency with full budget attachment, 1 April 2016)

Acquisition (11/12) purchase price + closing costs	\$250,000
Phase 1 and 1A: Partial Occupancy (design & construction, legal fees, utilities, maintenance)	\$944,000
Phase 2 (current request)	
Hard Costs (Construction)	\$4,006,000
including: \$607,700 mechanical (HVAC, utilities, etc.), net of \$150,000 incentives for geothermal energy; \$164,000 contingency	
Soft Costs (Architecture, Engineering, Finance, Insurance, Utilities, etc.)	\$690,000
including: \$65,000 debt service reserve; \$200,000 developer fee	
D. TOTAL USES (should equal C. on page 1 and E. below)	\$5,900,000

Sources of Funds

Sources of Funds	Status (requested, expected, confirmed)	
Acquisition & Phase 1/1A		
CPA funding	Received (appropriated October 2014)	\$300,000
Village Bank	Received - Line of credit	\$750,000
NCA Donations/foundation	Received to date 2/1/2016	\$550,000
Phase 2 (current request)		
CPA funding	Request Spring 2016	\$2,000,000
MA Historic Tax Credits	Received – not yet used	\$600,000
Mass Cultural Council Cultural	Expected Spring 2016	\$300,000
MA Historic Tax Credits	Spring/Summer 2016, additional applications	\$400,000
Capital Campaign	Begin May 2016	\$700,000
Mass Cultural Council Cultural	Application Fall 2017	\$300,000
E. TOTAL SOURCES (should equal C. on page 1 and D. above)		\$5,900,000

Summary Annual Operations & Maintenance Budget

SUMMARY ANNUAL OPERATIONS & MAINTENANCE BUDGET (cannot use CPA funds)

Uses of Funds projected for FY 17, first year of occupancy

See detailed 10-year projection attached.

Annual contracts (maintenance - snow, cleaning, insurance, etc.)	\$24,000
Repairs and maintenance, utilities	\$29,500
Other: Mortgage, permits, property manager, reserve	\$70,250

F. TOTAL ANNUAL COST (should equal G. below) **\$123,750**

Sources of Funds

House office leases	\$61,200
House event rentals	\$41,400
Barn class rentals	\$0
Barn event rentals	\$0
Allen House Friends	\$20,000
Other event fees	\$2,400

G. TOTAL ANNUAL FUNDING (should equal F. above) **\$125,000**