

CITY OF NEWTON NEWTON, MA WAR MEMORIAL ELEVATOR

ARCHITECT
GOLDMAN REINDORF ARCHITECTS, INC.
427 WATERTOWN ST.
NEWTON, MA 02458

STRUCTURAL ENGINEER:
BOSTON BUILDING CONSULTANTS, INC.
241 A STREET, SUITE 220
BOSTON, MA 02210

MEP ENGINEER:
WSP, INC.
88 BLACK FALCON AVE. SUITE 200
BOSTON, MA 02210

PROJECT ARCHITECT

GOLDMAN REINDORF ARCHITECTS INC.
427 WATERTOWN STREET
SUITE 102
NEWTON, MA 02458

PROJECT #
BID #

ARCHITECTURAL ABBREVIATIONS

<p>A/C AIR CONDITIONING AC. ACOUSTICAL TILE ADJ. AREA DRAIN A.D. ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALT. ALTERNATE ALUM. ALUMINUM A.P. ACCESS PANEL APPROX. APPROXIMATELY ARCH. ARCHITECT (—URAL)</p>	<p>CONTR. CONTRACTOR CORR. CORRIDOR CPT. CARPET CSK. COUNTERSINK C.T. CERAMIC TILE C.W. COLD WATER</p>	<p>FC FLOOR FINISH F.D. FLOOR DRAIN FDN. FOUNDATION FE FIRE EXTINGUISHER CABINET FEC FIRE EXTINGUISHER CABINET FH FUME HOOD FHC FIRE HOSE CABINET FIN. FINISH OR FINISHED FL. FLOOR FLUOR. FLUORESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUD FIRE FIRE PROTECTED FT. FEET OR FOOT FTG. FOOTING</p>	<p>I.D. INSIDE DIAMETER IN (") INCHES INCL. INCLUDING OR INCLUDED INSUL. INSULATION INT. INTERIOR INV. INVERT</p>	<p>O.A. OVER ALL O.C. ON CENTER O.D. OUTSIDE DIAMETER OH OPPOSITE HAND OPNG. OPENING OPP. OPPOSITE OZ. OUNCE PENNY PENNY L.B.(#) LBS.(#) PENNY PENNY L.B.(#) LBS.(#)</p>	<p>SPEC SPECIFICATIONS SQ. SQUARE SS. STAINLESS STEEL ST. STREET STB. STAIR STL. STEEL STR. STORAGE STRUCT. STRUCTURE SUSP. SUSPENDED SYM. SYMMETRICAL</p>	<p>V. VENEER VAR. VARIES VAI VINYL ASBESTOS TILE VCT VINYL COMPOSITION TILE VERT. VERTICAL OR VERTICALLY VEST. VESTIBULE VNL. VINYL VOL. VOLUME V.T. VINYL TILE VTR VENT THROUGH ROOF VWC VINYL WALL COVERING V.F. VERIFY IN FIELD</p>
<p>BB BASE CABINET BULLETIN BOARD BD. BOARD BIT. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLKG. BLOCKING BM. BEAM E.M. EMBLEM B.O. BOTTOM OF BSMT. BASEMENT BTW. BETWEEN</p>	<p>DB DRAWER BASE DEM. DEMOLISH, DEMOLITION D.F. DRINKING FOUNTAIN D.H. DOUBLE HUNG DIA. DIAMETER DIM. DIMENSION DN. DOWN D.P. DAMPPROOFING D.O. DUPLEX OUTLET DR. DOOR DTL. DETAIL DWC. DRAWING</p>	<p>GAS GAS GAL. GALLONS GALL. GALLON GALV. GALVANIZED G.S. GENERAL CONTRACTOR G.I. GALVANIZED IRON GL. GLASS GROMMET OR GP. GYPSUM BOARD</p>	<p>JAN.CI. JANITOR CLOSET JT. JOINT LAM. LAMINATED LAV. LAVATORY LB.# LBS.# L.M.# LBS.# L.P. LOW POINT L.S. LIGHT SWITCH LT. WT. LIGHT WEIGHT</p>	<p>MACH. MACHINE MAS. MASONRY MAT. PLASTIC MAT MAX. MAXIMUM MECH. MECHANICAL MEMB. MEMBRANE MFR. MANUFACTURER M.H. MANHOLE M.N. MINIMUM MISC. MISCELLANEOUS M.O. MASONRY OPENING M.LDG. MOLDING M.R. MOISTURE RESISTANT MTL. METAL</p>	<p>R RISER R.A. RETURN AIR R.D. RADIUS R.D. ROOF DRAIN REFC. REFRIGERATOR OR REINF. REINFORCED REQD. REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING ROW RIGHT OF WAY</p>	<p>U.L. UNDERWRITERS LABORATOR UML UNIVERSITY OF MASSACHUSETTS LOWELL U.O.N. UNLESS OTHERWISE NOTED</p>
<p>CA CENTER LINE C.B. CATCH BASIN CEM. CEMENT CFB. CEMENT FIBER BOARD CFM CUBIC FEET PER MINUTE CG CORNER GUARD C.I. CAST IRON C.J. CONTROL JOINT CLC. CEILING CLS. CLOSET CLR CLEAR CMU CONCRETE MASONRY UNIT C.O. CLEAN OUT COL. COLUMN COMP. COMPOSITION CONC. CONCRETE CONST. CONSTRUCTION</p>	<p>EAST EAST EACH EACH EGV EMERGENCY GAS VALVE BOX E.J. EXPANSION JOINT ELEV. ELEVATION (GRADE) ELEC. ELECTRICAL ELEVTR. ELEVATOR (FACADE) ELEV. ELEVATOR EML EXPANDED METAL LATH ENCL. ENCLOSURE E.P. ELECTRICAL PANELBOARD E.P.D.M. ETHYLENE PROPYLENE DIENE MONOMER</p>	<p>H.C. HOLLOW CORE HDW. HARDWARE HM HOLLOW METAL HOR. HORIZONTAL H.P. HIGH PERFORMANCE HR. HOUR HT. HEIGHT HTR. HEATER HVAC HEATING, VENTILATING & AIR CONDITIONING H.W. HOT WATER</p>	<p>N.C. NORTH N.C. NON-CORROSIVE NIC NOT IN CONTRACT NIH NATIONAL INSTITUTES OF HEALTH NO.(#) NUMBER NOM. NOMINAL</p>	<p>P.T. PAVER TILE PT. POINT PTD. PAINTED PVC POLY VINYL CHLORIDE R RISER R.A. RETURN AIR R.D. RADIUS R.D. ROOF DRAIN REFC. REFRIGERATOR OR REINF. REINFORCED REQD. REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING ROW RIGHT OF WAY</p>	<p>S. SOUTH SB SINK BASE S.C. SCHEDULE SCHED. SCHEDULE SECT. SECTION SF SQUARE FEET</p>	<p>W. WEST W/W WITH WC WATER CLOSET WD. WOOD W.H. WALL HUNG WM WIREMOLD W/O WITHOUT W/P WALL PHONE WPM WATERPROOFING MEMBRANE WT. WEIGHT W.W.M. WELDED WIRE MESH W.W.F. WELDED WIRE FABRIC</p>

DRAWING LIST

ARCHITECTURAL
T-1 - TITLE PAGE, AND NOTES
D-1 - PARTIAL DEMOLITION PLANS
A-1 - PARTIAL FLOOR PLANS
A-2 - PARTIAL FLOOR PLANS
A-3 - SECTIONS AND ELEVATIONS
A-4 - INTERIOR ELEVATIONS

STRUCTURAL
S1 - ELEVATOR PART PLANS

MECHANICAL
M1 - MECH. BASEMENT, FIRST, SECOND, MEZZ FLOOR PLANS

ELECTRICAL
ED1 - ELECTRICAL BASEMENT, FIRST SECOND, MEZZ DEMO FLOOR PLANS
E1 - ELECTRICAL BASEMENT, FIRST SECOND, MEZZ FLOOR PLANS

NOTES

GENERAL:
1. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
2. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME.
3. ALL PERMITS TO BE OBTAINED BY GC. ALL WORK PERFORMED BY THE GC AND SUBCONTRACTORS TO MEET ALL APPLICABLE CODES.

DEMOLITION:
1. SEE DRAWINGS FOR AREAS OF WORK AND SCOPE OF ITEMS TO BE REMOVED.
2. ALL MECHANICAL AND ELECTRICAL SERVICE LINES TO BE REMOVED SHALL BE CUT OFF BY THEIR RESPECTIVE TRADES. THE DEMOLITION CONTRACTOR SHALL COORDINATE REMOVALS WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
3. ALL EXISTING STRUCTURAL ITEMS TO REMAIN. NO MATERIAL OR ELEMENT WHICH PROVIDES SUPPORT OR STRUCTURE FOR OTHER PORTIONS OF THE BUILDING SHALL BE REMOVED WITHOUT FIRST NOTIFYING THE ARCHITECT. TEMPORARY SHORING OR BRACING MUST BE PROVIDED AND PERMANENT SUPPORT INSTALLED PRIOR TO THE REMOVAL OF THE SUPPORT ELEMENT.
4. IF HAZARDOUS MATERIALS, SUCH AS ASBESTOS-CONTAINING MATERIALS, OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING THE COURSE OF THE WORK, CEASE WORK IN AFFECTED AREA ONLY AND IMMEDIATELY NOTIFY THE CITY OF NEWTON. THE CITY OF NEWTON WILL ARRANGE AND PAY FOR TESTING OF MATERIALS IN QUESTION. DO NOT PROCEED WITH WORK IN SUCH AREAS UNTIL INSTRUCTIONS ARE ISSUED BY THE PROJECT MANAGER. CONTINUE WORK IN OTHER AREAS. NEWTON WILL PAY FOR ABATEMENT AND DISPOSAL OF CONFIRMED HAZARDOUS MATERIALS BY LICENCED CONTRACTOR.
A. EXISTING VCT FLOORING AND BASE - NEWTON TO TEST TILES AND ADHESIVES FOR ASBESTOS.

DRAWING KEY

PLAN KEY:

EXISTING WALL TO BE REMOVED
 EXISTING DOOR TO BE REMOVED
 INSTALL NEW WALL
 INSTALL NEW DOOR
 INSTALL NEW WALL MOUNTED EXIT SIGN
 INSTALL NEW WALL MOUNTED DOOR ACTUATOR
 INSTALL NEW DUPLEX OUTLET
 INSTALL NEW LIGHT SWITCH

WALL KEY:

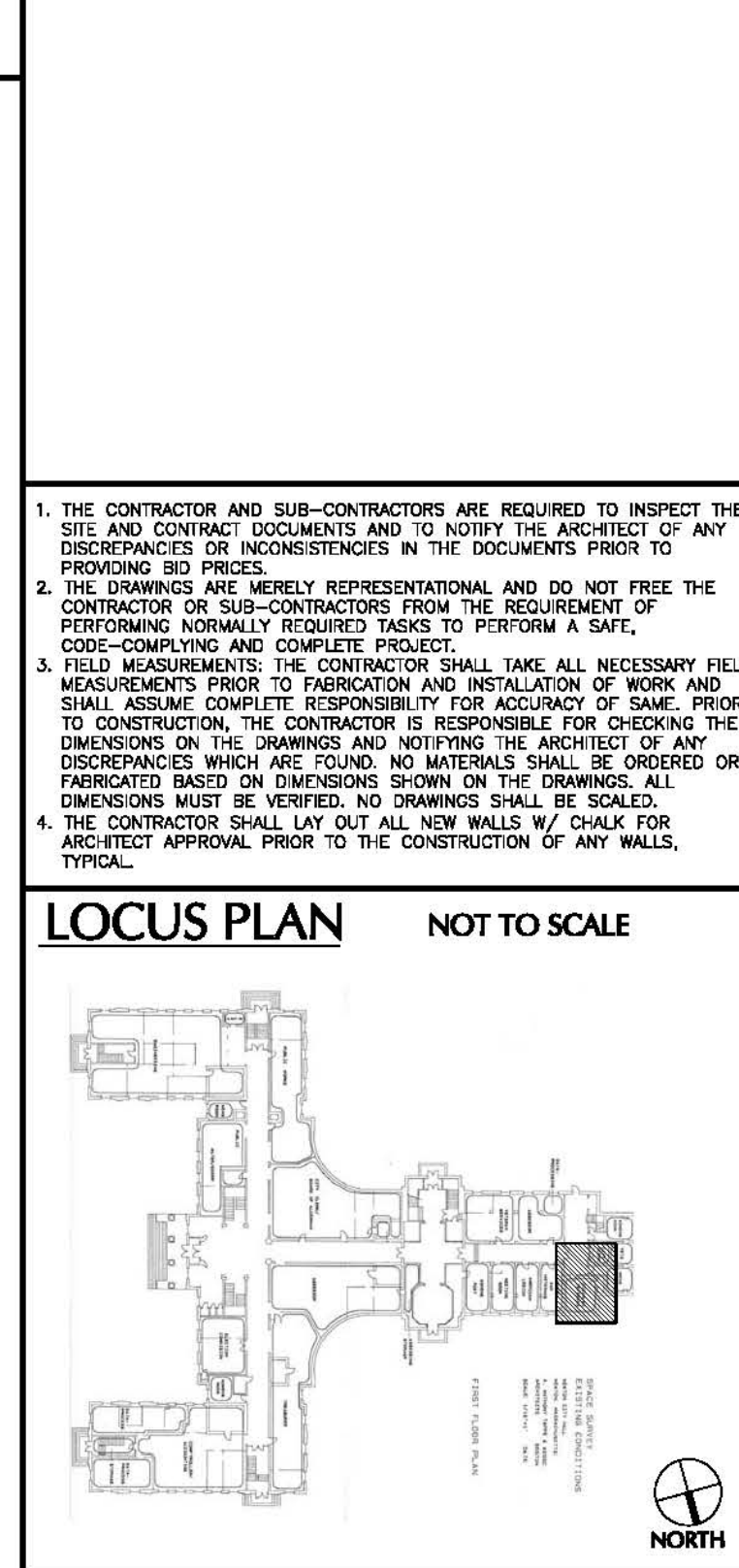
NEW 2-HR RATED 8" CMU WALL (SHAFT AT ELEVATOR, SEE STRUCTURAL DRAWINGS)
 NEW 2 HR GMB WALL WITH METAL STUDS
 INSTALL 1 1/2" METAL FURRING CHANNELS AND ONE LAYER GMB OVER NEW 8" CMU
 NEW 1 HR GMB WALL WITH METAL STUDS
 NEW 1 1/2" METAL STUDS AND GMB ONE SIDE
 2HR FIRE RATED SHAFTWALL OVER EXISTING WALL

DOOR KEY:

EXISTING DOOR TO REMAIN
 NEW DOOR AND FRAME
 NEW 2HR RATED STEEL DOOR AND FRAME
 NEW 20 MIN. STAINED WOOD PANEALED DOOR AND PAINTED WOOD FRAME TO MATCH EXIST.
 NEW STAINED SOLID WOOD PANEALED DOOR WITH LOUVER AND PAINTED WOOD FRAME TO MATCH EXIST.

FINISH KEY:

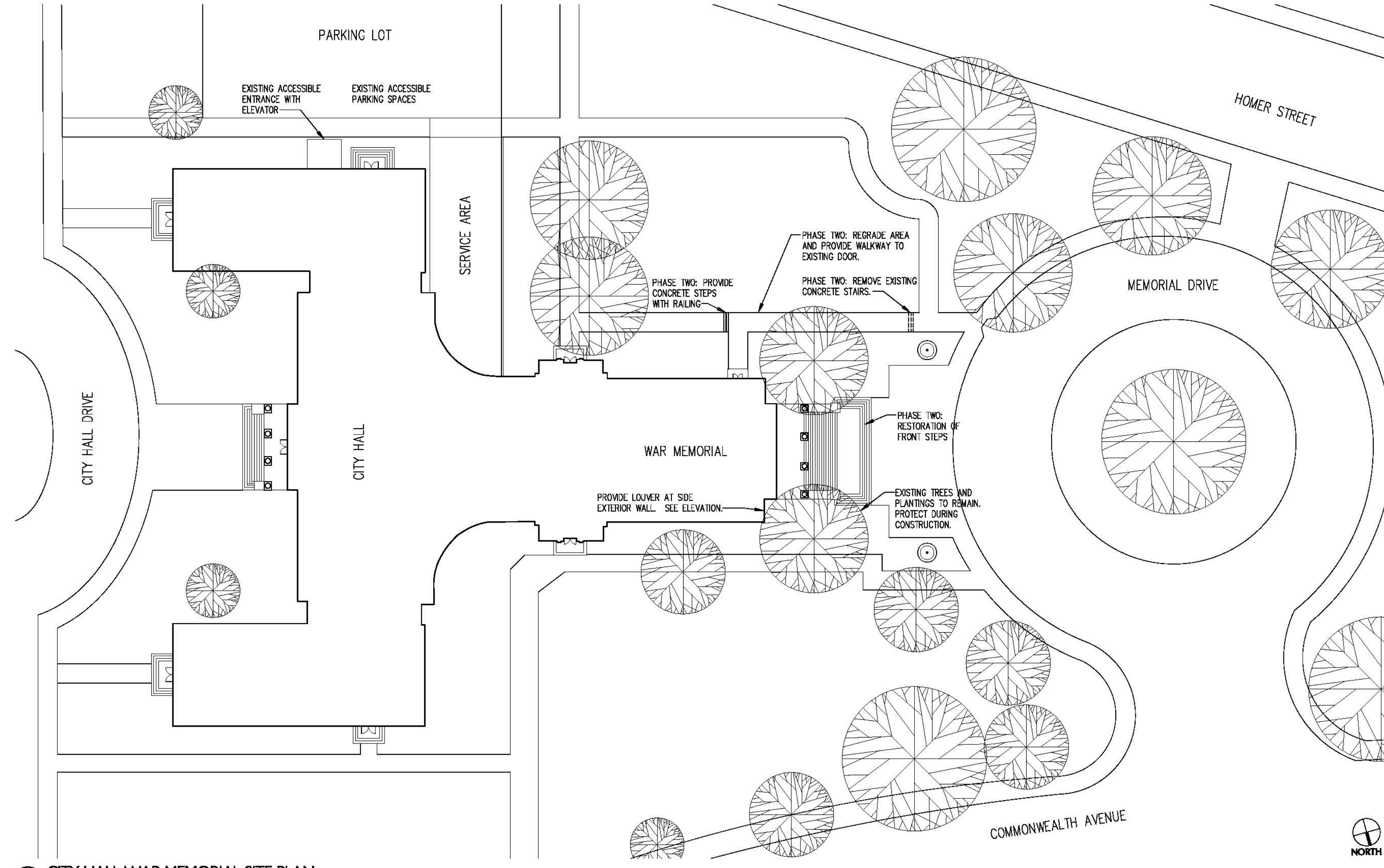
WALL FINISH
 FLOOR FINISH
 PATCH & PAINT WALLS TO MATCH EXIST.
 PATCH & PAINT WALLS
 NEW VCT AND RUBBER BASE
 EXISTING FLOORING TO REMAIN - INSTALL NEW BASE TO MATCH EXISTING AT NEW WALLS
 PROVIDE CARPET TILE WITH RUBBER WALL BASE



CITY OF NEWTON WAR MEMORIAL ELEVATOR

REVISION / DATE	

DRAWN BY: JM CHECKED BY: MK
DATE: 11-07-13

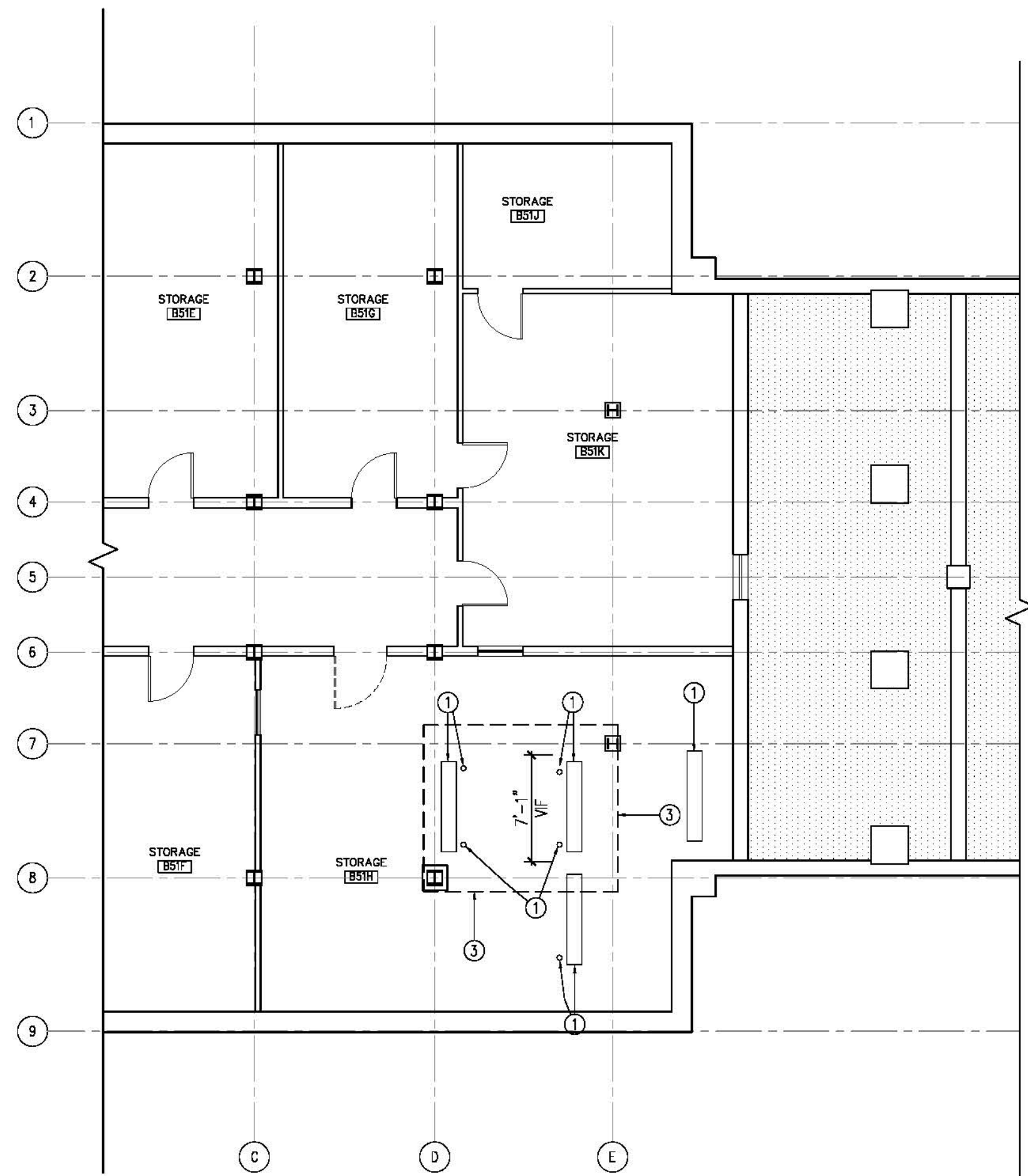


CITY HALL WAR MEMORIAL SITE PLAN
1/32" = 1'-0" SCALE



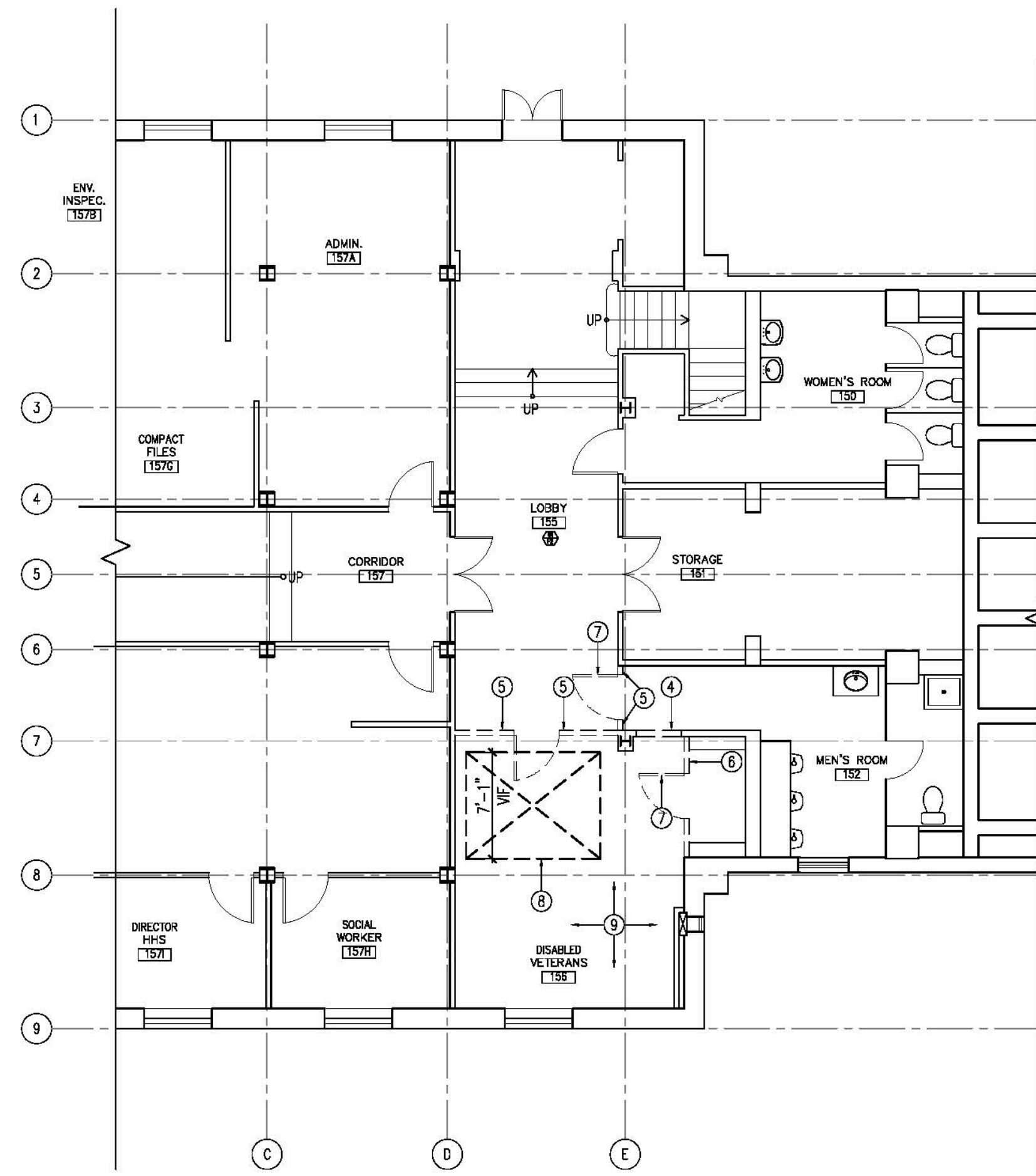
T-1

DESIGN DEVELOPMENT SET
NOT FOR CONSTRUCTION



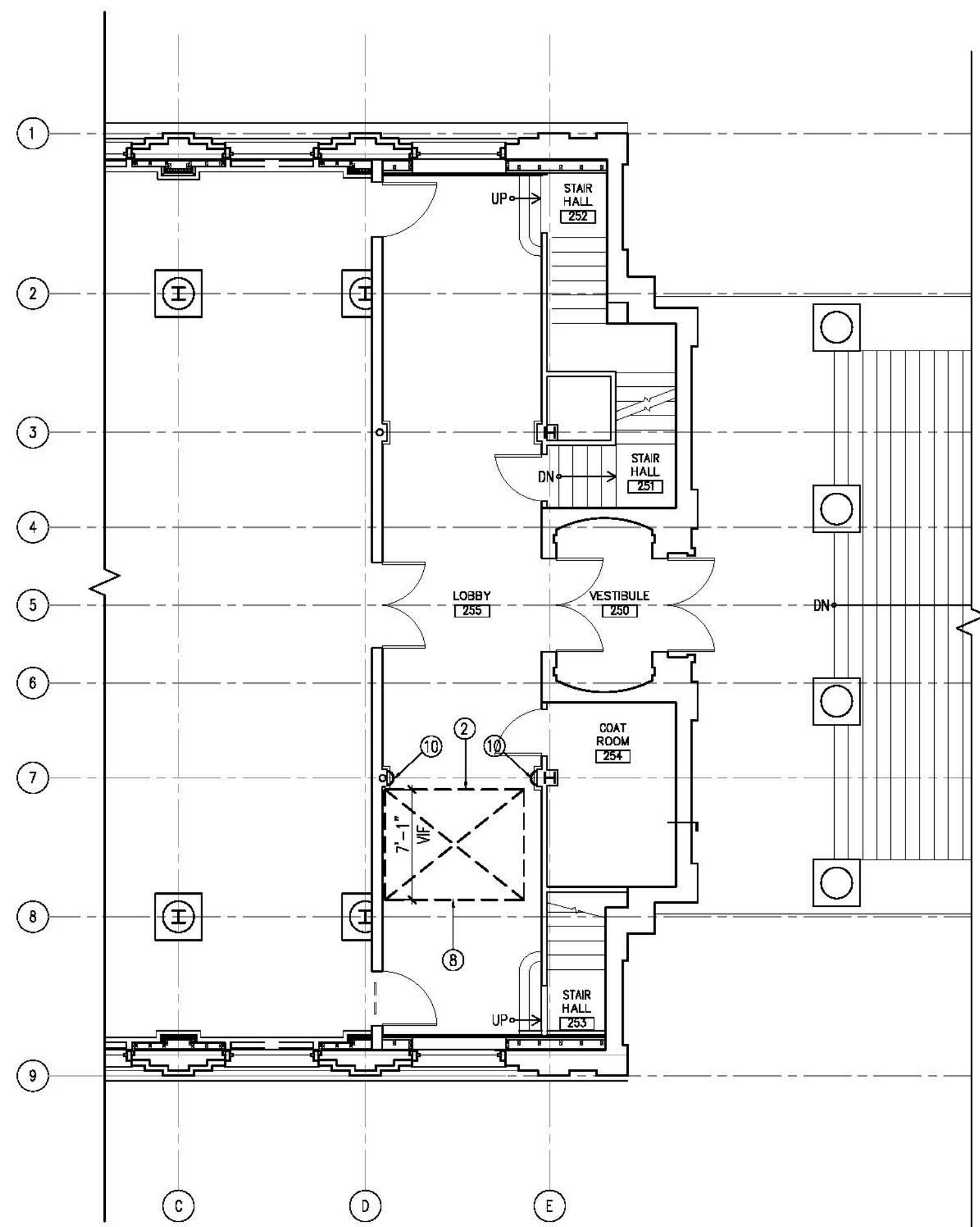
1 PARTIAL BASEMENT DEMOLITION PLAN

1/8" = 1'-0" SCALE



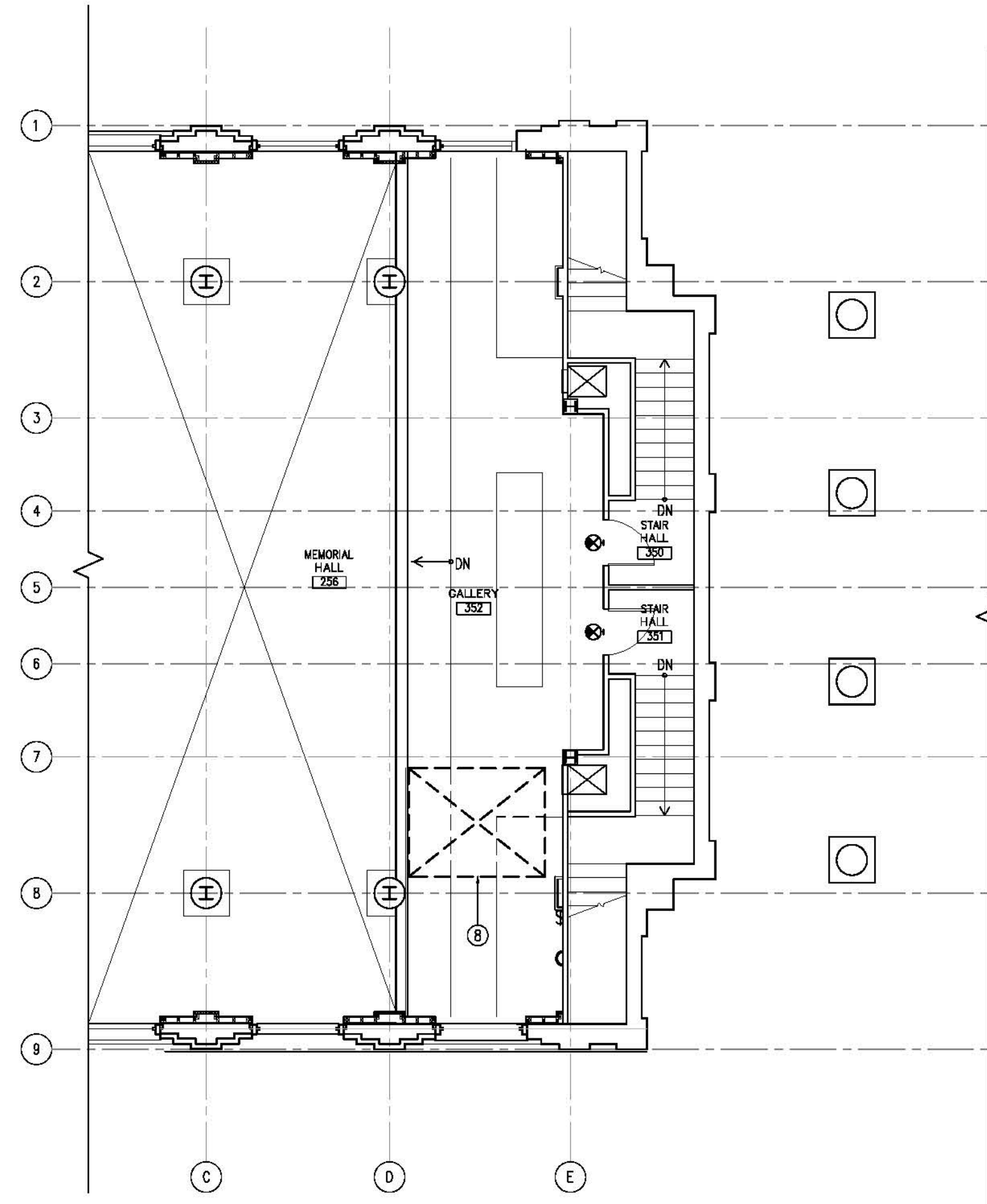
2 PARTIAL FIRST FLOOR DEMOLITION PLAN

1/8" = 1'-0" SCALE



3 PARTIAL SECOND FLOOR DEMOLITION PLAN

1/8" = 1'-0" SCALE

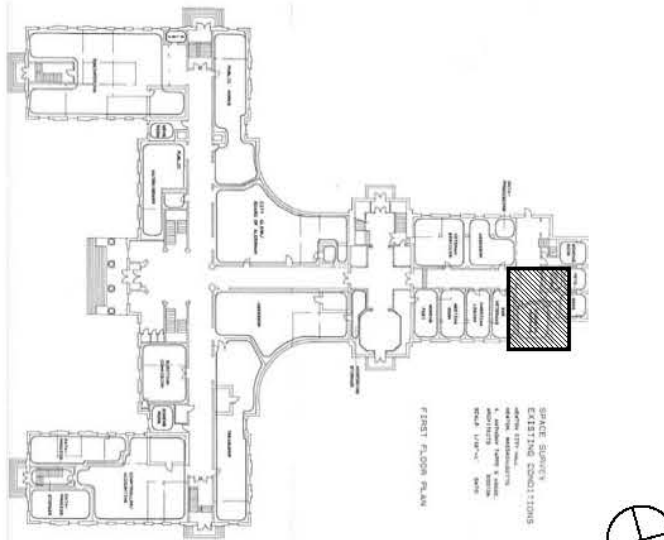


4 PARTIAL THIRD FLOOR DEMOLITION PLAN

1/8" = 1'-0" SCALE

1. THE CONTRACTOR AND SUB-CONTRACTORS ARE REQUIRED TO INSPECT THE SITE AND CONTRACT DOCUMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES IN THE DOCUMENTS PRIOR TO PROVIDING BID PRICES.
2. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR OR SUB-CONTRACTORS FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PERFORM A SAFE, CODE-COMPLYING AND COMPLETE PROJECT.
3. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO FABRICATION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CHECKING THE DIMENSIONS ON THE DRAWINGS AND NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES WHICH ARE FOUND. NO MATERIALS SHALL BE ORDERED OR FABRICATED BASED ON DIMENSIONS SHOWN ON THE DRAWINGS. ALL DIMENSIONS MUST BE VERIFIED. NO DRAWINGS SHALL BE SCALED.
4. THE CONTRACTOR SHALL LAY OUT ALL NEW WALLS W/ CHALK FOR ARCHITECT APPROVAL PRIOR TO THE CONSTRUCTION OF ANY WALLS, TYPICAL.

LOCUS PLAN NOT TO SCALE



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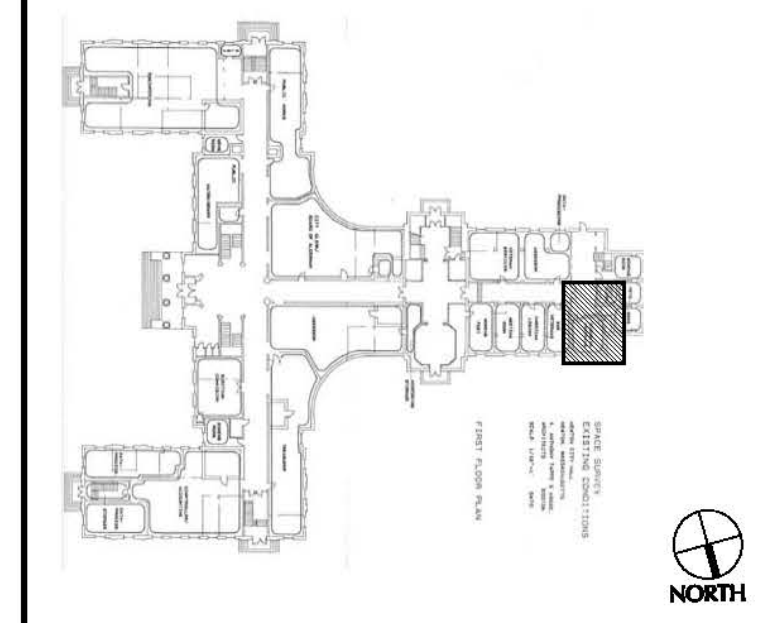
PARTIAL DEMOLITION PLANS

- DEMOLITION KEY NOTES:**
- 1 → REMOVE EXISTING LIGHT FIXTURES.
 - 2 → SALVAGE EXISTING MARBLE FLOORING FOR REUSE
 - 3 → CUT SLAB AND EXCAVATE AS NEEDED FOR ELEVATOR PIT, SEE STRUCTURAL DRAWINGS.
 - 4 → REMOVE BLOCK WALL FOR NEW DOOR OPENING - RELOCATE WIRING AND VENT PIPES AS NEEDED.
 - 5 → REMOVE BLOCK WALL UP TO CEILING. PREPARE AREA TO RECEIVE NEW WORK.
 - 6 → REMOVE WALL.
 - 7 → REMOVE DOOR & FRAME
 - 8 → CUT OPENING IN FLOOR FOR ELEVATOR SHAFT - PROVIDE TEMPORARY SUPPORT - BUILDING STRUCTURE WILL BE SUPPORTED BY STRUCTURAL ELEVATOR SHAFT
 - 9 → REMOVE EXISTING CARPET IN ROOM 156 - REMOVE OLD FLOORING DOWN TO SLAB - PATCH FLOOR AS NEEDED.
 - 10 → REMOVE EXISTING WALL SCONCES & SAVE FOR REINSTALLATION.

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LOCUS PLAN NOT TO SCALE



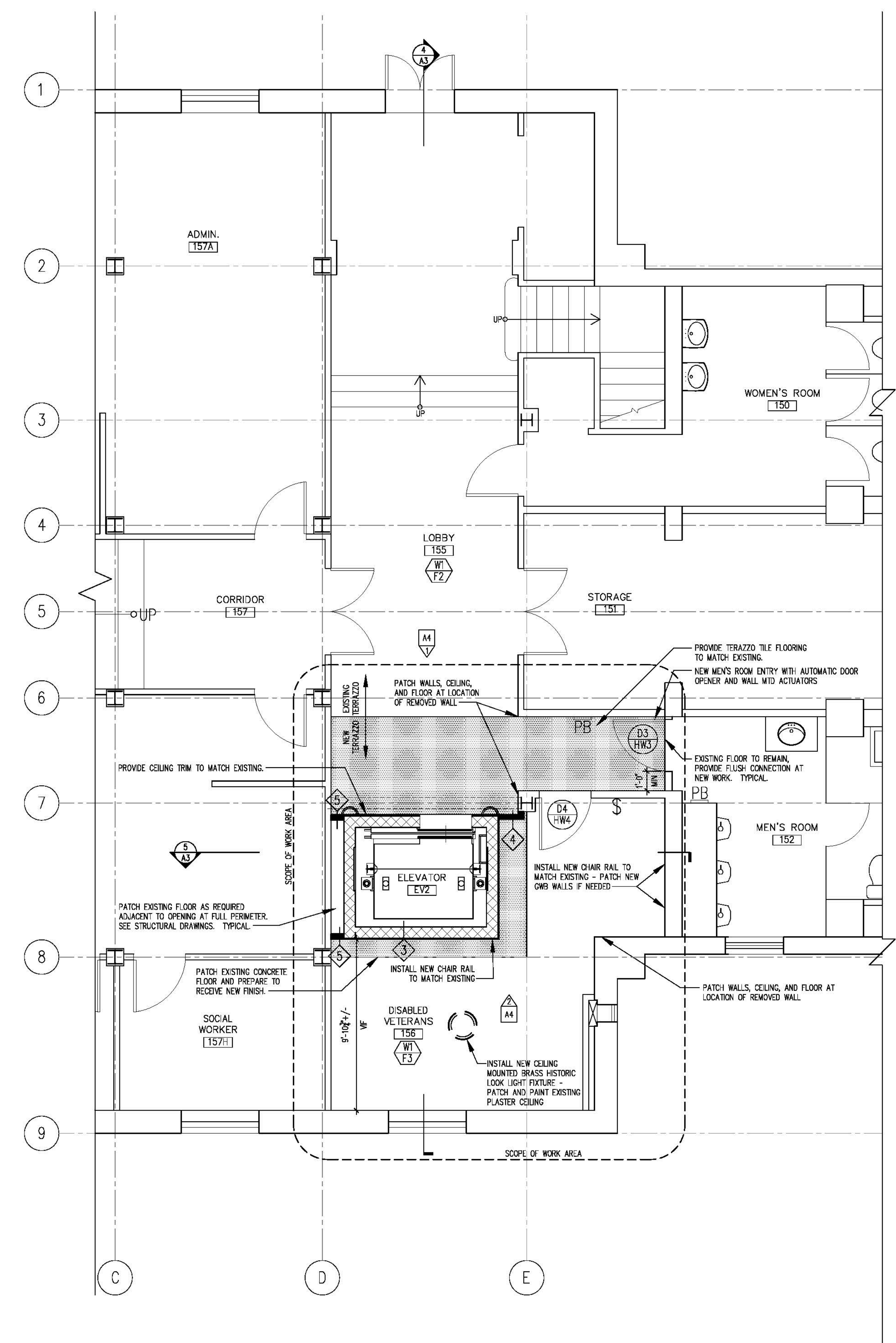
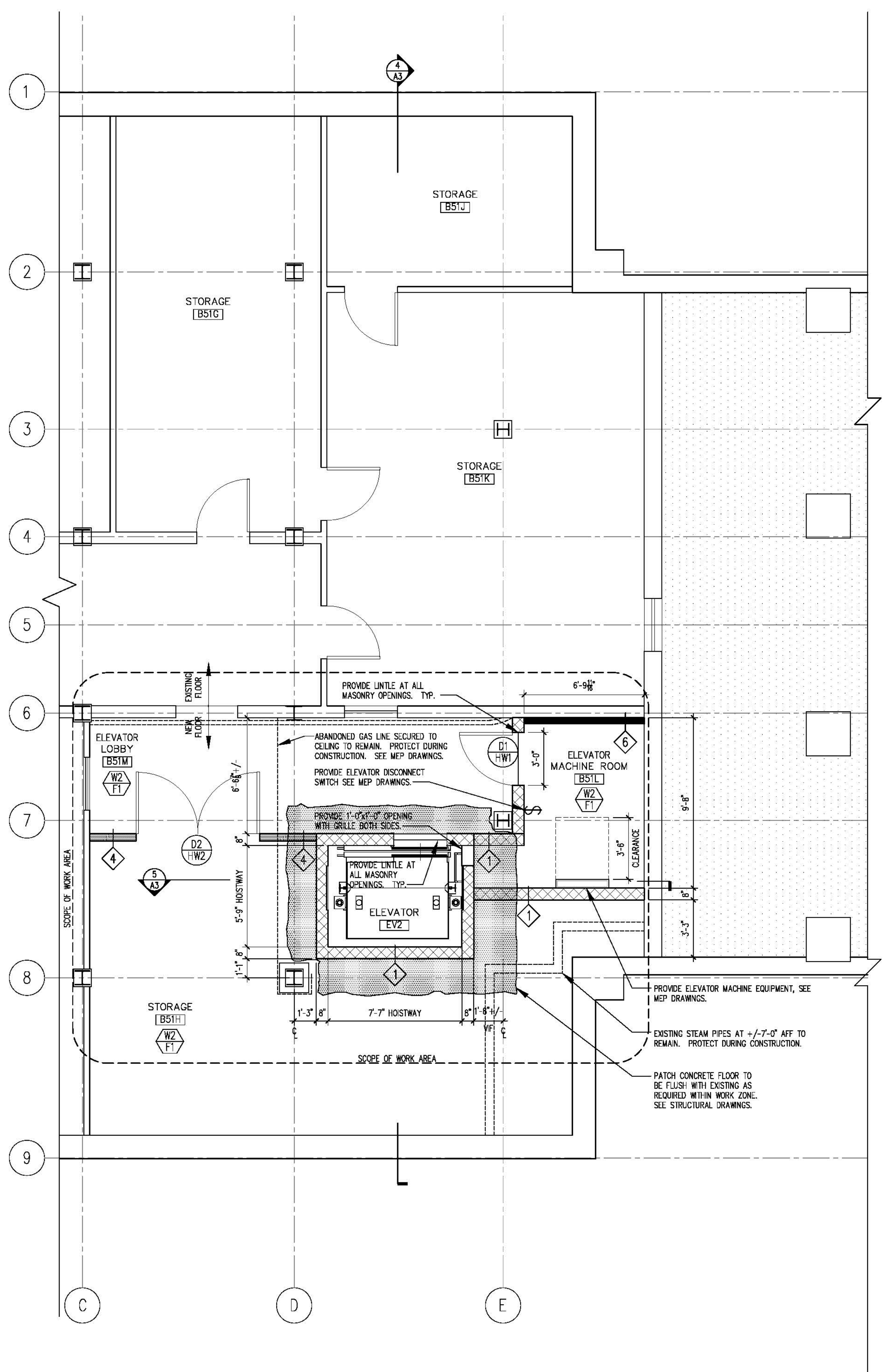
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PARTIAL FLOOR PLANS

A-1



- PLAN KEY:**
- EXISTING WALL TO BE REMOVED
 - EXISTING DOOR TO BE REMOVED
 - INSTALL NEW WALL MOUNTED EXIT SIGN
 - INSTALL NEW WALL MOUNTED DOOR ACTUATOR
 - INSTALL NEW DUPLEX OUTLET
 - INSTALL NEW LIGHT SWITCH
- WALL KEY:**
- NEW 2-HR RATED 8" CMU WALL (SHAFT AT ELEVATOR, SEE STRUCTURAL DRAWINGS)
 - NEW 2 HR GWB WALL WITH METAL STUDS
 - INSTALL 1 1/2" METAL FURRING CHANNELS AND ONE LAYER GWB OVER NEW 8" CMU SHAFT WALL (WALL TYPE 1)
 - NEW 1 HR GWB WALL WITH METAL STUDS
 - NEW 1 1/2" METAL STUDS AND GWB ONE SIDE
 - 2HR FIRE RATED SHAFTWALL OVER EXISTING WALL
- DOOR KEY:**
- EXISTING DOOR TO REMAIN
 - NEW DOOR AND FRAME SEE SPECIFICATION FOR HARDWARE
 - NEW B LABEL RATED STEEL DOOR AND FRAME
 - NEW 20 MIN. STAINED WOOD PANELED DOOR AND PAINTED WOOD FRAME TO MATCH EXIST.
 - NEW STAINED SOLID WOOD PANELED DOOR WITH LOUVER AND PAINTED WOOD FRAME TO MATCH EXIST.
 - NEW 20 MIN. RATED STEEL DOUBLE DOORS AND FRAME
- FINISH KEY:**
- WALL FINISH
 - FLOOR FINISH
 - PATCH & PAINT WALLS TO MATCH EXIST.
 - PATCH & PAINT WALLS
 - NEW VCT AND RUBBER BASE
 - EXISTING FLOORING TO REMAIN - INSTALL NEW BASE TO MATCH EXISTING AT NEW WALLS
 - PROVIDE CARPET TILE WITH RUBBER WALL BASE

DESIGN DEVELOPMENT SET
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