

**War Memorial Access and Acoustic Improvements
Fy'14 Newton Community Preservation Proposal
Date: February 26, 2014**



Formal Entrance Portico to the City of Newton- War Memorial Hall

City Hall Veteran's Wing- Access and Acoustic Improvements

Photos of recent events that taken place at the War Memorial Hall



Volunteer Appreciation Breakfast, Friday, May 20, 2011



Meeting to Debate of the Off-Leash Area at Cold Spring Park, Monday, May 19, 2009

MBTA Hearing at the Newton City Hall War Memorial, Tuesday January 12, 2012



City Hall Veteran's Wing - Access and Acoustic Improvements



Figure 1: view of Memorial Hall, looking east. Select acoustic absorbent materials with noise Reduction Coefficient (NRC) of 0.80 or Higher. Proposed are the following approximate breakdown of materials and locations:

- 125sf fabric wrapped on upper rear wall
- 560sf of 1" fiberglass ceiling panels at sides
- 1,000sf retractable heavy fabric window curtains.
- Note: Curtains to be minimum 27 ounces per linear yard, pleated for at least 50% fullness.



Figure 2: view of aldermanic Chamber, looking west

Proposed replacement of the existing ceiling tiles in the main chamber and in the Gallery seating area with sound absorbing fabric-wrapped fiberglass panels.

Proposed addition of 200sf sound absorbent panels at the rear wall below upper gallery seating and above the main entrance.

Proposed window curtains of heavy fabric similar to treatment in War Memorial Hall. When retracted the curtains will simply gather at the sides of each window bay.

War Memorial Access and Acoustic Improvements

Review of proposed acoustic enhancements



PROPOSED SOUND
ABSORBANT PANELS

PROPOSED SOUND
ABSORBENT PANELS

PROPOSED
SOUND
ABSORBENT
PANELS



PROPOSED SOUND
ABSORBENT WINDOW
SHADES

**CITY OF NEWTON
NEWTON, MA
WAR MEMORIAL
ELEVATOR**

**ARCHITECT
GOLDMAN REINDORF
ARCHITECTS, INC.
427 WATERTOWN ST.
NEWTON, MA 02458**

**STRUCTURAL ENGINEER:
BOSTON BUILDING
CONSULTANTS, INC.
241 A STREET, SUITE 220
BOSTON, MA 02210**

**MEP ENGINEER:
WSP, INC.
88 BLACK FALCON AVE. SUITE 200
BOSTON, MA 02210**

**PROJECT #
BID #**

**PROJECT ARCHITECT
GOLDMAN REINDORF
ARCHITECTS INC.
427 WATERTOWN STREET
SUITE 102
NEWTON, MA 02458**

ARCHITECTURAL ABBREVIATIONS

AC	ACROUSTIC CEILING	AC	ACROUSTIC CEILING	AC	ACROUSTIC CEILING	AC	ACROUSTIC CEILING
AD	ADDITIONAL	AD	ADDITIONAL	AD	ADDITIONAL	AD	ADDITIONAL
ADU	ADDITIONAL UNIT	ADU	ADDITIONAL UNIT	ADU	ADDITIONAL UNIT	ADU	ADDITIONAL UNIT
AF	ALUMINUM FINISH	AF	ALUMINUM FINISH	AF	ALUMINUM FINISH	AF	ALUMINUM FINISH
AG	ALUMINUM GROUND	AG	ALUMINUM GROUND	AG	ALUMINUM GROUND	AG	ALUMINUM GROUND
AK	ALUMINUM KEYS	AK	ALUMINUM KEYS	AK	ALUMINUM KEYS	AK	ALUMINUM KEYS
AL	ALUMINUM	AL	ALUMINUM	AL	ALUMINUM	AL	ALUMINUM
AM	ALUMINUM MESH	AM	ALUMINUM MESH	AM	ALUMINUM MESH	AM	ALUMINUM MESH
AN	ALUMINUM NETWORK	AN	ALUMINUM NETWORK	AN	ALUMINUM NETWORK	AN	ALUMINUM NETWORK
AO	ALUMINUM OILING	AO	ALUMINUM OILING	AO	ALUMINUM OILING	AO	ALUMINUM OILING
AP	ALUMINUM PANEL	AP	ALUMINUM PANEL	AP	ALUMINUM PANEL	AP	ALUMINUM PANEL
AR	ALUMINUM RAILS	AR	ALUMINUM RAILS	AR	ALUMINUM RAILS	AR	ALUMINUM RAILS
AS	ALUMINUM SILL	AS	ALUMINUM SILL	AS	ALUMINUM SILL	AS	ALUMINUM SILL
AT	ALUMINUM TRIM	AT	ALUMINUM TRIM	AT	ALUMINUM TRIM	AT	ALUMINUM TRIM
AV	ALUMINUM VANE	AV	ALUMINUM VANE	AV	ALUMINUM VANE	AV	ALUMINUM VANE
AW	ALUMINUM WALL	AW	ALUMINUM WALL	AW	ALUMINUM WALL	AW	ALUMINUM WALL
AX	ALUMINUM XING	AX	ALUMINUM XING	AX	ALUMINUM XING	AX	ALUMINUM XING
AY	ALUMINUM YIELD	AY	ALUMINUM YIELD	AY	ALUMINUM YIELD	AY	ALUMINUM YIELD
AZ	ALUMINUM ZONE	AZ	ALUMINUM ZONE	AZ	ALUMINUM ZONE	AZ	ALUMINUM ZONE
BA	BALCONY	BA	BALCONY	BA	BALCONY	BA	BALCONY
BB	BALCONY BALUSTRADE	BB	BALCONY BALUSTRADE	BB	BALCONY BALUSTRADE	BB	BALCONY BALUSTRADE
BC	BALCONY CASE	BC	BALCONY CASE	BC	BALCONY CASE	BC	BALCONY CASE
BD	BALCONY DECK	BD	BALCONY DECK	BD	BALCONY DECK	BD	BALCONY DECK
BE	BALCONY ELEVATOR	BE	BALCONY ELEVATOR	BE	BALCONY ELEVATOR	BE	BALCONY ELEVATOR
BF	BALCONY FINISH	BF	BALCONY FINISH	BF	BALCONY FINISH	BF	BALCONY FINISH
BG	BALCONY GLASS	BG	BALCONY GLASS	BG	BALCONY GLASS	BG	BALCONY GLASS
BH	BALCONY HANDRAIL	BH	BALCONY HANDRAIL	BH	BALCONY HANDRAIL	BH	BALCONY HANDRAIL
BI	BALCONY INLET	BI	BALCONY INLET	BI	BALCONY INLET	BI	BALCONY INLET
BJ	BALCONY JAMB	BJ	BALCONY JAMB	BJ	BALCONY JAMB	BJ	BALCONY JAMB
BK	BALCONY KICK	BK	BALCONY KICK	BK	BALCONY KICK	BK	BALCONY KICK
BL	BALCONY LATH	BL	BALCONY LATH	BL	BALCONY LATH	BL	BALCONY LATH
BM	BALCONY MESH	BM	BALCONY MESH	BM	BALCONY MESH	BM	BALCONY MESH
BN	BALCONY NETWORK	BN	BALCONY NETWORK	BN	BALCONY NETWORK	BN	BALCONY NETWORK
BO	BALCONY OILING	BO	BALCONY OILING	BO	BALCONY OILING	BO	BALCONY OILING
BP	BALCONY PANEL	BP	BALCONY PANEL	BP	BALCONY PANEL	BP	BALCONY PANEL
BQ	BALCONY RAILS	BQ	BALCONY RAILS	BQ	BALCONY RAILS	BQ	BALCONY RAILS
BR	BALCONY RAMP	BR	BALCONY RAMP	BR	BALCONY RAMP	BR	BALCONY RAMP
BS	BALCONY SILL	BS	BALCONY SILL	BS	BALCONY SILL	BS	BALCONY SILL
BT	BALCONY TRIM	BT	BALCONY TRIM	BT	BALCONY TRIM	BT	BALCONY TRIM
BV	BALCONY VANE	BV	BALCONY VANE	BV	BALCONY VANE	BV	BALCONY VANE
BW	BALCONY WALL	BW	BALCONY WALL	BW	BALCONY WALL	BW	BALCONY WALL
BX	BALCONY XING	BX	BALCONY XING	BX	BALCONY XING	BX	BALCONY XING
BY	BALCONY YIELD	BY	BALCONY YIELD	BY	BALCONY YIELD	BY	BALCONY YIELD
BZ	BALCONY ZONE	BZ	BALCONY ZONE	BZ	BALCONY ZONE	BZ	BALCONY ZONE

DRAWING LIST

ARCHITECTURAL	T-1 - TITLE PAGE AND NOTES D-1 - PARTIAL DEMOLITION PLANS A-1 - PARTIAL FLOOR PLANS A-2 - SECTIONS AND ELEVATIONS A-4 - INTERIOR ELEVATIONS
STRUCTURAL	S1 - ELEVATOR PART PLANS
MECHANICAL	M1 - MECH. BASEMENT, FIRST, SECOND, MEZZ FLOOR PLANS
ELECTRICAL	ED1 - ELECTRICAL BASEMENT, FIRST SECOND, MEZZ DASH FLOOR PLANS E1 - ELECTRICAL BASEMENT, FIRST SECOND, MEZZ FLOOR PLANS

NOTES

GENERAL:
1. THE DRAWINGS ARE MERELY REPRESENTATIONAL AND DO NOT FREE THE CONTRACTOR FROM THE REQUIREMENT OF PERFORMING NORMALLY REQUIRED TASKS TO PROVIDE A SAFE, COORDINATING AND COMPLETE PROJECT.
2. FIELD MEASUREMENTS: THE CONTRACTOR SHALL TAKE ALL NECESSARY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION AND INSTALLATION OF WORK AND SHALL ASSUME COMPLETE RESPONSIBILITY FOR ACCURACY OF SAME.
3. ALL WORKS TO BE OBTAINED BY CC. ALL WORK PERFORMED BY THE GC AND SUBCONTRACTORS TO MEET ALL APPLICABLE CODES.

DEMOLITION:
1. SEE DRAWINGS FOR AREAS OF WORK AND SCOPE OF ITEMS TO BE REMOVED.
2. ALL MECHANICAL AND ELECTRICAL SERVICE LINES TO BE REMOVED SHALL BE CUT OFF BY THEIR RESPECTIVE TRADES. THE DEMOLITION CONTRACTOR SHALL COORDINATE REMOVALS WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS.
3. ALL EXISTING STRUCTURAL ITEMS TO REMAIN, NO MATERIAL OR ELEMENT WHICH PROVIDES SUPPORT OR STRUCTURE FOR OTHER PORTIONS OF THE BUILDING SHALL BE REMOVED WITHOUT FIRST NOTIFYING THE ARCHITECT. TEMPORARY SHORING OR BRACING MUST BE PROVIDED AND PERMANENT SUPPORT INSTALLED PRIOR TO THE REMOVAL OF THE SUPPORT ELEMENT.
4. IF HAZARDOUS MATERIALS, SUCH AS ASBESTOS-CONTAINING MATERIALS, OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED DURING THE COURSE OF THE WORK, CEASE WORK IN AFFECTED AREA ONLY AND IMMEDIATELY NOTIFY THE CITY OF NEWTON. HILL ARRANGE AND PAY FOR TESTING OF MATERIALS IN QUESTION. DO NOT PROCEED WITH WORK IN SUCH AREAS UNTIL INSTRUCTIONS ARE ISSUED BY THE PROJECT MANAGER. CONTINUE WORK IN OTHER AREAS. NEWTON WILL PAY FOR ABATEMENT AND DISPOSAL OF CONFIRMED HAZARDOUS MATERIALS BY LICENSED CONTRACTOR.
A. EXISTING VCT FLOORING AND BASE - NEWTON TO TEST TILES AND ADHESIVES FOR ASBESTOS.

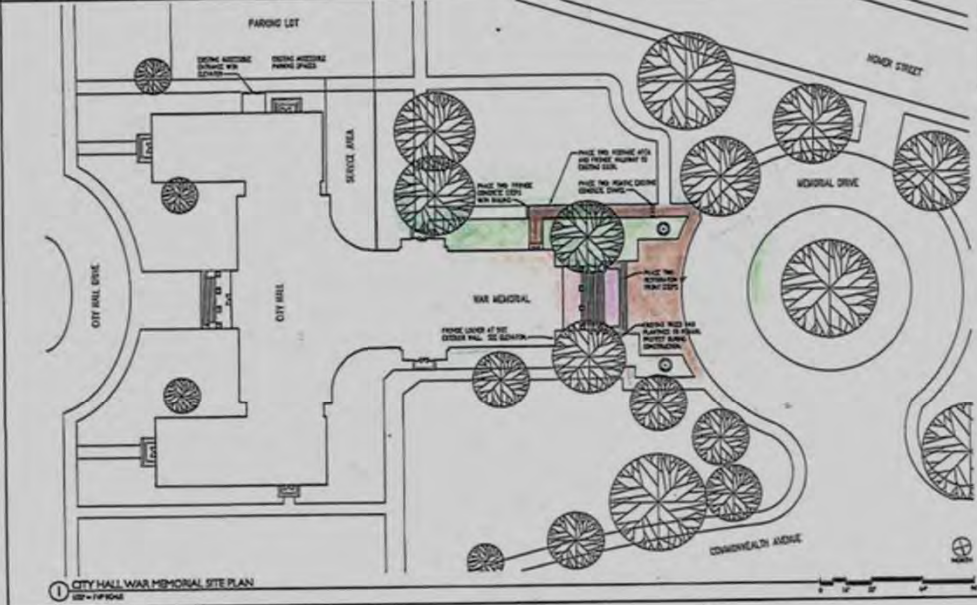
DRAWING KEY

PLAN KEY:	EXISTING WALL TO BE REMOVED EXISTING DOOR TO BE REMOVED NEW WALL NEW DOOR NEW WINDOW NEW LIGHT FIXTURE
WALL KEY:	NEW 2-1/2" BRICK OF GAS WALL EXIST AT EXISTING, SEE STRUCTURAL DRAWING NEW 2" OR ONE WALL WITH FLOOR FINISH NEW 1" OF WALL, FINISH CHANNELS AND ONE LAYER OF SHEET PILING (SEE TYPE 2) NEW 1/2" OR ONE WALL WITH FLOOR FINISH NEW 1/4" OF WALL, FINISH AND ONE LAYER OF SHEET PILING NEW 1/2" OF WALL, FINISH AND ONE LAYER OF SHEET PILING
DOORS KEY:	EXISTING DOOR TO REMAIN NEW DOOR AND FRAME NEW 2-1/2" BRICK DOOR AND FRAME NEW 1" OR ONE WALL WITH FINISH TO MATCH EXIST. NEW 1/2" OR ONE WALL WITH FINISH TO MATCH EXIST. NEW 1/4" OR ONE WALL WITH FINISH TO MATCH EXIST.
FLOORING KEY:	FLOOR FINISH FLOOR FINISH FLOOR FINISH TO MATCH EXIST. FLOOR FINISH TO MATCH EXIST. FLOOR FINISH TO MATCH EXIST. FLOOR FINISH TO MATCH EXIST. FLOOR FINISH TO MATCH EXIST.

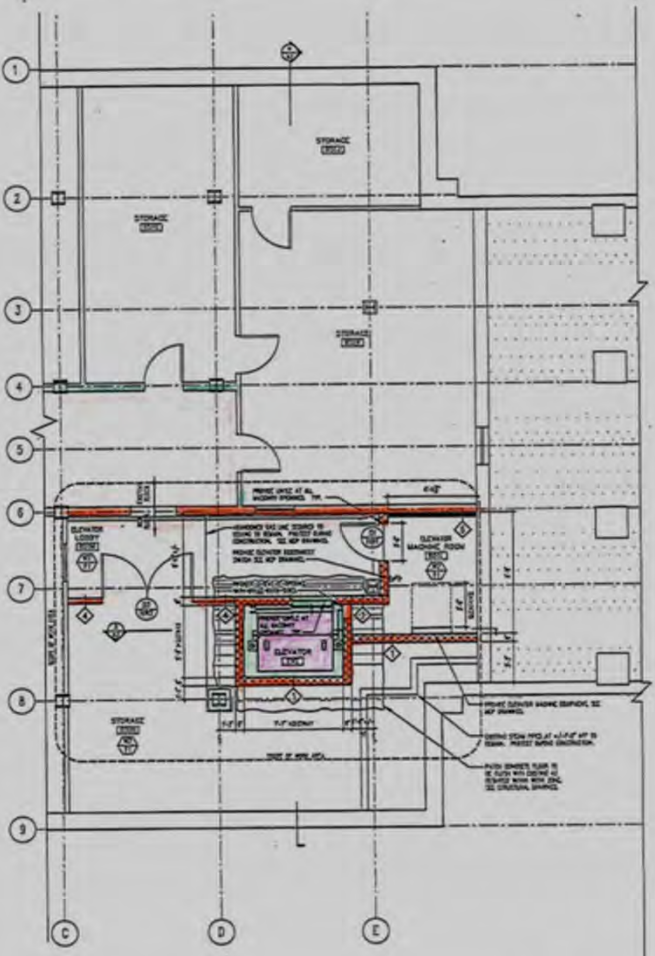
LOCUS PLAN

**CITY OF NEWTON
WAR MEMORIAL
ELEVATOR**

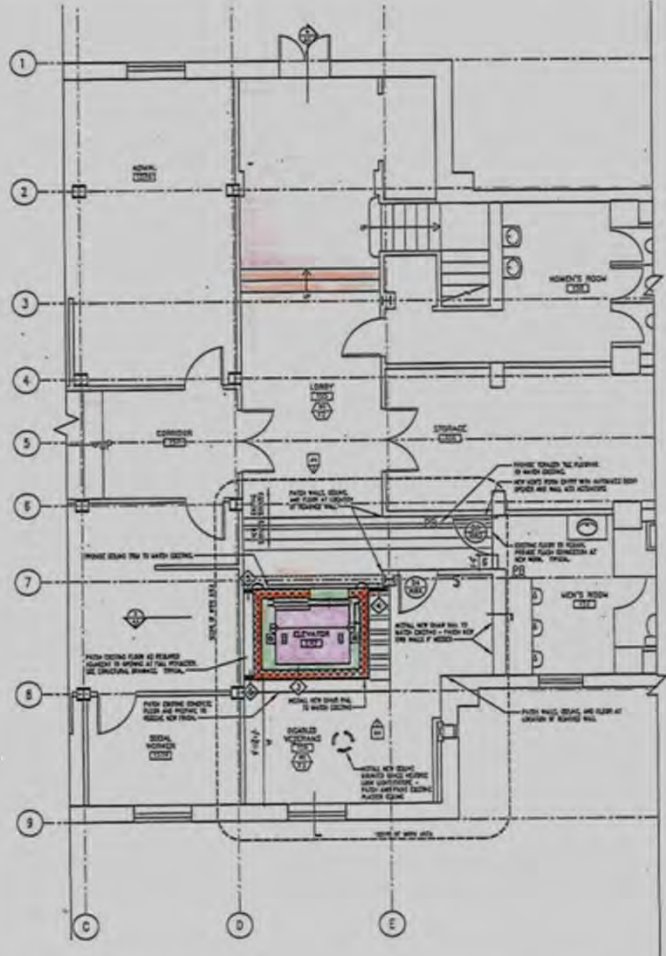
REVISION/DATE	
DATE: 10-20-11	DRAWN BY: JAK
	CHECKED BY: JAK
TITLE PAGE, AND NOTES	
T-1	



**DESIGN DEVELOPMENT SET
NOT FOR CONSTRUCTION**



1 PARTIAL BASEMENT FLOOR PLAN



2 PARTIAL FIRST FLOOR PLAN

- PLAN KEY:**
- EXISTING WALL TO BE REMOVED
 - EXISTING DOOR TO BE REMOVED
 - NEW WALL INCLUDING DRY WALL
 - NEW WALL INCLUDING STRUCTURAL BEAMS
 - NEW DOOR INCLUDING DRY WALL
 - NEW DOOR INCLUDING STRUCTURAL BEAMS
 - NEW DOOR INCLUDING STRUCTURAL BEAMS AND DRY WALL
 - NEW DOOR INCLUDING STRUCTURAL BEAMS, DRY WALL AND NEW DOOR FRAME
 - NEW DOOR INCLUDING STRUCTURAL BEAMS AND DRY WALL WITH NEW DOOR FRAME
 - NEW DOOR INCLUDING STRUCTURAL BEAMS, DRY WALL AND NEW DOOR FRAME WITH NEW DOOR HANDLE
 - NEW DOOR INCLUDING STRUCTURAL BEAMS, DRY WALL AND NEW DOOR HANDLE
- DOOR KEY:**
- EXISTING DOOR TO REMAIN
 - NEW DOOR AND FRAME
 - NEW DOOR AND FRAME WITH GLASS INSERT FOR BARRIER
 - NEW DOOR AND FRAME WITH GLASS INSERT AND PANELED DOOR FRAME TO MATCH DOOR
 - NEW DOOR AND FRAME WITH GLASS INSERT AND PANELED DOOR FRAME TO MATCH DOOR
 - NEW DOOR AND FRAME WITH GLASS INSERT AND PANELED DOOR FRAME TO MATCH DOOR
- FURNITURE KEY:**
- NEW DESK
 - NEW DESK WITH GLASS INSERT
 - NEW DESK WITH GLASS INSERT AND PANELED DOOR FRAME TO MATCH DOOR
 - NEW DESK WITH GLASS INSERT AND PANELED DOOR FRAME TO MATCH DOOR

PROJECT ARCHITECT
GOLDMAN REINDORF ARCHITECTS INC.
 427 WATERTOWN STREET SUITE 102
 NEWTON, MA 02458

LOCUS PLAN NOT TO SCALE

CITY OF NEWTON WAR MEMORIAL ELEVATOR

REVISION/DATE

DESIGN SET BY: [Signature] DATE: 11-27-13

PARTIAL FLOOR PLANS

A-1

DESIGN DEVELOPMENT SET
 NOT FOR CONSTRUCTION

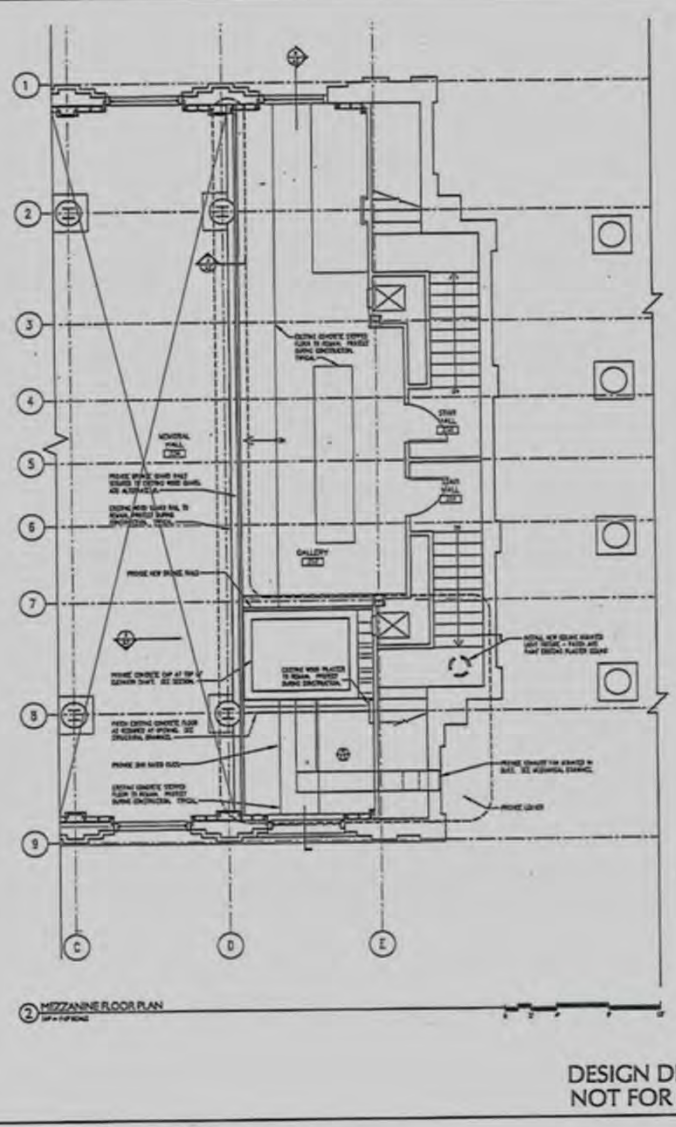
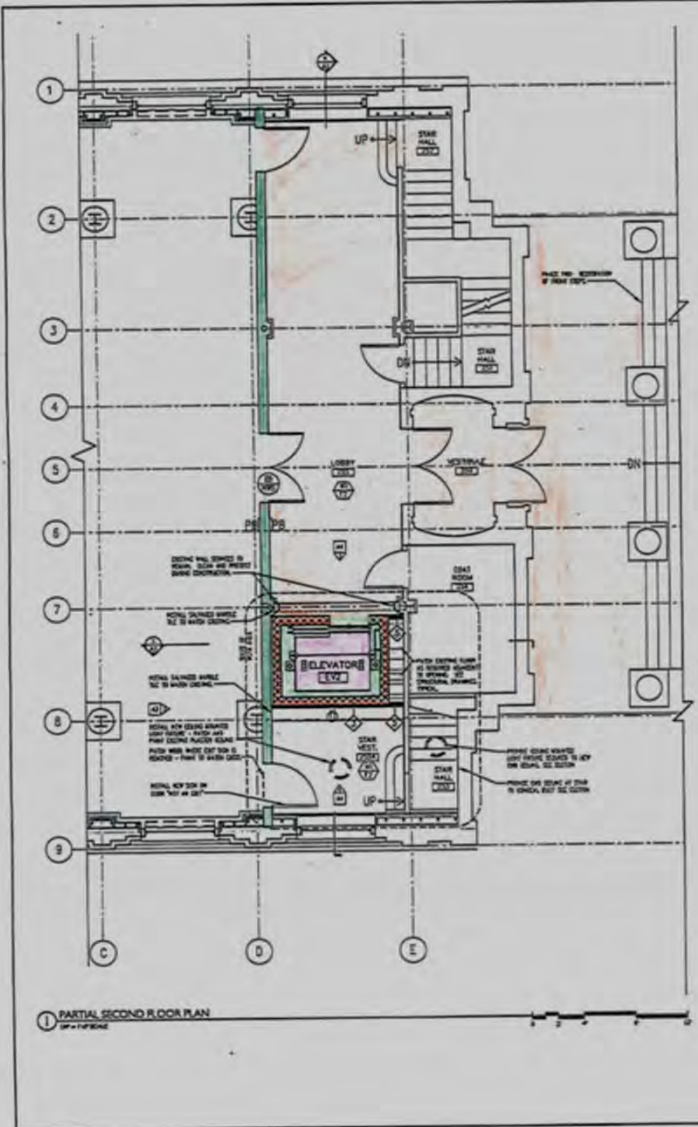
A. An architectural or engineering drawing, or other similar work, is the work of the architect or engineer, and shall be the property of the architect or engineer. It shall not be used, copied, or reproduced in any manner without the written consent of the architect or engineer. The architect or engineer shall not be responsible for any errors or omissions in this drawing, or for any consequences arising from the use of this drawing.



CITY OF NEWTON
WAR MEMORIAL
ELEVATOR

REVISION/DATE	BY	DATE

PARTIAL FLOOR PLANS



- PLAN KEY:**
- EXISTING WALL TO BE REMOVED
 - EXISTING WALL TO BE REMOVED
 - NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
- WALL KEY:**
- ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
 - ▣ NEW 2' x 4' x 8' WALL WITH INTERIOR FINISH
- DOOR KEY:**
- EXISTING DOOR TO REMAIN
 - NEW DOOR AND FRAME SEE SPECIFICATIONS FOR FINISHING
 - NEW DOOR AND FRAME SEE SPECIFICATIONS FOR FINISHING
 - NEW DOOR AND FRAME SEE SPECIFICATIONS FOR FINISHING
 - NEW DOOR AND FRAME SEE SPECIFICATIONS FOR FINISHING
 - NEW DOOR AND FRAME SEE SPECIFICATIONS FOR FINISHING
 - NEW DOOR AND FRAME SEE SPECIFICATIONS FOR FINISHING
 - NEW DOOR AND FRAME SEE SPECIFICATIONS FOR FINISHING
- FLOOR KEY:**
- ▣ FLOOR FINISH
 - ▣ FLOOR FINISH
 - ▣ FLOOR FINISH
 - ▣ FLOOR FINISH
 - ▣ FLOOR FINISH
 - ▣ FLOOR FINISH
 - ▣ FLOOR FINISH
 - ▣ FLOOR FINISH

DESIGN DEVELOPMENT SET
NOT FOR CONSTRUCTION

**War Memorial Access and Acoustic Improvements
Estimated Project TIMELINE**

Phase or Task	Phase no.	Season & Year
Lift/Elevator Feasibility	1b	Spring /Summer 2013
Acoustic Evaluation and Design	1a	Spring/Summer 2013
Revised Acoustic Evaluation and Design	1a	Fall/Winter 2013/2014
Lift/Elevator Final Design	1b	Fall/Winter 2013/2014
ADA and Mass Architectural Access Review	1a/b	Fall/Winter 2013/2014
Newton Historic Review and Mass Historic Submission	1a/1b	Fall /Winter 2013/2014
Acoustical Phase/Elevator Construction Combined Documents - Bidding/ Procurement	1a/1b	Winter/Spring 2013/2014
General Contract Awarded	1a/1b	Late Spring 2014
Construction Begins	1a/1b	Early Summer 2014

War Memorial Access and Acoustic Improvements Funding Request

Funds Requested:

ACCESSIBILITY & ARCHIVES			Comments		
Cost Breakdown		% of Overall Cost			
	Possible Min	Project NTE			
Soft Costs:					
Design Acustical	6,600	\$7,100		Average % values vary between 10 to 15% for historical buildings. The increase in design costs verse industry average are due in part by the scope of service changes, state agency design updates and variance approvals, Building Code changes, Existing conditions	
Design Elevator	\$60,810	\$65,810			
GEO Tech Engineer	\$9,790	\$10,500			
Cost Estimating	\$2,800	\$2,800			
Total:	\$80,000	\$86,210			
Hard Costs:					
Acoustic Const.	\$80,000	\$80,000			
Accesibility Const.	\$438,000	\$463,000			
Equipment	\$11,000	\$12,000			
Direct Costs:					
Temp. Storage/Moving	\$47,450	\$50,000			
Testing & Inspections	\$8,900	\$10,000			
Contingency (8%)	\$60,740	\$60,740			
Project Total:	\$726,090	\$761,950	92%		
Project Team					
Project Manager	\$38,500	\$40,000			
Hazardous Materials	\$8,000	\$8,000			
Utility Backcharges	TBD	TBD			
Owner's Contingency	\$20,000	\$20,000			
Proj. Team Total	\$66,500	\$68,000	8.00%		
Overall Proj, Total	\$792,590	\$829,950			



Setti D. Warren
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459
Commission On Disability

Telephone
(617) 796-1120
Telefax
(617) 796-1142
TDD/TTY
(617) 796-1089
www.newtonma.gov

Candace Havens
Director

January 10, 2014

Joel Feinberg
Chair, Community Preservation Committee
Members, Community Preservation Committee
City of Newton
1000 Commonwealth Avenue
Newton, MA 02459

Dear Mr. Feinberg and Members of the Community Preservation Committee:

On behalf of the Commission On Disability, we are voicing our support for the funding requested by the Public Buildings Department for the City Hall Historic Rehabilitation – Access and Acoustic Improvements project, recently submitted for consideration in the FY14 funding round.

The Commission On Disability has been a strong proponent of this project since its inception, after an event held in the War Memorial made clear the challenges of physical access in that room. We are the primary advisory committee on Community Development Block Grant (CDBG) funding for architectural access projects. We supported the completion of a vertical and acoustical feasibility study for this project and recommended that \$80,000 in CDBG funds go towards completing that study, with which Mayor Warren agreed and approved the use of funds for this purpose. We have been monitoring the completion of that study and would like to see the next step, that of implementation, happen as soon as possible.

The funds the Public Buildings Department is requesting will allow the necessary improvements to be completed to make certain that the Aldermanic Chamber and the War Memorial are places where all can gather with no impediment. We hope that you will support the request in full and will agree with the Commission On Disability that this project is critical to ensuring full access to civic life in Newton.

Please do not hesitate to contact us if you have any questions or concerns about the contents in this letter.

Sincerely,

Rob Caruso

Robert Caruso, Co-Chair
Commission On Disability

Girard A. Plante

Girard A. Plante, Co-Chair
Commission On Disability