

KESSELER WOODS CONDOMINIUMS

NEWTON, MASSACHUSETTS

JANUARY 31, 2006

(REVISED : 4/6/06)

REFERENCES:

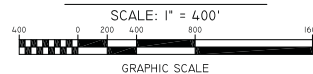
1.) PROPERTY LINES, TOPOGRAPHY AND EXISTING CONDITIONS WERE TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND IN NEWTON, MA" PREPARED BY TOOMEY-MUNSON & ASSOCIATES, INC., 89 ACCESS RD., UNIT 12, NORWOOD, MA 02062 DATED JANUARY 13, 2004 AND FROM A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN NEWTON, MA" PREPARED BY TOOMEY-MUNSON & ASSOCIATES, INC. DATED APRIL 28, 2004.

NOTES:

- 1.) THE CONTRACTOR MUST APPLY FOR STREET OPENING, SIDEWALK CROSSING AND UTILITIES CONNECTING PERMITS FROM THE DPW PRIOR TO CONSTRUCTION.
- 2.) ANY BLASTING WILL REQUIRE A PERMIT FROM THE FIRE DEPARTMENT.
- 3.) THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICE, SEWER SERVICE AND DRAINAGE INSTALLATION. THE UTILITY IN QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW. BACKFILLING SHALL ONLY TAKE PLACE AFTER THE CITY INSPECTOR HAS GIVEN APPROVAL.
- 4.) PRIOR TO OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, ANY EASEMENTS AND FINAL GRADING.



LOCUS MAP



INDEX OF DRAWINGS

CIVIL DRAWINGS	
SHEET No.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN OF LAND
3	SITE GRADING & UTILITY PLAN
4	GRADING CHANGE PLAN
5	SITE PLAN & BUILDING SETBACK PLAN
6	DRAIN/SEWER SCHEDULES & SITE DETAILS
7 & 8	SITE DETAILS
9	SEWER PROFILE
10	EARTHWORK PLAN
11	FIRE ACCESS ROUTE PLAN
12	SIGHT DISTANCE PLAN

OWNER/APPLICANT

KESSELER DEVELOPMENT LLC
C/O CORNERSTONE CORPORATION
400 BLUE HILL DRIVE; SUITE 2C
WESTWOOD, MA 02090
781-407-2100

SURVEYOR

TOOMEY-MUNSON & ASSOCIATES, INC.
89 ACCESS ROAD, UNIT 12
NORWOOD, MA 02062
781-762-1758

CIVIL ENGINEER

H.W. MOORE ASSOCIATES, INC.
112 SHAWMUT AVENUE
BOSTON, MA 02118
617-357-8145

LANDSCAPE ARCHITECTS

MARY SMITH & ASSOCIATES
30 CHESTNUT STREET
QUINCY, MA 02169
617-770-4717

JAY BERKSON ASSOCIATES
33 OLD FARM ROAD
NEWTON, MA 02459

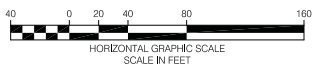


LEGEND (EXISTING)

○	DRAIN MANHOLE (DMH)	○	HAND HOLE (HH)	
□	CATCH BASIN (CB)	—	VERTICAL GRANITE CURB (VGC)	
—	FLARED END SECTION (FES)	—	SLOPED GRANITE EDGING (SGE)	
○	SEWER MANHOLE (SMH)	—	CONCRETE CURB (CC)	
○	ELECTRIC MANHOLE (EMH)	—	BROWNS CONCRETE BERM (BOB)	
○	TELEPHONE MANHOLE (TMH)	—	CAPE COD BERM (CCB)	
○	GAS GATE (GG)	—	EDGE OF PAVEMENT (EP)	
○	GAS SERVICE (GS)	○	M	MAPLE
○	WATER GATE (WG)	○	O	OAK
○	WATER SERVICE (WS)	○	P	PINE
○	HYDRANT (HYD)	○	B	BIRCH
○	LIGHT POLE (LP)			
○	UTILITY POLE (UP)			
○	UTILITY POLE w/ LIGHT (UP/LP)			

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OWNER/APPLICANT
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 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE, SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

KESSELER WOODS CONDOMINIUMS
 NEWTON, MA

**EXISTING CONDITIONS
 PLAN OF LAND**

H.W. MOORE ASSOCIATES, INC.
 ENGINEERS & PLANNERS
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02118-2298
 TEL. 617-257-8145 FAX. 617-257-0495

DATE: 1/31/06
 SCALE: 1"=40'
 SHEET 2 OF 12

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.

LEGEND (EXISTING)

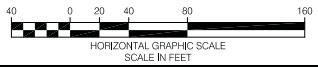
- DRAIN MANHOLE (DM#)
- CATCH BASIN (CB)
- FLARED END SECTION (FES)
- SEWER MANHOLE (SM#)
- ELECTRIC MANHOLE (EM#)
- TELEPHONE MANHOLE (TM#)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- HYDRANT (HY#)
- LIGHT POLE (LP)
- UTILITY POLE (UP)
- UTILITY POLE w/ LIGHT (UP/LP)
- HAND HOLE (HH)
- VGC VERTICAL GRANITE CURB (VGC)
- SGE SLOPED GRANITE CURB (SGE)
- CC CONCRETE CURB (CC)
- CCB BITUMINOUS CONCRETE BERM (CCB)
- CCB CAPE COD BERM (CCB)
- EP EDGE OF PAVEMENT (EP)
- M MAPLE
- OAK
- P PINE
- B BIRCH

LEGEND (PROPOSED)

- DM# DRAIN MANHOLE
- SM# SEWER MANHOLE
- CB# CATCH BASIN
- DCB DOUBLE CATCH BASIN
- HYDRANT
- DM# DRAIN LINE
- FES FLARED END SECTION W/RP-RAP
- DW DRY WELL
- VSD VALVE BOX
- STC STORMCEPTOR
- SLR SIEVE LINE
- FM FORCE MAIN
- WFL WATER LINE
- TVL TEL. GATE VALVE & BOX
- REC# RECORDER
- GM# GAS MAIN
- ETP# ELECTRIC/TELEPHONE/GAS
- CW# CONCRETE WALL
- IC# INTERFERENCE CONTOUR
- AC# ANDEY CONTOUR
- SG# SPOT GRADE
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE CURB
- CC# CONCRETE CURB
- CCB# CAPE COD BERM
- EP# EDGE OF PAVEMENT
- 218.0 BOW BOTTOM OF WALL ELEVATION
- 221.0 TOW TOP OF WALL ELEVATION
- 75.0-77.0 FLOOR ELEVATION
- SSB# STONE BORDERS
- SW# STONE WALL
- ECR# EROSION CONTROL BARRIER
- SDF# SOLID FENCE
- LAF# LANDSCAPE FENCE
- VLF# VINYL CHAIN LINK FENCE
- DMH# DRAIN MANHOLE
- SMH# SEWER MANHOLE
- CBH# CATCH BASIN
- DCBH# DOUBLE CATCH BASIN
- HYDRANT
- DMH# DRAIN LINE
- FES# FLARED END SECTION W/RP-RAP
- DW# DRY WELL
- VSD# VALVE BOX
- STC# STORMCEPTOR
- SLR# SIEVE LINE
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UTILITY NOTES:

- 1.) ALL STORM DRAIN PIPES TO BE 12" REINFORCED CONCRETE (RCP) UNLESS OTHERWISE NOTED.
- 2.) ALL 8" STORM DRAIN PIPES TO BE POLYVINYL COATED (PVC) SDR 35 CONFORMING TO ASTM STANDARD SPECIFICATIONS D3034.
- 3.) ALL SEWER PIPES TO BE 8" POLYVINYL COATED (PVC) SDR 35 CONFORMING TO ASTM STANDARD SPECIFICATIONS D3034. FOR SEWER CONNECTIONS TO BUILDINGS SEE PLUMBING DRAWINGS.
- 4.) FOR DRAIN AND SEWER SCHEDULES SEE SHEET 4.
- 5.) WATER MAIN PIPES TO BE 8" DUCTILE IRON CEMENT LINED (DICL) FOR WATER CONNECTIONS TO BUILDING SEE PLUMBING DRAWINGS.

OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE; SUITE 2C
 WESTWOOD, MA 02090
 781-467-2100

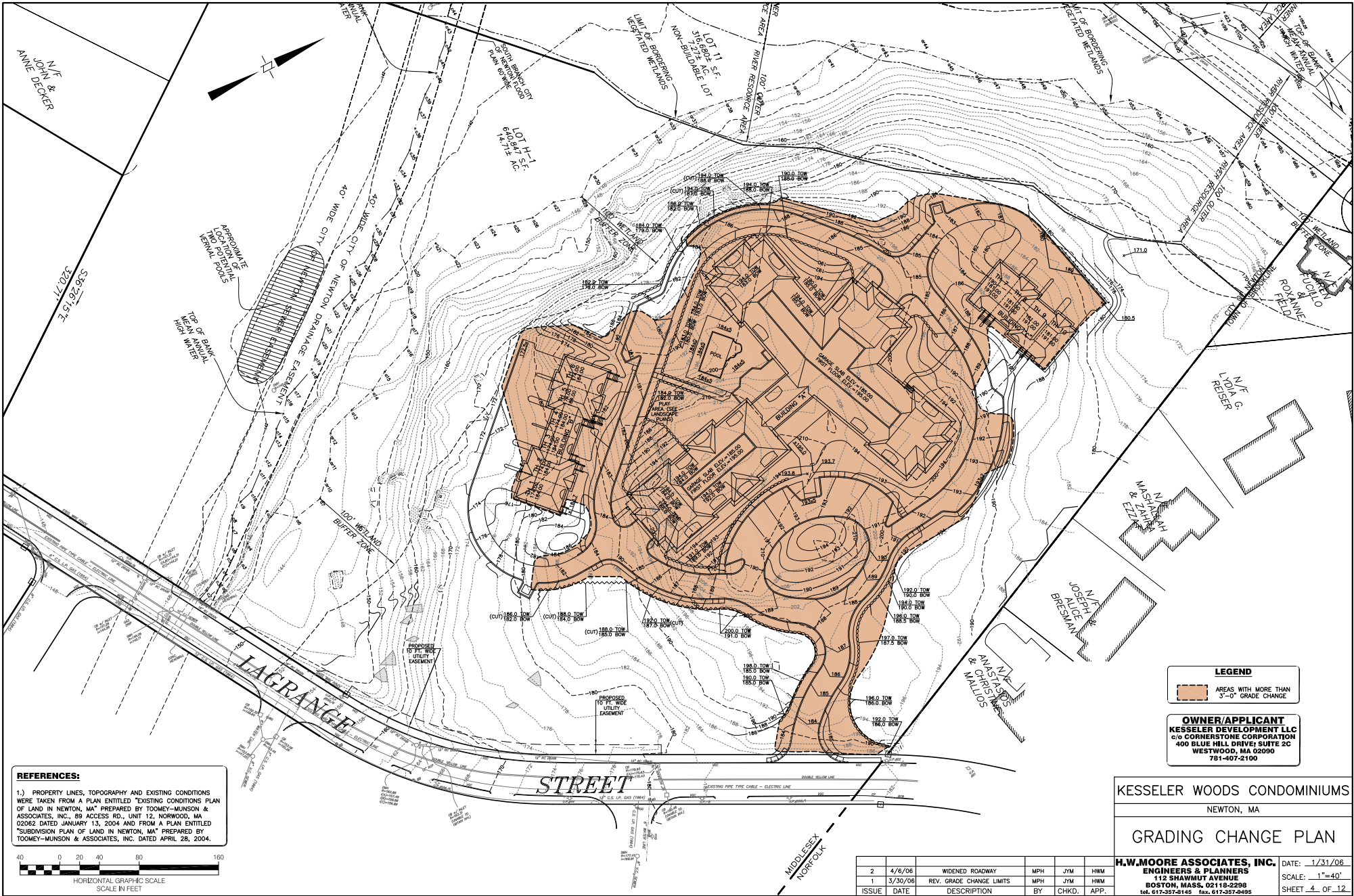
KESSELER WOODS CONDOMINIUMS
 NEWTON, MA

**SITE GRADING
& UTILITY PLAN**

H.W. MOORE ASSOCIATES, INC.
 ENGINEERS & PLANNERS
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02118-2298
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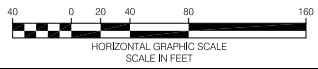
DATE: 1/31/06
 SCALE: 1"=40'
 SHEET 3 OF 12

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.
4	5/30/06	GRADING/DRAINAGE @ INF. TRENCH	MPH	JTM	HHM
3	4/9/06	WIDENED ROADWAY	MPH	JTM	HHM
2	3/30/06	LAYOUT, GRADING & UTILITIES	MPH	JTM	HHM
1	3/6/06	RELOCATE HYDRANTS	MPH	JTM	HHM



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LEGEND

AREAS WITH MORE THAN 3" GRADE CHANGE

OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE, SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

KESSELER WOODS CONDOMINIUMS
 NEWTON, MA
GRADING CHANGE PLAN

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.
2	4/6/06	WIDENED ROADWAY	MPH	JYM	HWM
1	3/30/06	REV. GRADE CHANGE LIMITS	MPH	JYM	HWM

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DATE: 1/31/06
 SCALE: 1"=40'
 SHEET 4 OF 12



OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE; SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

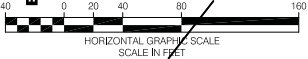
KESSELER WOODS CONDOMINIUMS

NEWTON, MA

SIGHT DISTANCE PLAN

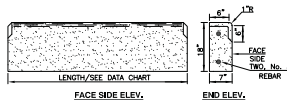
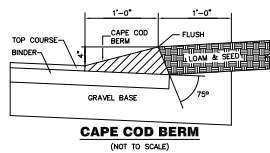
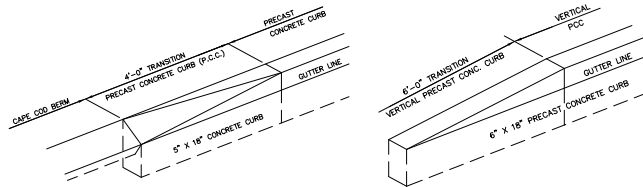
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DATE: 4/6/06
 SCALE: 1"=40'
 SHEET 12 OF 12



ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.

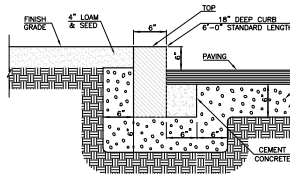
DRAWN BY: J. MOORE, DATE: 4/6/06, CHECKED BY: J. MOORE, DATE: 4/6/06, PROJECT NO.: 06-001, SHEET NO.: 12 OF 12



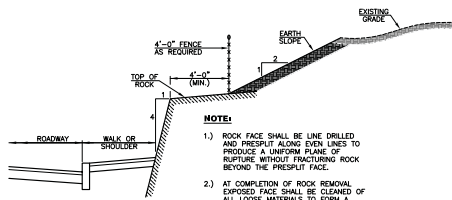
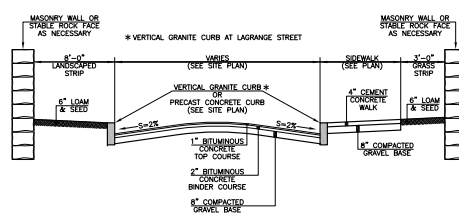
- NOTES:
- 1) CONCRETE STRENGTH f'_c 4,000 PSI
28 BARS, DENSITY 150 PCF.
 - 2) CEMENT, PORTLAND TYPE I OR II
PER ASTM C150-91
 - 3) ADMIXTURES, AIR & PLASTICIZERS
PER ASTM C233-92
 - 4) AIR ENTRAINMENT 5%-7%.

DATA CHART		APPROX.
LENGTH	WEIGHT	
0'-0"	155 LBS.	
2'-0"	487 LBS.	
4'-0"	974 LBS.	
6'-0"	1461 LBS.	

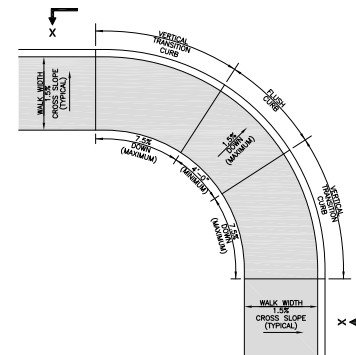
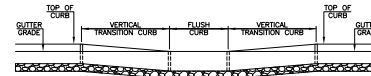
PRECAST CONCRETE CURB (PCC)
(NOT TO SCALE)



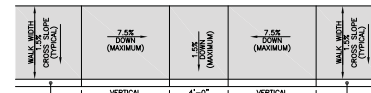
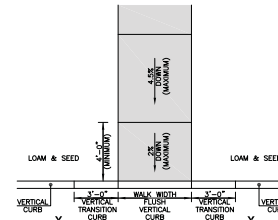
VERTICAL CURB (VGC) (PCC)
(NOT TO SCALE)



- NOTE:
- 1.) ROCK FACE SHALL BE LINE DRILLED AND PRESPLIT ALONG EVEN LINES TO PRODUCE A UNIFORM PLANE OF RUPTURE WITHOUT FRACTURING ROCK BEYOND THE PRESPLIT FACE.
 - 2.) AT COMPLETION OF ROCK REMOVAL EXPOSED FACE SHALL BE CLEANED OF ALL LOOSE MATERIALS TO FORM A CLEAN STABLE FACE.
 - 3.) WHERE ROCK IS NOT ENCOUNTERED OR OTHERWISE UNSTABLE, A MASONRY WALL SHALL BE SUBSTITUTED CONFORMING TO WALL DETAILS SHOWN ON THE DRAWINGS.



WHEELCHAIR RAMP DETAIL "B"
(SCALE: 1"=4'-0")



DRAIN SCHEDULE		
STRUCTURE	RIM ELEVATION	INVERT ELEVATION
FES A1	-	160.00
DMH A1-1	170.00	160.30
DMH A1-2	178.00	161.30
DMH A1-3	174.00	161.90
DW A1-3-1	176.00	169.80
DW A1-3-2	175.00	169.80
STC A1-4	171.80	168.70
STC A1-5	174.50	168.40 IN 168.30 OUT
DMH A1-7	180.50	178.40 (12") 173.00 (15")
DCB A1-7-1	179.80	175.80
DMH A1-8	183.95	180.00 (8") 179.70 (12")
DW A1-8-1	184.50	180.50
DMH A1-9	184.80	180.50
CB A1-9-1	184.60	180.60
DMH A1-10	189.40	181.82
CB A1-10-1	189.70	185.70
DMH A1-11	187.85	183.50
CB A1-11-1	187.80	183.80
CB A1-11-2	187.90	183.90
TANKS A1-A2	SEE DETAIL	
DMH B-1	176.80	170.30
DW B-1A	185.00	179.00
DW B-1B	185.00	179.00
DW B-1C	185.00	179.00
STC B-2	184.00	179.70 IN 179.45 OUT
CB B-2-1	183.80	179.80
CB B-2-2	183.90	179.90
FES C1	-	171.50
STC C1-1	179.50	176.80
DW C1-2-1	180.00	177.00
DW C1-2-2	180.00	177.00
STC C1-3	181.00	177.20 IN 177.10 OUT
DMH C1-4	183.00	179.00
DMH C1-5	184.9	180.30
CB C1-5-1	184.50	180.50
CB C1-5-2	184.50	180.50
TANKS A1-C2	SEE DETAIL	

SEWER SCHEDULE		
STRUCTURE	RIM ELEVATION	INVERT ELEVATION
SMH 1	153.00	143.10 (OUT) 143.20 (IN)
SMH 2A	153.00	145.40 (OUT) 142.50 (IN)
SMH 2B (DROP)	161.00	148.00 (OUT) 156.00 (IN)
SMH 2C (DROP)	176.00	160.50 (OUT) 168.00 (IN)
SMH 3	182.70	176.00 (OUT) 176.10 (IN)
SMH 4	188.60	177.35 (OUT) 177.65 (IN)
SMH 5	191.35	179.50 (OUT) 179.60 (IN)
SMH 6	192.45	180.75 (OUT) 180.85 (IN)
SMH 7	187.70	182.00
SMH 8	181.50	172.30

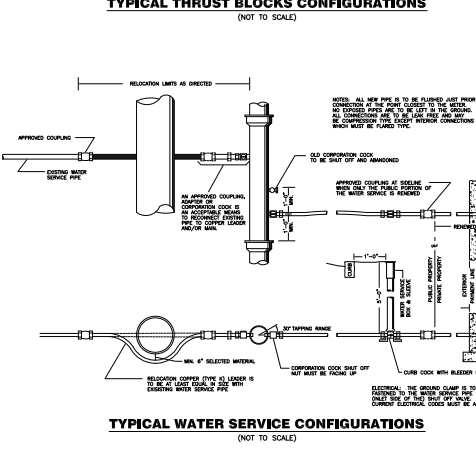
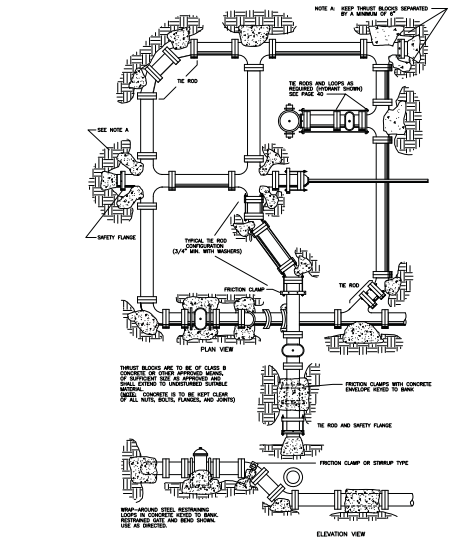
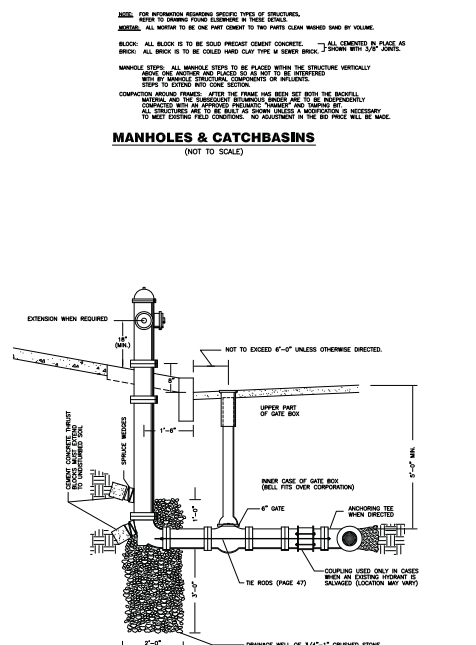
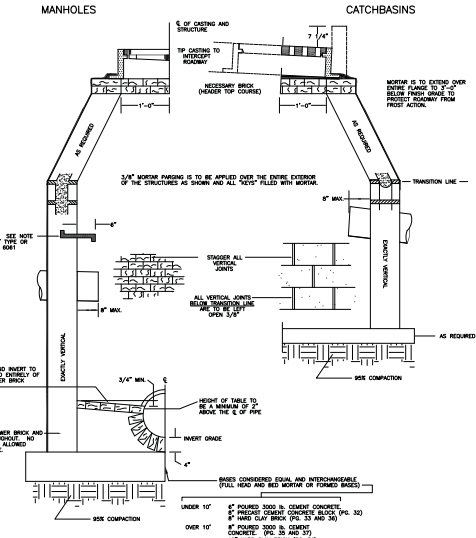
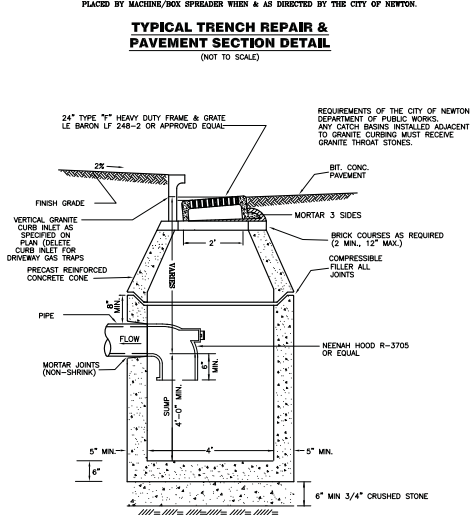
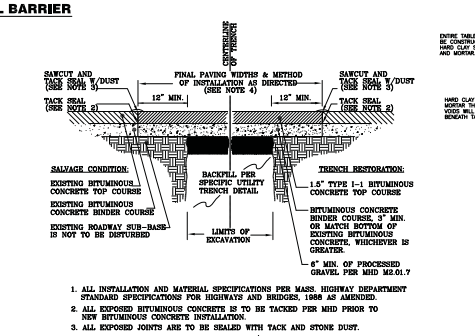
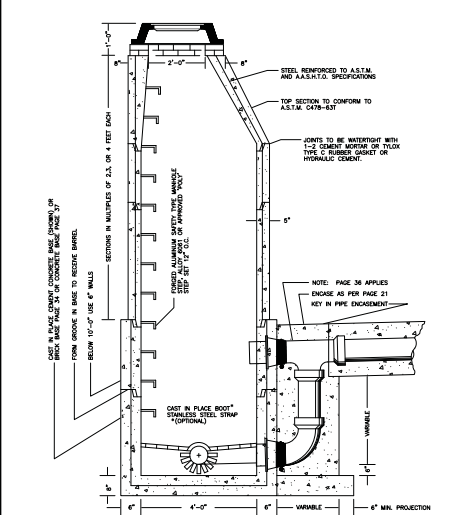
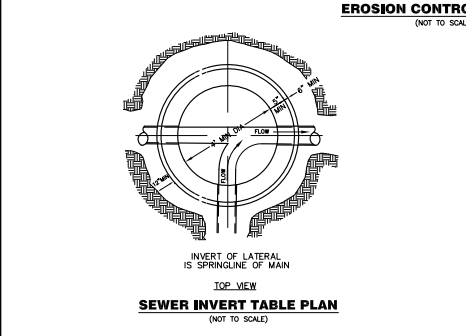
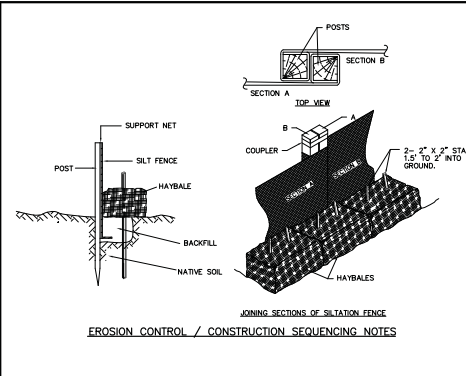
OWNER/APPLICANT
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 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE, SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

KESSELER WOODS CONDOMINIUMS
 NEWTON, MA
DRAIN/SEWER SCHEDULES & SITE DETAILS

H.W. MOORE ASSOCIATES, INC.
 ENGINEERS & PLANNERS
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02118-2298
 TEL: 617-257-8145 FAX: 617-257-8488

DATE: 1/31/06
 SCALE: AS NOTED
 SHEET 6 OF 12

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.
2	4/6/06	REV. DRAIN SCHEDULE	MPH	JYM	HWM
1	3/30/06	REV. SCHEDULES & ADD DETAIL	MPH	JYM	HWM



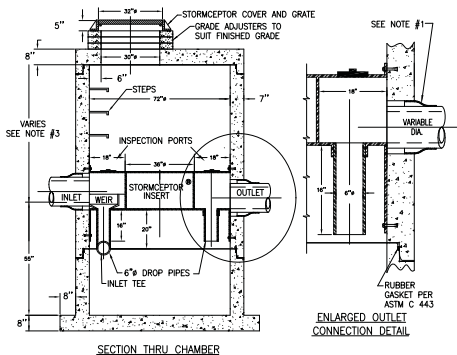
OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE; SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

KESSELER WOODS CONDOMINIUMS
 NEWTON, MA
SITE DETAILS

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.
2	4/6/06	GENERAL REVISIONS	MPH	JYM	HWM
1	3/30/06	GENERAL REVISIONS	MPH	JYM	HWM

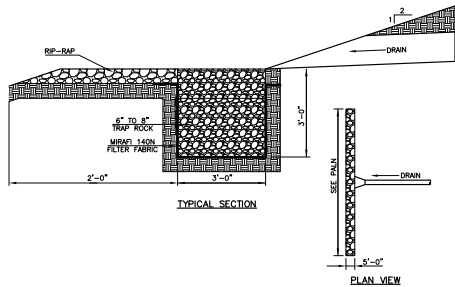
H.W. MOORE ASSOCIATES, INC.
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 BOSTON, MASS. 02118-2298
 TEL: 617-257-8145 FAX: 617-257-8488

DATE: 1/31/06
 SCALE: AS NOTED
 SHEET 7 OF 12

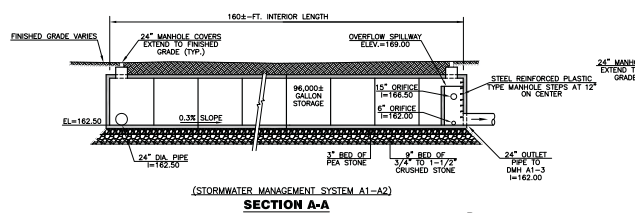
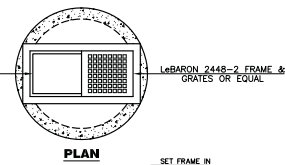


- NOTE:**
1. CSR RECOMMENDS THE USE OF FLEXIBLE CONNECTIONS AT THE INLET AND OUTLET WHERE APPLICABLE.
 2. COVER TO BE POSITIONED OVER INLET INSPECTION PORT.
 3. THIS IS A GENERAL ARRANGEMENT DRAWING, CONSULT LOCAL REPRESENTATIVE FOR SPECIAL CONDITIONS.
 4. U.S. Patent No. 4,961,148
- DESIGN SPECIFICATIONS**
1. ASTM C 478
 2. BASE WEIGHT = 6.46 TONS
- STC-900
REVISED 5/76

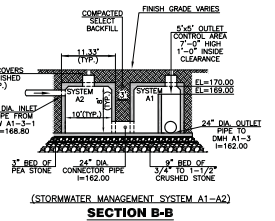
STC 900 PRECAST CONCRETE STORMCEPTOR®
900 US GALLON CAPACITY
(NOT TO SCALE)



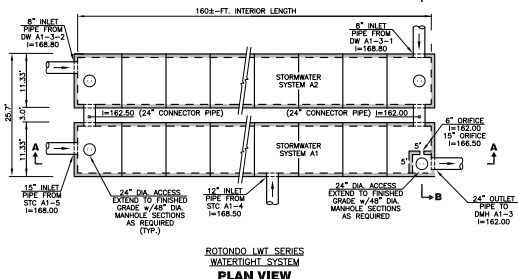
WATER QUALITY INFILTRATION TRENCH
(NOT TO SCALE)



SECTION A-A
(STORMWATER MANAGEMENT SYSTEM A1-A2)

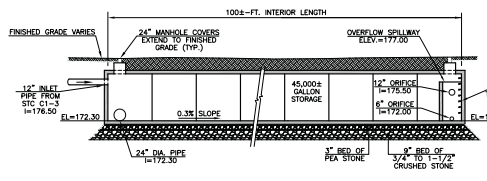


SECTION B-B
(STORMWATER MANAGEMENT SYSTEM A1-A2)

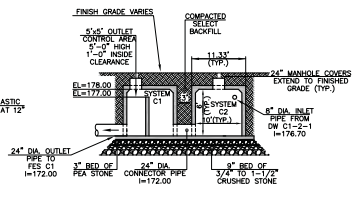


PLAN VIEW
(STORMWATER MANAGEMENT SYSTEM A1-A2)

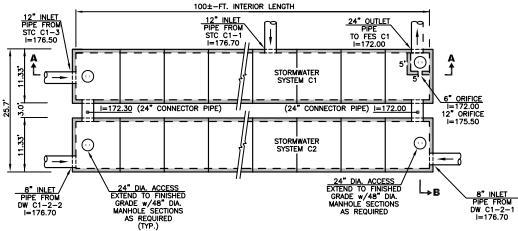
STORMWATER MANAGEMENT SYSTEM A1-A2
(NOT TO SCALE)



SECTION A-A
(STORMWATER MANAGEMENT SYSTEM C1-C2)

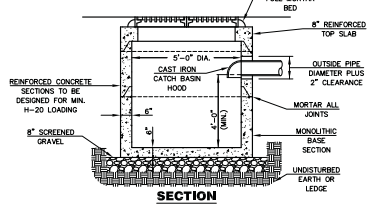


SECTION B-B
(STORMWATER MANAGEMENT SYSTEM C1-C2)



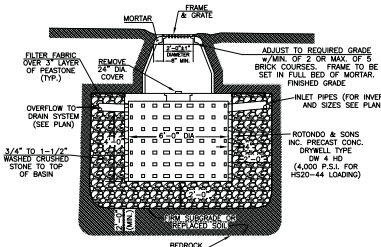
PLAN VIEW
(STORMWATER MANAGEMENT SYSTEM C1-C2)

STORMWATER MANAGEMENT SYSTEM C1-C2
(NOT TO SCALE)



SECTION
(DOUBLE GRATE CATCH BASIN)

DOUBLE GRATE CATCH BASIN
(NOT TO SCALE)

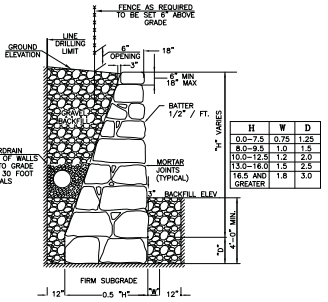


SECTION
(DRYWELL)

DRYWELL
(NOT TO SCALE)

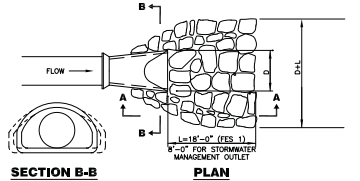
- GENERAL NOTES:**
1. DRY WELLS TO BE PLACED IN NATURALLY OCCURRING PERMEABLE MATERIAL TO THE EXTENT POSSIBLE.
 2. DRY WELLS SHALL HAVE A MINIMUM 2'-0" SOIL LAYER ABOVE FINAL ELEVATION OF LIMITING STRATA (BEDROCK OR SEASONAL HIGH WATER TABLE). ANY REPLACED SOIL LAYER SHALL CONFORM TO GRANULATION REQUIREMENTS CONTAINED IN 310 CMR 15.255(3) AND PLACED IN ACCORDANCE WITH 310 CMR 15.255(5) & (6).
 3. DRY WELLS SHALL BE 4'-0" DEEP OR PLACED IN TANDEN 2'-0" DEEP TO PROVIDE 2'-0" MINIMUM SOIL LAYER ABOVE BEDROCK OR SEASON HIGH WATER.
 4. ALTERNATIVE RECHARGE SYSTEMS CONSISTENT WITH CITY REQUIREMENTS MAY BE USED IN LIEU OF DRY WELLS.
 5. THE INTENT IS TO HAVE DRYWELLS ON EVERY LOT FEASIBLE OR USE AN ALTERNATIVE RECHARGE SYSTEM AS REFERENCED IN NOTE NO. 4.

DRYWELL
(NOT TO SCALE)



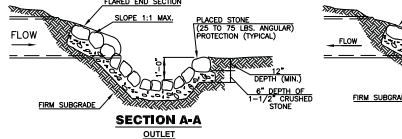
CEMENTED STONE MASONRY WALL
(NOT TO SCALE)

- GENERAL NOTES:**
1. COPING OVERHANG TO BE APPROX 3" FOR WALLS 10' OR MORE IN HEIGHT AND 2" FOR WALLS LESS THAN 10' IN HEIGHT.
 2. STONES SHALL HAVE THICKNESS OF 8" AND WIDTH OF AT LEAST 12". THEY SHALL BE ROUGHLY SQUARED ON JOINTS, BEGS AND FACES.
 3. SECTIONS TO BE DESIGNED FOR MIN. H-20 LOADING.
 4. EVERY FOURTH STONE SHALL BE A HEADER AND SHALL EXTEND WELL INTO THE BACK OF THE WALL.
 5. NO SPALLS SHALL BE USED IN THE FACE OF THE WALL AND NO VOIDS WILL BE ALLOWED WITHIN THE WALL. VERTICAL JOINTS WILL BE STAGGERED AT LEAST 6".
 6. STABLE LINE DRILL ROCK FACE ALLOWED IN LIEU OF MASONRY WALL.



SECTION B-B
(FLARED END SECTION)

PLAN
(FLARED END SECTION)



SECTION A-A
(FLARED END SECTION OUTLET)

FLARED END SECTION (FES) AND STILLING BASIN
(NOT TO SCALE)



SECTION A-A
(FLARED END SECTION INLET)

OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
610 CORNERSTONE CORPORATION
400 BLUE HILL DRIVE, SUITE 2C
WESTWOOD, MA 02090
781-407-2100

KESSELER WOODS CONDOMINIUMS
NEWTON, MA
SITE DETAILS

H.W. MOORE ASSOCIATES, INC.
ENGINEERS & PLANNERS
112 SHAWMUT AVENUE
BOSTON, MASS. 02118-2298
Tel. 617-257-8145 Fax: 617-257-2488

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.
2	4/6/06	GENERAL REVISIONS	MPH	JYM	HMM
1	3/30/06	REV. DRYWELL DETAIL	MPH	JYM	HMM

DATE: 1/31/06
SCALE: AS NOTED
SHEET 8 OF 12



SEWER PROFILE
 SCALE: 1"=40' (HORIZ.)
 1"= 4' (VERT.)

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.
2	4/6/06	GENERAL REVISIONS	MPH	JYM	HMM
1	3/30/06	REV. SEWER PROFILE	MPH	JYM	HMM

OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE; SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

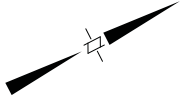
KESSELER WOODS CONDOMINIUMS
 NEWTON, MA

SEWER PROFILE

H.W. MOORE ASSOCIATES, INC. DATE: 1/31/06
 ENGINEERS & PLANNERS SCALE: AS NOTED
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02118-2298
 Tel: 617-257-8145 Fax: 617-257-2455
 SHEET 9 OF 12

LEGEND (EXISTING)

- DRAIN MANHOLE (DMH)
- CATCH BASIN (CB)
- ▤ FLARED END SECTION (FES)
- SEWER MANHOLE (SMH)
- ELECTRIC MANHOLE (EMH)
- TELEPHONE MANHOLE (TMH)
- GAS GATE (GG)
- GAS SERVICE (GS)
- WATER GATE (WG)
- WATER SERVICE (WS)
- ⊕ HYDRANT (HYD)
- ⊕ LIGHT POLE (LP)
- ⊕ UTILITY POLE (UP)
- ⊕ UTILITY POLE w/ LIGHT (UP/LP)
- ⊕ HAND HOLE (HH)
- VGC VERTICAL GRANITE CURB (VGC)
- SGE SLOPED GRANITE EDGING (SGE)
- CC CONCRETE CURB (CC)
- ECB BITUMINOUS CONCRETE BERM (ECB)
- CCB CAPE COD BERM (CCB)
- EP EDGE OF PAVEMENT (EP)
- ⊙ M MAPLE
- ⊙ O OAK
- ⊙ P PINE
- ⊙ B BIRCH



CUT&FILL DEPTH LEGEND

TYPE	COLOR	RANGE	BEG. RANGE	END	PERCENT	AREA
CUT	Red	-34	-25		6.0	12,000 SQ FT
CUT	Yellow	-25	-15		30.0	59,500 SQ FT
CUT	Green	-15	0		59.1	117,000 SQ FT
FILL	Blue	0	5		4.9	9,500 SQ FT

CUT DEPTH (TYP) = -7.2
FILL DEPTH (TYP) = +2.3

SITE VOLUME TABLE

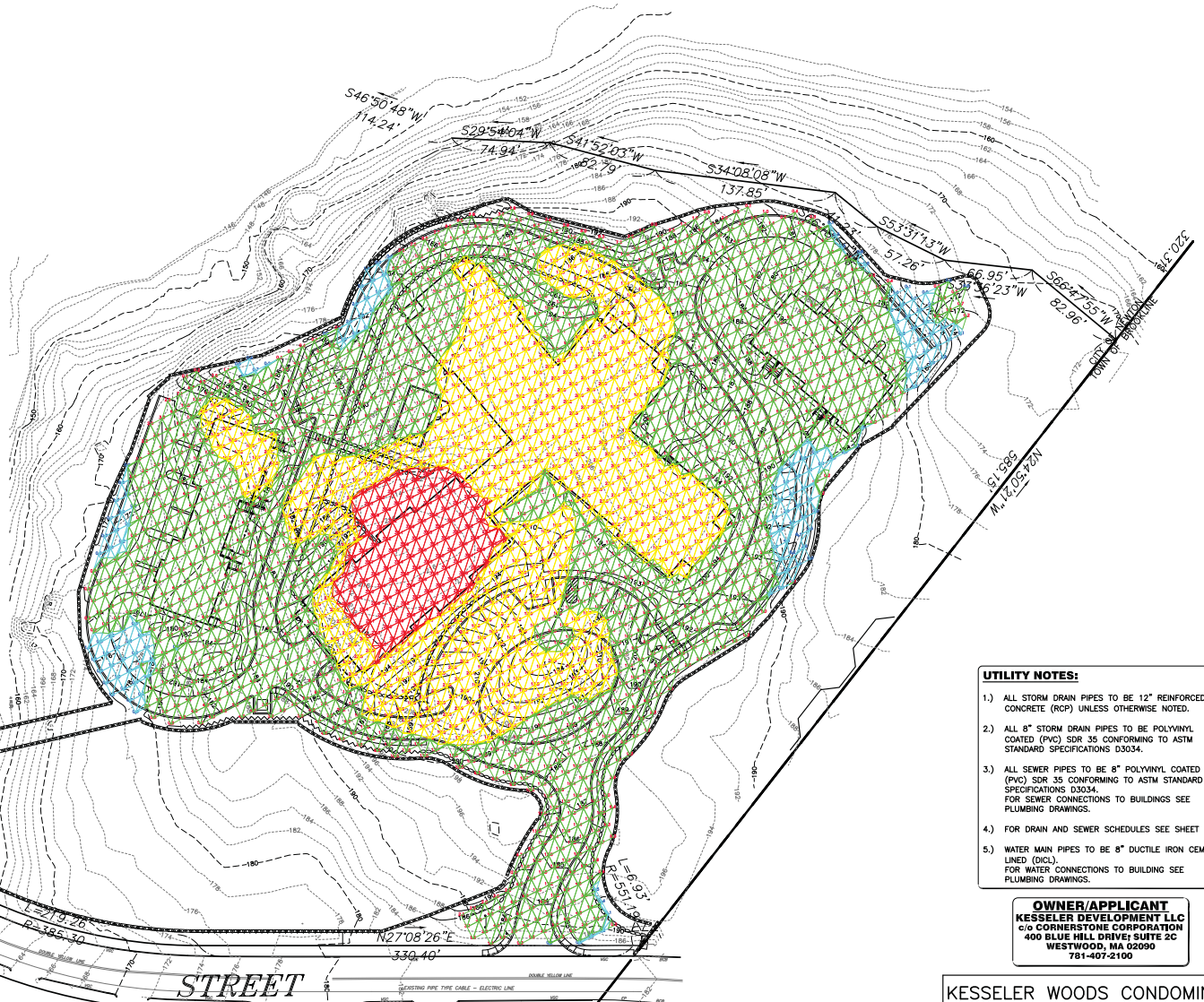
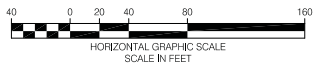
CUT: 87,000 CU. YDS	AVER CUT DEPTH = 12.5 FT
FILL: 500 CU. YDS	AVER FILL DEPTH = 1.4 FT
NET CUT: 86,500 CU. YDS	CUT AREA = 188,500 SQ FT
METHOD: GRID	FILL AREA = 9,500 SQ FT
SURF 1: EXIST(3-30-06)	ALTERED SITE AREA = 4.92 AC
SURF 2: PROP(3-30-06)	
STRATUM: EXIST-PROP(3-30-06)	

LEGEND (PROPOSED)

- DMH # DRAIN MANHOLE
- CB # CATCH BASIN
- ▤ DCB DOUBLE CATCH BASIN
- ⊕ HYDRANT
- ▤ DRAIN LINE
- ▤ FLARED END SECTION W/RIP-RAP
- ⊕ DRY WELL
- ⊕ YARD DRAIN
- ⊕ STORMCEPTOR
- ▤ SEWER LINE
- ▤ FORCE MAIN
- ▤ WATER LINE
- ▤ TEL. GATE VALVE & BOX
- ▤ RESIDUER
- ▤ GAS MAIN
- ▤ ELECTRIC/TELEPHONE/CATV
- ▤ CONCRETE WALL
- ▤ INTERMEDIATE CONTOUR
- ▤ INDEX CONTOUR
- ▤ SPOT GRADE
- ▤ VERTICAL GRANITE CURB
- ▤ PRECAST CONCRETE CURB
- ▤ CONCRETE WALK
- ▤ CAPE COD BERM
- ▤ BOTTOM OF WALL ELEVATION
- ▤ TOP OF WALL ELEVATION
- ▤ LIMIT OF DISTURBANCE
- ▤ FLOOR ELEVATION
- ▤ STAIR RAILING
- ▤ STONE WALL
- ▤ EROSION CONTROL BARRIER
- ▤ SOLID FENCE
- ▤ LANDSCAPE FENCE
- ▤ VINYL CHAIN LINK FENCE
- DMH # DRAIN MANHOLE
- SMH # SEWER MANHOLE
- EMH # ELECTRIC MANHOLE
- TMH # TELEPHONE MANHOLE
- LP # LIGHT POLE
- UP # UTILITY POLE
- UP/LP # UTILITY POLE w/ LIGHT
- HH # HAND HOLE
- VGC # VERTICAL GRANITE CURB
- SGE # SLOPED GRANITE EDGING
- CC # CONCRETE CURB
- ECB # BITUMINOUS CONCRETE BERM
- CCB # CAPE COD BERM
- EP # EDGE OF PAVEMENT
- M # MAPLE
- O # OAK
- P # PINE
- B # BIRCH
- 218.0 BOW
- 221.0 TOW
- 72.5-73.0

REFERENCES:

- PROPERTY LINES, TOPOGRAPHY AND EXISTING CONDITIONS WERE TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND IN NEWTON, MA" PREPARED BY TOOMEY-MUNSON & ASSOCIATES, INC., 88 ACCESS RD., UNIT 12, NORWOOD, MA 02062 DATED JANUARY 13, 2004 AND FROM A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN NEWTON, MA" PREPARED BY TOOMEY-MUNSON & ASSOCIATES, INC. DATED APRIL 26, 2004.



- UTILITY NOTES:**
- ALL STORM DRAIN PIPES TO BE 12" REINFORCED CONCRETE (RCP) UNLESS OTHERWISE NOTED.
 - ALL 8" STORM DRAIN PIPES TO BE POLYVINYL COATED (PVC) SDR 35 CONFORMING TO ASTM STANDARD SPECIFICATIONS D3034.
 - ALL SEWER PIPES TO BE 8" POLYVINYL COATED (PVC) SDR 35 CONFORMING TO ASTM STANDARD SPECIFICATIONS D3034. FOR SEWER CONNECTIONS TO BUILDINGS SEE PLUMBING DRAWINGS.
 - FOR DRAIN AND SEWER SCHEDULES SEE SHEET 4.
 - WATER MAIN PIPES TO BE 8" DUCTILE IRON CEMENT LINED (DICL) FOR WATER CONNECTIONS TO BUILDING SEE PLUMBING DRAWINGS.

OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE; SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

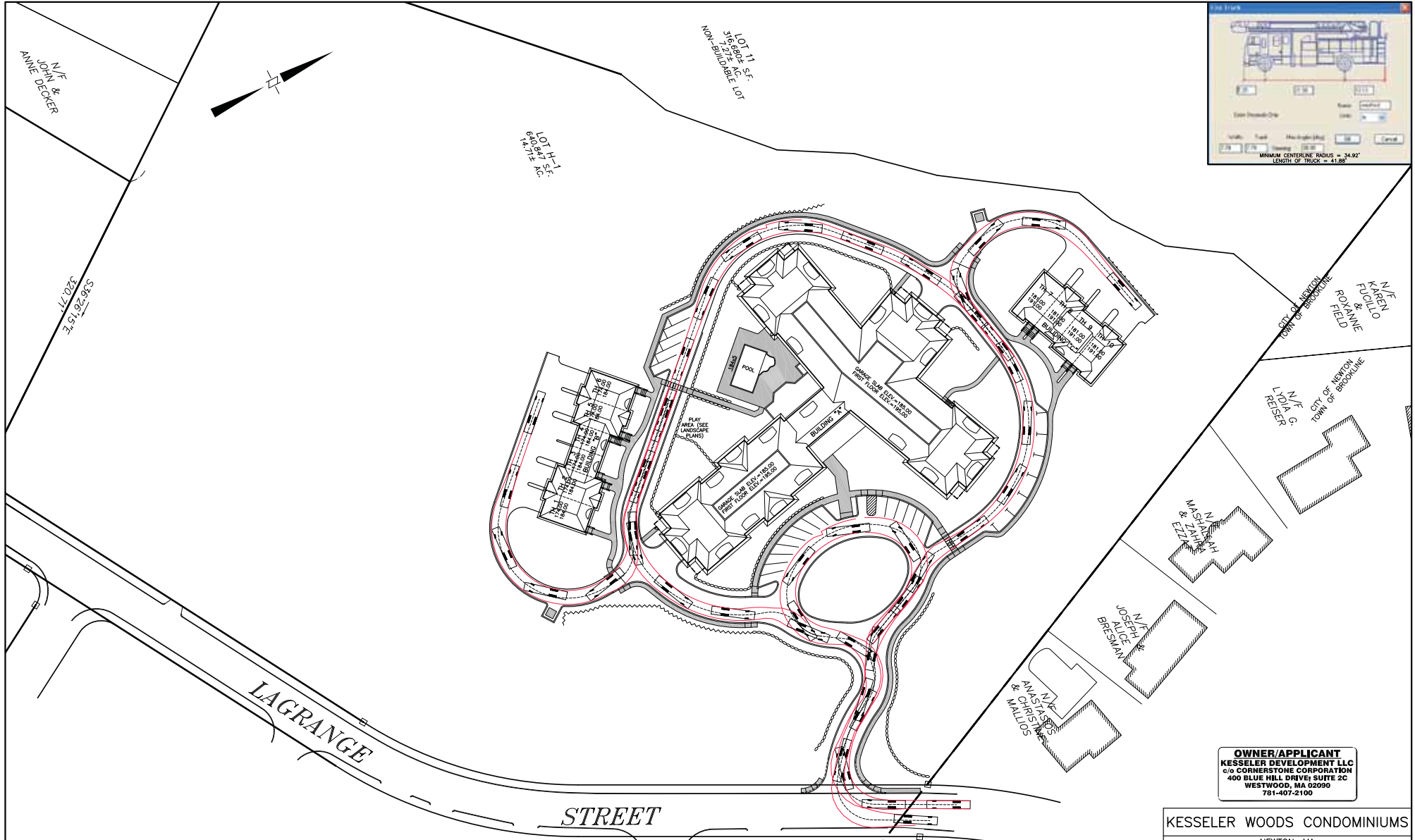
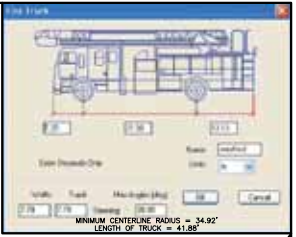
KESSELER WOODS CONDOMINIUMS
 NEWTON, MA

EARTHWORK PLAN

H.W. MOORE ASSOCIATES, INC.
 ENGINEERS & PLANNERS
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02118-2298
 TEL: 617-257-6145 FAX: 617-257-2455

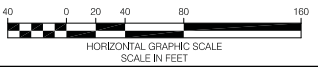
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 SCALE: 1"=40'
 SHEET 10 OF 12

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.
2	4/6/06	WIDENED ROADWAY	MPH	JYM	HHM
1	3/30/06	REVISE CALCULATIONS	MPH	JYM	HHM
		REVISION			



REFERENCES:

1.) PROPERTY LINES, TOPOGRAPHY AND EXISTING CONDITIONS WERE TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN OF LAND IN NEWTON, MA" PREPARED BY TOOMEY-MUNSON & ASSOCIATES, INC., 89 ACCESS RD., UNIT 12, NORWOOD, MA 02062 DATED JANUARY 13, 2004 AND FROM A PLAN ENTITLED "SUBDIVISION PLAN OF LAND IN NEWTON, MA" PREPARED BY TOOMEY-MUNSON & ASSOCIATES, INC. DATED APRIL 28, 2004.



OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

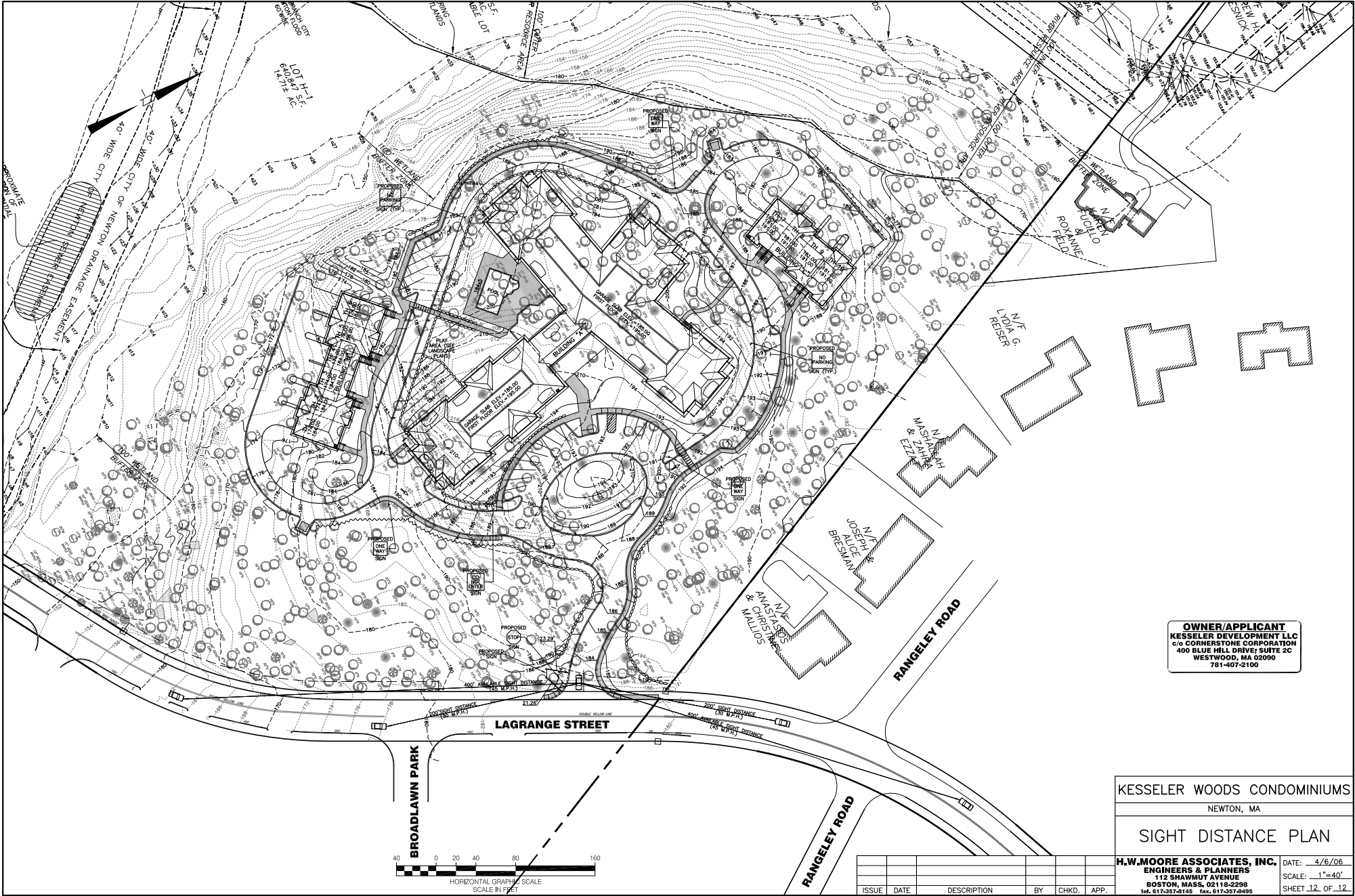
KESSELER WOODS CONDOMINIUMS
 NEWTON, MA

FIRE ACCESS ROUTE PLAN

H.W. MOORE ASSOCIATES, INC.
ENGINEERS & PLANNERS
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02116-2298
 TEL. 617-357-9145 FAX. 617-357-9495

DATE: 4/6/06
 SCALE: 1"=40'
 SHEET 11 OF 12

ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.



OWNER/APPLICANT
KESSELER DEVELOPMENT LLC
 c/o CORNERSTONE CORPORATION
 400 BLUE HILL DRIVE; SUITE 2C
 WESTWOOD, MA 02090
 781-407-2100

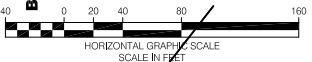
KESSELER WOODS CONDOMINIUMS

NEWTON, MA

SIGHT DISTANCE PLAN

H.W. MOORE ASSOCIATES, INC.
 ENGINEERS & PLANNERS
 112 SHAWMUT AVENUE
 BOSTON, MASS. 02118-2298
 Tel. 617-267-8145 Fax. 617-267-2495

DATE: 4/6/06
 SCALE: 1"=40'
 SHEET 12 OF 12



ISSUE	DATE	DESCRIPTION	BY	CHKD.	APP.

DRAWN: [unreadable] CHECKED: [unreadable] DATE: [unreadable] PROJECT: [unreadable] SHEET: [unreadable] OF [unreadable]