

FOR REFERENCE
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CONSTRUCTION

**NEWTON HISTORY
MUSEUM ARCHIVES**

527 WASHINGTON STREET
NEWTON, MA 02461

CITY OF NEWTON
PUBLIC BUILDINGS DEPT.

52 ELLIOT STREET
NEWTON HIGHLANDS, MA

NO	DATE	BY	DESCRIPTION
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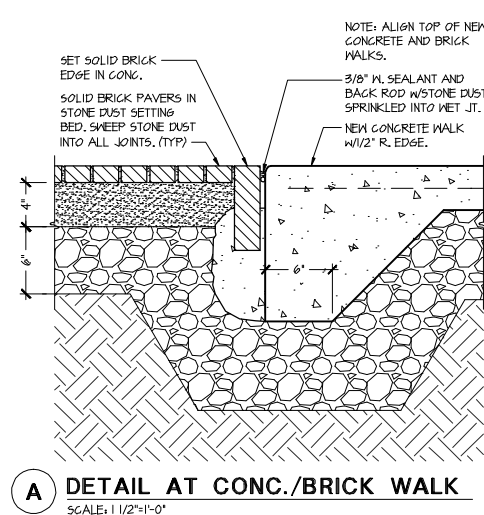
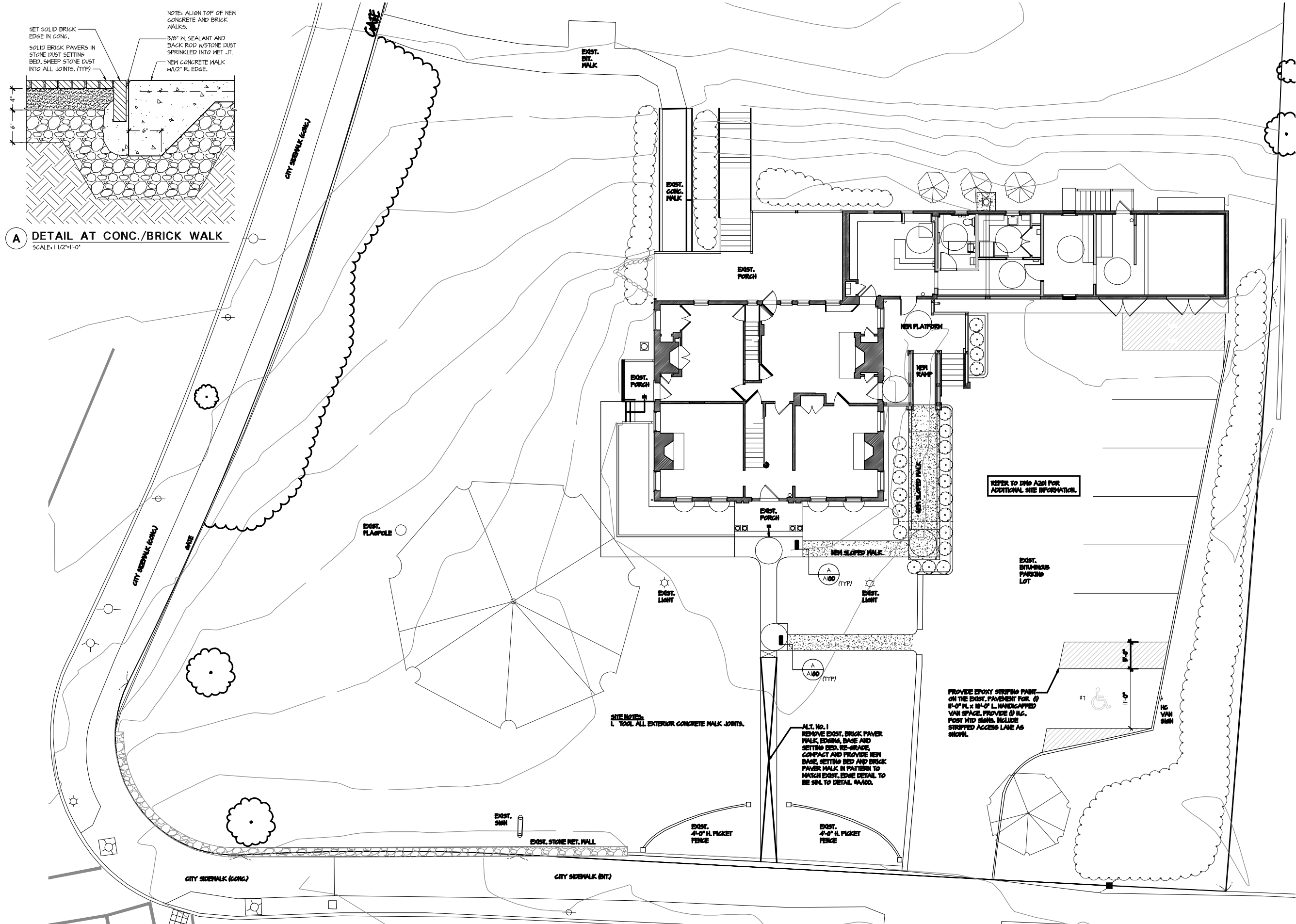
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JOB NO.: 0427

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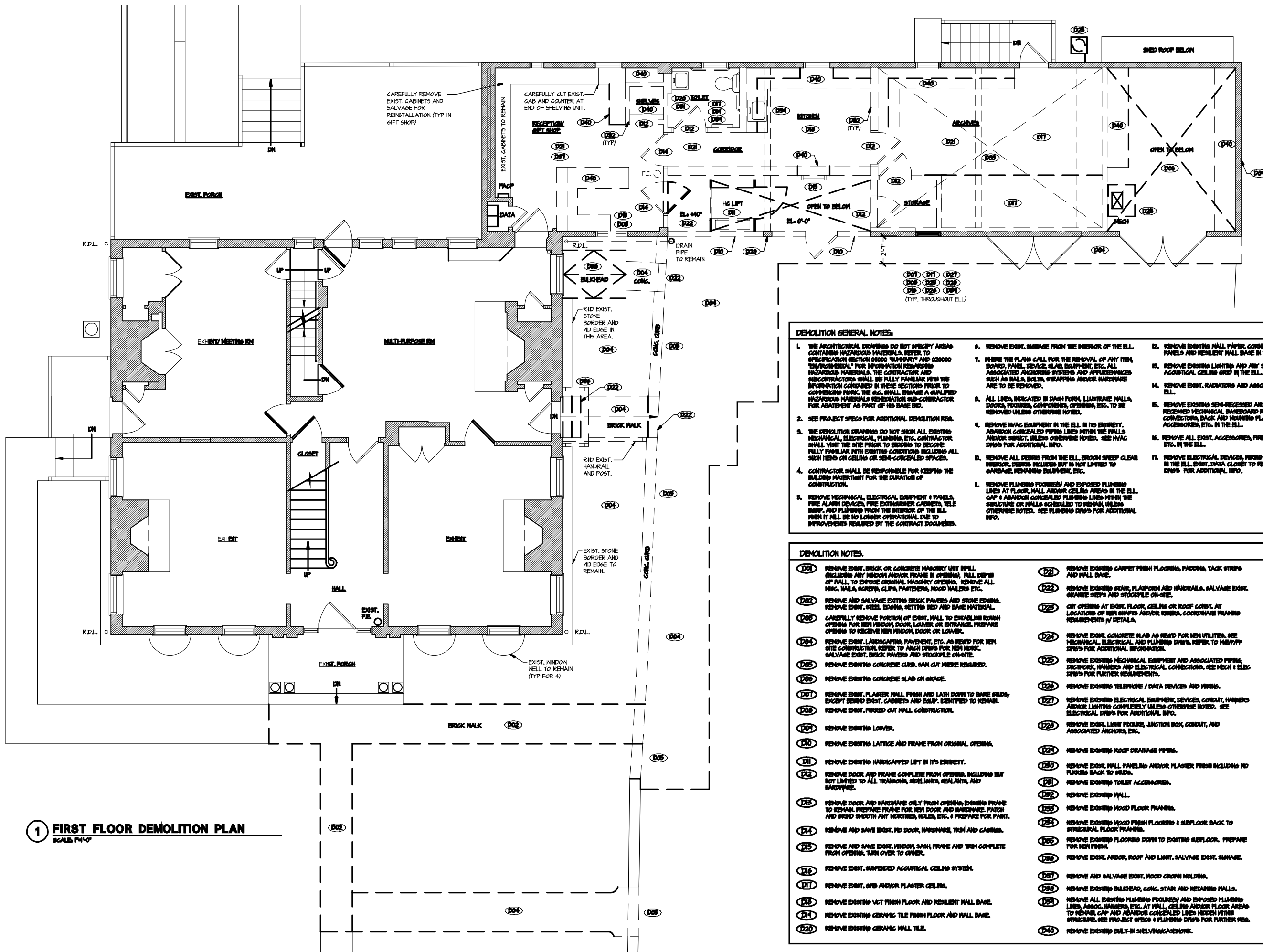
SITE PLAN

A100



1 SITE PLAN
SCALE: 1/8"=1'-0"

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1 FIRST FLOOR DEMOLITION PLAN
SCALE 1/4"=1'-0"

DEMOLITION GENERAL NOTES:

- THE ARCHITECTURAL DRAWINGS DO NOT SPECIFY AREAS CONTAINING HAZARDOUS MATERIALS. REFER TO SPECIFICATION SECTION 03000 "SUMMARY" AND 03000 "ENVIRONMENTAL" FOR INFORMATION REGARDING HAZARDOUS MATERIALS. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE FULLY FAMILIAR WITH THE INFORMATION CONTAINED IN THESE SECTIONS PRIOR TO COMMENCING WORK. THE O.C. SHALL EMPLOY A QUALIFIED HAZARDOUS MATERIALS REMEDIATION SUB-CONTRACTOR FOR ABATEMENT AS PART OF HIS BASE BID.
- SEE PROJECT SPECS FOR ADDITIONAL DEMOLITION REQ.
- THE DEMOLITION DRAWINGS DO NOT SHOW ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING, ETC. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BEGINNING TO DEMOLITION. FULLY FAMILIAR WITH EXISTING CONDITIONS INCLUDING ALL SUCH ITEMS ON CEILING OR SEMI-CONCEALED SPACES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE BUILDING WEATHERTIGHT FOR THE DURATION OF CONSTRUCTION.
- REMOVE MECHANICAL, ELECTRICAL EQUIPMENT & PANELS, FIRE ALARM DEVICES, FIRE EXTINGUISHER CABINETS, TELE EQUIP. AND PLUMBING FROM THE INTERIOR OF THE BLDG. WHEN IT WILL BE NO LONGER OPERATIONAL DUE TO IMPROVEMENTS REQUIRED BY THE CONTRACT DOCUMENTS.
- REMOVE EXIST. SIGNAGE FROM THE INTERIOR OF THE BLDG.
- WHERE THE PLANS CALL FOR THE REMOVAL OF ANY NEW BOARD, PANEL, DEVICE, SLAB, EQUIPMENT, ETC. ALL ASSOCIATED ANCHORS, SYSTEMS AND APPLICANCES SUCH AS NAILS, BOLTS, STRAPPING AND/OR HARDWARE ARE TO BE REMOVED.
- ALL LINES, INDICATED IN DASH FORM, ILLUSTRATE WALLS, DOORS, FIXTURES, COMPONENTS, OPENINGS, ETC. TO BE REMOVED UNLESS OTHERWISE NOTED.
- REMOVE HVAC EQUIPMENT IN THE BLDG. IN ITS ENTIRETY. ABANDON CONCEALED PIPING LINES WITHIN THE WALLS AND/OR STRUCT. UNLESS OTHERWISE NOTED. SEE HVAC DWG'S FOR ADDITIONAL INFO.
- REMOVE ALL DEBRIS FROM THE BLDG. BROOM SWEEP CLEAN INTERIOR. DEBRIS INCLUDED BUT IS NOT LIMITED TO GARBAGE, REMAINING EQUIPMENT, ETC.
- REMOVE PLUMBING FIXTURES AND EXPOSED PLUMBING LINES AT FLOOR, WALL AND/OR CEILING AREAS IN THE BLDG. CAP & ABANDON CONCEALED PLUMBING LINES WITHIN THE STRUCTURE OR WALLS SCHEDULED TO REMAIN UNLESS OTHERWISE NOTED. SEE PLUMBING DWG'S FOR ADDITIONAL INFO.
- REMOVE EXISTING WALL PAPER, CORNER GUARDS, WALL PANELS AND RESILIENT WALL BASE IN THE BLDG.
- REMOVE EXISTING LIGHTING AND ANY SUSPENDED ACoustICAL CEILING GRID IN THE BLDG.
- REMOVE EXIST. RADIATORS AND ASSOC. PIPING IN THE BLDG.
- REMOVE EXISTING SEMI-RECESSED AND FULLY RECESSED MECHANICAL BASEBOARDS, RADIATION AND CONVECTORS, BACK AND MOUNTING PLATES, ACCESSORIES, ETC. IN THE BLDG.
- REMOVE ALL EXIST. ACCESSORIES, FIRE EXTINGUISHERS, ETC. IN THE BLDG.
- REMOVE ELECTRICAL DEVICES, FIXTURES AND EQUIPMENT IN THE BLDG. EXIST. DATA CLOSET TO REMAIN. SEE ELEC. DWG'S FOR ADDITIONAL INFO.

DEMOLITION NOTES:

- (D01) REMOVE EXIST. BRICK OR CONCRETE MASONRY UNIT INFILL (INCLUDING ANY WINDOW AND/OR FRAME IN OPENING). FULL DEPTH OF WALL TO EXPOSE ORIGINAL MASONRY OPENING. REMOVE ALL MISC. WALL SCREWS, CLIPS, FASTENERS, NAIL WALLS, ETC.
- (D02) REMOVE AND SALVAGE EXISTING BRICK PAVERS AND STONE EDGING. REMOVE EXIST. STEEL EDGING, SETTING BED AND BASE MATERIAL.
- (D03) CAREFULLY REMOVE PORTION OF EXIST. WALL TO ESTABLISH ROUGH OPENING FOR NEW WINDOW, DOOR, LOUVER OR ENTRANCE. PREPARE OPENING TO RECEIVE NEW WINDOW, DOOR OR LOUVER.
- (D04) REMOVE EXIST. LANDSCAPING, PAVEMENT, ETC. AS NEEDED FOR NEW SITE CONSTRUCTION. REFER TO ARCH DWG'S FOR NEW WORK. SALVAGE EXIST. BRICK PAVERS AND STOCKPILE ON-SITE.
- (D05) REMOVE EXISTING CONCRETE CURB. SAW CUT WHERE REQUIRED.
- (D06) REMOVE EXISTING CONCRETE SLAB ON GRADE.
- (D07) REMOVE EXIST. PLASTER WALL FINISH AND LATH DOWN TO BARE STUD. EXCEPT REMAIN EXIST. CABINETS AND EQUIP. IDENTIFIED TO REMAIN.
- (D08) REMOVE EXIST. FINISHED WALL CONSTRUCTION.
- (D09) REMOVE EXISTING LOUVER.
- (D10) REMOVE EXISTING LATTICE AND FRAME FROM ORIGINAL OPENING.
- (D11) REMOVE EXISTING HANDICAPPED LIFT IN ITS ENTIRETY.
- (D12) REMOVE DOOR AND FRAME COMPLETE FROM OPENING, INCLUDING BUT NOT LIMITED TO ALL TRIMWORK, SIDE LIGHTS, SEALANTS, AND HARDWARE.
- (D13) REMOVE DOOR AND HARDWARE ONLY FROM OPENING; EXISTING FRAME TO REMAIN. PREPARE FRAME FOR NEW DOOR AND HARDWARE. PATCH AND GRIND SMOOTH ANY NORTISES, HOLES, ETC. & PREPARE FOR PAINT.
- (D14) REMOVE AND SAVE EXIST. HD DOOR, HARDWARE, TRIM AND CASINGS.
- (D15) REMOVE AND SAVE EXIST. WINDOW, SASH, FRAME AND TRIM COMPLETE FROM OPENING. TURN OVER TO OWNER.
- (D16) REMOVE EXIST. SUSPENDED ACoustICAL CEILING SYSTEM.
- (D17) REMOVE EXIST. GYP AND/OR PLASTER CEILING.
- (D18) REMOVE EXISTING VCT FINISH FLOOR AND RESILIENT WALL BASE.
- (D19) REMOVE EXISTING CERAMIC TILE FINISH FLOOR AND WALL BASE.
- (D20) REMOVE EXISTING CERAMIC WALL TILE.
- (D21) REMOVE EXISTING CARPET FINISH FLOORING, PADDING, TACK STRIPS AND WALL BASE.
- (D22) REMOVE EXISTING STAIR PLATFORM AND HANDRAILS. SALVAGE EXIST. GRANITE STEPS AND STOCKPILE ON-SITE.
- (D23) CUT OPENING AT EXIST. FLOOR, CEILING OR ROOF CORNER. AT LOCATION OF NEW SHEDS AND/OR RISERS. COORDINATE FRAMING REQUIREMENTS w/ DETAILS.
- (D24) REMOVE EXIST. CONCRETE SLAB AS NEEDED FOR NEW UTILITIES. SEE MECHANICAL, ELECTRICAL AND PLUMBING DWG'S. REFER TO MEPPF DWG'S FOR ADDITIONAL INFORMATION.
- (D25) REMOVE EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED PIPING, DUCTWORK, HANGERS AND ELECTRICAL CONNECTIONS. SEE MECH & ELEC DWG'S FOR FURTHER REQUIREMENTS.
- (D26) REMOVE EXISTING TELEPHONE / DATA DEVICES AND WIRING.
- (D27) REMOVE EXISTING ELECTRICAL EQUIPMENT, DEVICES, CONDUIT, HANGERS AND/OR LIGHTING COMPLETELY UNLESS OTHERWISE NOTED. SEE ELECTRICAL DWG'S FOR ADDITIONAL INFO.
- (D28) REMOVE EXIST. LIGHT FIXTURE, JUNCTION BOX, CONDUIT, AND ASSOCIATED ANCHORS, ETC.
- (D29) REMOVE EXISTING ROOF DRAINAGE PIPING.
- (D30) REMOVE EXIST. WALL PANELING AND/OR PLASTER FINISH INCLUDING HD FINISHING BACK TO STUDS.
- (D31) REMOVE EXISTING TOILET ACCESSORIES.
- (D32) REMOVE EXISTING WALL.
- (D33) REMOVE EXISTING WOOD FLOOR FINISHING.
- (D34) REMOVE EXISTING WOOD FINISH FLOORING & SUBFLOOR BACK TO STRUCTURAL FLOOR FRAMING.
- (D35) REMOVE EXISTING FLOORING DOWN TO EXISTING SUBFLOOR. PREPARE FOR NEW FINISH.
- (D36) REMOVE EXIST. ANCHOR, ROOF AND LIGHT. SALVAGE EXIST. SIGNAGE.
- (D37) REMOVE AND SALVAGE EXIST. WOOD GROUND HOLDING.
- (D38) REMOVE EXISTING BULKHEAD, CONC. STAIR AND RETAINING WALLS.
- (D39) REMOVE ALL EXISTING PLUMBING FIXTURES AND EXPOSED PLUMBING LINES, ASSOC. HANGERS, ETC. AT WALL, CEILING AND/OR FLOOR AREAS TO REMAIN. CAP AND ABANDON CONCEALED LINES HIDDEN WITHIN STRUCTURE. SEE PROJECT SPECS & PLUMBING DWG'S FOR FURTHER REQ.
- (D40) REMOVE EXISTING BUILT-IN SHELVING/CASEWORK.

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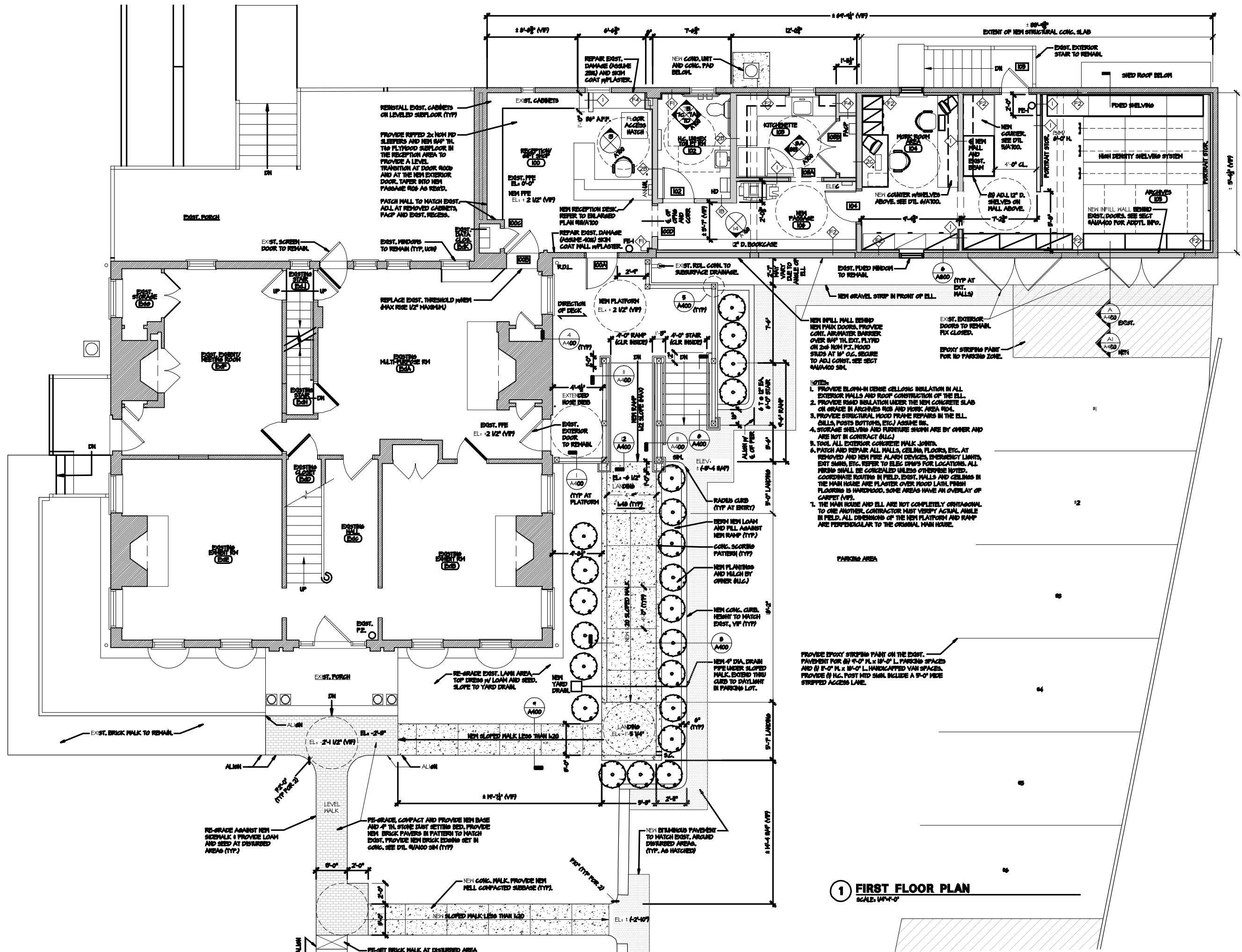
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**FIRST FLOOR
DEMO PLAN
AD201**

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- NOTES:**
1. PROVIDE BLOW-IN DENSE CELLULOSE INSULATION IN ALL EXTERIOR WALLS AND ROOF CONSTRUCTION OF THE ELL.
 2. PROVIDE RIGID INSULATION UNDER THE NEW CONCRETE SLAB ON GRADE IN ARCHIVES ROOMS AND WORK AREA 904.
 3. PROVIDE STRUCTURAL FLOOR REPAIRS IN THE ELL. (SILLS, POSTS, BOTTOMS, ETC.) ASSUME BK.
 4. STORAGE SHELVING AND FURNITURE SHOWN ARE BY OWNER AND ARE NOT IN CONTRACT (N/C).
 5. TOOL ALL EXTERIOR CONCRETE WALK JOINTS.
 6. PATCH AND REPAIR ALL WALLS, CEILINGS, FLOORS, ETC. AT REMOVED AND NEW FIRE ALARM DEVICES, EMERGENCY LIGHTS, EXIT SIGNS, ETC. REFER TO ELEC. DRWG'S FOR LOCATIONS. ALL FINISHES SHALL BE COORDINATED UNLESS OTHERWISE NOTED.
 7. THE MAIN HOUSE AND ELL ARE NOT COMPLETELY ORTHOGONAL TO ONE ANOTHER. CONTRACTOR MUST VERIFY ACTUAL ANGLE IN FIELD. ALL DIVISIONS OF THE NEW PLATFORM AND RAMP ARE PERPENDICULAR TO THE ORIGINAL MAIN HOUSE.

1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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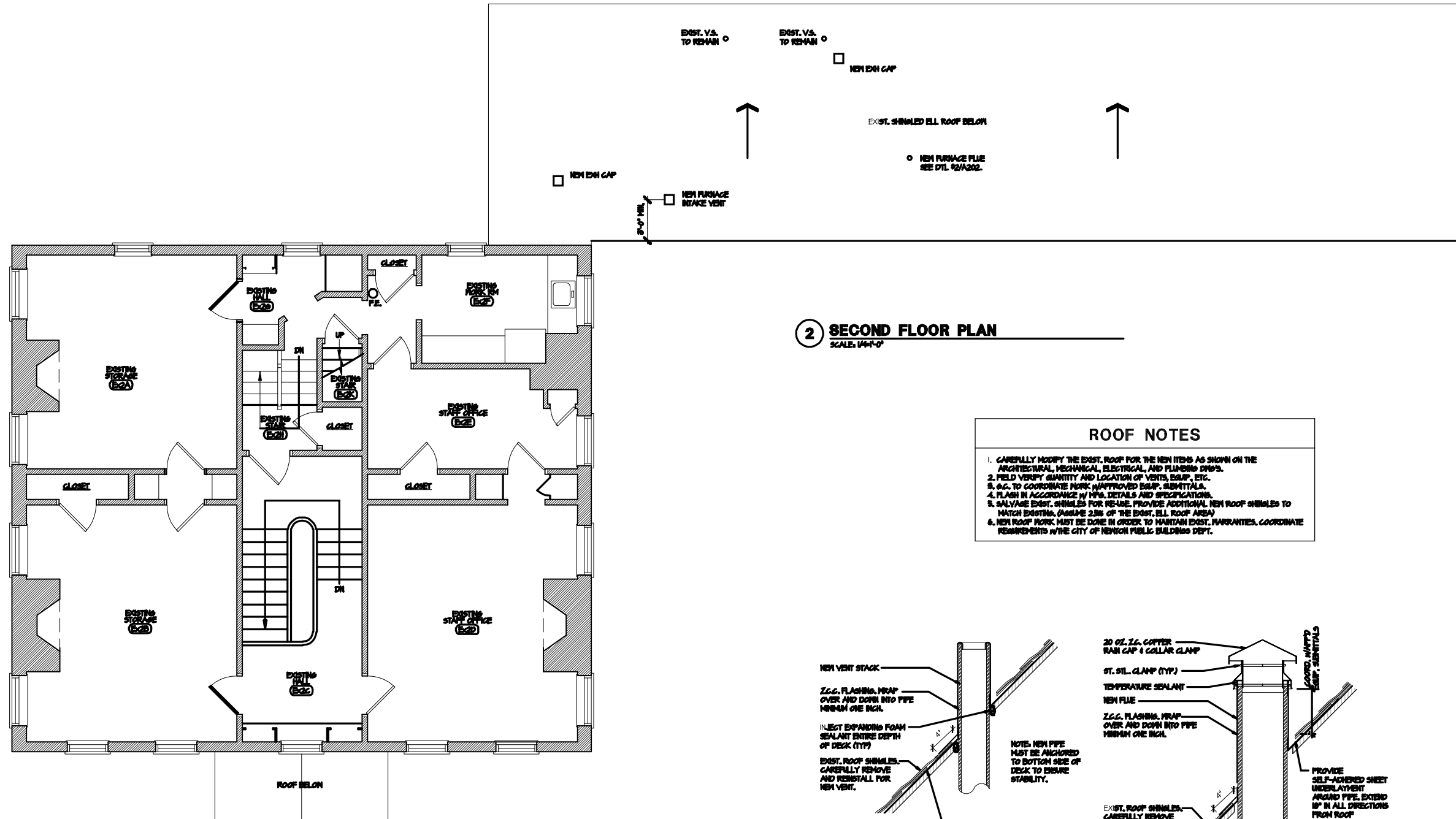
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**FIRST FLOOR
PLAN
A201**

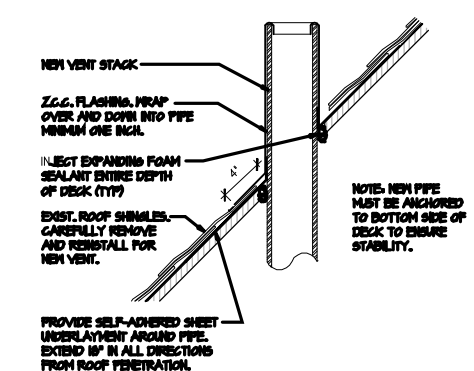
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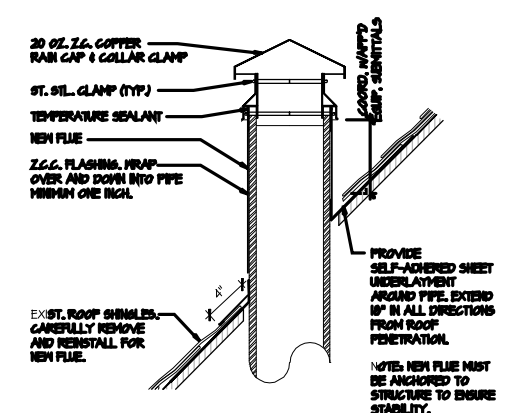
2 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

ROOF NOTES

- CAREFULLY MODIFY THE EXIST. ROOF FOR THE NEW ITEMS AS SHOWN ON THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DPG'S.
- FIELD VERIFY QUANTITY AND LOCATION OF VENTS, EQUIP., ETC.
- S.G. TO COORDINATE WORK (APPROVED EQUIP. SUBMITTALS).
- FLASH IN ACCORDANCE W/ MFG. DETAILS AND SPECIFICATIONS.
- REMOVE EXIST. SHINGLES FOR REUSE. PROVIDE ADDITIONAL NEW ROOF SHINGLES TO MATCH EXISTING (ASSUME 25% OF THE EXIST. ELL. ROOF AREA)
- NEW ROOF WORK MUST BE DONE IN ORDER TO MAINTAIN EXIST. WARRANTIES. COORDINATE REMOVALS W/ THE CITY OF NEWTON PUBLIC BUILDINGS DEPT.



1 TYP. NEW VENT PIPE DETAIL
SCALE: 1/2" = 1'-0"



2 NEW FLUE DETAIL
SCALE: 1/2" = 1'-0"

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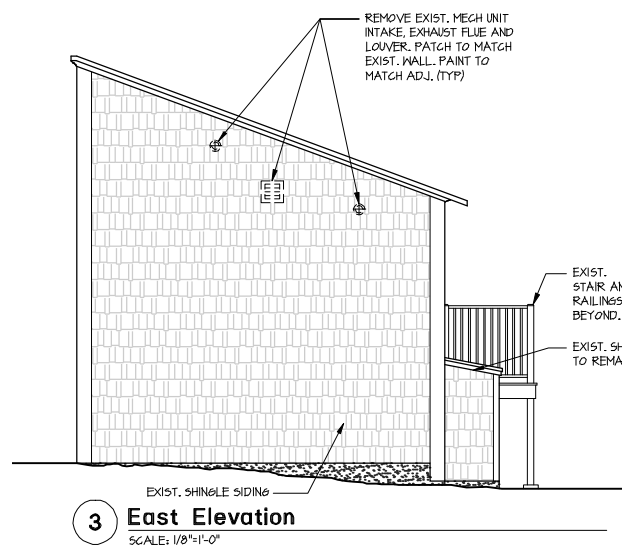
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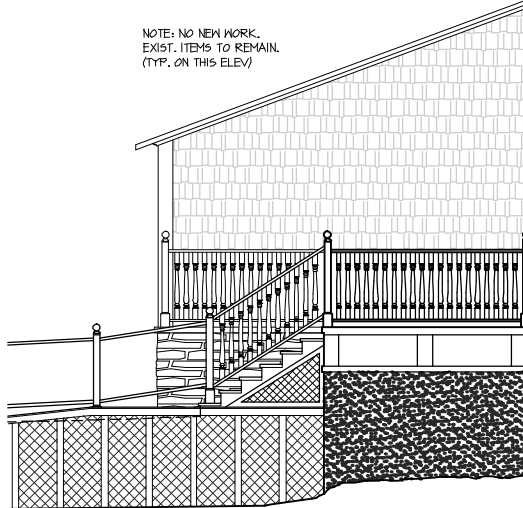
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**SECOND
FLOOR PLAN
A202**

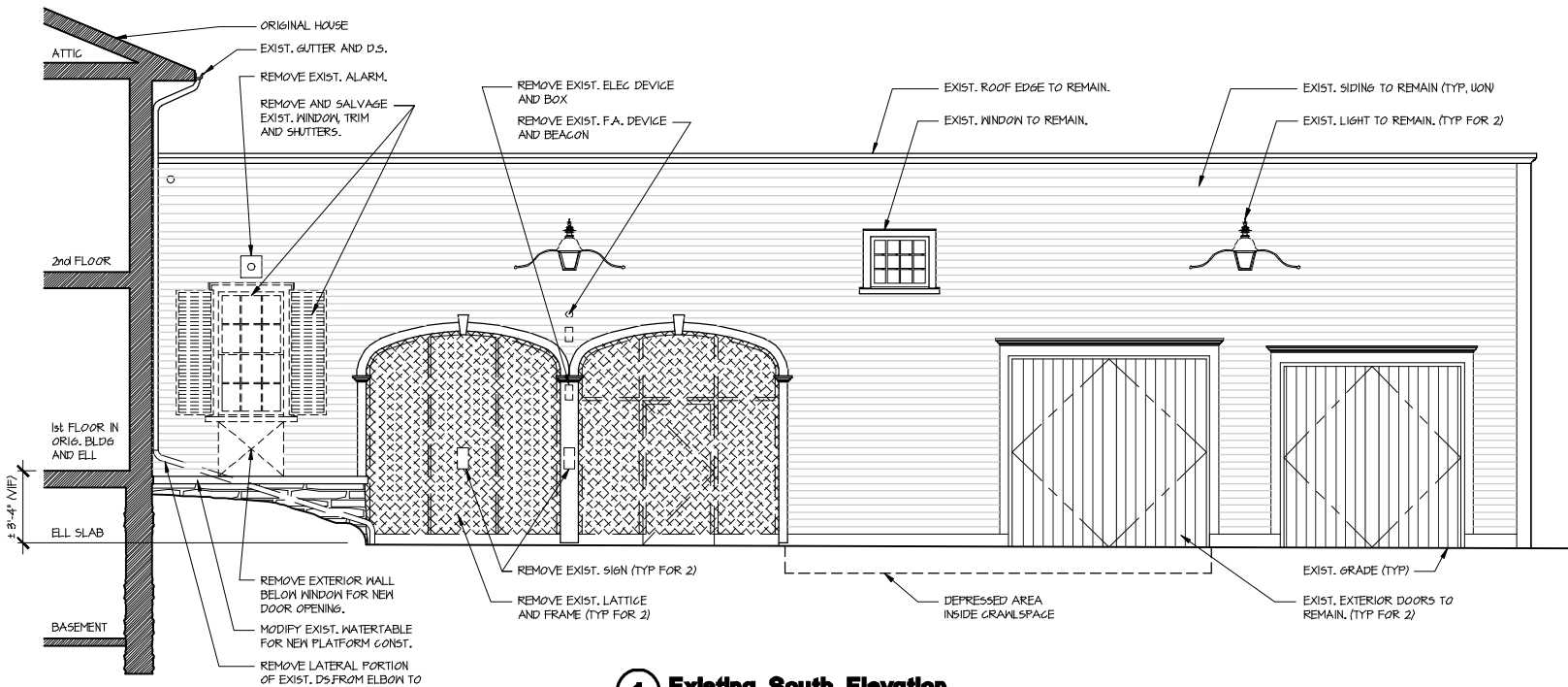
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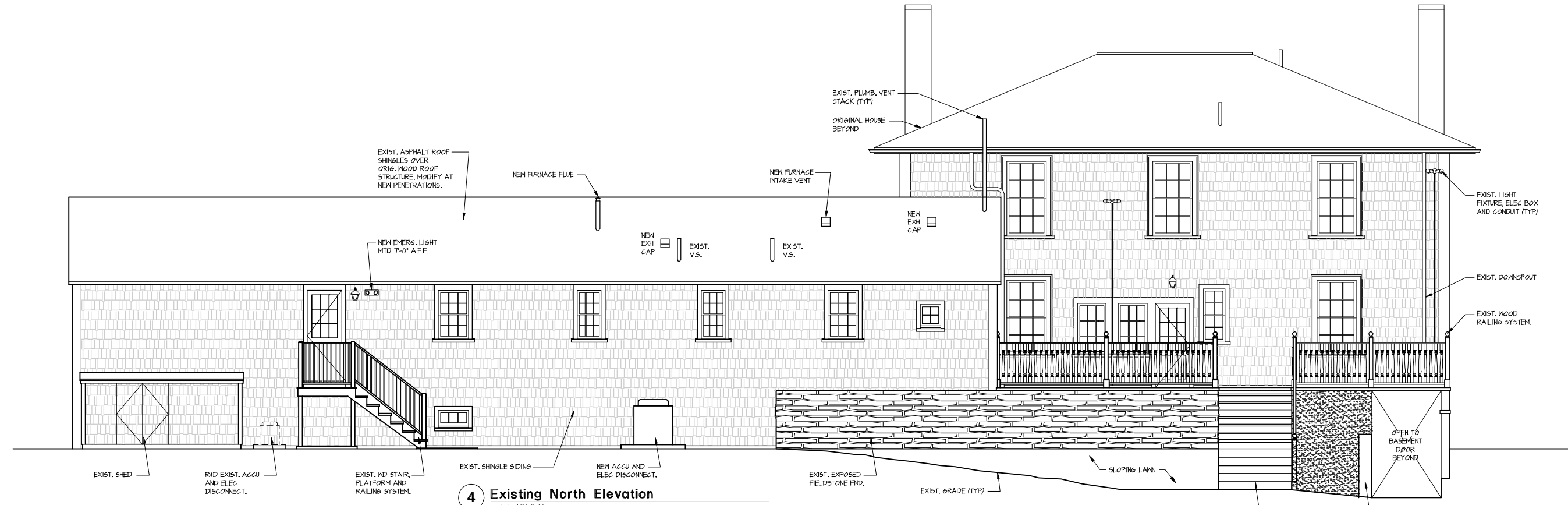
3 East Elevation
SCALE: 1/8"=1'-0"



2 Existing West Elevation
SCALE: 1/8"=1'-0"



1 Existing South Elevation
SCALE: 1/8"=1'-0"



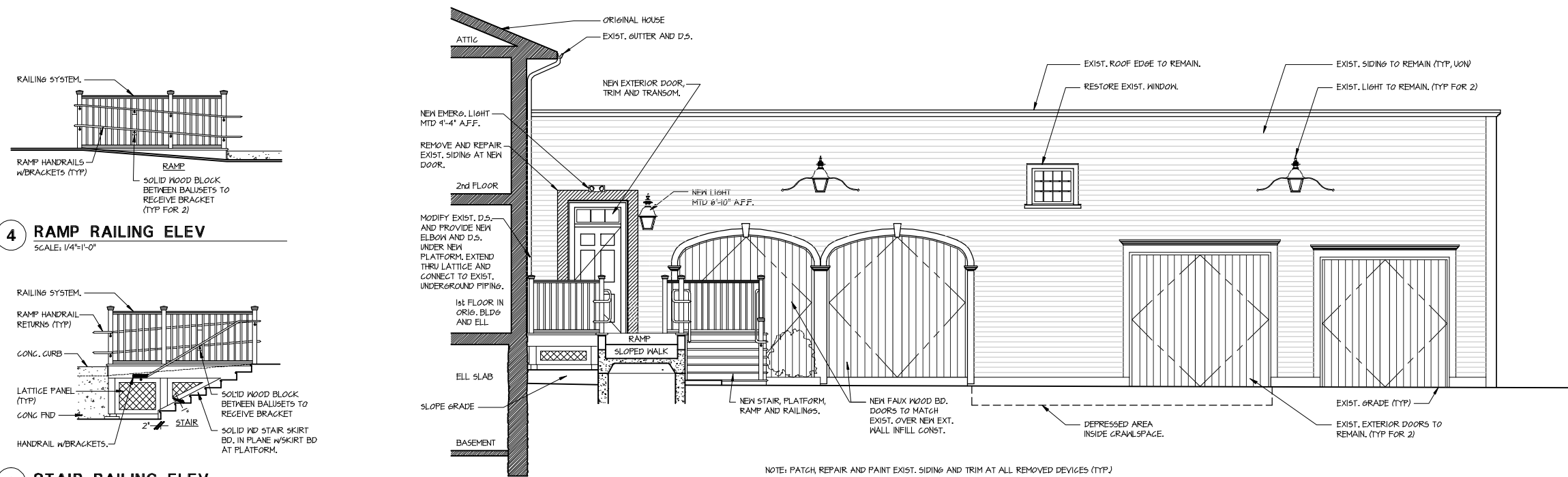
4 Existing North Elevation
SCALE: 1/8"=1'-0"

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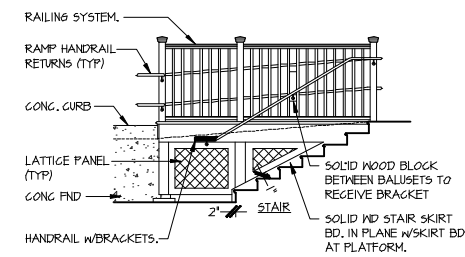
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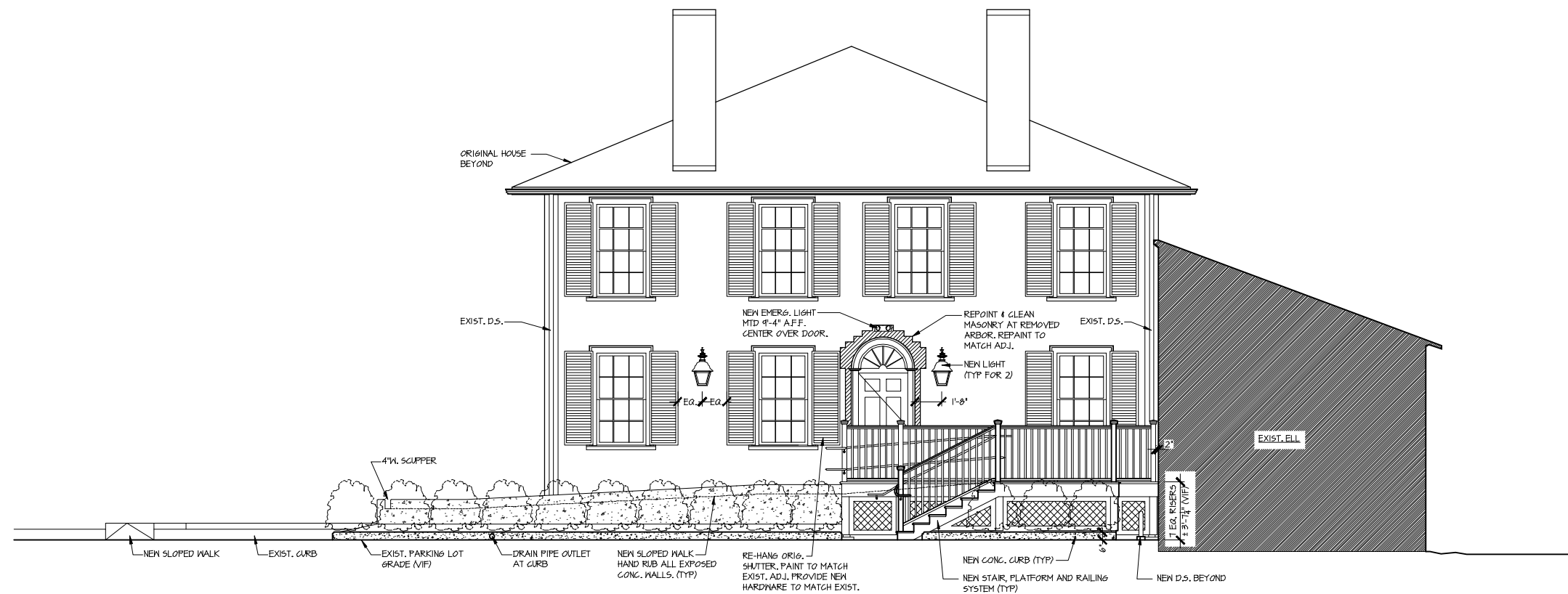
NOTE: PATCH REPAIR AND PAINT EXIST. SIDING AND TRIM AT ALL REMOVED DEVICES (TYP.)

4 RAMP RAILING ELEV
SCALE: 1/4"=1'-0"



3 STAIR RAILING ELEV
SCALE: 1/4"=1'-0"

1 NEW PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NOTE: REMOVE EXIST. BULKHEAD DOORS AND WOOD LATTICE / ARBOR AROUND ENTRY (NOT SHOWN FOR CLARITY)

2 NEW PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

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**EXTERIOR
ELEVATIONS
II
A301**