

**ARCHITECT'S
MEMORANDUM**

1

Code Review Report

Project Number: S116913-Q

PROJECT: Code Review of 2011 Plans
Newton History Archives at the Jackson Homestead
527 Washington Street
Newton, MA

TO: Mr. Adam Gilmore
Department of Public Buildings
52 Elliot Street
Newtown Highlands, MA 02461
agilmore@newtonma.gov

Date: 7/19/2013

Attachments: R.W. Sullivan memo dated 7/19/2013

Renovation Plans by Durkee Brown Viveiros Werenfels Architects dated 07/27/11 (30 sheets)

Revised Plans by DBVW Architects Dated 8/29/11 (Sheets A201, A301)

Revised Plans by DBVW Architects Dated 7/20/12 (sheets A010, A011)

Mr. Gilmore,

We have reviewed the plans for renovations to the Newton History Archives at the Jackson Homestead referenced above for conformance with the current Massachusetts state building code. Attached is a summary of some of the most significant changes in the building code between the 7th and 8th editions. In each case these plans conform to the current building code. We additionally reviewed the plans for general code compliance and find no compliance issues provided that the accessibility variances indicated in the drawings have been sought after and granted.

If you require any further assistance feel free to contact us.

Sincerely,

John Malnati, R.A.
KBA Architects
6 Thirteenth Street
Charlestown, MA 02129
jmalnati@kbaarchitects.com



MEMORANDUM

TO: John Malnati – KBA

FROM: Brandon C. Ingram & Don E. Contois, P.E.

DATE: July 19, 2013

SUBJECT: Plan Review Comments

This memo summarizes the major code changes between the 780 CMR 7th and 8th editions identified in our review of the proposed renovations and preliminary code analysis for the Newton History Museum Archives. This memo is based on the requirements of the 2009 International Existing Building Code (IEBC) utilizing the Work Area Method.

Archive Room Separation

Although the 7th edition required storage rooms over 100 sf to be provided with 1-hour rated separation or an automatic fire extinguishing system, the 8th edition has no separation or extinguishing requirements for storage rooms.

Sprinkler Protection

Since the building is less than 7,500 sf in aggregate area, it is not subject to the requirements of M.G.L. c148 s26G.

The 8th edition requirements for new construction would require a sprinkler system throughout the building. However, since the work area is less than 50% of the floor area, the work will not trigger the installation of a sprinkler system (IEBC 704.2.2).

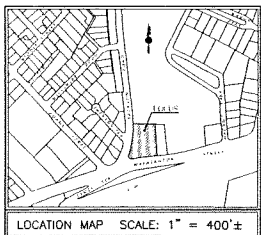
Fire Alarm System

The existing fire alarm system must be maintained (IEBC 601.2). However, the fire alarm system outside the work area is not required to be upgraded (IEBC 704.4.1).

Accessibility

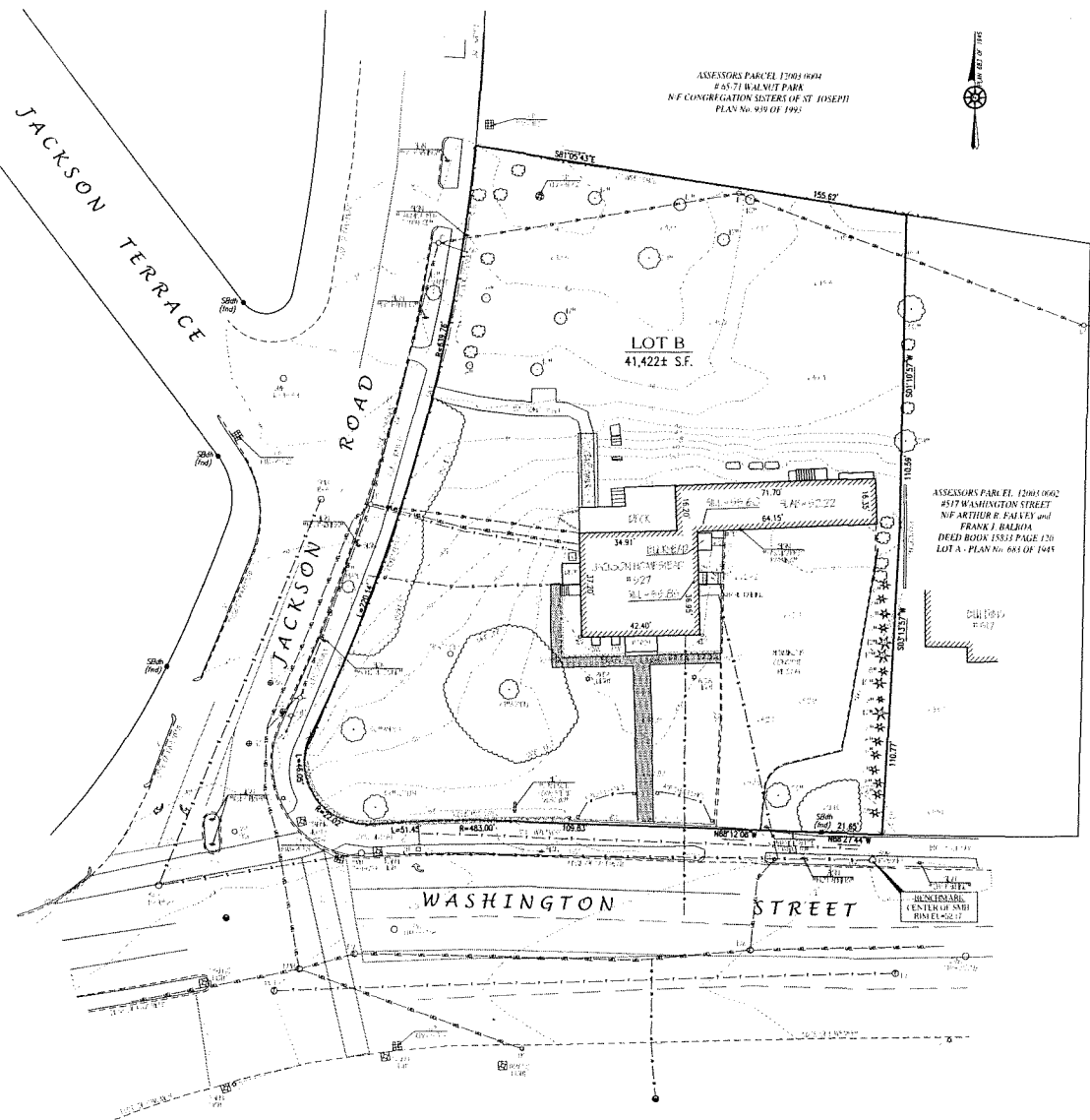
This memo assumes that the cost of work will be less than 30% of the building value but more than \$100,000. Therefore, a variance is required for the single user toilet room (it is our understanding that this variance has been granted). Only the new work is required to be accessible in addition to the entrance.

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LEGEND

EXISTING	DESCRIPTION
.....	1' CONTOUR
-----	PROPERTY LINE
-----	EDGE OF PAVEMENT
-----	VERTICAL GRANITE CURB
-----	SLOPED GRANITE CURB
-----	VERTICAL CONCRETE CURB
-----	SLOPED CONCRETE CURB
-----	BRICK WALK
-----	RETAINING WALL
-----	WATER LINE
-----	SEWER LINE
-----	GAS LINE
-----	UNDERGROUND ELECTRIC SERVICE
-----	OVERHEAD WIRE
-----	TELECOM
-----	STONE WALL
-----	FENCE
-----	GAS GATE
-----	SIEN
-----	DRAIN MANHOLE
-----	CATCH BASIN
-----	ROOF DRAIN
-----	SEWER MANHOLE
-----	ELECTRIC MANHOLE
-----	ELECTRIC HANDHOLE
-----	TELEPHONE MANHOLE
-----	HYDRANT
-----	WATER GATE
-----	TRAFFIC ARROW
-----	LIGHT
-----	UTILITY POLE
-----	LANDSCAPING



RECORD OWNERS:
 ASSESSORS PARCEL 12003 0003
 #57 WASHINGTON STREET
 CITY OF NEWTON
 JACKSON HOMESTEAD
 100 COMMONWEALTH AVENUE
 NEWTON, MA 02459
 DEED BOOK 7524 PAGE 273
 LOT B - PLAN No. 683 OF 1945

PLAN REFERENCES:
 1. PLAN No. 683 OF 1945, BOOK 6804 PAGE 179
 2. SEIZURE PLAN OF JACKSON ROAD, MARCH 1897

- NOTES:**
1. PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NEWTON ASSESSORS DEPARTMENT, NEWTON ENGINEERING DEPARTMENT AND THE MIDDLESEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT.
 2. TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN OLD GROUND SURVEY PERFORMED BY MERRILL ASSOCIATES, INC., AUGUST 2010.
 3. ALL ELEVATIONS ARE BASED ON THE CITY OF NEWTON DATUM.
 4. WETLAND RESOURCE AREAS WERE NOT OBSERVED OR INVESTIGATED FOR THIS SURVEY.
 5. EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD PLANS PROVIDED BY THE CITY OF NEWTON ENGINEERING DEPARTMENT AND ARE TO BE CONSIDERED APPROXIMATE. MERRILL ASSOCIATES, INC. DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.



REVISIONS

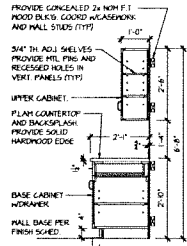
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 DESIGNED BY: PT
 CHECKED BY: PT

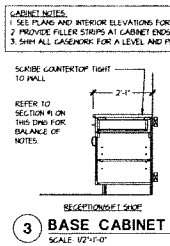
MERRILL ASSOCIATES, INC.
 REGISTERED PROFESSIONAL ENGINEERS
 AND LAND SURVEYORS
 427 OLLIVER ROAD - HAMPER, MA 02339
 TEL: (981) 836-9300 FAX: (981) 836-8865

EXISTING CONDITIONS PLAN
 #527 WASHINGTON STREET
 NEWTON, MASSACHUSETTS
 PREPARED FOR:
 CITY OF NEWTON
 100 COMMONWEALTH AVENUE
 NEWTON, MA 02459

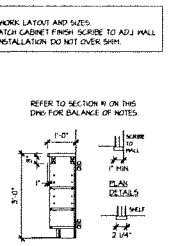
SEPTEMBER 9, 2010
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 JOB No. 10-074



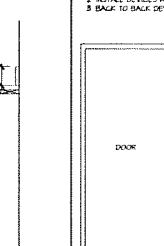
1 TYP. CAB SECTION SCALE: 1/2"=1'-0"



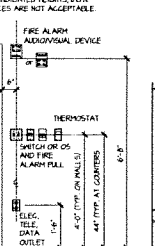
2 NOT USED SCALE: 1/2"=1'-0"



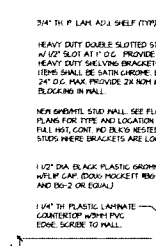
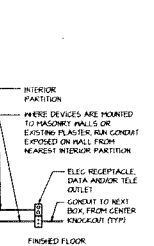
4 OPEN SHELVES SCALE: 1/2"=1'-0"



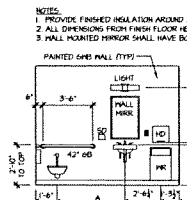
5 COUNTER SECTION SCALE: 1/2"=1'-0"



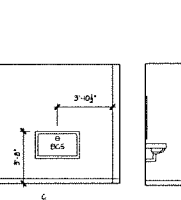
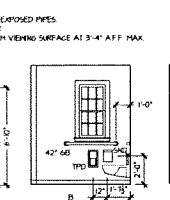
A TYP. MOUNTING HEIGHTS SCALE: 1/2"=1'-0"



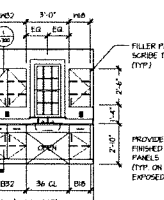
6 WORK COUNTER SECTION SCALE: 1/2"=1'-0"



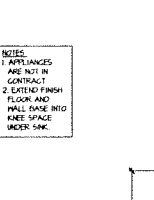
7 TOILET ROOM ELEVATIONS SCALE: 1/4"=1'-0"



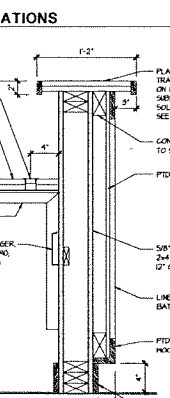
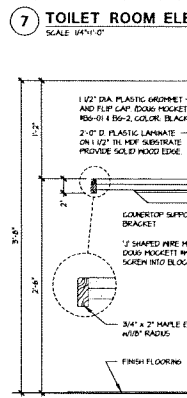
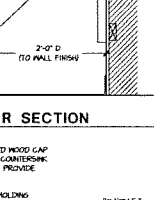
8 KITCHENETTE CABINET ELEVATIONS SCALE: 1/4"=1'-0"



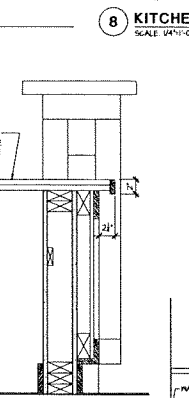
9 TYP. PARTIAL HGT. WALL DETAIL SCALE: 1/2"=1'-0"



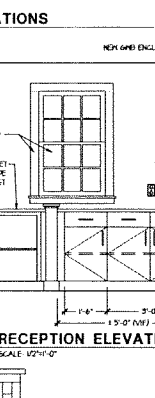
10 RECEPTION DESK SECTION SCALE: 1/2"=1'-0"



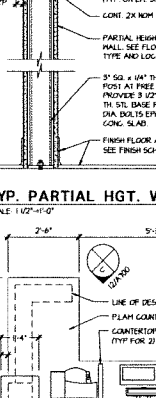
11 RECEPTION DESK SECTION SCALE: 1/2"=1'-0"



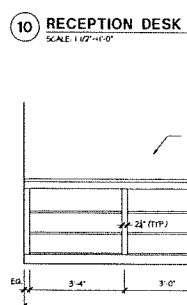
15 RECEPTION ELEVATION SCALE: 1/2"=1'-0"



12 RECEPTION DESK ELEVATIONS SCALE: 1/2"=1'-0"



13 RECEPTION DESK PLAN SCALE: 1/2"=1'-0"



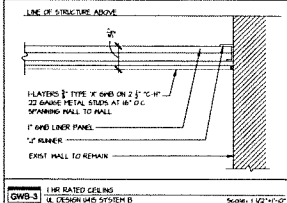
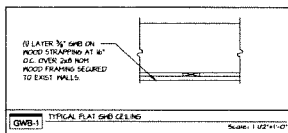
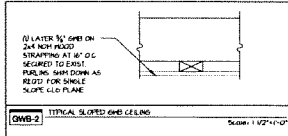
14 BOOKCASE ELEVATION SCALE: 1/2"=1'-0"

FOR REFERENCE ONLY NOT FOR CONSTRUCTION

NO.	DATE	BY	DESCRIPTION

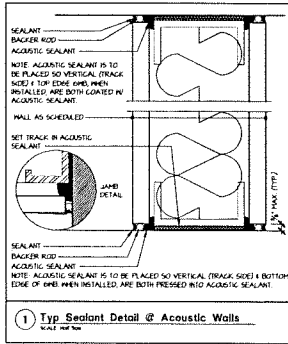
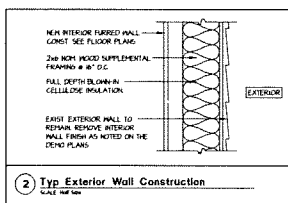
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CEILING TYPES

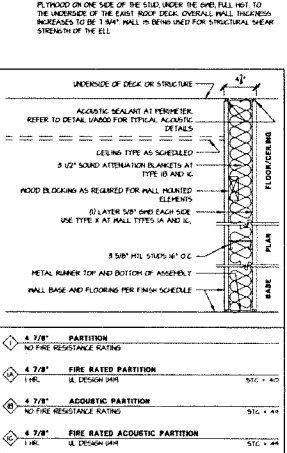
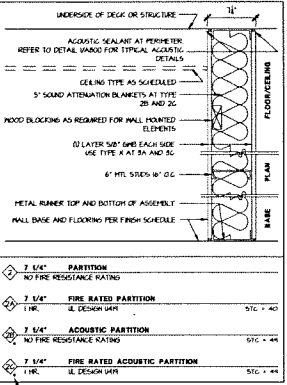
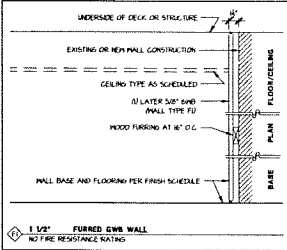
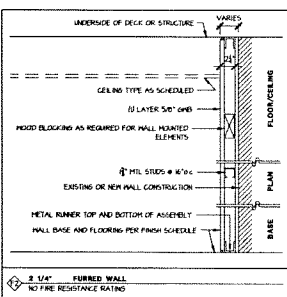
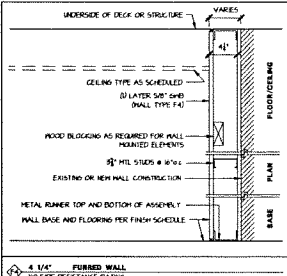


GENERAL NOTES:
PARTITION & CEILING NOTES:

- PROVIDE FIRELESS MOISTURE-RESISTANT GWB AT TOILET ROOMS AND REAR AREA.
- FIRE RATED WALLS MUST BE CONSTRUCTED AS INDICATED BY THEIR WALL TYPE. CONTINUITY IS TO BE MAINTAINED IN THE CONSTRUCTION OF THE WALL ASSEMBLY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE SEALING REQUIREMENTS OF THE RATED ASSEMBLY WITH THE WORK OF ALL OTHER TRADES AS REQUIRED TO CONSTRUCT AND MAINTAIN THE PROPER ASSEMBLY RATING.
- SEE TYPICAL WALL DETAIL ON SHEET ADD FOR ADDITIONAL SOUND PROOFING REQUIREMENTS AT WALLS. ALSO SEE PROJECT SPECIFICATIONS FOR SOUND ISOLATION REQUIREMENTS AND SOUND PROOFING REQUIREMENTS OF ALL WALL PENETRATIONS AND WALL MOUNTED EQUIPMENT. INCLUDES (BUT NOT LIMITED TO) MECHANICAL, ELECTRICAL AND EQUIPMENT PLUMBING LINES AND FIXTURES, ELECTRICAL EQUIPMENT AND FIRE PROTECTION LINES.
- SEE PROJECT SPECIFICATIONS FOR FIREPROOFING REQUIREMENTS OF ALL WALL AND FLOOR/CEILING ASSEMBLY PENETRATIONS INCLUDING (BUT NOT LIMITED TO) MECHANICAL, ELECTRICAL AND CONDUIT LINES, PLUMBING LINES, ELECTRICAL WIRING AND CONDUIT AND FIRE PROTECTION LINES.
- PROVIDE 5/4\"/>



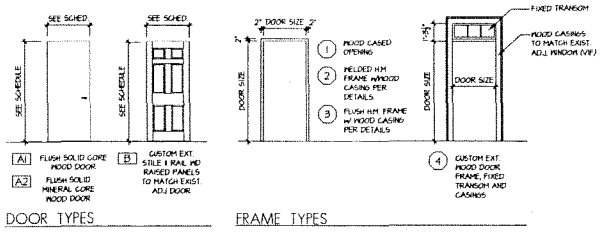
WALL TYPES



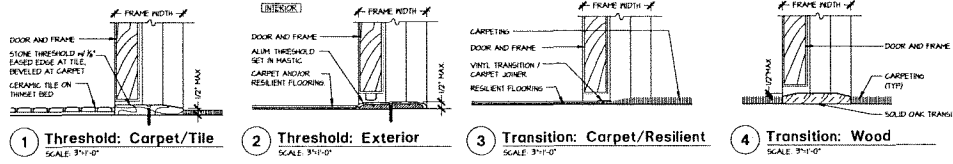
NEWTON HISTORY MUSEUM ARCHIVES
 627 WASHINGTON STREET NEWTON, MA 02459
 CITY OF NEWTON PUBLIC BUILDINGS DEPT.
 50 ELLIOT STREET NEWTON HIGHLANDS, MA

NO.	DATE	BY	DESCRIPTION

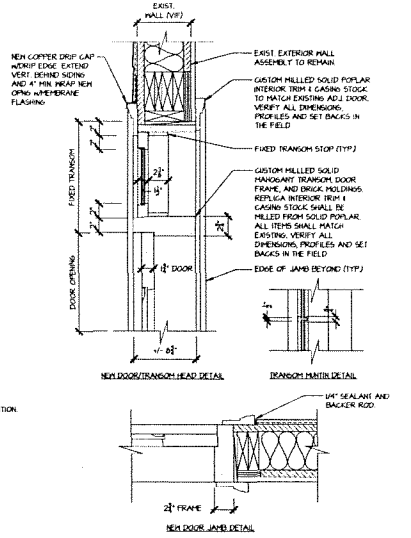
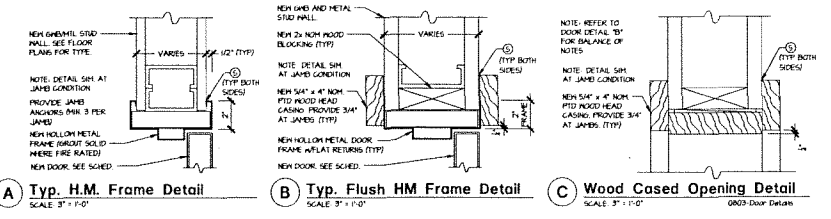
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 DATE: 07/21/11
 DRAWN BY: EC
 JOB NO.: 0121
 FILE:
WALL TYPES



THRESHOLD DETAILS



DOOR FRAME DETAILS



DOOR SCHEDULE

DOOR NO.	LOCATION	TYPE	THK.	WIDTH	HT.	FRAME		FIRE RATING (MINUTES)	DETAIL			HARDWARE SET #	GENERAL NOTES
						TYPE	FINISH		HEAD	JAMB	THRESH.		
00A	RECEPTION	B	1-3/4"	3'-0"	7'-0"	PTD	4	PTD	DIABLO	DIABLO	DIABLO SH	D	CUSTOM EXT. DOOR FRAME AND TRANSOM
00B	RECEPTION	EXIST	-	-	-	PTD	EXIST	PTD	-	ALABO	-	-	EXIST. DOOR & FRAME 2" UMBRELL
00C	RECEPTION	EXIST	-	-	-	PTD	EXIST	PTD	-	-	-	-	NEW WOOD CASING OPENING
002	UNEXER TOILET RH	A	1-3/4"	3'-0"	7'-0"	PTD	3	PTD	DIABLO	DIABLO	DIABLO	A	PROVIDE FLUMERKIT
003A	KITCHENETTE	-	-	3'-0"	7'-0"	-	-	-	DIABLO	DIABLO	DIABLO	-	NEW WOOD CASING OPENING
004	KITCHENETTE	A	1-3/4"	3'-0"	7'-0"	PTD	3	PTD	DIABLO	DIABLO	DIABLO	B	PROVIDE FLUMERKIT
004	WORK ROOM	A2	1-3/4"	3'-0"	7'-0"	PTD	2	PTD	NO MK	DIABLO	DIABLO	C	-
005	ANGRYVES	EXIST	-	-	-	PTD	EXIST	PTD	-	DIABLO SH	F	EXIST. DOOR & FRAME	
EX01H	EXIST. VESTIBULE	EXIST	-	-	-	PTD	EXIST	PTD	-	-	-	E	PROVIDE LOW ENERGY DOOR OPERATOR
EX01H	EXIST. VESTIBULE	EXIST	-	-	-	PTD	EXIST	PTD	-	-	-	E	PROVIDE LOW ENERGY DOOR OPERATOR

GENERAL NOTES

- HARDWARE SHALL BE SATIN CHROME BRUSHED AND/OR SATIN STAINLESS STEEL AND/STO
- PROVIDE 2" UNDERCUTS ON ALL INTERIOR NON-RATED DOORS, (TYP. UO/U)
- PROVIDE SLIDERS ON ALL INTERIOR DOORS
- FIRE RATED DOORS AND FRAMES MUST COMPLY WITH NFPA 400 ITEMS MUST BE LISTED AND IDENTIFIED BY ACCORDANCE WITH THE LISTING, MANUFACTURER OR FACTORY MANUAL
- COORDINATE ALL DOOR AND FRAME PREP REQUIRED BY HARDWARE
- ACCESSIBLE HARDWARE, DOOR OPENING FORCE SHALL HAVE THE MINIMUM FORCE ALLOWABLE BY CODE. THE HARDWARE FORCE FOR PUSHING OR PULLING OPEN NON-RATED INTERIOR DOORS SHALL BE 5.0 POUNDS
- EXIST'G EXIST DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE
- VERIFY EXISTING OPENING DIMENSIONS IN THE FIELD
- COORDINATE WITH HARDWARE AT EXIST DOOR PREP AND MODIFY DOOR AND/OR FRAME AS REQUIRED. PROVIDE FILLER PLATES AND COMPOUND AT REPAIRED HARDWARE TO ENSURE SMOOTH FINISH

FINISH SCHEDULE

ROOM NO.	LOCATION	FLOOR	BASE	WALLS	CLG	NOTES
00	RECEPTION/PT SHOP	0FT-1	WB-1	PT-1/2 ACCENT	PT-3 SHED	-
02	HG. UNEXER TOILET ROOM	CT-1/2	CT-1	PT-4	ACT	-
03	KITCHENETTE	VECT-1	WB-2	PT-1	ACT	-
04	KITCHENETTE CLOSET	VECT-1	WB-2	PT-1	PT-3 SHED	-
04	WORK ROOM AREA	VECT-1	WB-2	PT-1	PT-3 SHED	-
05	ANGRYVES	VECT-1	WB-2	PT-1	PT-3 SHED	-
06	NEW PASSAGE	0FT-1	WB-1	PT-1	ACT	-
EX01	DATA CLOSET	0FT-1	WB-1	PT-1	PT-3 SHED	-
EX01H	EXIST. BASEMENT VESTIBULE	EXIST.	EX01H	PT-1	PT-3 SHED	-

FINISH SCHEDULE NOTES

- REFER TO SPECIFICATION FOR PAINT SYSTEM INFORMATION
- PAINT EXPOSED SPRINKLER TIPTES ADJACENT CEILING COLOR AND WALL POINTED CONCRETE ADJACENT WALL COLOR
- DO NOT PAINT ADJACENT CEILING TILES
- PAINT ALL GYP BOARD WALL, BOARDS WALL SURFACES AT NET AREAS WITH AN EQUALIZER FINISH
- DO NOT PAINT COLUMN OR WALLS THAT ARE IN CONCEALED SPACES
- DO NOT PAINT FACTORY FINISHED ITEMS (DOORS, MECHANICAL GRILLS, REGISTER, COVER PLATES, DEVICES, ETC.)
- PROVIDE ANODIZED TREATMENT ON EXTERIOR WINDOW AND DOOR IN ARCHIVE AREA (R1 R3 R4 R5)
- BATHROOM TILE PATTERNS TO BE TRADITIONAL NEARBY WITH DOT. CT-1 FELD WITH CT-2 DOT
- ALL WOODWORK INCLUDING TRIM BASE & DOOR FRAMES TO BE COLOR PT-2
- ALL WALLS TO BE PT-1 UNLESS NOTED OTHERWISE

FINISH LEGEND

DESCRIPTION	COLOR	FINISH	SIZE	NOTES
ACT-1	WHITE	-	24" x 24"	QUARTER TURN
PT-1	CARPET	150	-	-
CT-1	FLOOR TILE	PRODE GROUP 2	150	UNGLAZED 12" x 12"
CT-2	FLOOR TILE	PRODE GROUP 2	150	UNGLAZED 12" x 12"
CT-3	WALL BASE - BATHROOM	PRODE GROUP 2	150	NON-GLASS 4" x 4"
PT-1	PAINT COLOR WALLS	150	-	-
PT-2	ACCENT PAINT COLOR WALLS	150	-	-
PT-3	PAINT COLOR SHED CEILING	150	-	-
EX01H	COMPOSITE	150	-	-
VECT-1	VECT COMPOSITION TILE NON	150	-	-
WB-1	PTD WOOD BASE	1-4 NOM	-	-
WB-2	RESILIENT FLOOR BASE	4 NOM H. 100	150	-

DURKEE BROWN WERNEFELS ARCHITECTS

1100 BRIDGE STREET
NEWTON, MASSACHUSETTS 02459
TEL: 617.552.1100
WWW.DURKEEBROWN.COM

FOR REFERENCE ONLY NOT FOR CONSTRUCTION

NEWTON HISTORY MUSEUM ARCHIVES

627 WASHINGTON STREET
NEWTON, MA 02459

CITY OF NEWTON
PUBLIC BUILDINGS DEPT.
85 ELLIOT STREET
NEWTON HIGHLANDS, MA

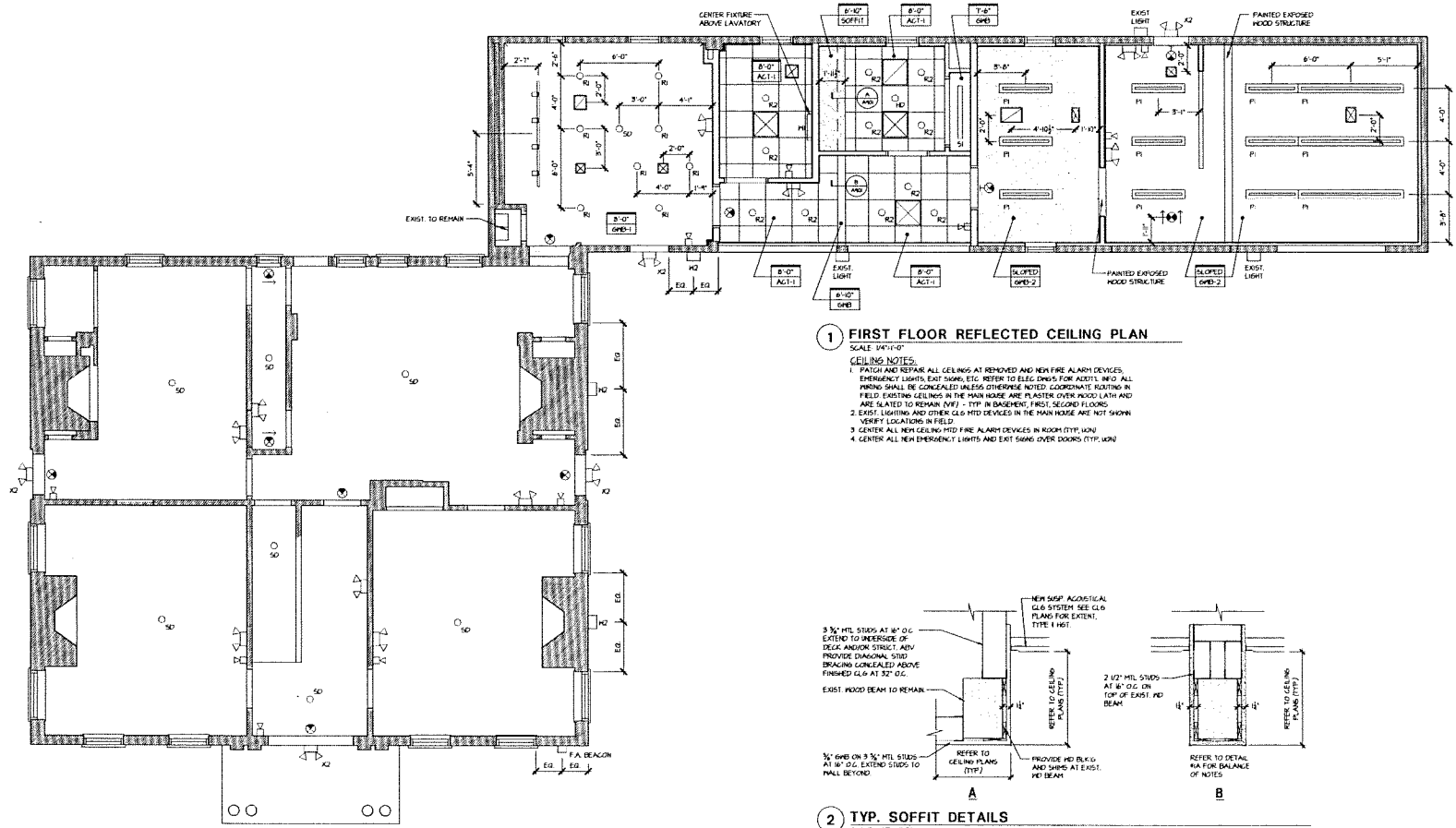
NO. DATE BY DESCRIPTION

NO.	DATE	BY	DESCRIPTION

DATE: 07/27/11
DRAWN BY: EC
JOB NO.: 0973
FILE:

DOOR & FRAME TYPES, DETAILS & SCHEDULES

FOR REFERENCE
ONLY NOT FOR
CONSTRUCTION

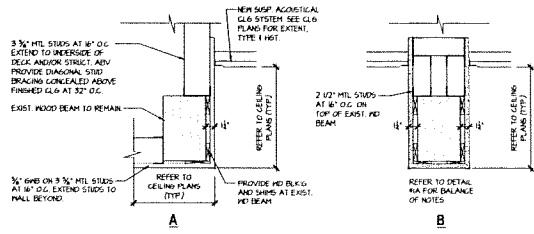


1 FIRST FLOOR REFLECTED CEILING PLAN

SCALE 1/4"=1'-0"
CEILING NOTES:
 1. PATCH AND REPAIR ALL CEILINGS AT REMOVED AND NEW FIRE ALARM DEVICES, EMERGENCY LIGHTS, EXIT SIGNS, ETC. REFER TO ELEC. DWGS FOR ADJUST. INFO. ALL FINISH SHALL BE CONCEALED UNLESS OTHERWISE NOTED. COORDINATE ROUTING IN FIELDS. EXISTING CEILINGS IN THE MAIN HOUSE ARE PLASTER OVER HOOD LATH AND ARE SLATED TO REMAIN (TYP) - TYP IN BASEMENT, FIRST, SECOND FLOORS.
 2. EXIST. LIGHTING AND OTHER CLG. MTD DEVICES IN THE MAIN HOUSE ARE NOT SHOWN. VERIFY LOCATIONS IN FIELD.
 3. CENTER ALL NEW CEILING MTD FIRE ALARM DEVICES IN ROOMS (TYP. KON).
 4. CENTER ALL NEW EMERGENCY LIGHTS AND EXIT SIGNS OVER DOORS (TYP. KON).

2 TYP. SOFFIT DETAILS

SCALE 1/2"=1'-0"



**NEWTON HISTORY
MUSEUM ARCHIVES**
 627 WASHINGTON STREET
 NEWTON, MA 02459
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 52 ELLIOT STREET
 NEWTON HIGHLANDS, MA

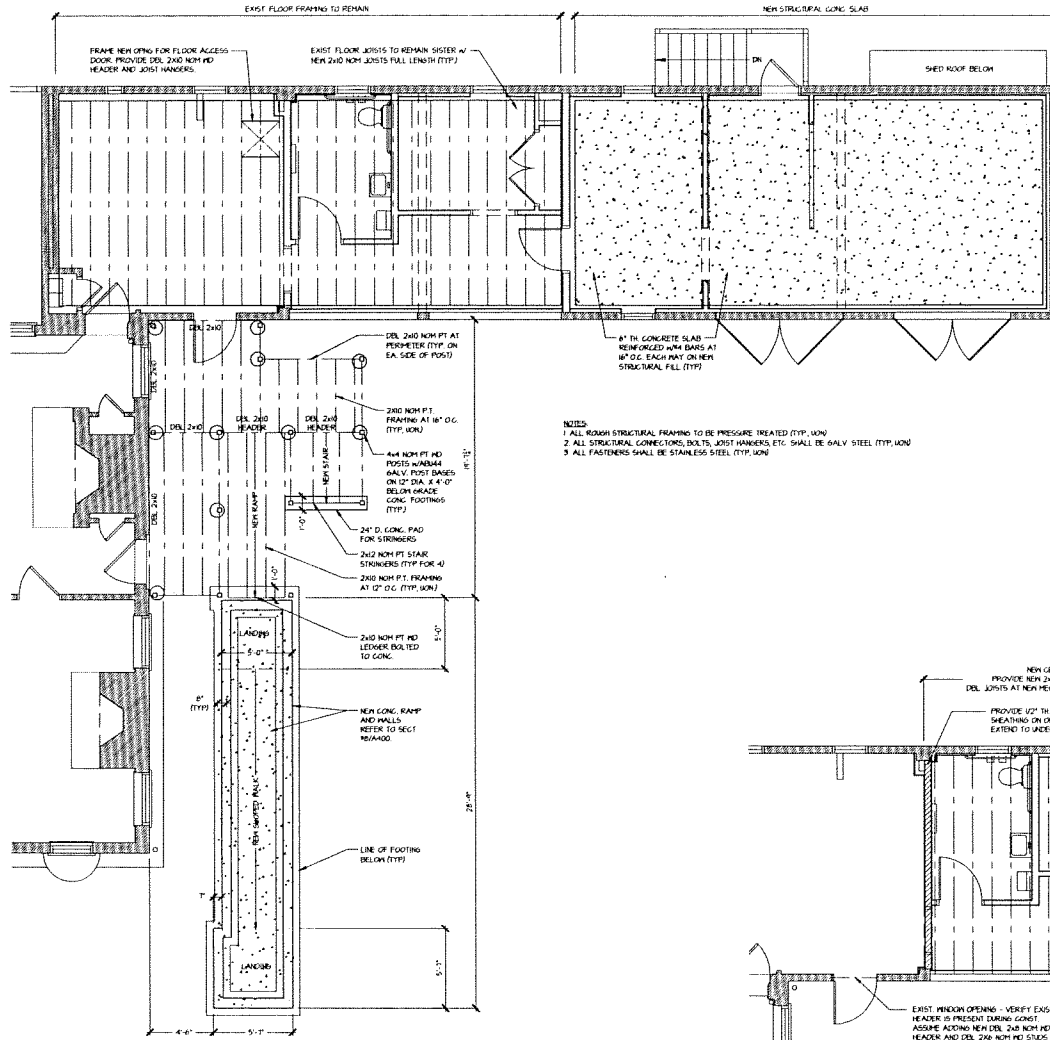
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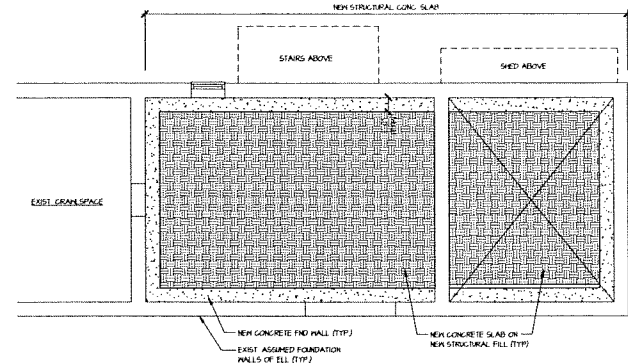
**FIRST FLOOR
REFLECTED
CEILING PLAN**
A901
 Progress for City and State Review

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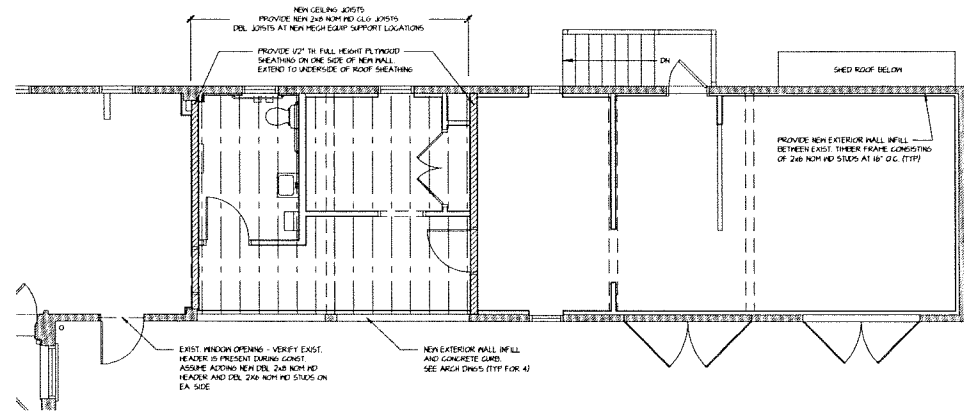


1 NEW EXTERIOR AND FIRST FLOOR FRAMING PLAN
SCALE: NTS

- NOTES:**
- 1 ALL ROUGH STRUCTURAL FRAMING TO BE PRESSURE TREATED (TYP. LON)
 - 2 ALL STRUCTURAL CONNECTIONS, BOLTS, JOIST HANGERS, ETC. SHALL BE GALV. STEEL (TYP. LON)
 - 3 ALL FASTENERS SHALL BE STAINLESS STEEL (TYP. LON)



3 ELL FOUNDATION PLAN
SCALE: NTS

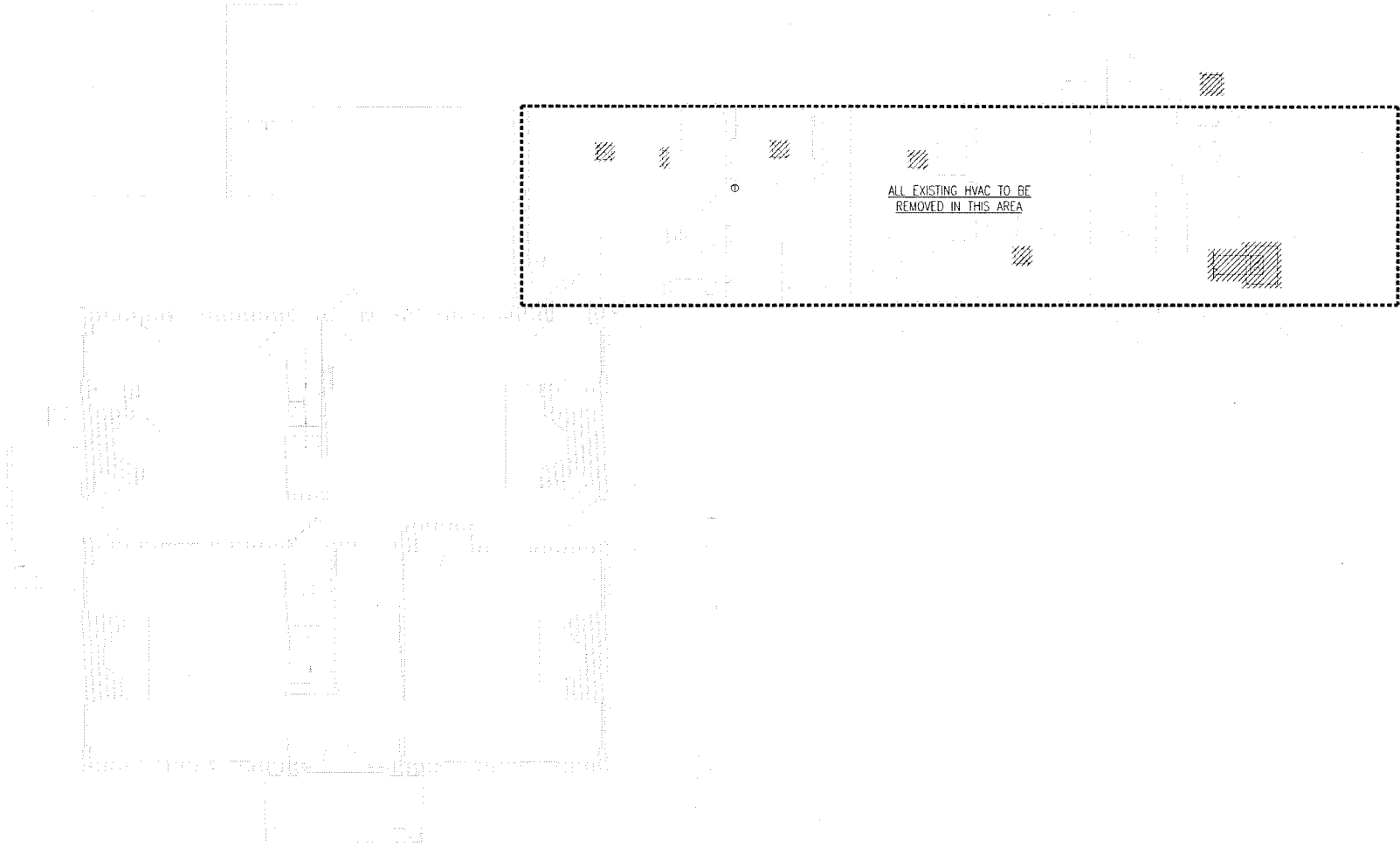


2 ELL STRUCTURAL PLAN
SCALE: NTS

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1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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JOB NO: 107
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HVAC
FIRST FLOOR
DEMOLITION PLAN
H101

Progress - AUG. 20, 2010

LIGHTING FIXTURE SCHEDULE								
FIXTURE TYPE	DESCRIPTIONS	LIGHT FIXTURE ACCEPTABLE MANUFACTURERS AND CATALOG NUMBER		LAMPS	FIXTURE TOTAL WATTAGE	MOUNTING	VOLTAGE	NOTES
		MANUFACTURER	CATALOG NUMBER					
R1	RECESSED FLUORESCENT DOWNLIGHT 6" DIA. LOW PROBECEENT BICO TRIM	SPECTRUM LIGHTING	SG6H-110EY-4861550-FA/CAD/2W	1	CFR130W/ G24Q2/835	32W	RECESSED	120V
R2	RECESSED FLUORESCENT DOWNLIGHT 6" DIA. LOW PROBECEENT	SPECTRUM LIGHTING	SG6H-110EY-4861550	1	CFR130W/ G24Q2/835	32W	RECESSED	120V
PI-4'	DIRECT/INDIRECT SUSPENDED LINEAR 4' LENGTH, DUST COVER	PRERLESS	EGS04M-212-SS8-10T1-04-120-SEB10-SCT-L-UP -S100-04-11-211-A02	2	F20W/T8/ 835	65W	PENDANT	120V
PI-12'	DIRECT/INDIRECT SUSPENDED LINEAR 12' LENGTH, DUST COVER	PRERLESS	EGS04M-212-SS8-10T1-04-120-SEB10-SCT-L-UP -S100-04-11-211-A02	6	F20W/T8/ 835	195W	PENDANT	120V
P2	3000 LOW VOLTAGE MEDIUM BOMB PENDANT QUAT. JACK MONO POINTS W/ 75W TRANSFORMER	ARAD LIGHTING	PE1-01-51W-04/1000/ W/ 75W TRANSFORMER	1	50W E	50W	SURFACE	120V/12V
S1	NARROW STRIP 4' LENGTH, WIRE GUARD	LEONORA LIGHTING	S122W/1002	1	F12W/T8/ 835	32W	SURFACE	120V
T1	LOW VOLTAGE TRACK DIMMS, TRAC 12/22, CURRENT LIMITER END FEED, 300W 300W	ARAD LIGHTING	E1410W/1410W	1	50W MR16	50W	TRACK	120V/12V
W1	BATHROOM VANITY VICTORIAN SERIES	PROGRESS LIGHTING	P3029-06	3	15W SPIRAL	45W	WALL	120V
W2	WALL PACK	LEONORA LIGHTING	W12-150W-1T-120-500W-00L	1	150W PSHM	150W	WALL	120V
X1	EXIT SIGN - LED SELF-CONTAINED, UNIVERSAL, SELF-DIAGNOSTICS	LEONORA LIGHTING	L06W30120/277/ELN-SD		LED	3W	UNIVERSAL	120V
X2	EMERGENCY REARVIEW HEAD, WEATHERPROOF	LEONORA LIGHTING	E1A-W/1000R	1	6W HALOGEN	6W	WALL	6V
EB	EMERGENCY LIGHTING UNIT DUAL HEADS, SELF-CONTAINED, SELF-DIAGNOSTICS	LEONORA LIGHTING	E1A2-SD	2	5.10W HSP10W	10W	UNIVERSAL	120V/6V

LIGHTING FIXTURE SCHEDULE GENERAL NOTES

- 1. REFER TO ARCHITECT'S REFLECTED CEILING PLANS AND ELEVATIONS FOR FINAL LOCATIONS AND MOUNTING HEIGHTS OF ALL FIXTURES.
- 2. CATALOG NUMBERS INDICATED ARE FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR FINAL FIXTURE SELECTION AND INSTALLATION. CONTRACTOR SHALL PROVIDE ALL ACCESSORIES REQUIRED FOR INSTALLATION OF LIGHT FIXTURES INCLUDING, BUT NOT LIMITED TO, BAY HANGERS, SQUARE STEM HANGERS, PENDANTS, END CAPS, CONNECTORS, MOUNTING SURFS, MOUNTING CAPS.
- 3. CEILING LIGHTING FIXTURE INSTALLATION AND TRIM NOT WITH CEILING TYPE. PROVIDE FRAME KIT AS REQUIRED TO METAL FIXTURE IN CEILING TYPE.
- 4. ALL FLUORESCENT LAMPS SHALL HAVE A MINIMUM CRI RATING OF 87.
- 5. FINAL FINISHES AND COLORS OF ALL LIGHT FIXTURES SHALL BE APPROVED BY ARCHITECT AND LIGHTING DESIGNER.
- 6. ALL FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE BY INSTEAD RIGID OR OWN. REFER TO THE SPECIFICATIONS FOR METHOD. SUPPORTING FIXTURES FROM PLANK CEILING IS NOT ALLOWED.
- 7. NUMBER OF FACES, DIRECTIONAL ARRAYS FOR EXIT SIGNS TO BE FIELD CONFIRMED.
- 8. COORDINATE AND VERIFY PENDANT LENGTHS WITH ARCHITECT PRIOR TO INSTALLATION FOR REQUIRED MOUNTING HEIGHTS OF PENDANT FIXTURES.

NEW PANELBOARD SCHEDULE									
CIRCUIT NUMBER	SERVICE DESCRIPTION	WIRING METHODS				SERVICE DESCRIPTION	CIRCUIT NUMBER		
		WIRING	CONDUCTORS	TERMINALS	PROTECTIVE DEVICES				
1	ACCU-1	50	2	1	20	1	AC-1	2	
3	LTC - GENERAL	20	1	1	20	1	SW-1	4	
5	LTC - GENERAL	20	1	1	20	1	REC	6	
7	LTC - GENERAL	20	1	1	20	1	REC	8	
9	LTC - GENERAL	20	1	1	20	1	REC	10	
11	SFANE	20	1	1	20	1	REC	12	
13	SFANE	20	1	1	20	1	REC	14	
15	SFANE	20	1	1	20	1	REC	16	
17	SFANE	20	1	1	20	1	REC	18	
19	SFANE	20	1	1	20	1	SFANE	20	
21	SFANE	20	1	1	20	1	SFANE	22	
23	SFANE	20	1	1	20	1	SFANE	24	

BRANCH CIRCUIT SCHEDULE	
CIRCUIT BREAKER	CONDUCTORS
120 VOLT & 277 VOLT 1Ø, 2W, CIRCUITS	
30A-1P	2#10 & 1#10G - 3/4" C.
40A-1P	2#8 & 1#10G - 3/4" C.
50A-1P	2#6 & 1#10G - 3/4" C.
60A-1P	2#4 & 1#10G - 3/4" C.
208 VOLT & 480 VOLT 1Ø, 2W, CIRCUITS	
20A-2P	2#12 & 1#10G - 3/4" C.
30A-2P	2#10 & 1#10G - 3/4" C.
40A-2P	2#8 & 1#10G - 3/4" C.
50A-2P	2#6 & 1#10G - 3/4" C.
60A-2P	2#4 & 1#10G - 3/4" C.
120/208 VOLT & 277/480 VOLT 1Ø, 3W, CIRCUITS (N INDICATES TO PROVIDE (2) PHASE CONDUCTORS & (1) NEUTRAL CONDUCTOR IN 1Ø CIRCUITS)	
20A-3P+N	3#12 & 1#10G - 3/4" C.
30A-3P+N	3#10 & 1#10G - 3/4" C.
40A-3P+N	3#8 & 1#10G - 3/4" C.
50A-3P+N	3#6 & 1#10G - 3/4" C.
60A-3P+N	3#4 & 1#10G - 3/4" C.
208 VOLT & 480 VOLT 3Ø, 3W, CIRCUITS	
20A-3P	3#12 & 1#10G - 3/4" C.
30A-3P	3#10 & 1#10G - 3/4" C.
40A-3P	3#8 & 1#10G - 3/4" C.
50A-3P	3#6 & 1#10G - 3/4" C.
60A-3P	3#4 & 1#10G - 3/4" C.

WIRING METHODS	
REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION	
NORMAL SYSTEM FEEDERS	1ØWH/2ØWH-2 CONDUCTORS IN EMT
NORMAL BRANCH CIRCUITS	1ØWH/2ØWH/3ØWH-2 CONDUCTORS IN EMT OR MC CABLE
FIRE ALARM SYSTEM CIRCUIT WIRING	CONDUCTOR TYPE PER FIRE ALARM MANUFACTURER'S REQUIREMENTS. CONDUCTORS IN EMT OR MC CABLE
LOW VOLTAGE SYSTEM (TELEPHONE, DATA, AND DATA) WIRING	BY OWNER'S VENDOR - CABLES SHALL BE PLENUM RATED

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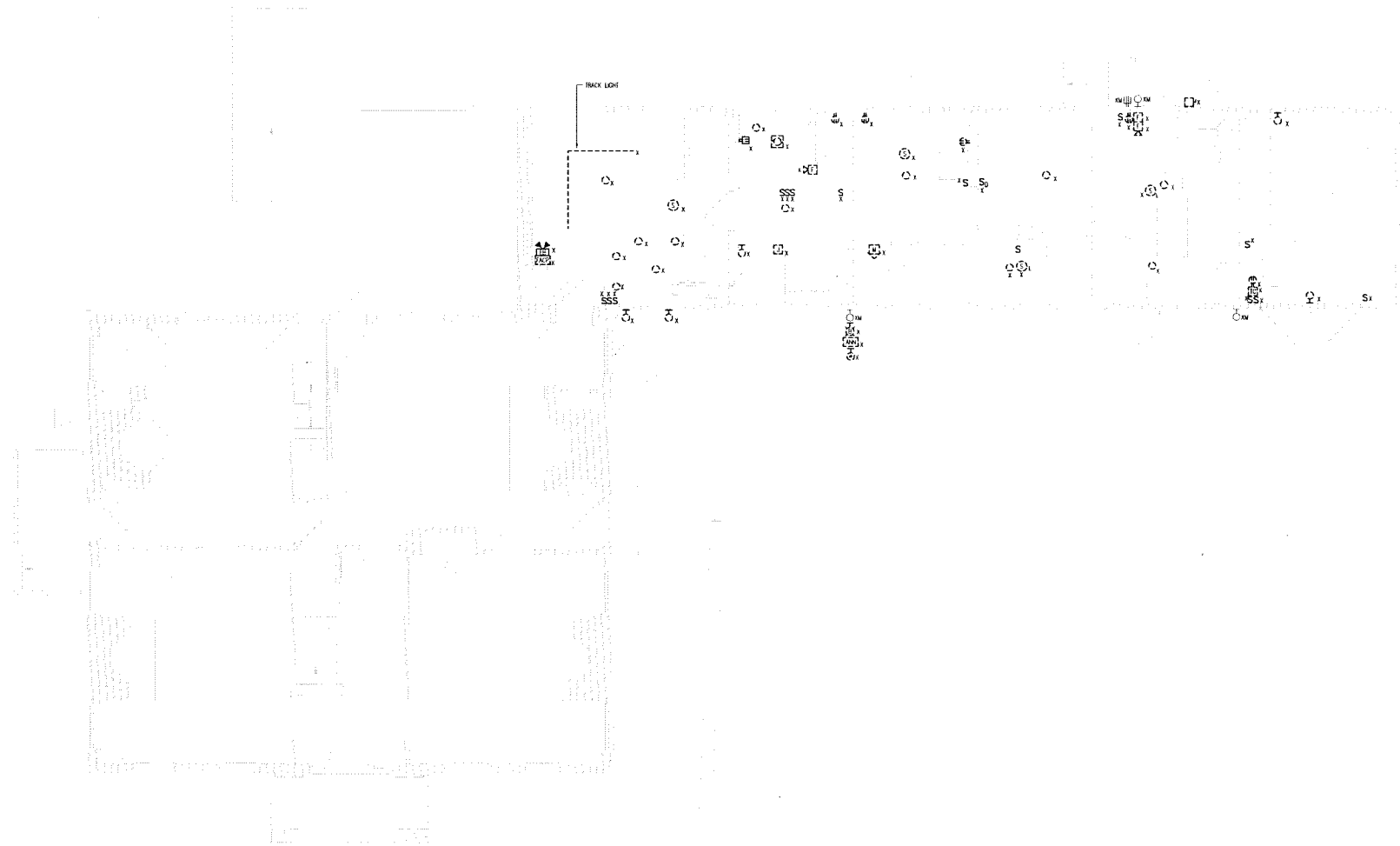
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FILE: _____

ELECTRICAL SCHEDULES

E001

Progress - AUG 20, 2010



1 FIRST FLOOR ELECTRICAL DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

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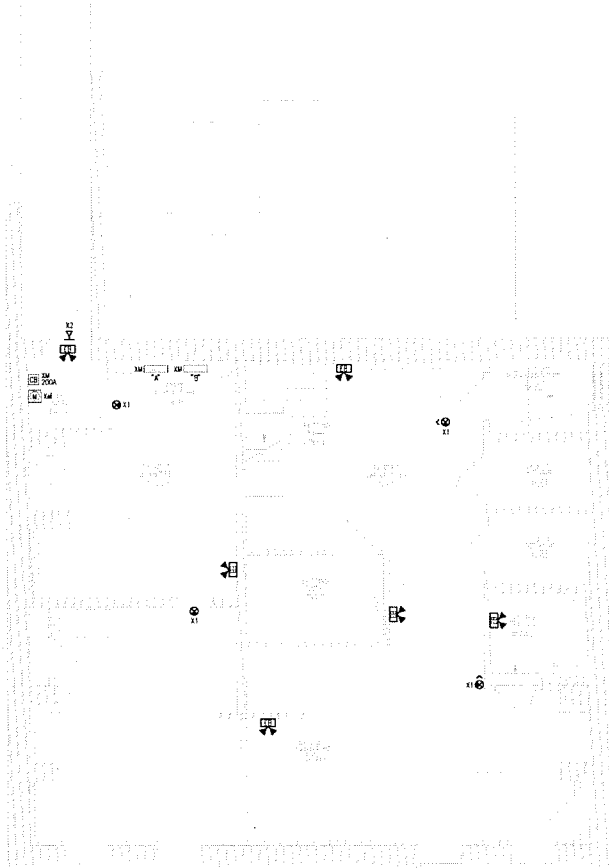
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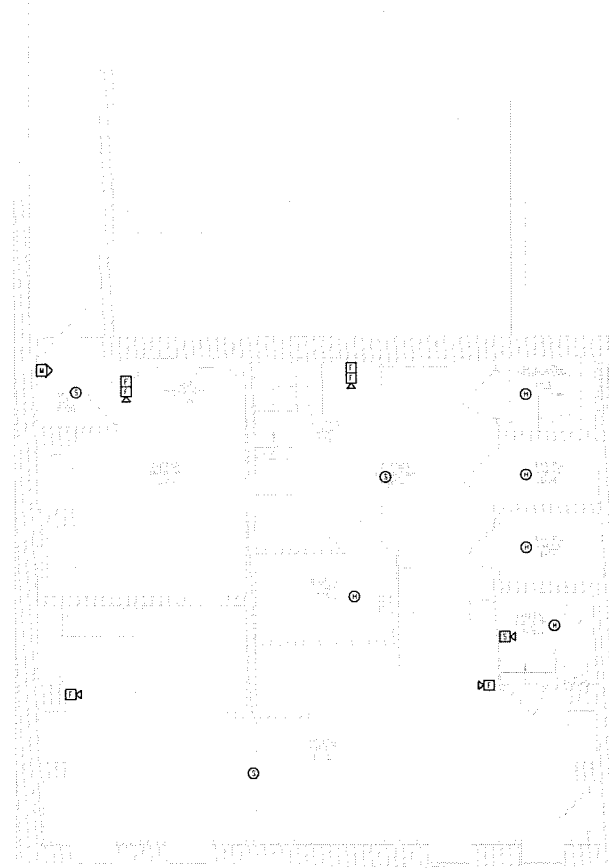
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**ELECTRICAL
FIRST FLOOR
DEMOLITION PLAN
E101**

Progress: AUG. 26 2010



1 BASEMENT ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



2 BASEMENT FIRE ALARM PLAN
SCALE: 1/4" = 1'-0"

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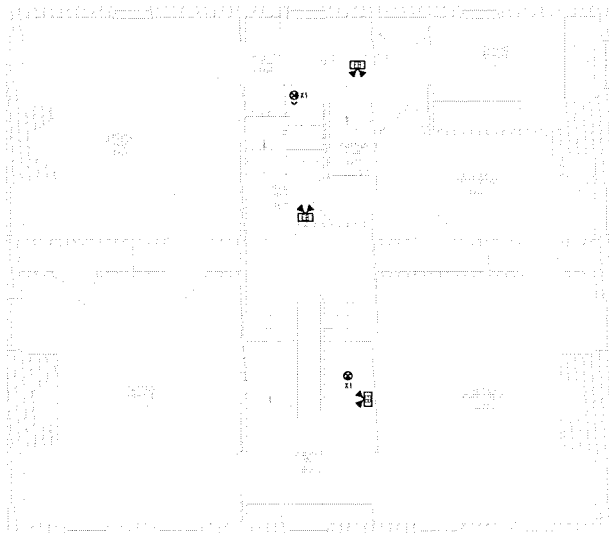


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**BASEMENT
ELEC & FA PLAN
E200**
Progress - AUG 29 2010



1 SECOND FLOOR ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



2 SECOND FLOOR FIRE ALARM PLAN
SCALE 1/4" = 1'-0"

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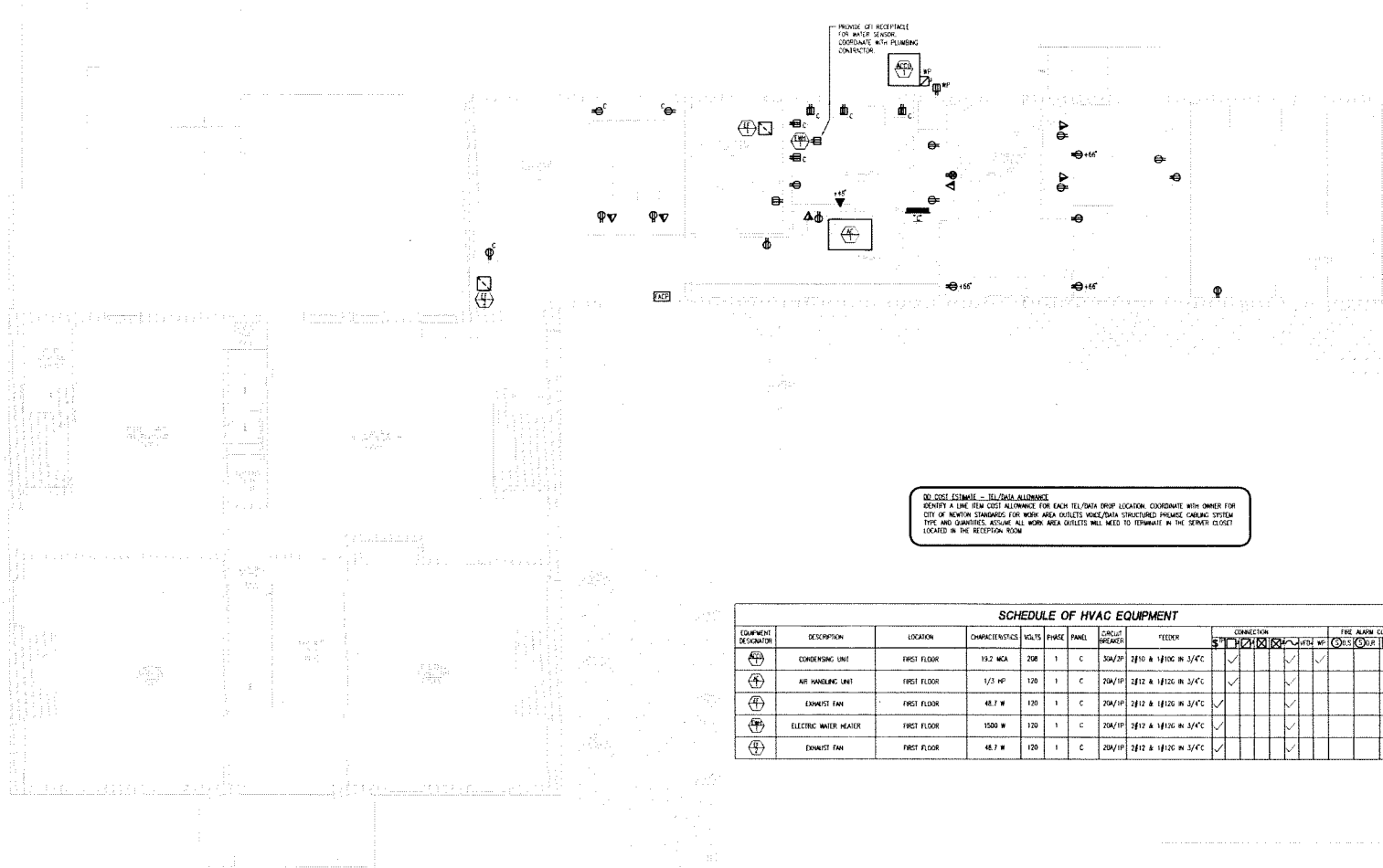
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**SECOND FLOOR
ELEC & FA PLAN**

E202

Progress - AUG 20, 2010



DO COST ESTIMATE - SEE DATA ALLOWANCE
 IDENTIFY A LINE ITEM COST ALLOWANCE FOR EACH TELE/DATA DROP LOCATION COORDINATE WITH OWNER FOR
 TYPE AND QUANTITIES. ASSUME ALL WORK AREA OUTLETS WILL NEED TO TERMINATE IN THE SERVICE CLOSET
 LOCATED IN THE RECEPTION ROOM

SCHEDULE OF HVAC EQUIPMENT

EQUIPMENT DESIGNATOR	DESCRIPTION	LOCATION	CHARACTERISTICS	VOLTS	PHASE	PANEL	CIRCUIT BREAKER	FEEDER	CONNECTION				FIRE ALARM CONNECTION				REMARKS	
									5	7	10	15	20	25	30	35		40
⊕	CONDENSING UNIT	FIRST FLOOR	15.2 MCA	208	1	C	30A/1P	2#10 & 1#10C IN 3/4" C	✓									
⊕	AIR HANDLING UNIT	FIRST FLOOR	1/3 HP	120	1	C	20A/1P	2#12 & 1#12C IN 3/4" C	✓									
⊕	EXHAUST FAN	FIRST FLOOR	48.7 W	120	1	C	20A/1P	2#12 & 1#12C IN 3/4" C	✓									
⊕	ELECTRIC WATER HEATER	FIRST FLOOR	1500 W	120	1	C	20A/1P	2#12 & 1#12C IN 3/4" C	✓									
⊕	EXHAUST FAN	FIRST FLOOR	48.7 W	120	1	C	20A/1P	2#12 & 1#12C IN 3/4" C	✓									

1 FIRST FLOOR POWER PLAN
 SCALE: 1/4" = 1'-0"

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 www.rws-engineering.com

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 FILE: _____

**FIRST FLOOR
 POWER PLAN
 E301**

Progress - AUG 20, 2010



1 FIRST FLOOR FIRE ALARM PLAN
SCALE: 1/4" = 1'-0"

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f 401 531 1949 PROVIDENCE, RI 02903
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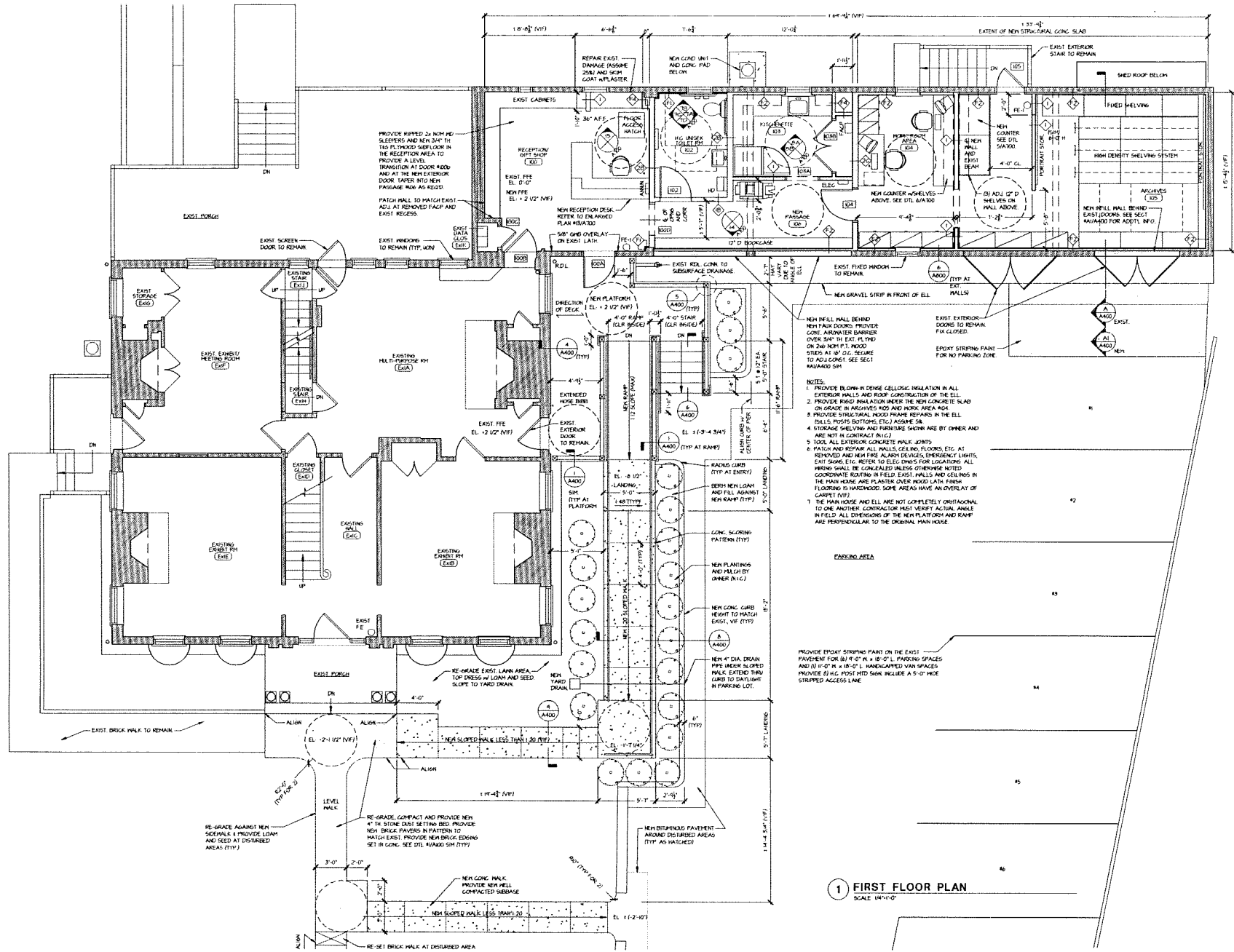
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FILE: _____

**FIRST FLOOR
FIRE ALARM PLAN
E401**
Progress - AUG. 20, 2010



NOTES:

1. PROVIDE BLOWN IN DENSE GELLOSSIC INSULATION IN ALL EXTERIOR WALLS AND ROOF CONSTRUCTION OF THE ELL.
2. PROVIDE RIGID INSULATION UNDER THE NEW CONCRETE SLAB ON GRADE IN ARGOVES HOOD AND WORK AREA. RIG.
3. PROVIDE STRUCTURAL WOOD FRAMING REPAIRS IN THE ELL (SILLS, POSTS BOTTOMS, ETC.) ASSUME 5R.
4. STORAGE SHELVING AND FIXTURES SHOWN ARE BY OTHER AND ARE NOT IN CONTRACT (N.I.C.).
5. T.O.O. ALL EXTERIOR CONCRETE WALK JOISTS.
6. PATCH AND REPAIR ALL WALLS, CEILING FLOORS, ETC. AT REMOVED AND NEW FIRE ALARM DEVICES, EMERGENCY LIGHTS, EXIST. SMOKE EXHAUSTERS TO ELECTRICAL LOCATIONS. ALL FINISH SHALL BE CONCEALED UNLESS OTHERWISE NOTED.
7. COORDINATE SCOTTING IN FIELD EXIST. WALLS AND CEILING IN THE MAIN HOUSE ARE PLASTER OVER ROUGH LATH FINISH FLOORING IS HARDWOOD. SOME AREAS HAVE AN OVERLAY OF CARPET (TYP.).
8. THE MAIN HOUSE AND ELL ARE NOT COMPLETELY ORTHOGONAL TO ONE ANOTHER. CONTRACTOR MUST VERIFY ACTUAL ANGLE IN FIELD. ALL DIMENSIONS OF THE NEW PLATFORM AND RAMP ARE PERPENDICULAR TO THE ORIGINAL MAIN HOUSE.

PARKING AREA

PROVIDE EPOXY STRIPING PAINT ON THE EXIST PAVEMENT FOR 8'-0" WIDE x 18'-0" L. PARKING SPACES AND 12'-0" WIDE x 18'-0" L. HANDICAPPED VAN SPACES. PROVIDE 6" HIG. 100% HTD SIGN INCLUDE A 5'-0" WIDE STRIPED ACCESS LANE.

1 FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

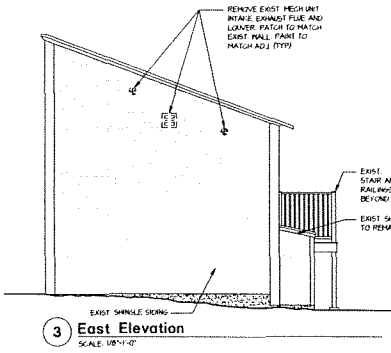
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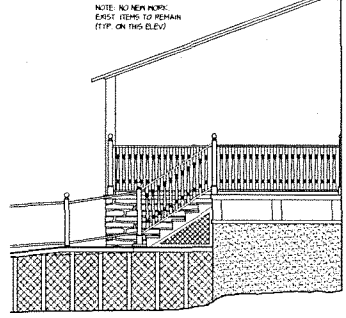
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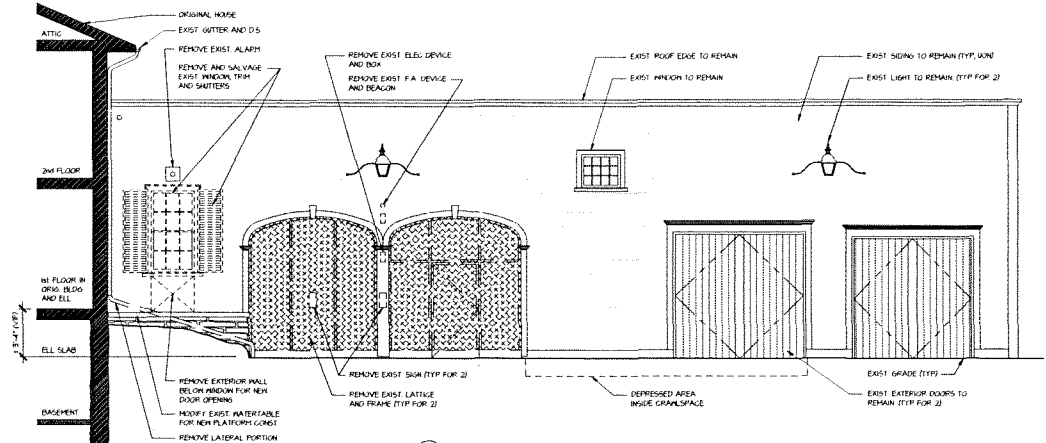
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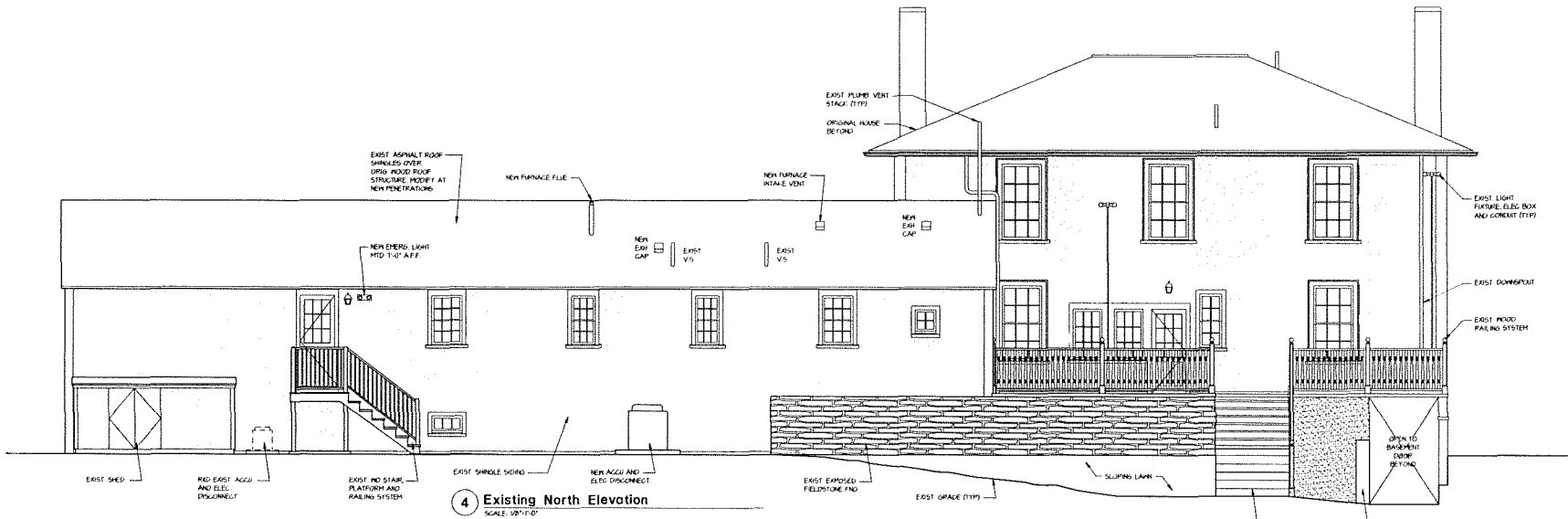
3 East Elevation
SCALE: 1/8"=1'-0"



2 Existing West Elevation
SCALE: 1/8"=1'-0"



1 Existing South Elevation
SCALE: 1/8"=1'-0"



4 Existing North Elevation
SCALE: 1/8"=1'-0"

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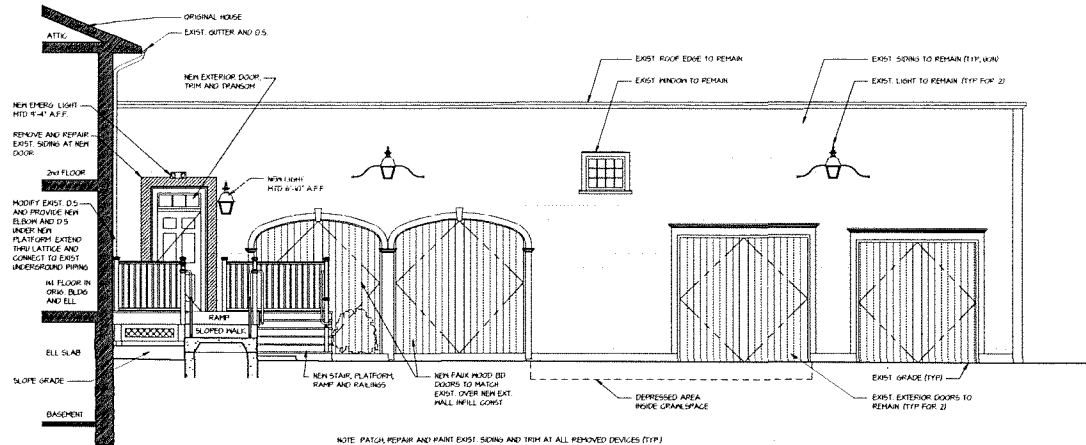
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**EXTERIOR
ELEVATIONS**

A300

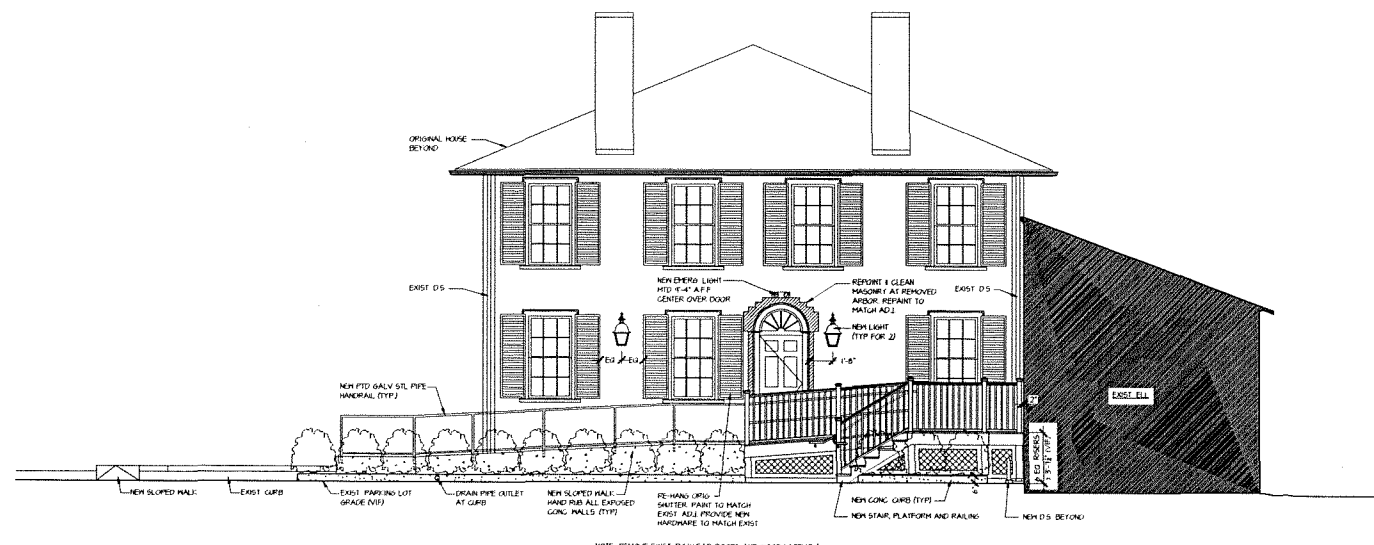
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NOTE: PATCH REPAIR AND PAINT EXIST. SINGL. AND TRIM AT ALL REMOVED DEVICES (TYP)

1 NEW PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NOTE: REMOVE EXIST. BULK-HEAD DOORS AND WOOD LATTICE / ARCH. AROUND ENTRY (NOT SHOWN FOR CLARITY)

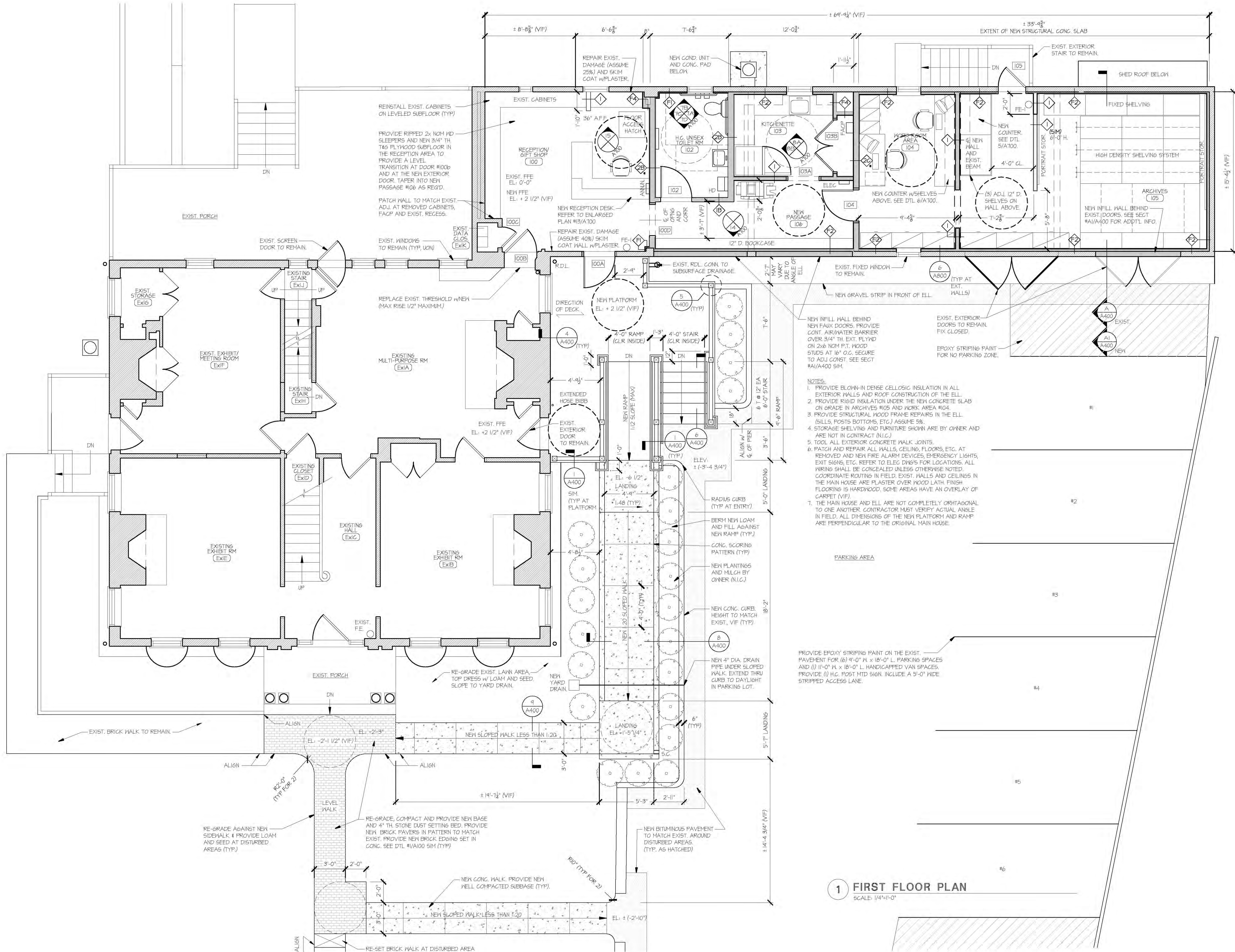
2 NEW PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

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NO.	DATE	BY	DESCRIPTION

DATE: 07/22/11
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- NOTES:**
1. PROVIDE BLOW-IN DENSE CELLULOSIC INSULATION IN ALL EXTERIOR WALLS AND ROOF CONSTRUCTION OF THE ELL.
 2. PROVIDE RIGID INSULATION UNDER THE NEW CONCRETE SLAB ON GRADE IN ARCHIVES #105 AND WORK AREA #104.
 3. PROVIDE STRUCTURAL WOOD FRAME REPAIRS IN THE ELL. (SILLS, POSTS BOTTOMS, ETC.) ASSUME 5#.
 4. STORAGE SHELVING AND FURNITURE SHOWN ARE BY OWNER AND ARE NOT IN CONTRACT (N.I.C.).
 5. TOOL ALL EXTERIOR CONCRETE WALK JOINTS.
 6. PATCH AND REPAIR ALL WALLS, CEILING, FLOORS, ETC. AT REMOVED AND NEW FIRE ALARM DEVICES, EMERGENCY LIGHTS, EXIT SIGNS, ETC. REFER TO ELEC DWGS FOR LOCATIONS. ALL WIRING SHALL BE CONCEALED UNLESS OTHERWISE NOTED. COORDINATE ROUTING IN FIELD. EXIST. WALLS AND CEILINGS IN THE MAIN HOUSE ARE PLASTER OVER WOOD LATH. FINISH FLOORING IS HARDWOOD. SOME AREAS HAVE AN OVERLAY OF CARPET (VIF).
 7. THE MAIN HOUSE AND ELL ARE NOT COMPLETELY ORTHOGONAL TO ONE ANOTHER. CONTRACTOR MUST VERIFY ACTUAL ANGLE IN FIELD. ALL DIMENSIONS OF THE NEW PLATFORM AND RAMP ARE PERPENDICULAR TO THE ORIGINAL MAIN HOUSE.

1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

**NEWTON HISTORY
MUSEUM ARCHIVES**

527 WASHINGTON STREET
NEWTON, MA 02461

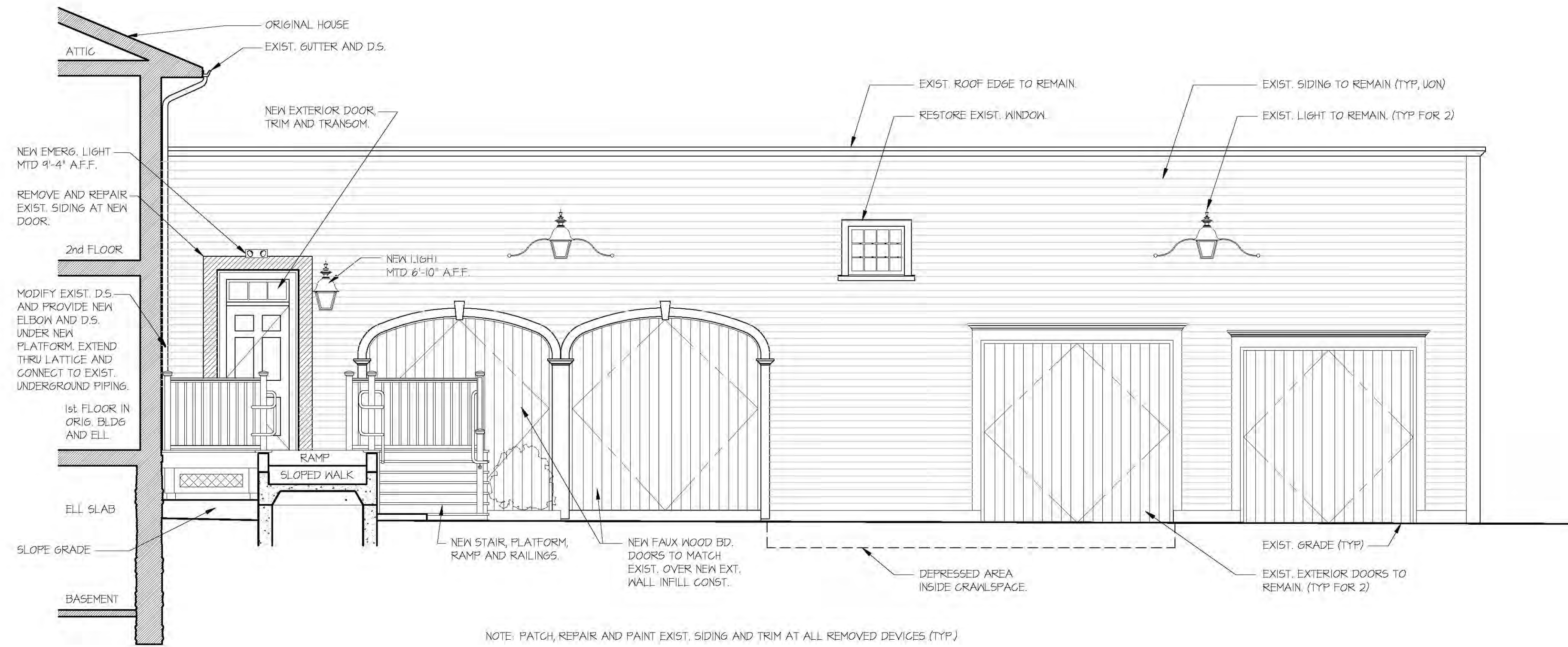
CITY OF NEWTON
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52 ELLIOT STREET
NEWTON HIGHLANDS, MA

NO	DATE	BY	DESCRIPTION
1	8/29/11	EC	HDC COMMENTS

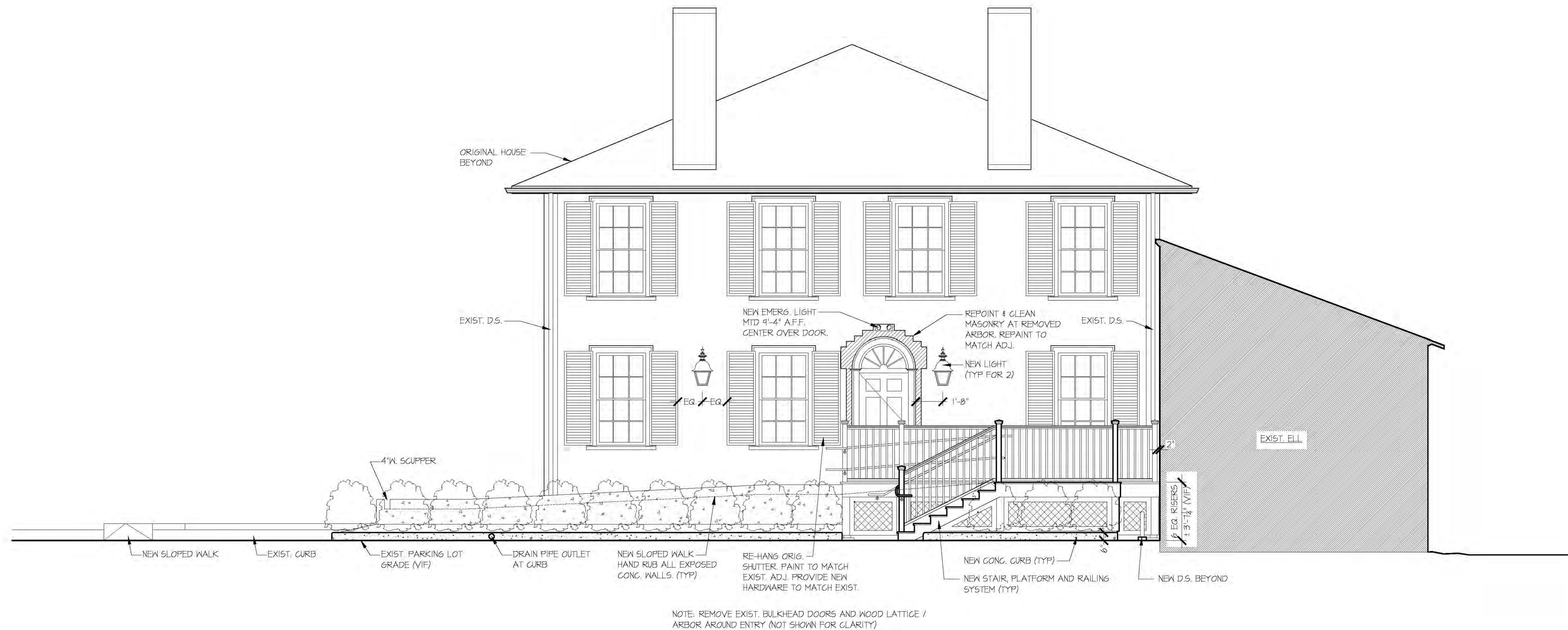
DATE: 07/27/11
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JOB NO.: 0927
FILE:

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NOTE: PATCH, REPAIR AND PAINT EXIST. SIDING AND TRIM AT ALL REMOVED DEVICES (TYP.)

1 NEW PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"



NOTE: REMOVE EXIST. BULKHEAD DOORS AND WOOD LATTICE / ARBOR AROUND ENTRY (NOT SHOWN FOR CLARITY)

2 NEW PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

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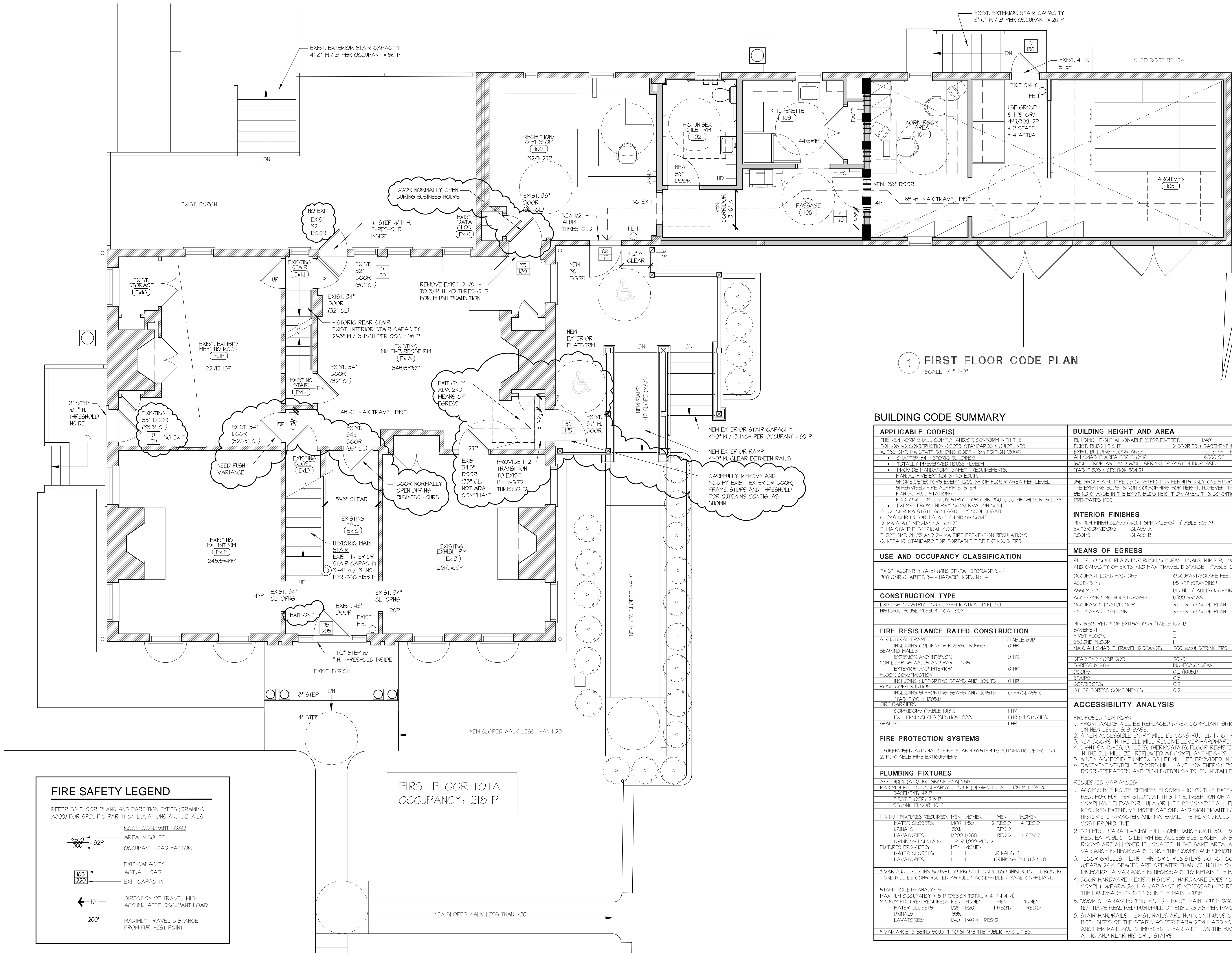
NO	DATE	BY	DESCRIPTION
1	8/29/11	EG	HDC COMMENTS

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FILE:

**EXTERIOR
ELEVATIONS
II
A301**

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1 FIRST FLOOR CODE PLAN
SCALE: 1/4"=1'-0"

FIRST FLOOR TOTAL
OCCUPANCY: 218 P

FIRE SAFETY LEGEND

REFER TO FLOOR PLANS AND PARTITION TYPES (DRAWING A800) FOR SPECIFIC PARTITION LOCATIONS AND DETAILS

4500	AREA IN SQ. FT.
300	OCCUPANT LOAD FACTOR
165	EXIT CAPACITY
220	ACTUAL LOAD
220	EXIT CAPACITY
← B	DIRECTION OF TRAVEL WITH ACCUMULATED OCCUPANT LOAD
200'	MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT

BUILDING CODE SUMMARY

<p>APPLICABLE CODE(S)</p> <p>THE NEW WORK SHALL COMPLY AND/OR CONFORM WITH THE FOLLOWING CONSTRUCTION CODES, STANDARDS & GUIDELINES:</p> <p>A. 180 CMR MA STATE BUILDING CODE - 8th EDITION (2009)</p> <ul style="list-style-type: none"> CHAPTER 34 HISTORIC BUILDINGS <ul style="list-style-type: none"> TOTALLY PRESERVED HOUSE MUSEUM PROVIDE MANDATORY SAFETY REQUIREMENTS. MANUAL FIRE EXTINGUISHING EQUIP. SMOKE DETECTORS EVERY 1200 SF OF FLOOR AREA PER LEVEL SUPERVISED FIRE ALARM SYSTEM MANUAL PULL STATIONS MAX. OCC. LIMITED BY STRUCT. OR CMR 180.10.00 WHICHEVER IS LESS. EXEMPT FROM ENERGY CONSERVATION CODE. <p>B. 521 CMR MA STATE ACCESSIBILITY CODE (MAAB)</p> <p>C. 248 CMR UNIFORM STATE PLUMBING CODE</p> <p>D. MA STATE MECHANICAL CODE</p> <p>E. MA STATE ELECTRICAL CODE</p> <p>F. 521 CMR 21.23 AND 24 MA FIRE PREVENTION REGULATIONS</p> <p>G. NFPA 10, STANDARD FOR PORTABLE FIRE EXTINGUISHERS</p>	<p>BUILDING HEIGHT AND AREA</p> <p>BUILDING HEIGHT ALLOWABLE (STORIES/FEET) 1/40'</p> <p>EXIST. BLDG HEIGHT 2 STORIES + BASEMENT (UNCHANGED)</p> <p>EXIST. BUILDING FLOOR AREA 9,228 SF - 181 FL.</p> <p>ALLOWABLE AREA PER FLOOR 4,000 SF (W/O FRONTAGE AND W/O SPRINKLER SYSTEM INCREASE) (TABLE 503 & SECTION 504.2)</p> <p>USE GROUP A-3, TYPE 5B CONSTRUCTION PERMITS ONLY ONE STORY IN HEIGHT. THE EXISTING BLDG IS NON-COMPLYING FOR HEIGHT. HOWEVER, THERE WILL BE NO CHANGE IN THE EXIST. BLDG HEIGHT OR AREA. THIS CONDITION PRE-DATE 1800.</p>																																																				
<p>USE AND OCCUPANCY CLASSIFICATION</p> <p>EXIST. ASSEMBLY (A-3) W/ INCIDENTAL STORAGE (S-1)</p> <p>180 CMR CHAPTER 34 - HAZARD INDEX NO. 4</p>	<p>INTERIOR FINISHES</p> <p>MINIMUM FINISH CLASS (W/O SPRINKLERS) - (TABLE 803.4)</p> <p>EXITS/CORRIDORS: CLASS A</p> <p>ROOMS: CLASS B</p>																																																				
<p>CONSTRUCTION TYPE</p> <p>EXISTING CONSTRUCTION CLASSIFICATION: TYPE 5B</p> <p>HISTORIC HOUSE MUSEUM - CA 1801</p>	<p>MEANS OF EGRESS</p> <p>REFER TO CODE PLANS FOR ROOM OCCUPANT LOADS, NUMBER, LOCATION AND CAPACITY OF EXITS, AND MAX. TRAVEL DISTANCE - (TABLE 1004.4.1)</p> <p>OCCUPANT LOAD FACTORS: OCCUPANT/SQUARE FEET</p> <p>ASSEMBLY: 1/5 NET (STANDING)</p> <p>ASSEMBLY: 1/5 NET (SEATING & CHAIRS)</p> <p>ACCESSORY MECH & STORAGE: 1/300 GROSS</p> <p>OCCUPANCY LOAD/FLOOR: REFER TO CODE PLAN</p> <p>EXIT CAPACITY/FLOOR: REFER TO CODE PLAN</p>																																																				
<p>FIRE RESISTANCE RATED CONSTRUCTION</p> <p>STRUCTURAL FRAME (TABLE 601) 0 HR</p> <p>INCLUDING COLUMNS, GIRDERS, TRUSSES 0 HR</p> <p>BEARING WALLS 0 HR</p> <p>EXTERIOR AND INTERIOR 0 HR</p> <p>NON-BEARING WALLS AND PARTITIONS 0 HR</p> <p>EXTERIOR AND INTERIOR 0 HR</p> <p>FLOOR CONSTRUCTION 0 HR</p> <p>INCLUDING SUPPORTING BEAMS AND JOISTS 0 HR</p> <p>ROOF CONSTRUCTION 0 HR</p> <p>INCLUDING SUPPORTING BEAMS AND JOISTS 0 HR CLASS C</p> <p>(TABLE 601 & 1505.1)</p> <p>FIRE BARRIERS</p> <p>CORRIDORS (TABLE 1010.1) 1 HR</p> <p>EXIT ENCLOSURES (SECTION 1022) 1 HR (4 STORIES)</p> <p>SHAFTS: 1 HR</p>	<p>ACCESSIBILITY ANALYSIS</p> <p>PROPOSED NEW WORK:</p> <ol style="list-style-type: none"> FRONT WALKS WILL BE REPLACED W/ NEW COMPLIANT BRICK SET ON NEW LEVEL SUB-BASE. A NEW ACCESSIBLE ENTRY WILL BE CONSTRUCTED INTO THE ELL. NEW DOORS IN THE ELL WILL RECEIVE LEVER HARDWARE. LIGHT SWITCHES, OUTLETS, THERMOSTATS, FLOOR REGISTERS, ETC. IN THE ELL WILL BE REPLACED AT COMPLIANT HEIGHTS. A NEW ACCESSIBLE UNISEX TOILET WILL BE PROVIDED IN THE ELL. BASEMENT VESTIBULE DOORS WILL HAVE LOW ENERGY POWER DOOR OPERATORS AND PUSH BUTTON SWITCHES INSTALLED. <p>REQUESTED VARIANCES:</p> <ol style="list-style-type: none"> ACCESSIBLE ROUTE BETWEEN FLOORS - 10 YR TIME EXTENSION IS REQ. FOR FURTHER STUDY. AT THIS TIME, INSERTION OF A COMPLIANT ELEVATOR, LULA OR LIFT TO CONNECT ALL FLOORS REQUIRES EXTENSIVE MODIFICATIONS AND SIGNIFICANT LOSS OF HISTORIC CHARACTER AND MATERIAL. THE WORK WOULD ALSO BE COST PROHIBITIVE. TOILETS - PARA 114 REQ. FULL COMPLIANCE W/ CH. 30, PARA 30.1 REG. EA. PUBLIC TOILET RM WILL BE ACCESSIBLE EXCEPT UNISEX ROOMS ARE ALLOWED IF LOCATED IN THE SAME AREA. A VARIANCE IS NECESSARY SINCE THE ROOMS ARE REMOTE. FLOOR GRILLES - EXIST. HISTORIC REGISTERS DO NOT COMPLY W/ PARA 214.4. SPACES ARE GREATER THAN 1/2 INCH IN ONE DIRECTION. A VARIANCE IS NECESSARY TO RETAIN THE EXISTING. DOOR HARDWARE - EXIST. HISTORIC HARDWARE DOES NOT COMPLY W/ PARA 26.11. A VARIANCE IS NECESSARY TO RETAIN THE HARDWARE ON DOORS IN THE MAIN HOUSE. DOOR CLEARANCES (PUSH/PULL) - EXIST. MAIN HOUSE DOORS DO NOT HAVE REQUIRED PUSH/PULL DIMENSIONS AS PER PARA 26. STAIR HANDRAILS - EXIST. RAILS ARE NOT CONTINUOUS OR ON BOTH SIDES OF THE STAIRS AS PER PARA 214.1. ADDING ANOTHER RAIL WOULD IMPEDED CLEAR WIDTH ON THE BASEMENT, ATTIC AND REAR HISTORIC STAIRS. 																																																				
<p>FIRE PROTECTION SYSTEMS</p> <ol style="list-style-type: none"> SUPERVISED AUTOMATIC FIRE ALARM SYSTEM W/ AUTOMATIC DETECTION. PORTABLE FIRE EXTINGUISHERS. 																																																					
<p>PLUMBING FIXTURES</p> <p>ASSEMBLY (A-3) USE GROUP ANALYSIS</p> <p>MAXIMUM PUBLIC OCCUPANCY = 211 P (DESIGN TOTAL = 181 M & 134 W)</p> <p>BASEMENT: 44 P</p> <p>FIRST FLOOR: 218 P</p> <p>SECOND FLOOR: 10 P</p> <table border="1"> <tr> <td>MINIMUM FIXTURES REQUIRED:</td> <td>MEN</td> <td>WOMEN</td> <td>MEN</td> <td>WOMEN</td> </tr> <tr> <td>WATER CLOSETS:</td> <td>1/00</td> <td>1/50</td> <td>2 REQ'D</td> <td>4 REQ'D</td> </tr> <tr> <td>URINALS:</td> <td>50%</td> <td></td> <td>1 REQ'D</td> <td></td> </tr> <tr> <td>LAVATORIES:</td> <td>1/200</td> <td>1/200</td> <td>1 REQ'D</td> <td>1 REQ'D</td> </tr> <tr> <td>DRINKING FOUNTAIN:</td> <td colspan="4">1 PER 1000 REQ'D</td> </tr> <tr> <td>FIXTURES PROVIDED:</td> <td>MEN</td> <td>WOMEN</td> <td>MEN</td> <td>WOMEN</td> </tr> <tr> <td>WATER CLOSETS:</td> <td>1</td> <td>1</td> <td>URINALS: 0</td> <td></td> </tr> <tr> <td>LAVATORIES:</td> <td>1</td> <td>1</td> <td>DRINKING FOUNTAIN: 0</td> <td></td> </tr> </table> <p>* VARIANCE IS BEING SOUGHT TO PROVIDE ONLY TWO UNISEX TOILET ROOMS. ONE WILL BE CONSTRUCTED AS FULLY ACCESSIBLE / MAAB COMPLIANT.</p> <p>STAFF TOILETS ANALYSIS:</p> <p>MAXIMUM OCCUPANCY = 8 P (DESIGN TOTAL = 4 M & 4 W)</p> <table border="1"> <tr> <td>MINIMUM FIXTURES REQUIRED:</td> <td>MEN</td> <td>WOMEN</td> </tr> <tr> <td>WATER CLOSETS:</td> <td>1/25</td> <td>1/20</td> </tr> <tr> <td>URINALS:</td> <td>33%</td> <td></td> </tr> <tr> <td>LAVATORIES:</td> <td>1/40</td> <td>1/40 = 1 REQ'D</td> </tr> </table> <p>* VARIANCE IS BEING SOUGHT TO SHARE THE PUBLIC FACILITIES.</p>	MINIMUM FIXTURES REQUIRED:	MEN	WOMEN	MEN	WOMEN	WATER CLOSETS:	1/00	1/50	2 REQ'D	4 REQ'D	URINALS:	50%		1 REQ'D		LAVATORIES:	1/200	1/200	1 REQ'D	1 REQ'D	DRINKING FOUNTAIN:	1 PER 1000 REQ'D				FIXTURES PROVIDED:	MEN	WOMEN	MEN	WOMEN	WATER CLOSETS:	1	1	URINALS: 0		LAVATORIES:	1	1	DRINKING FOUNTAIN: 0		MINIMUM FIXTURES REQUIRED:	MEN	WOMEN	WATER CLOSETS:	1/25	1/20	URINALS:	33%		LAVATORIES:	1/40	1/40 = 1 REQ'D	
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NEWTON HIGHLANDS, MA

NO	DATE	BY	DESCRIPTION
1		EC	MAAB REVIEW

DATE: 01/20/12
DRAWN BY: EC
JOB NO.: 0921
FILE:

**FIRST FLOOR
CODE PLAN
A010**

MAAB Revision

