

## Museum Archives, Accessibility & Fire Protection SUPPLEMENTAL PROPOSAL

- ♦ \$742,345 CPA funds appropriated to date
- ♦ \$400,000 requested additional CPA funding



**Project page on CPC website** (project history, 3 pp):

[www.newtonma.gov/gov/planning/cpa/projects/museum.asp#Museum-Archives](http://www.newtonma.gov/gov/planning/cpa/projects/museum.asp#Museum-Archives)

**Proposal & Attachments** (posted online as one file)

- ♦ Cover letters from City of Newton Public Buildings Dept. & Historic Newton \*\* (2 pp)
- ♦ Proposal (4 pp) and updated project budget (1 p)
- ♦ Jackson Homestead\*\* Trustees October 2014 vote to apply City of Newton dedicated fund to fundraising requirements in 2013 CPC funding recommendation (1 p)
- ♦ Public Buildings Project Manager – Qualifications
- ♦ Listing in City of Newton *Fy14-18 Capital Improvement Plan* (1 p)

Note: this project has not been listed in more recent editions of the *CIP*.

**March 2015 Construction RFP** (posted online separately)

- ♦ basic scope & plans (10 pp)
- ♦ bids submitted (2 pp)

**Project Sponsor Information** (posted online separately)

- ♦ Public Buildings Dept. Fy15 City operating budget (9 pp)
- ♦ Jackson Homestead \*\* Fy15 City operating budget (4 pp)
- ♦ Historic Newton \*\* Fy15 operating budget (1 p)
- ♦ Historic Newton \*\* Fy15 financial statement (assets & liabilities, 1 p)

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\*\* Historic Newton is a partnership between the Newton Historical Society, a private nonprofit organization, and the Jackson Homestead, a City of Newton department. Both organizations have their headquarters and primary staff offices at the Jackson Homestead (527 Washington Street, Newton Corner).

As a City-owned building, the Jackson Homestead is maintained by, and public funds for capital improvements to the building must be appropriated to, the City of Newton Public Buildings Dept.

# Newton History Museum Archives

## at the Jackson Homestead

### 527 Washington St. - Newton, MA

City of Newton  
Public Buildings Department

OWNER/CLIENT:  
OWNER  
CITY OF NEWTON  
PUBLIC BUILDINGS DEPARTMENT  
52 ELLIOT STREET  
NEWTON HIGHLANDS, MA 02461  
Tele: 617.796.1600 Fax: 617.796.1601

ARCHITECT:  
DURKEE, BROWN,  
VIVEIROS & WERENFELS  
ARCHITECTS  
111 CHESTNUT STREET  
PROVIDENCE, RI 02903  
Tele: 401.831.1240 Fax: 401.331.1945

STRUCTURAL ENGINEERS:  
YODER + TIDWELL, LTD.  
333 SMITH STREET  
PROVIDENCE, RI 02908  
Tele: 401.751.2460 Fax: 401.274.7157

M/E/P/FP ENGINEERS:  
R.W. SULLIVAN ENGINEERING  
529 MAIN STREET, SUITE 203  
BOSTON, MA 02129  
Tele: 617.523.8227 Fax: 617.523.8016

CIVIL ENGINEER:  
HORSLEY WITTEN GROUP  
55 DORRANCE STREET, SUITE 403  
PROVIDENCE, RI 02903  
Tele: 401.272.1717 Fax: 401.451.5123



### DRAWING LIST

A000	COVER SHEET
A010	FIRST FLOOR CODE PLAN
A011	BASEMENT AND SECOND FLOOR CODE PLANS
<b>CIVIL</b>	
C-1	EXISTING CONDITIONS PLAN (SITE SURVEY) CIVIL FIRE PROTECTION SERVICE PLAN
<b>STRUCTURAL</b>	
S201	STRUCTURAL PLANS

<b>ARCHITECTURAL</b>	
A100	SITE PLAN
AD201	FIRST FLOOR DEMO PLAN
A200	BASEMENT FLOOR PLAN
A201	FIRST FLOOR PLAN
A202	SECOND FLOOR PLAN
A203	ATTIC PLAN
A300	EXTERIOR ELEVATIONS I
A301	EXTERIOR ELEVATION II
A400	SECTIONS AND DETAILS I
A401	SECTIONS AND DETAILS II
A700	INTERIOR ELEVATIONS AND DETAILS
A701	INTERIOR ELEVATIONS
A800	WALL TYPES
A801	DOOR & FRAME TYPES, DETAILS AND SCHEDULES
A901	FIRST FLOOR REFLECTED CEILING PLAN
A902	SECOND FLOOR REFLECTED CEILING PLAN

<b>FIRE PROTECTION</b>	
FP000	FIRE PROTECTION LEGEND, SCHEDULES AND NOTES
FP001	FIRE PROTECTION DETAILS
FP100	FIRE PROTECTION BASEMENT PLAN
FP101	FIRE PROTECTION FIRST FLOOR PLAN
FP102	FIRE PROTECTION SECOND FLOOR PLAN
FP103	FIRE PROTECTION ATTIC PLAN
<b>PLUMBING</b>	
P000	PLUMBING LEGEND, DETAILS AND NOTES
PD101	PLUMBING BASEMENT PLAN
P201	PLUMBING NEW WORK PLAN
<b>HVAC</b>	
H000	HVAC LEGEND AND GENERAL NOTES
H001	HVAC SCHEDULES
H002	HVAC DETAILS
HD101	HVAC DEMOLITION PLAN AND NOTES
H201	HVAC DUCTWORK AND PIPING PLAN

<b>ELECTRICAL</b>	
E000	ELECTRICAL LEGEND AND GENERAL NOTES
ED100	ELECTRICAL BASEMENT DEMOLITION PLAN
ED101	ELECTRICAL FIRST FLOOR DEMOLITION PLAN
ED102	ELECTRICAL SECOND AND ATTIC DEMOLITION PLAN
E100	ELECTRICAL BASEMENT FLOOR PLAN
E101	ELECTRICAL FIRST FLOOR PLAN
E102	ELECTRICAL SECOND AND ATTIC PLANS
E200	FIRE ALARM BASEMENT FLOOR PLAN
E201	FIRE ALARM FIRST FLOOR PLAN
E202	FIRE ALARM SECOND AND ATTIC PLANS
E300	ELECTRICAL SCHEDULES AND RISERS
E400	ELECTRICAL DETAILS

### ABBREVIATIONS:

ABV	— ABOVE	FRNK	— FRAMEWORK	R	— REEF
AT	— AGGICAL TILE	FT	— FOOT (AND/OR FIRE TREATED)	RAD	— RADIUS
AD	— AREA DRAIN	FIG	— FOOTING	RD	— ROOF DRAIN
ADJ	— ADJACENT	FIRN	— FIRM (BSI)	RCSP	— RECEPTACLE
AFF	— ABOVE FINISH FLOOR	FIRR	— FIRING	REF	— REFRIG
ALM	— ALUMINUM	FIT	— FITTING	REFRIG	— REFRIGERATOR
ALND	— ALIGNED	GA	— GAUGE	REN	— REINFORCED
APPROX	— APPROXIMATELY	GALV	— GALVANIZED	REQD	— REQUIRED
ASCH	— ARCHITECT	GB	— GRAB BAR	RES	— RESILIENT
ASPH	— ASPHALT	GC	— GROUND	RH	— RIGHT HAND
BV	— BOTTOM OF	GE	— GENERAL	RL	— RAIN LEADER
BS	— BASEBOARD	GH	— GRISMET HOLE	RN	— ROOM
BSH	— BASEBOARD HEAT	GI	— GLASS	RO	— ROOM OPENING
BD	— BOARD	GL	— GLASS BLOCK	RSD	— REMOVE & DISPOSE
BT	— BUTT JOINT	GR	— GRANITE	S	— SOUTH
BTM	— BUTT MIDD	GRAN	— GRANITE	SG	— SOLID CORE
BUD	— BUILDING	GWB	— Gypsum WALL BOARD	SGHD	— SCHEDULE
BLK	— BLOCK	GYP	— GYPSUM	SO	— SOUP DISPENSER
BLDG	— BUILDING	H	— HIGH	SEAL	— SEALANT
BM	— BEAM	H	— HOSE BIB	SECT	— SECTION
BO	— BOTTOM OF	HC	— HOLLOW CORE	SF	— SQUARE FEET/FOOT
BOC	— BRICK	HDM	— HARDWARE	SHEATH	— SHEATHING
CB	— CATCH BASIN	HDM	— HARDWOOD	SH	— SHOWER
CG	— CATCH	HM	— HOLLOW METAL	SH1	— SHEET
CGH	— CORNER GUARD	HT	— HEIGHT	SJL	— SEALANT JOINT
CI	— CAST IRON	HORZ	— HORIZONTAL	SOF	— SOFFIT
CJ	— CONTROL JOINT	HR	— HOUR	SPEC	— SPECIFICATION
CL	— CENTER LINE	HW	— HOT WATER	SS	— STAINLESS STEEL
CLG	— CEILING	HVAC	— HEAVY DUTY AIR CONDITION	SSD	— SEE STRUCTURAL DRAWINGS
CLR	— CLEAR	IC	— IN CONTRACT	STD	— STANDARD
CMU	— CERAMIC MOSAIC TILE	IN	— INSIDE DIMENSION	STRTCT	— STRUCTURAL
CO	— CONCRETE	INCH	— INCH	STRUC	— STRUCTURAL
CO	— CLEAN OUT	INSUL	— INSULATION	STRUC	— STRUCTURAL
COL	— COLUMN	INT	— INTERIOR	SUBSP	— SUBTENDED
CONC	— CONCRETE	INVEST	— INVEST	SY	— SQUARE YARD
CON	— CONNECTION	JB	— JOIST	T	— TREAD
CONCT	— CONSTRUCTION	JBH	— JOIST HANGER	T/	— TOP OF
CONCT-JT	— CONSTRUCTION JOINT	JM	— JOINT MEASUREMENT	TB	— TALK BOARD
CONTR	— CONTRACTOR	JT	— JOINT	TEL	— TELEPHONE
CONV	— CONVECTOR	JTH	— JOIST HANGER	TEMP	— TEMPORARY
COR	— CORNER	LAM	— LAMINATE	THK	— THICK (NESS)
CRC	— COLD ROLLED COOPER	LCC	— LEAD COATED COOPER	THRES	— THRESHOLD
CS	— COURSE	LH	— LEFT HAND	TOL	— TOLERANCE
CT	— CERAMIC TILE	LH	— LEFT HAND	TOL	— TOLERANCE
CTR	— CENTER	MACH	— MACHINE	TOL	— TOLERANCE
CF	— CEMENT FOOT	MAR	— MARBLE	TID	— TOILET TISSUE
CH	— COLD WATER	MAS	— MASONRY	TR	— TRUCK
D	— DEEP	MATL	— MATERIAL	TYP	— TELEVISION
DBL	— DOUBLE	MAX	— MAXIMUM	TYP	— TELEVISION
DEPT	— DEPARTMENT	MD	— MEDIUM DENSITY FIBERBOARD	TAS	— TONGUE & GROOVE
DIA	— DIAMETER	MD	— MEDIUM DENSITY FIBERBOARD	IR	— IRON
DIM	— DIMENSION	MD	— MEDIUM DENSITY FIBERBOARD	IRN	— IRON
DISP	— DISPENSER	MDF	— MEDIUM DENSITY FIBERBOARD	IRN	— IRON (UNLESS OTHERWISE NOTED)
DN	— DOWN	MEM	— MEMBRANE	IRN	— IRON
DO	— DOOR	MFR	— MANUFACTURER	ISN	— IRON (UNLESS OTHERWISE NOTED)
DP	— DOWNSTREAM	MN	— MIMINUM	ISN	— IRON (UNLESS OTHERWISE NOTED)
DR	— DOOR	MO	— MASONRY OPENING	ISN	— IRON (UNLESS OTHERWISE NOTED)
DRN	— DRAIN	MNT	— METAL	ISN	— IRON (UNLESS OTHERWISE NOTED)
DS	— DOWNSPOUT	MTL	— METAL	ISN	— IRON (UNLESS OTHERWISE NOTED)
DN	— DOWNSTREAM	MNT	— METAL	ISN	— IRON (UNLESS OTHERWISE NOTED)
DNTL	— DETAIL	MNT	— METAL	ISN	— IRON (UNLESS OTHERWISE NOTED)
DRA	— DRAWING	N	— NORTH	ISN	— IRON (UNLESS OTHERWISE NOTED)
DRW	— DRAWING	NG	— NOT IN CONTRACT	ISN	— IRON (UNLESS OTHERWISE NOTED)
DWB	— DRAINAGE	NO	— NUMBER	ISN	— IRON (UNLESS OTHERWISE NOTED)
DWT	— DRAINAGE	NS	— NON-SLIP	ISN	— IRON (UNLESS OTHERWISE NOTED)
E	— EAST	NST	— NOT TO SCALE	ISN	— IRON (UNLESS OTHERWISE NOTED)
EA	— EACH	OA	— OVERALL	ISN	— IRON (UNLESS OTHERWISE NOTED)
EL	— ELEVATION	OC	— OVER CENTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
ELEC	— ELECTRIC (AL)	OD	— OUTSIDE DIMENSION	ISN	— IRON (UNLESS OTHERWISE NOTED)
ELV	— ELEVATION	OP	— OFFSET	ISN	— IRON (UNLESS OTHERWISE NOTED)
EMER	— EMERGENCY	OPP	— OPPOSITE	ISN	— IRON (UNLESS OTHERWISE NOTED)
EPDM	— ETHYLENE PROPYLENE RUBBER	PAR	— PARALLEL	ISN	— IRON (UNLESS OTHERWISE NOTED)
EQ	— EQUAL	PART	— PARTITION	ISN	— IRON (UNLESS OTHERWISE NOTED)
EQUIP	— EQUIPMENT	PARP	— PARALLEL	ISN	— IRON (UNLESS OTHERWISE NOTED)
ENC	— ENCLINED	PJP	— JOINT FILLER	ISN	— IRON (UNLESS OTHERWISE NOTED)
EXIST	— EXISTING	PL	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
E1	— EXISTING	PLAS	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
EXP	— EXPANSION	PLAS	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
EXT	— EXTERIOR	PLAS	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FF	— FACE OF	PLB	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FG	— FLOOR CLEANOUT	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FGJ	— FLOOR CLEANOUT	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FGR	— FLOOR CLEANOUT	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FDN	— FOUNDATION	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FE	— FIRE EXTINGUISHER	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FEC	— FIRE EXTINGUISHER	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FF	— FIRE FLOOR	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FHG	— FIRE HOSE CABINET	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FRI	— FINISH	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FRT	— FUTURE	PLT	— PLASTER	ISN	— IRON (UNLESS OTHERWISE NOTED)
FL	— FLOOR	PT	— POINT	ISN	— IRON (UNLESS OTHERWISE NOTED)
FLR	— FLOOR	PTD	— PART	ISN	— IRON (UNLESS OTHERWISE NOTED)
FLR	— FLOOR	QT	— QUANTITY	ISN	— IRON (UNLESS OTHERWISE NOTED)
FLR	— FLOOR	QTY	— QUANTITY	ISN	— IRON (UNLESS OTHERWISE NOTED)

### SYMBOLS LEGEND

0'-0" MAT. CEILING HEIGHT

000 DOOR NUMBER

000 ROOM LABEL

000 ROOM NAME

000 ROOM NUMBER

000 WALL TYPE

000 FIRE EXTINGUISHER CABINET

000 HANDICAPPED ACCESSIBLE AREA OR EXIT

000 KEYNOTE

000 DEMO KEYNOTE

000 DETAIL SECTION

000 BUILDING SECTION

000 ELEVATION KEYNOTE

000 SECTION NUMBER

000 DRAWING SHEET

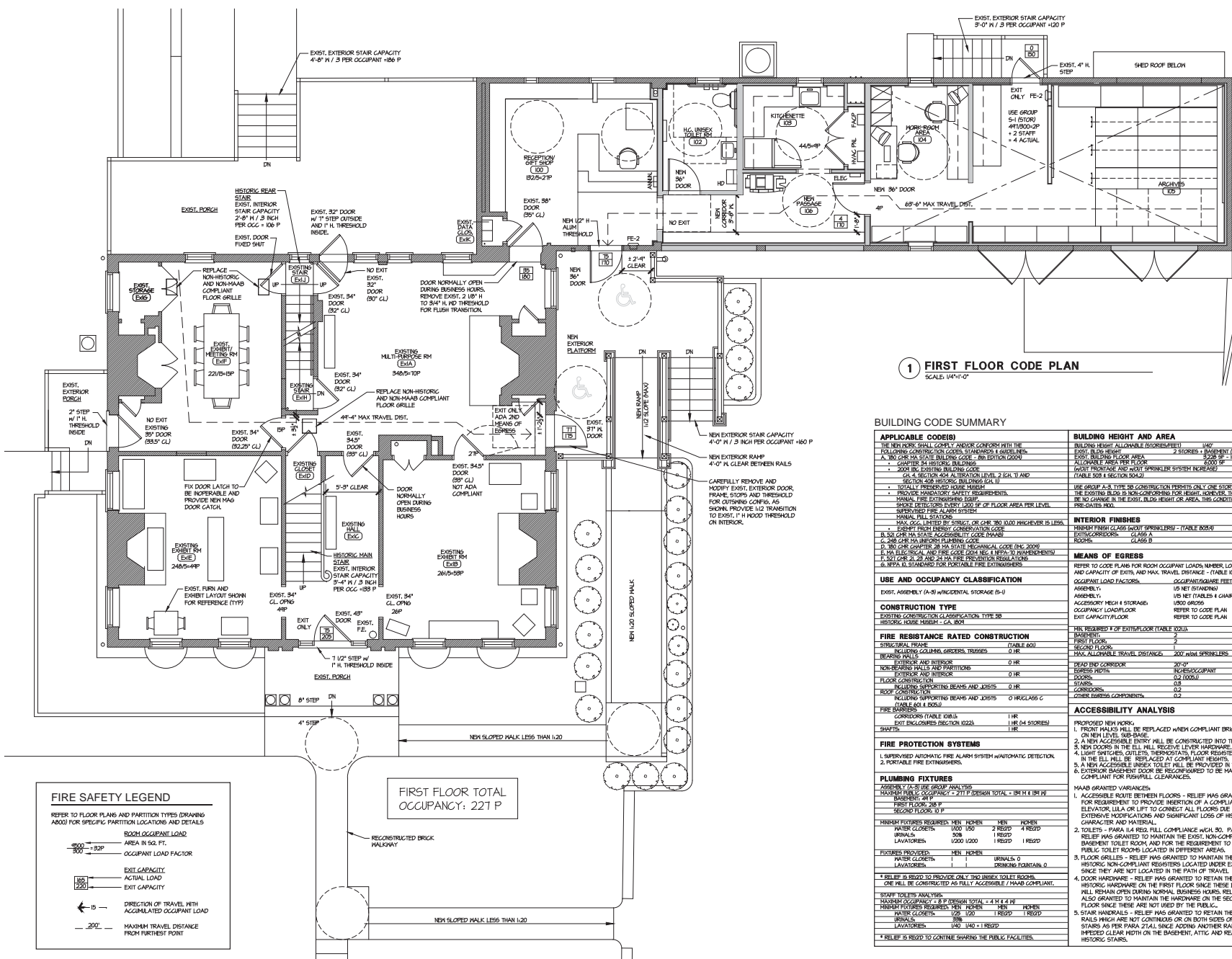
000 DRAWING SHEET

NO	DATE	BY	DESCRIPTION

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COVER SHEET  
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Bid and Construction



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**1 FIRST FLOOR CODE PLAN**  
SCALE: 1/4"=1'-0"

**BUILDING CODE SUMMARY**

<b>APPLICABLE CODE(S)</b> THE NEW YORK SMALL LOCALITY AND/OR CONFORM WITH THE FOLLOWING CONSTRUCTION CODES, STANDARDS & REGULATIONS: A. 200 CODE MA STATE BUILDING CODE - 8th EDITION (2000) B. 200 CODE MA FIRE PREVENTION BUILDING CODE C. 200 CODE MA ELECTRICAL AND FIRE CODE (2004 NEC - NFPA 70 & NFPA 72) D. 200 CODE MA MECHANICAL CODE (2001) E. 200 CODE MA PLUMBING CODE (2001) F. 200 CODE MA GAS AND HEAVY FURNACE REGULATIONS G. NFPA 80 STANDARD FOR PORTABLE FIRE EXTINGUISHERS	<b>BUILDING HEIGHT AND AREA</b> BUILDING HEIGHT ALLOWABLE (STORIES/FEET) 1/2W EXIST. BLDG HEIGHT 2 STORES + BASEMENT (UNCHANGED) EXIST. BUILDING AREA 5,028 SF - 1st FL. ADDITIONAL AREA PER FLOOR 1,600 SF (W/OUT FRONTAGE AND W/OUT SPRINKLER SYSTEM INCREASE) (TABLE 503.1.1 SECTION 503.1.1) USE GROUP A-3 TYPE SB CONSTRUCTION PERMITS ONLY ONE STORY IN HEIGHT. THE EXISTING BLDG IS NON-COMPLYING FOR HEIGHT, HOWEVER, THERE WILL BE NO CHANGE IN THE EXIST. BLDG HEIGHT OR AREA, THUS CONDITION PRE-EXISTS ONLY.
<b>USE AND OCCUPANCY CLASSIFICATION</b> EXIST. ASSEMBLY (A-3) INCIDENTAL STORAGE (S-U)	<b>INTERIOR FINISHES</b> MINIMUM FINISH CLASS (W/OUT SPRINKLERS - TABLE 604.0) CORRIDORS CLASS B ROOFS CLASS B
<b>CONSTRUCTION TYPE</b> EXISTING CONSTRUCTION CLASSIFICATION TYPE SB HISTORIC HOUSE MASSIVE - C.A. 801	<b>MEANS OF EGRESS</b> REFER TO CODE PLANS FOR ROOM OCCUPANT LOADS, NUMBER, LOCATION AND CAPACITY OF EXITS, AND MAX. TRAVEL DISTANCE - (TABLE 1004.0) OCCUPANT LOAD FACTORS: 1/5 NET (STANDARD) ASSEMBLY: 1/5 NET (TABLE 1033) ACCESSORY MECH & STORAGE: 1/60 (GROUPS) OCCUPANT LOAD/FLOOR: REFER TO CODE PLAN EXIT CAPACITY/FLOOR: REFER TO CODE PLAN
<b>FIRE RESISTANCE RATED CONSTRUCTION</b> STRUCTURAL FRAME 2 (TABLE 601) LOADING COLLARS, BRIGGS, TRUSSES 0 (R) BEARING WALLS 0 (R) NON-BEARING WALLS AND PARTITIONS 0 (R) FLOOR CONSTRUCTION 0 (R) ROOF CONSTRUCTION 0 (R) FIRE BARRIERS (TABLE 1004.1) CORRIDORS (TABLE 1004.1) 1 (R) EXIT ENCLOSURES (SECTION 1022) 1 (R) STAIRS 1 (R)	<b>ACCESSIBILITY ANALYSIS</b> PROPOSED NEW WORK: 1. FRONT WALK WILL BE REPLACED WHEN COMPLIANT BRICK SET ON NEW LEVEL SUB-BASE. 2. A NEW ACCESSIBLE ENTRY WILL BE CONSTRUCTED INTO THE ELL. 3. NEW DOORS IN THE ELL WILL RECEIVE LEVER HARDWARE. 4. LIGHT SWITCHES, OUTLETS, THERMOSTATS, FLOOR REGISTERS, ETC. IN THE ELL WILL BE REPLACED AT COMPLIANT HEIGHTS. 5. A NEW PORTABLE FIRE EXTINGUISHER WILL BE PROVIDED IN THE ELL. 6. EXTERIOR BASEMENT DOOR WILL BE RECONFIGURED TO BE MAAD COMPLIANT FOR RAMPWALK CLEARANCES. MAAS GRANTED VARIANCES: 1. ACCESSIBLE ROUTE BETWEEN FLOORS - RELIEF WAS GRANTED FOR REQUIREMENT TO PROVIDE INSERTION OF A COMPLIANT ELEVATOR W/ALA OR LIFT TO CONNECT ALL FLOORS DUE TO EXTENSIVE MODIFICATIONS AND SIGNIFICANT LOSS OF HISTORIC CHARACTER AND MATERIAL. 2. TOILETS - PARA 104 REG. FULL COMPLIANCE W/CH. 301, PARA 301 RELIEF WAS GRANTED TO MAINTAIN THE EXIST. NON-COMPLIANT BASEMENT TOILET ROOM AND FOR THE REQUIREMENT TO HAVE PUBLIC TOILET ROOMS LOCATED IN DIFFERENT AREAS. 3. FLOOR GRIDDERS - RELIEF WAS GRANTED TO MAINTAIN THE HISTORIC NON-COMPLIANT REGISTERS LOCATED UNDER EXHIBITS SINCE THEY ARE NOT LOCATED IN THE PATH OF TRAVEL. 4. DOOR HARDWARE - RELIEF WAS GRANTED TO RETAIN THE EXIST. HISTORIC HARDWARE ON THE FIRST FLOOR SINCE THESE DOORS WILL REMAIN OPEN DURING NORMAL BUSINESS HOURS RELIEF WAS ALSO GRANTED TO MAINTAIN THE HARDWARE ON THE SECOND FLOOR SINCE THESE ARE NOT USED BY THE PUBLIC. 5. STAIR HANDRAILS - RELIEF WAS GRANTED TO RETAIN THE EXIST. RAILS WHICH ARE NOT CONTINUOUS OR ON BOTH SIDES OF THE STAIRS AS PER PARA 211.4.1 SINCE ADDING ANOTHER RAIL WOULD IMPEDED CLEAR WALK ON THE BASEMENT, ATTIC AND REAR HISTORIC STAIRS.
<b>FIRE PROTECTION SYSTEMS</b> 1. SUPERVISED AUTOMATIC FIRE ALARM SYSTEM W/AUTOMATIC DETECTION 2. PORTABLE FIRE EXTINGUISHERS.	
<b>PLUMBING FIXTURES</b> ASSEMBLY (A-3) THE GROUP ANALYSIS MAXIMUM PER C. OCCUPANCY C. 211 P. DESIGN TOTAL 1,181 M & 1,811 W BASEMENT 41 P FIRST FLOOR 187 P SECOND FLOOR 31 P	
<b>MINIMUM FIXTURES REQUIRED:</b>	
WATER CLOSETS 1000 1050 2 REQ'D 4 REQ'D	
URINALS 1000 1000 1 REQ'D 1 REQ'D	
LAVATORIES 1000 1000 1 REQ'D 1 REQ'D	
<b>FIXTURES PROVIDED:</b>	
WATER CLOSETS 1 1 0 0	
URINALS 0 0 0 0	
LAVATORIES 1 1 0 0	
* RELIEF IS REQ'D TO PROVIDE ONLY TWO UNSEX TOILET ROOMS. ONE WILL BE CONSTRUCTED AS FULLY ACCESSIBLE / HAND COMPLIANT.	
<b>STAFF TOILETS ANALYSIS:</b>	
MAXIMUM OCCUPANCY 2 P. DESIGN TOTAL 1 M & 4 W	
MINIMUM FIXTURES REQUIRED:	
WATER CLOSETS 1000 1000 1 REQ'D 1 REQ'D	
URINALS 1000 1000 1 REQ'D 1 REQ'D	
LAVATORIES 1000 1000 1 REQ'D 1 REQ'D	
* RELIEF IS REQ'D TO CONTINUE SHARING THE PUBLIC FACILITIES.	

**FIRE SAFETY LEGEND**

REFER TO FLOOR PLANS AND PARTITION TYPES DRAWING A000 FOR SPECIFIC PARTITION LOCATIONS AND DETAILS

ROOM OCCUPANT LOAD	AREA IN SQ. FT.
300 → 525	300 → 525
OCCUPANT LOAD FACTOR	
185 → 220	
ACTUAL LOAD	
185 → 220	
EXIT CAPACITY	
185 → 220	
DIRECTION OF TRAVEL WITH AGGREGATED OCCUPANT LOAD	
← 15 →	
MAXIMUM TRAVEL DISTANCE FROM FURTHEST POINT	
200'	

FIRST FLOOR TOTAL OCCUPANCY: 221 P

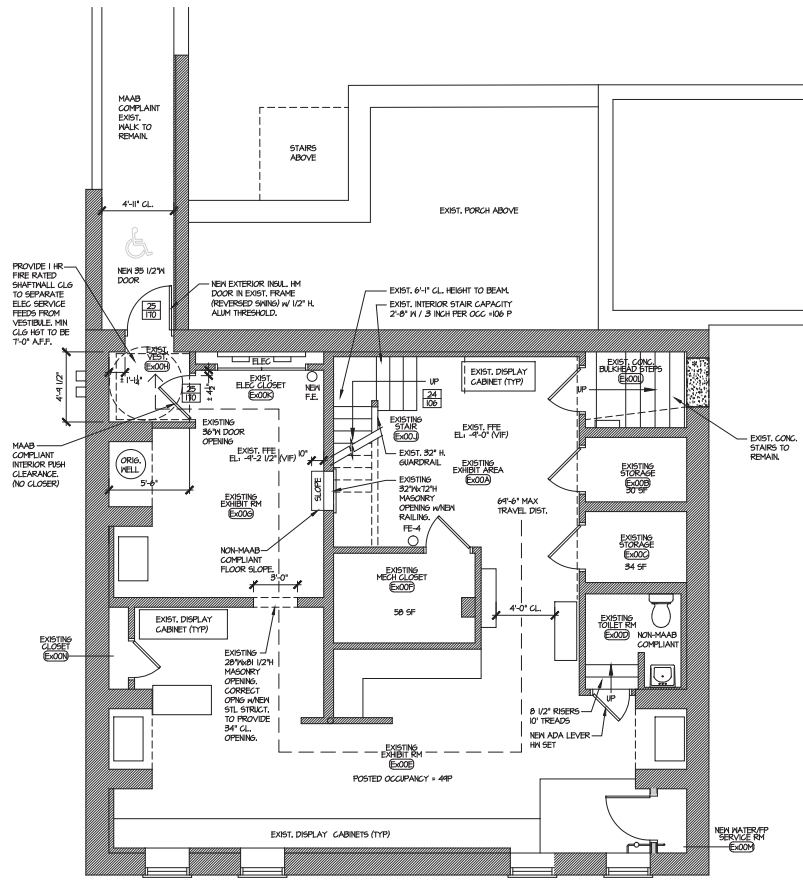
**NEWTON HISTORY MUSEUM ARCHIVES**

527 WASHINGTON STREET  
NEWTON, MA 02461

CITY OF NEWTON  
PUBLIC BUILDINGS DEPT.

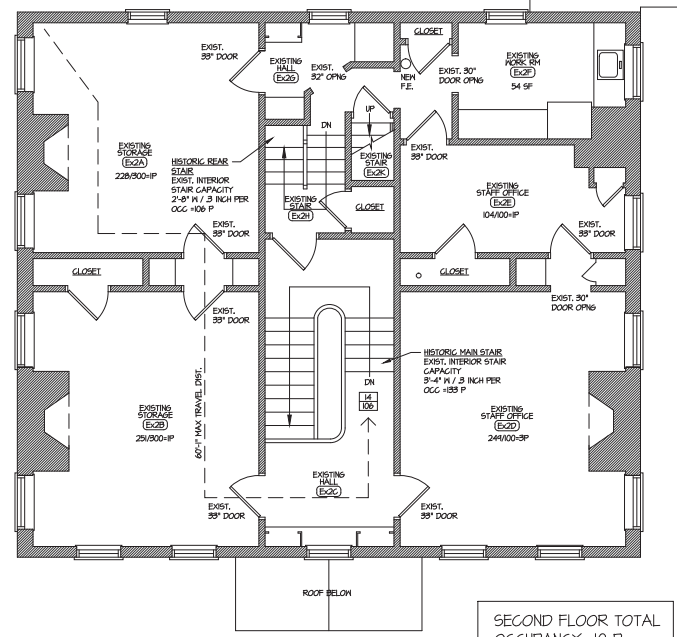
52 ELLIOT STREET  
NEWTON HIGHLANDS, MA

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			



**BASEMENT TOTAL  
OCCUPANCY: 49 P**

**0 BASEMENT FLOOR CODE PLAN**  
SCALE: 1/4"=1'-0"



**SECOND FLOOR TOTAL  
OCCUPANCY: 10 P**

**1 SECOND FLOOR CODE PLAN**  
SCALE: 1/4"=1'-0"

**NEWTON HISTORY  
MUSEUM ARCHIVES**  
527 WASHINGTON STREET  
NEWTON, MA 02461  
CITY OF NEWTON  
PUBLIC BUILDINGS DEPT.  
52 ELLIOT STREET  
NEWTON HIGHLANDS, MA

NO	DATE	BY	DESCRIPTION
1	-	EG	MAAB REVIEW
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

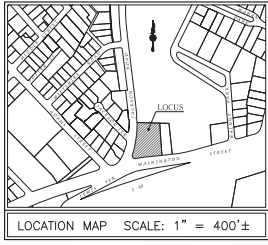
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FILE: -

**BASEMENT  
AND SECOND FLOOR  
CODE PLANS**

**A011**  
Bid and Construction

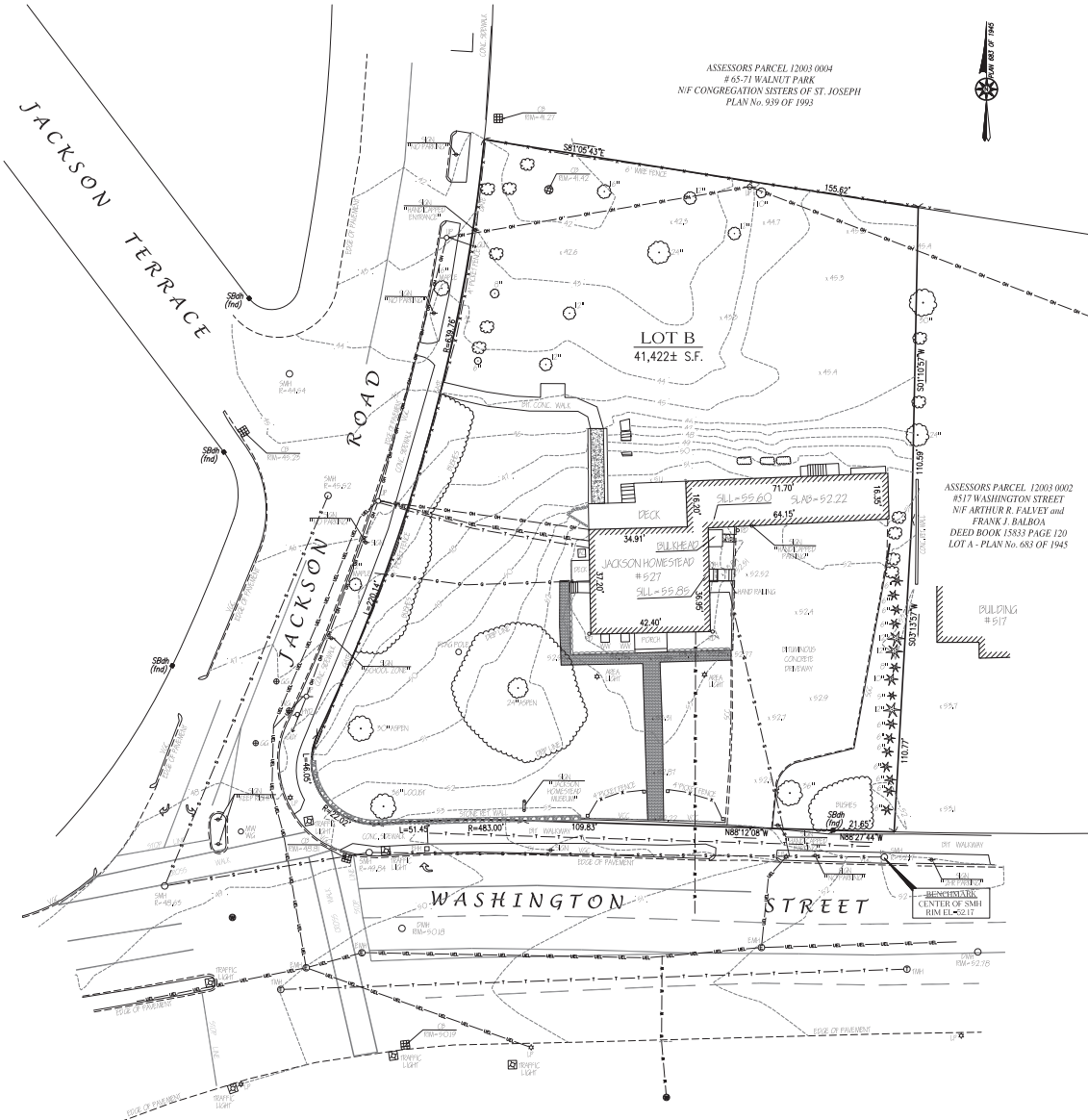




LOCATION MAP SCALE: 1" = 400'±

**LEGEND**

EXISTING	DESCRIPTION
- - - - -	1' CONTOUR
— — — — —	PROPERTY LINE
- - - - -	EDGE OF PAVEMENT
— V — V —	VERTICAL GRANITE CURB
— S — S —	SLOPED GRANITE CURB
— C — C —	VERTICAL CONCRETE CURB
— SC — SC —	SLOPED CONCRETE CURB
▨	BRICK WALK
— — — — —	RETAINING WALL
— — — — —	WATER LINE
— — — — —	SEWER LINE
— — — — —	GAS LINE
— — — — —	UNDERGROUND ELECTRIC SERVICE
— — — — —	OVERHEAD WIRE
— — — — —	TELECOM
— — — — —	STONE WALL
— — — — —	FENCE
— — — — —	GAS GATE
○	SIGN
○	DRAIN MANHOLE
▨	CATCH BASIN
○	ROOF DRAIN
○	SEWER MANHOLE
○	ELECTRIC MANHOLE
○	ELECTRIC HANDHOLE
○	TELEPHONE MANHOLE
○	HYDRANT
○	WATER GATE
○	TRAFFIC ARROW
○	LIGHT
○	UTILITY POLE
○	LANDSCAPING

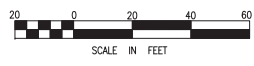


**RECORD OWNERS:**  
 ASSESSORS PARCEL 12003 0003  
 #527 WASHINGTON STREET

CITY OF NEWTON  
 JACKSON HOMESTEAD  
 100 COMMONWEALTH AVENUE  
 NEWTON, MA 02459  
 DEED BOOK 7524 PAGE 273  
 LOT B - PLAN No. 683 OF 1945

**PLAN REFERENCES:**  
 1. PLAN No. 683 OF 1945, BOOK 6894 PAGE 179  
 2. SEIZURE PLAN OF JACKSON ROAD, MARCH 1897

- NOTES:**
- PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE NEWTON ASSESSORS DEPARTMENT, NEWTON ENGINEERING DEPARTMENT AND THE MIDDLESEX COUNTY REGISTRY OF DEEDS, SOUTHERN DISTRICT.
  - TOPOGRAPHY INFORMATION SHOWN ON THIS PLAN IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL ASSOCIATES, INC., AUGUST 2010.
  - ALL ELEVATIONS ARE BASED ON THE CITY OF NEWTON DATUM.
  - WETLAND RESOURCE AREAS WERE NOT OBSERVED OR INVESTIGATED FOR THIS SURVEY.
  - EXISTING UTILITIES, WHERE SHOWN, HAVE BEEN COMPILED BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD PLANS PROVIDED BY THE CITY OF NEWTON ENGINEERING DEPARTMENT AND ARE TO BE CONSIDERED APPROXIMATE. MERRILL ASSOCIATES, INC. DOES NOT GUARANTEE THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN OR THAT ALL EXISTING UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN.



REVISIONS


DRAWN BY: VC  
 DESIGNED BY: PT  
 CHECKED BY: PT

**MERRILL ASSOCIATES, INC.**  
 REGISTERED PROFESSIONAL ENGINEERS  
 AND LAND SURVEYORS  
 427 COLUMBIA ROAD - HANOVER, MA 02339  
 TEL: (978) 838-8200 FAX: (978) 838-8660

EXISTING CONDITIONS PLAN  
 #527 WASHINGTON STREET  
 NEWTON, MASSACHUSETTS  
 PREPARED FOR: CITY OF NEWTON  
 100 COMMONWEALTH AVENUE  
 NEWTON, MA 02459

SEPTEMBER 9, 2010  
 SCALE: 1"=20'  
 JOB No. 10-074

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**CITY OF NEWTON  
PURCHASING DEPARTMENT**

***CONTRACT FOR PUBLIC BUILDINGS***

***PROJECT MANUAL:***

**Newton History Museum Archives at the Jackson Homestead  
Accessibility & Fire Protection Improvements  
*INVITATION FOR BID #15-75***

**Pre-Bid Meeting: March 12, 2015 at 12:00 p.m.  
Filed Sub-Bid Opening: March 19, 2015 at 12:00 p.m.  
Bid Opening Date: March 26, 2015 at 12:00 p.m.**

**MARCH 2015  
Setti D. Warren, Mayor**

**CITY OF NEWTON  
PROJECT MANUAL  
TABLE OF CONTENTS**

**NEWTON HISTORY MUSEUM AT THE JACKSON HOMESTEAD  
ARCHIVE, ACCESSIBILITY & FIRE PROTECTION IMPROVEMENTS**

	<u>Page #</u>
Cover Page	1
Table of Contents	2-5
1. Invitation for Bid	6
2. Instructions to Bidders	7-9
3. Bid Form for General Contractor	10-12
Bid Form For Sub Bid	13-14
4. Bidder's Qualification Forms	
▪ Bidder's Qualifications and References Form	15-167
▪ Certificate of Non-Collusion	17
▪ Debarment Letter	18
▪ IRS Form W-9	19
5. Contract Forms (Informational only. Not required at time of bid submittal)	
▪ City - Contractor Contract	21-25
▪ Certificate of Authority - Corporate	26
▪ Certification of Tax Compliance	27
▪ Performance Bond	28
▪ Payment Bond	29
6. General Conditions of the Contract	30-94
7. Wage Rate Requirements	
▪ Department of Labor Minimum Wage Rates	95
▪ Prevailing Wages	96-134
▪ Notice to Awarding Authorities and Contractors	135
▪ Statement of Compliance	136
▪ Weekly Payroll Report Form	137
8. Table of Contents for Technical Specifications (separate document containing 874 pages)	
Division 00 - Procurement and Contracting Requirements	
000001 - Contacts	
000004 - List of Drawings	
000020 - Filed Sub-Bid Coordination	
Division 01 - General Requirements	
011000 - Summary	
012300 - Alternates	
012600 - Contract Modification Procedures	
CSC Form A and CSC Form B	

Division 01 - General Requirements (Continued)

- 012900 - Payment Procedures
- 013100 - Project Management and Coordination
  - Blank Construction Scope Communication (CSC)
- 013200 - Construction Progress Documentation
- 013233 - Photographic Documentation
- 013300 - Submittal Procedures
  - CADD Waiver Letter & Blank Contractor Submittal Transmittal (CST)
- 013510 - Historic Treatment Procedures
- 014000 - Quality Requirements
- 014200 - References
- 014339 - Mockups
- 015000 - Temporary Facilities and Controls
  - ST-1 Project Staging/Sequencing Plan
- 016000 - Product Requirements
  - Substitution Request Form
- 017300 - Execution Requirements
- 017329 - Cutting and Patching
- 017419 - Construction Waste Management and Disposal
- 017700 - Closeout Procedures
- 017823 - Operation and Maintenance Data
- 017839 - Project Record Documents
- 017900 - Demonstration and Training
- 018114 - Construction Indoor Air Quality Management Plan
- 018115 - Indoor Air Quality (IAQ) Management Plan

Division 02 - Existing Conditions

- 020000 - Environmental
- 024119 - Selective Demolition

Division 03 - Concrete

- 033000 - Cast-In-Place Concrete

Division 04 - Masonry

- 040120 - Maintenance of Unit Masonry

Division 05 - Metals

- 055000 - Metal Fabrications
- 055213 - Pipe and Tube Railings

Division 06 - Wood, Plastics and Composites

- 061000 - Rough Carpentry
- 064000 - Finish Carpentry

Division 07 - Thermal and Moisture Protection

- 071416 - Cold Fluid Applied Waterproofing
- 072100 - Thermal Insulation
- 076200 - Sheet Metal Flashing and Trim
- 078413 - Penetration Firestopping
- 079200 - Joint Sealants

Division 08 - Openings

- 080152.93 - Historic Treatment of Wood Windows
- 081113 - Hollow Metal Doors and Frames
- 081416 - Flush Wood Doors
- 081433 - Stile and Rail Wood Doors
- 083113 - Access Doors and Frames
- 087111 - Door Hardware
- 088000 - Glazing



Division 09 - Finishes

- 090190 - Plaster Repair
- 092116.23 - Gypsum Board Shaft Wall Assemblies
- 092216 - Non-Structural Metal Framing
- 092900 - Gypsum Board
- 093000 - Tiling
- 095113 - Acoustical Panel Ceilings
- 096500 - Resilient Flooring
- 096813 - Tile Carpeting
- 099100 - Painting

Division 10 - Specialties

- 101400 - Signage
  - Sign-1 Signage Types
- 102800 - Toilet Accessories
- 104400 - Fire Protection Specialties

Division 11 - Equipment (Not Used)

Division 12 - Furnishings

- 122113 - Horizontal Louver Blinds
- 123560 - Casework

Division 21 - Fire Protection

- 210000 - Fire Protection

Division 22 - Plumbing

- 220000 - Plumbing

Division 23 - Heating, Ventilating and Air Conditioning

- 230500 - Basic Materials and Methods
- 230513 - Motors and Controllers
- 230529 - Hangers and Supports
- 230553 - Mechanical Identification
- 230584 - Through-Penetration Firestop Systems
- 230593 - Testing, Adjusting and Balancing
- 230599 - Mechanical Vibration Controls
- 230713 - Duct Insulation
- 230719 - HVAC Piping Insulation
- 232000 - HVAC Piping and Joints
- 232300 - Refrigerant Piping
- 233100 - Sheet Metal Work and Accessories
- 233700 - Registers, Grilles and Diffusers
- 233900 - Fans and Accessories
- 234100 - Filters
- 235100 - Furnace Flue Stack Systems
- 237313 - Modular Indoor Air Handling Units

Division 25 - Integrated Automation

- 252000 - Schedules
- 255000 - Instrumentation Terminal Devices
- 256000 - Sequences of Operation

Division 26 - Electrical

- 260510 - Electrical Special Conditions
- 260520 - Basic Materials and Methods
- 260530 - Wiring Methods
- 262010 - Low Voltage Distribution
- 265010 - Lighting Fixtures

Division 28 - Electronic Safety and Security

283110 - Fire Alarm System

Division 31 - Earthwork

312000 - Earth Moving

Division 32 - Exterior Improvements

321216 - Asphalt Paving

321313 - Concrete Paving

321400 - Unit Paving

329200 - Turf and Grasses

**END OF SECTION**

Durkee, Brown,  
Viveiros & Werenfels  
Architects, Inc.

Newton History Museum at the Jackson Homestead  
City of Newton Public Buildings Department  
Newton, Massachusetts

## **SECTION 000001 - CONTACTS**

### **Owner**

City of Newton, MA  
Public Buildings Department  
52 Elliot Street  
Newton Highlands, MA 02461  
T: 617.796.1600  
Rafik Ayoub - Project Manager

### **Architect**

Durkee Brown Viveiros Werenfels Architects  
111 Chestnut Street  
Providence, RI 02903  
T: 401.831.1240 | F: 401.331.1945  
Edward Cifune, AIA - Sr. Project Manager  
Email: [ecifune@durkeebrown.com](mailto:ecifune@durkeebrown.com)

### **Structural Engineer**

Yoder + Tidwell, LTD.  
333 Smith Street  
Providence, RI 02908  
T: 401.751.2460  
Loren Yoder, PE - Principal

### **Mechanical, Electrical and Plumbing Engineers**

R.W. Sullivan Engineering  
The Schrafft Center  
529 Main Street, Suite 203  
Boston, MA 02129  
T: 617.523.8227  
John Tan, PE - Associate

### **Civil Engineer**

Horsley Witten Group  
55 Dorrance Street, Suite 403  
Providence, RI 02903  
T: 401.272.1717  
Jonathan Ford, PE - Sr. Project Manager

City of Newton, Massachusetts  
Purchasing Department  
*Comparison of Bids*

**INVITATION FOR BID #15-75**  
**Newton History Museum at the Jackson Homestead**

Bid Opening Time: 12:00 PM, March 26, 2015  
Public Buildings - Rafik Ayoub

<b>BIDDERS</b>	<b>Classic Construction</b>	<b>Contractors Network</b>	<b>Elizabeth Contracting</b>	<b>GTC Construction</b>	<b>Casby Brothers</b>	<b>Northern Contracting</b>	<b>Allegrone Construction</b>	<b>Paul J. Rogan Co., Inc.</b>	<b>Unicon Inc.</b>
<b>Newton History Museum at the Jackson Homestead</b>	\$783,165.00	\$887,000.00	\$912,200.00	\$926,918.00	\$940,000.00	\$1,026,100.00	\$1,072,000.00	\$1,110,400.00	\$1,205,950.00
<i>Alternate 1</i>	<i>\$5,872.00</i>	<i>\$6,500.00</i>	<i>\$3,900.00</i>	<i>\$12,500.00</i>	<i>\$8,000.00</i>	<i>\$8,000.00</i>	<i>\$4,500.00</i>	<i>\$10,000.00</i>	<i>\$15,800.00</i>
<i>Total with Alternate 1</i>	<i>\$789,037.00</i>	<i>\$893,500.00</i>	<i>\$916,100.00</i>	<i>\$939,418.00</i>	<i>\$948,000.00</i>	<i>\$1,034,100.00</i>	<i>\$1,076,500.00</i>	<i>\$1,120,400.00</i>	<i>\$1,221,750.00</i>

Award Recommended to:

\_\_\_\_\_

\_\_\_\_\_  
*Chief Procurement Officer*

\_\_\_\_\_  
*Date*

Alternate 1

\_\_\_\_\_  
*Department Head*

\_\_\_\_\_  
*Date*

\_\_\_\_\_  
*Mayor or his designee*

\_\_\_\_\_  
*Date*

<i>Notes Regarding Specific Bids</i>

**CITY OF NEWTON, MASSACHUSETTS  
PURCHASING DEPARTMENT  
COMPARISON OF BIDS  
INVITATION #15-75  
Newton History Museum at the Jackson Homestead**

**Filed Sub Bid Opening: March 19, 2015 at 12:00 pm  
Project Manager: Rafik Ayoub**

Company Name of Filed Sub Bidders	Base Bid	5% Bid Dep.	Alt. 1 (Add)	Alt. 2 (Add)	Alt. 3 (Add)	Alt. 4 (Add)	Addendum	Bid Form Sign	Elig. Cert.	Update Stmtnt	may be used by any general bidder except	may be used by the following general bidders
<b>ELECTRICAL</b>												
Brite-Lite Electrical Co., Inc.	\$122,000.00	Y					1,2	Y	EXP 3/19/15	Y	GVW, TLT	
Systems Contracting	\$128,800.00	Y					1,2	Y	Y	Y		
Lantern Light & Electric Inc.	\$142,280.00	Y					1,2	Y	Y	Y		
Company Name and Address of Filed Sub Bidders	Base Bid	5% Bid Dep.	Alt. 1 (Add)	Alt. 2 (Add)	Alt. 3 (Add)	Alt. 4 (Add)	Addendum	Bid Form Sign	Elig. Cert.	Update Stmtnt	may be used by any general bidder except	may be used by the following general bidders
<b>HVAC</b>												
CAN HVAC	\$78,500.00	Y					1,2	Y	Y	Y		
Company Name and Address of Filed Sub Bidders	Base Bid	5% Bid Dep.	Alt. 1 (Add)	Alt. 2 (Add)	Alt. 3 (Add)	Alt. 4 (Add)	Addendum	Bid Form Sign	Elig. Cert.	Update Stmtnt	may be used by any general bidder except	may be used by the following general bidders
<b>PLUMBING</b>												
PJ Dionne Co., Inc.	\$24,900.00	Y					1,2	Y	EXP 4/14/15	Y		
Richman Corp	\$28,800.00	Y					1,2	Y	Y	Y		
Compass Plumbing	\$29,961.00	Y					1,2	Y	Y	Y		
Robert Irvine & Sons	\$35,400.00	Y					1,2	Y	EXP 3/24/15	Y		
Araujo Brothers	\$37,800.00	Y					1,2	Y	Y	Y		
Company Name and Address of Filed Sub Bidders	Base Bid	5% Bid Dep.	Alt. 1 (Add)	Alt. 2 (Add)	Alt. 3 (Add)	Alt. 4 (Add)	Addendum	Bid Form Sign	Elig. Cert.	Update Stmtnt	may be used by any general bidder except	may be used by the following general bidders
<b>FIRE PROTECTION</b>												
Rustic Fire Protection	\$125,000.00	Y					1,2	Y	Y	Y		
X-CEL Fire Protection	\$129,000.00	Y					1,2	Y	Y	Y		
Carlyse Engineering	\$151,600.00	Y					1,2	Y	Y	Y		
