



# New Art Center



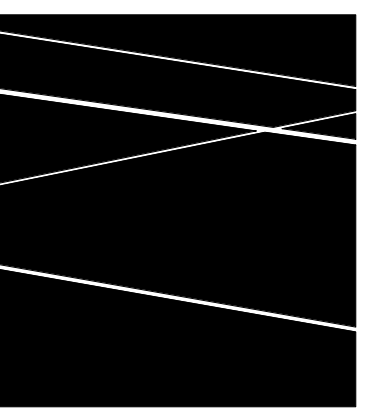
61 Washington Park  
Newton, MA

Print Date: 6/15/18  
Estimate Number: 105-18  
Base

## Program Budget

<b>CSI DIVISION</b>		<b>COST</b>
Division 2	<b>Project Requirements</b>	\$ 163,300
	<b>Scan Concrete Floor Slabs</b>	\$ 2,500
	<b>Site work</b>	\$ 195,980
	<b>Landscape</b>	\$ 40,000
	<b>Selective Demolition</b>	\$ 147,176
Division 3	<b>Concrete</b>	\$ 137,161
	<b>Floor Preparation</b>	\$ 15,000
Division 4	<b>Masonry</b>	\$ 769,860
Division 5	<b>Miscellaneous Metals</b>	\$ 42,300
Division 6	<b>Rough Carpentry</b>	\$ 179,485
	<b>Finish Carpentry / Millwork</b>	\$ 137,340
Division 7	<b>Roofing</b>	\$ 265,850
	<b>Waterproofing</b>	\$ 16,564
	<b>Caulking/Fire Proofing</b>	\$ 16,800
Division 8	<b>Doors, Frames, Hardware</b>	\$ 54,000
	<b>Glass and Glazing</b>	\$ 202,890
Division 9	<b>Gypsum Board Systems</b>	\$ 183,508
	<b>Acoustical Ceiling</b>	\$ 90,126
	<b>Ceramic Tile</b>	\$ 58,950
	<b>Flooring</b>	\$ 66,490
	<b>Painting</b>	\$ 65,094
Division 10	<b>Toilet Partitions / Accessories</b>	\$ 13,200
	<b>Fire Extinguishers/Cabinets</b>	\$ 2,400
Division 11	<b>Appliances</b>	\$ 3,500
	<b>Window Treatment</b>	\$ 15,000
Division 14	<b>Conveying Systems</b>	\$ 200,000
Division 15	<b>Fire Protection</b>	\$ 120,170
	<b>Plumbing</b>	\$ 147,100
	<b>HVAC</b>	\$ 569,869
Division 16	<b>Electrical</b>	\$ 345,989
	<b>Tel/Data</b>	NIC
	<b>AV</b>	NIC
	<b>Security</b>	NIC
		<b>SUBTOTAL</b>
	General Conditions	\$ 288,000
	Estimating Contingency 15.00%	\$ 683,300
	Escalation 3.00%	\$ 128,028
	Building Permit	\$ 99,825
	Fee 4.00%	\$ 214,677
	Liability Insurance	\$ 79,540
	<b>TOTAL</b>	<b>\$ 5,760,972</b>





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NEW ART CENTER

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DATE: 05/01/2018  
DRAWN BY: EJB  
JOB NO: 1803  
SCALE: 1/4" = 1'-0"

**BASEMENT  
DEMOLITION PLAN**

**AD200**

SCHEMATIC DESIGN

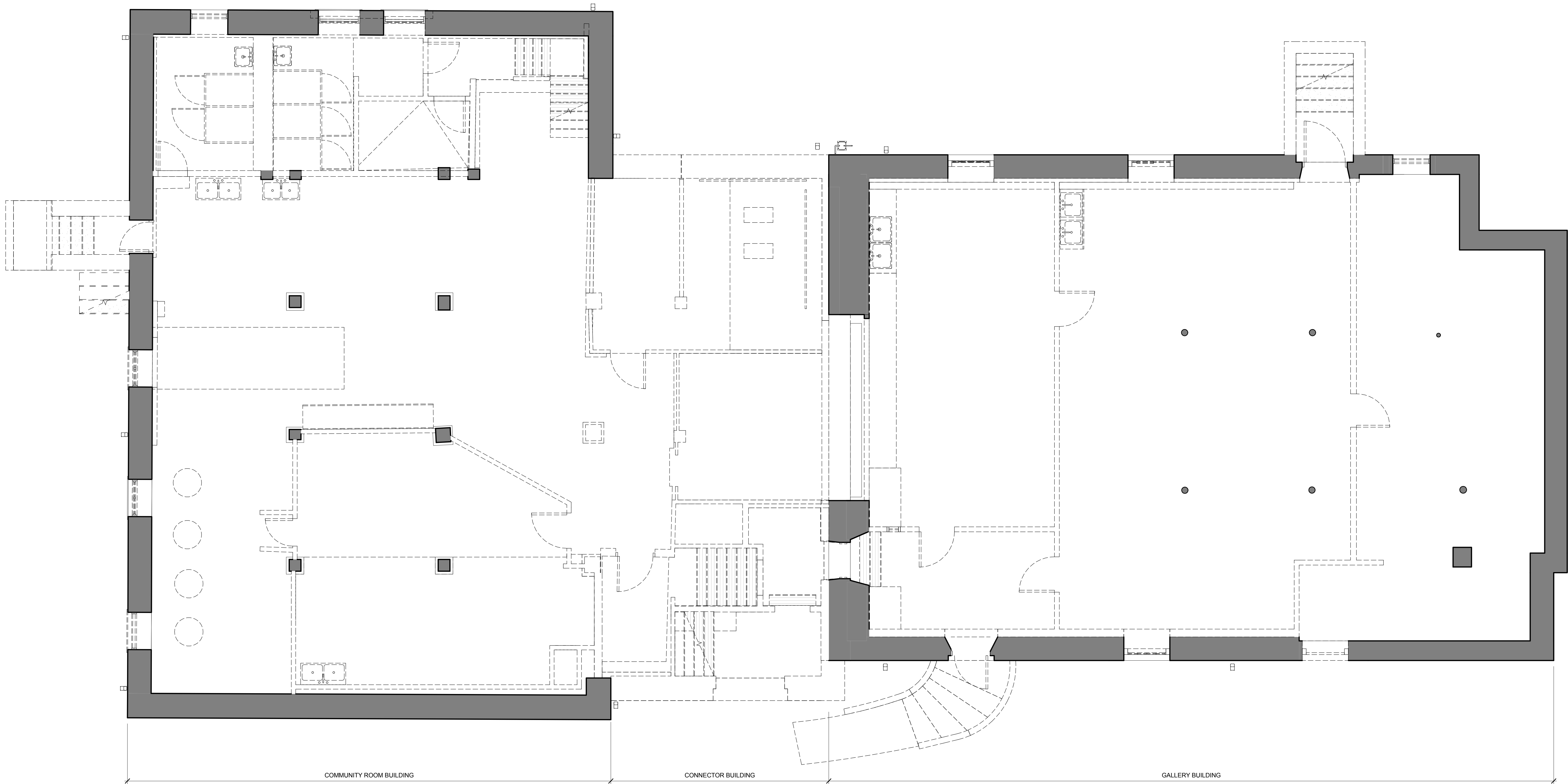
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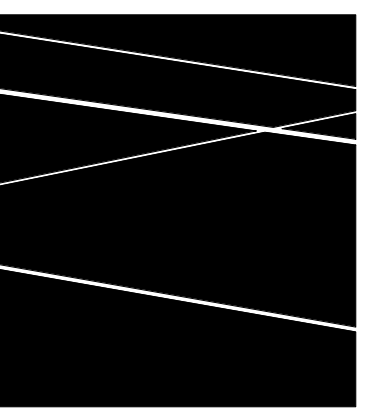
1 BASEMENT DEMOLITION PLAN  
1/4" = 1'-0"



**DEMOLITION NOTES**

- DEMOLITION DRAWINGS DO NOT SHOW ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING EQUIPMENT, ETC. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO BECOME FULLY FAMILIAR WITH THE EXISTING CONDITIONS INCLUDING ALL SUCH ITEMS IN THE CEILINGS, ETC.
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- COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION.
- THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING WALLS, WINDOWS, DOORS, FLOORS, CEILINGS, LIGHT FIXTURES, EQUIPMENT, ETC. WHICH ARE TO REMAIN AND SHALL PREVENT DAMAGE DURING ALL CONSTRUCTION PHASES.
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- SEE EXTERIOR ELEVATION SHEETS FOR ADDITIONAL MASONRY REMOVALS AND REPAIRS.

INDICATES AREAS OF REMOVALS  
 INDICATES AREAS OF STAINED GLASS



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FIRST FLOOR  
DEMOLITION PLAN

**AD201**

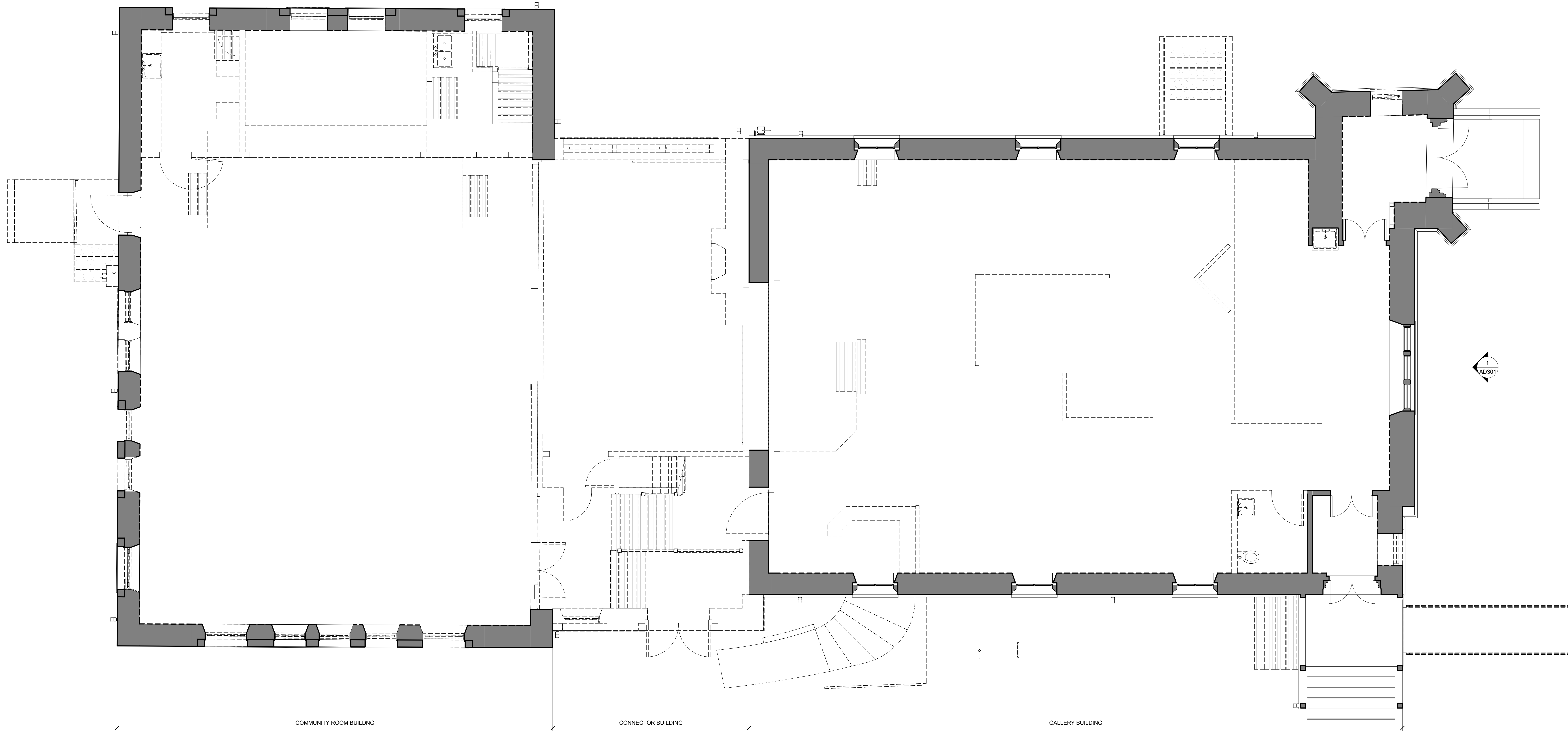
SCHEMATIC DESIGN

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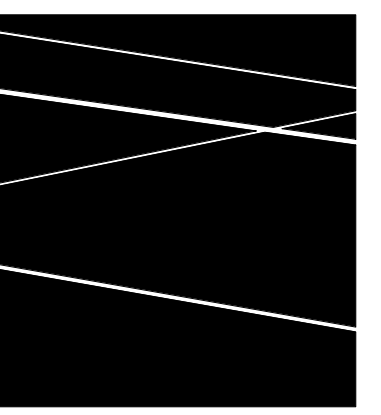


1 FIRST FLOOR DEMOLITION PLAN  
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**SECOND FLOOR  
DEMOLITION PLAN**

**AD202**

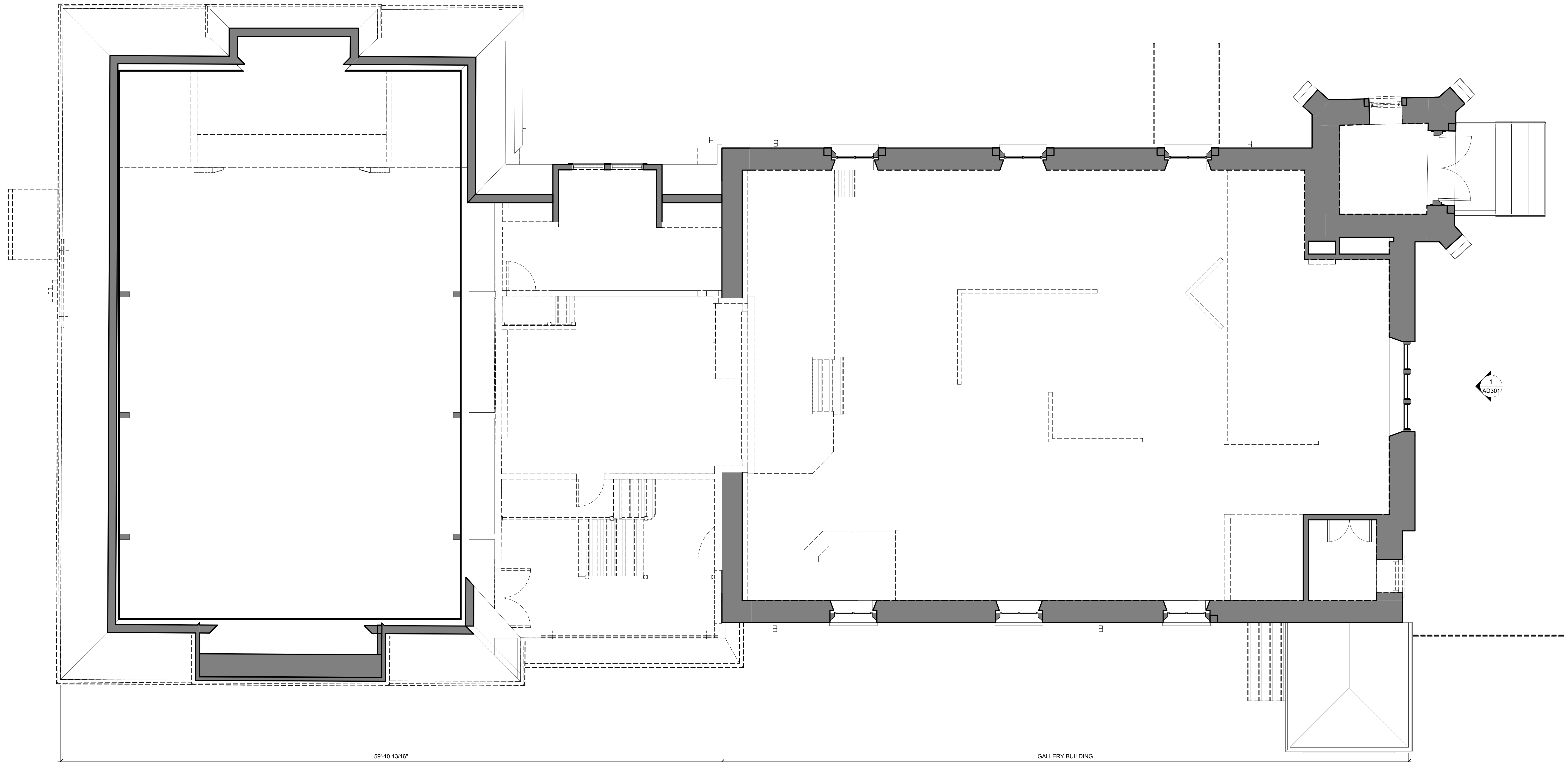
SCHEMATIC DESIGN

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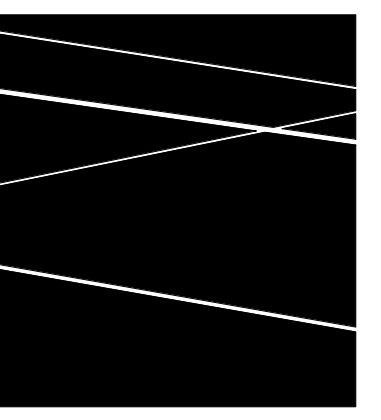


**1 SECOND FLOOR DEMOLITION PLAN**  
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SCALE: 1/4" = 1'-0"

**ROOF DEMOLITION  
PLAN**

**AD203**

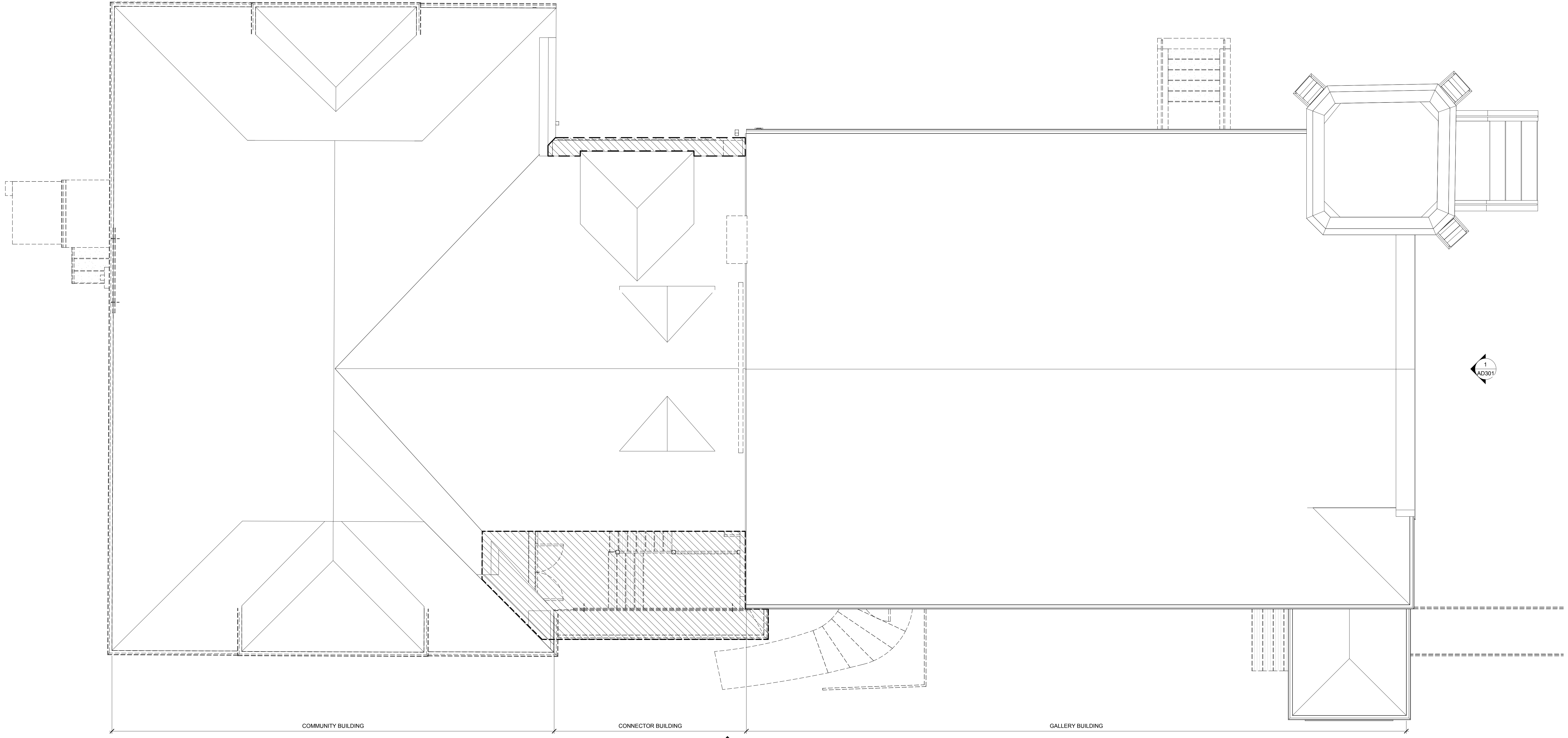
SCHEMATIC DESIGN

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1 ROOF DEMOLITION PLAN  
1/4" = 1'-0"

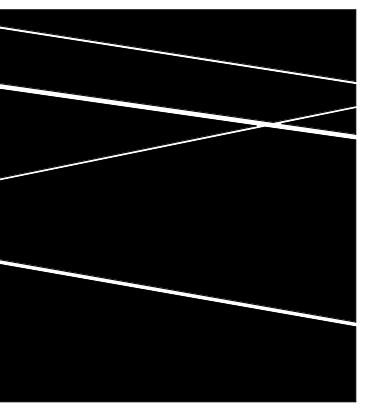
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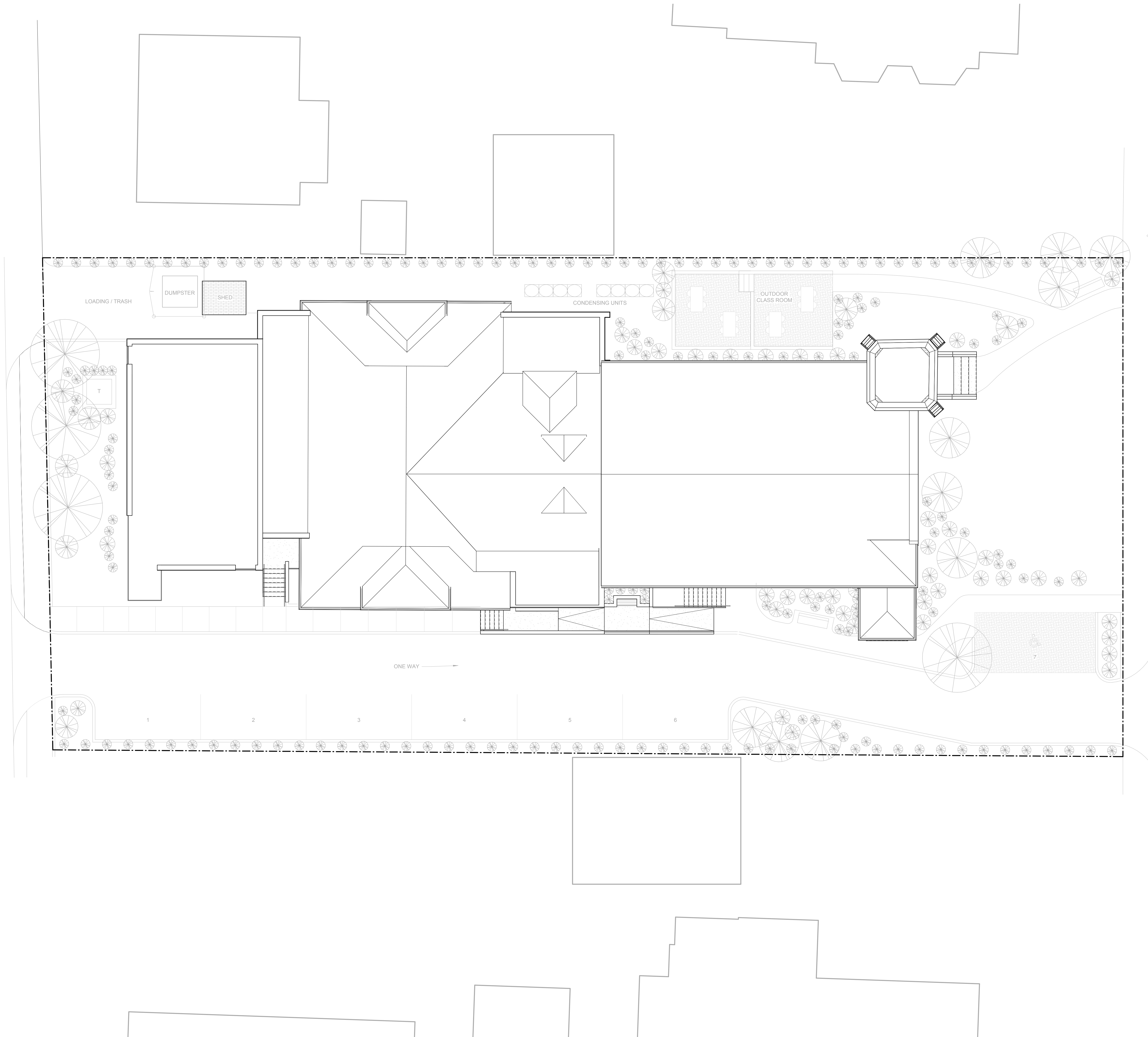






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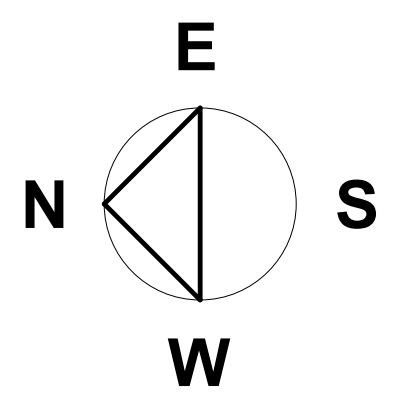
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NEW ART CENTER

NO	DATE	DESCRIPTION

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ARCHITECTURAL  
SITE PLAN

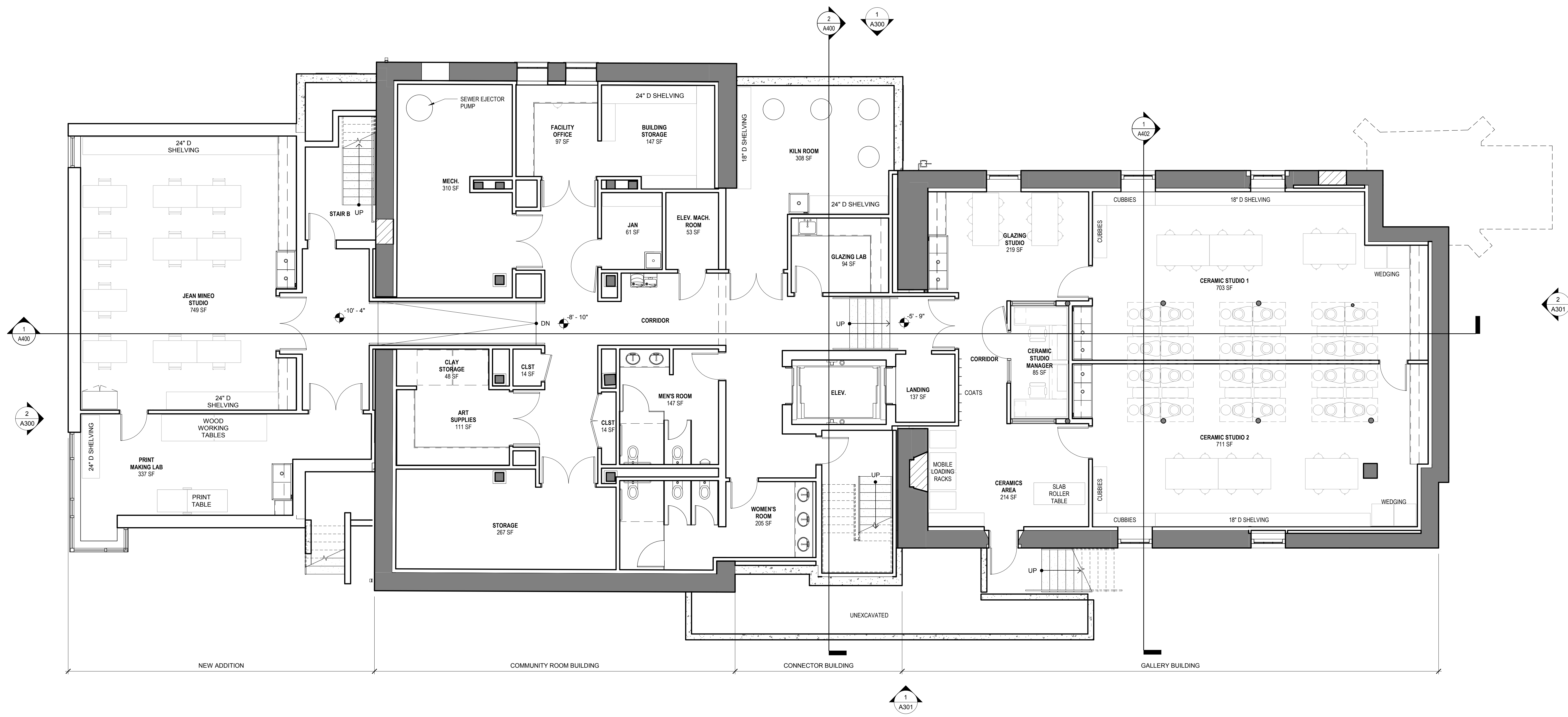
**A100**  
SCHEMATIC DESIGN



**FLOOR PLAN NOTES**

1. FIRESTOP AND SEAL ALL PENETRATIONS IN FIRE-RATED WALL & FLOOR ASSEMBLIES. REFER TO CODE PLANS FOR RATING REQUIREMENTS & ADDITIONAL INFORMATION.
2. SEE SHEET A010 CODE PLAN FOR CONCEALED SUPPORTING STRUCTURE REQUIRING 1-HR FIREPROOFING.
3. NEW EXTERIOR WALL HYDRANTS AND ASSOCIATED PIPING SHALL BE FULLY CONCEALED WITHIN INTERIOR WALLS.

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1 LOWER AND UPPER BASEMENT PLANS  
3/16" = 1'-0"



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SCALE: As indicated

LOWER AND UPPER  
BASEMENT PLAN

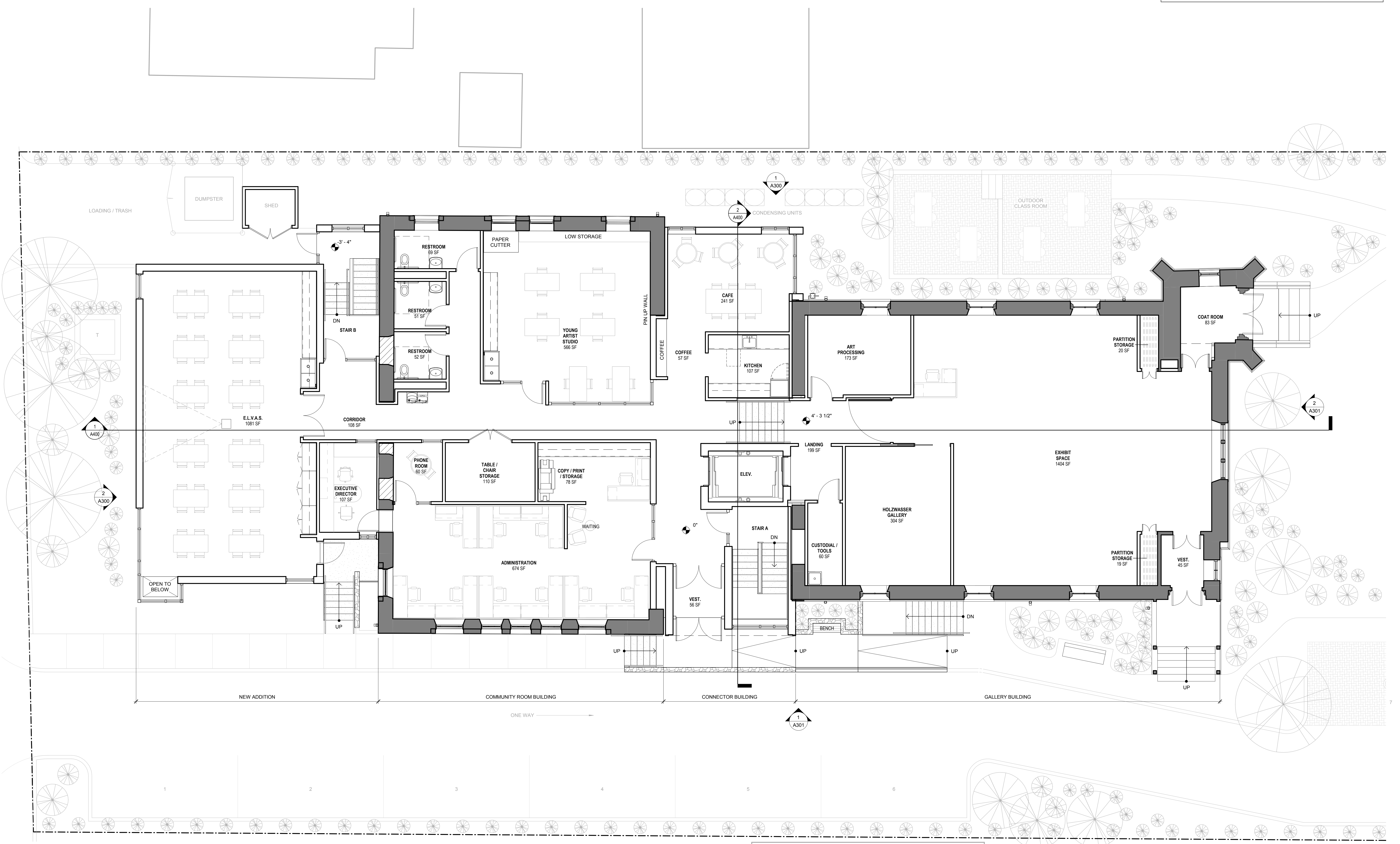
**A200**

SCHEMATIC DESIGN

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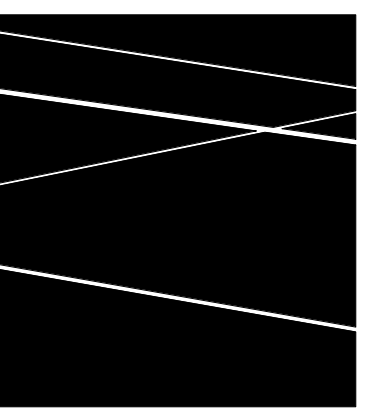
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LOWER AND UPPER  
FIRST FLOOR PLAN

**A201**  
SCHEMATIC DESIGN

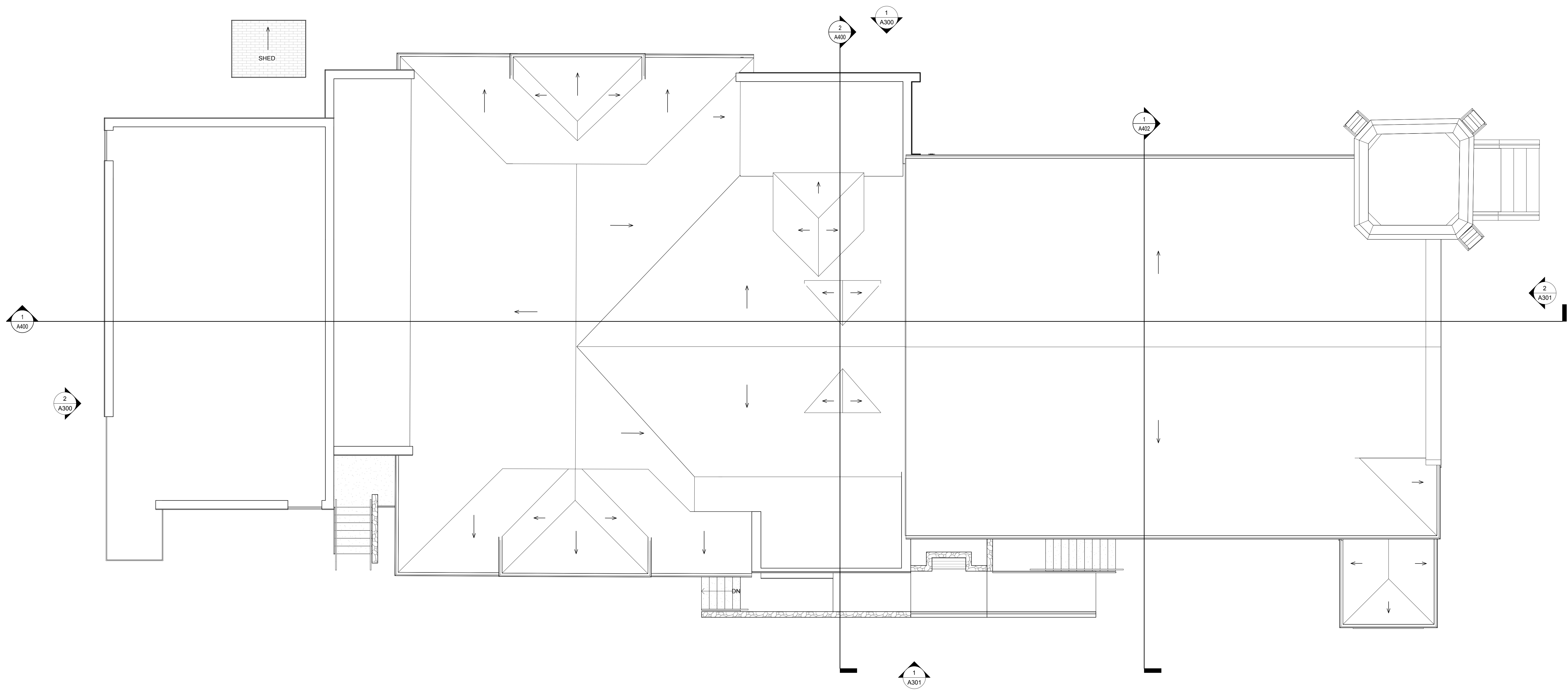
1 LOWER AND UPPER FIRST FLOOR PLANS  
3/16" = 1'-0"



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1 ROOF PLAN  
3/16" = 1'-0"



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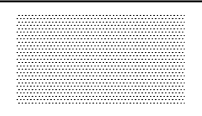
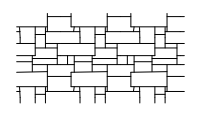
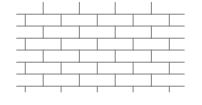
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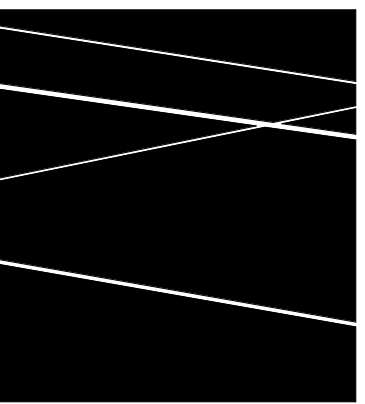
- ROOF PLAN NOTES**
- FIELD VERIFY QUANTITY AND LOCATION OF PLUMBING VENTS, ROOF CONDUITS, HVAC REF. LINES AND CABLES. FLASH IN ACCORDANCE W/ MANUFACTURER DETAILS AND SPECS.
  - SIZE AND LOCATIONS OF EXHAUST FANS, MECH UNITS, VENT STACKS AND OTHER ROOF PENETRATIONS OF ROOF MTD ITEMS ARE DIAGRAMMATIC, COORD. W/ M/E/P DWG REQUIREMENTS
  - CONTRACTOR SHALL VERIFY IN FIELD AND CONFIRM EXIST. ROOF DECK SLOPES INDICATED ON THE DWG'S ARE ACCURATE. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROOF WORK.
  - ALL WOOD BLOCKING IN ROOF ASSEMBLIES SHALL HAVE JOINTS STAGGERED A MIN. OF 24"
  - WOOD NAILERS SHALL BE SECURELY ANCHORED TO EXIST. ROOF DECK AND/OR STRUCT TO RESIST A FORCE OF 300 POUNDS PER LINEAR FOOT IN ANY DIRECTION (TYP)
  - PROVIDE WD. BLK'G AS REQD TO ENSURE CONT. COPING DIMENSIONS FOR EACH INDIVIDUAL ROOF AREA. PERIMETER BLK'G TO ALIGN W/ HIGH POINT OF INSUL. AT ALL CONDITIONS TO MAINTAIN A CONSTANT HORIZ. ELEVATION (TYP)
  - NO NEW EQUIP. REQUIRING SERVICING SHALL BE LOCATED WITHIN 10'-0" OF ROOF EDGE.
  - SEE SHEET A500 FOR TYPICAL ROOF DETAILS
  - STAGGER JOINTS BETWEEN LAYERS OF INSULATION (TYP)
  - INDICATES AREAS OF NEW ROOF CONSTRUCTION

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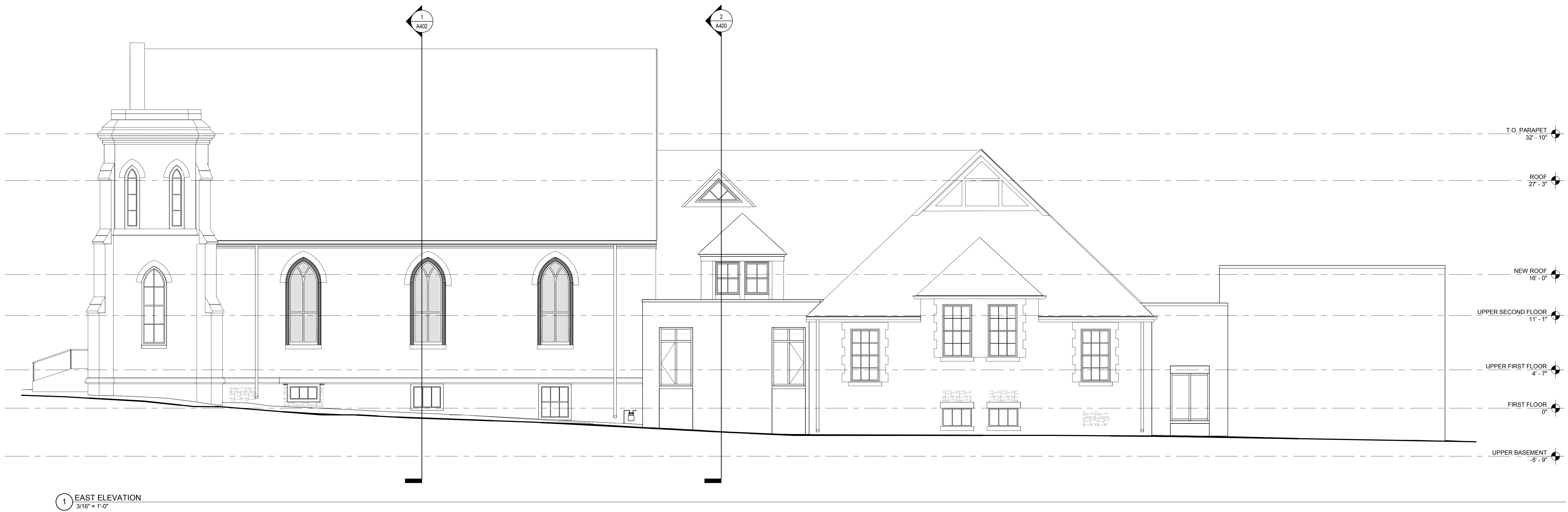
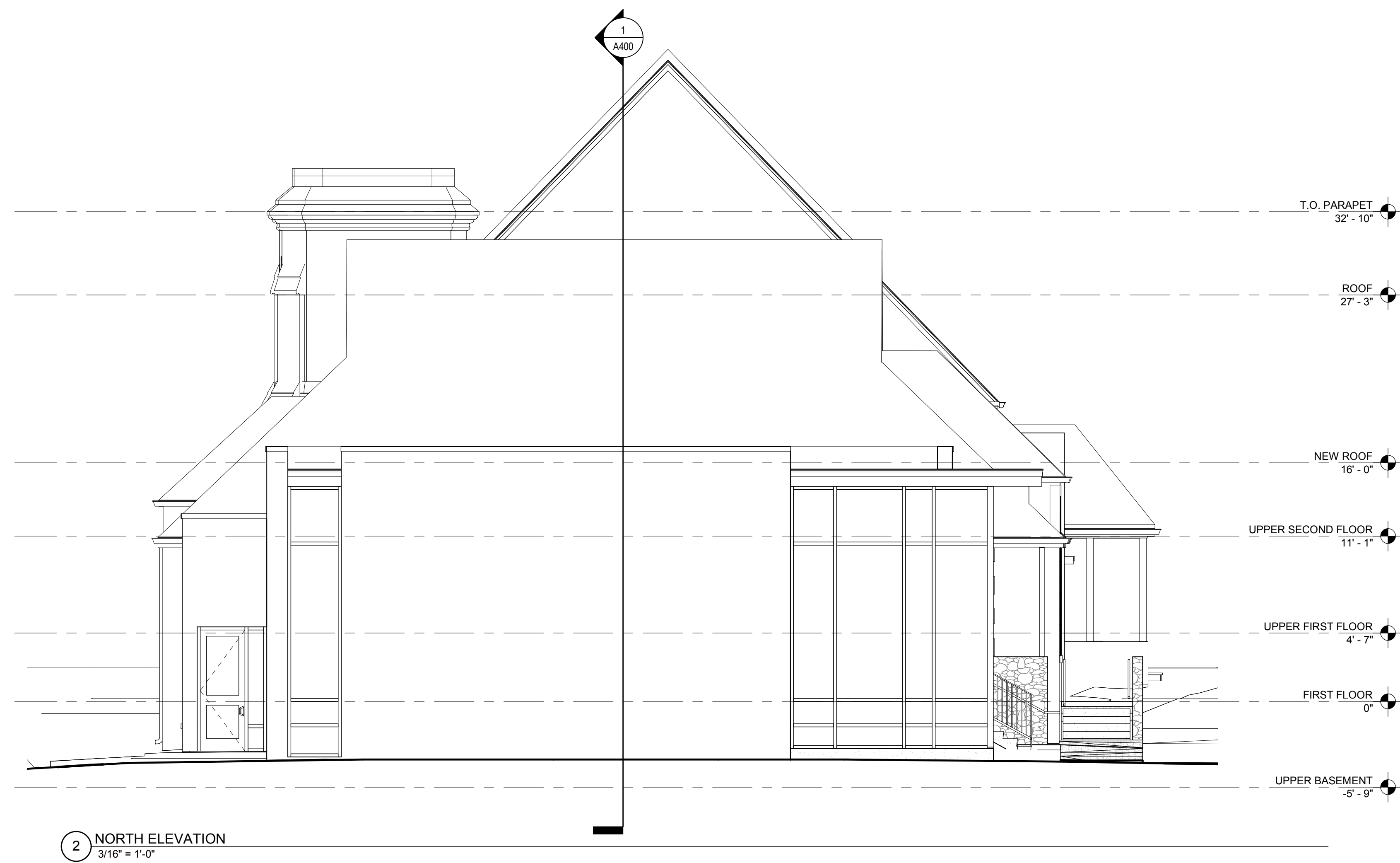
ROOF PLAN  
**A203**  
SCHEMATIC DESIGN

EXTERIOR ELEVATION NOTES	
	INDICATES AREAS OF STAINED GLASS
	INDICATES AREAS OF INFILL IN EXISTING WALLS TO MATCH EXISTING
	INDICATES AREAS OF NEW ROOF CONSTRUCTION



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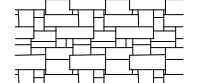
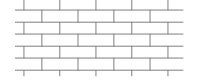
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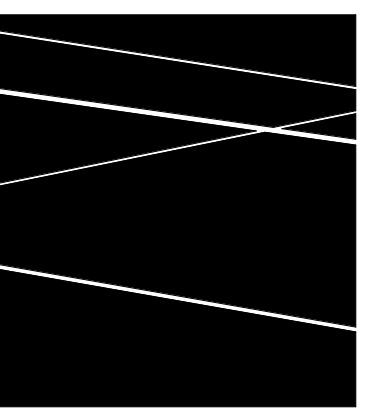
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EXTERIOR  
ELEVATIONS

**A300**

SCHEMATIC DESIGN

EXTERIOR ELEVATION NOTES	
	INDICATES AREAS OF STAINED GLASS
	INDICATES AREAS OF INFILL IN EXISTING WALLS TO MATCH EXISTING
	INDICATES AREAS OF NEW ROOF CONSTRUCTION

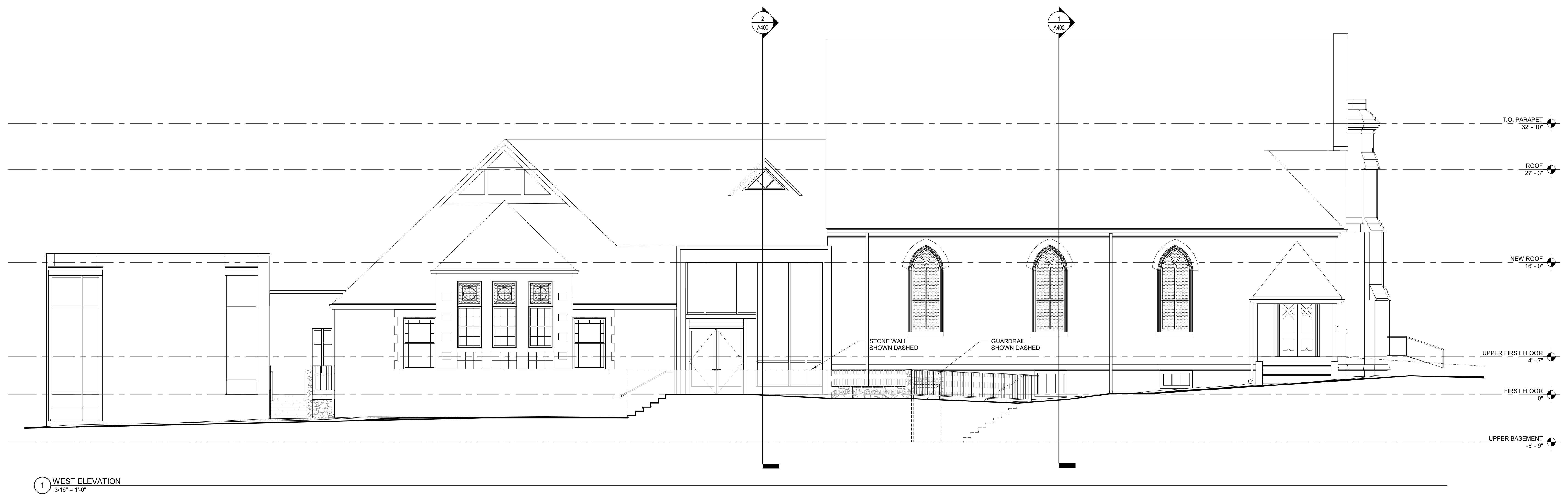


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2 SOUTH ELEVATION  
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1 WEST ELEVATION  
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NEW ART CENTER

NO	DATE	DESCRIPTION

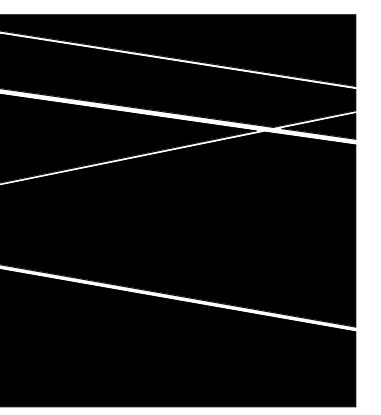
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DATE: 05/01/2018  
DRAWN BY: EJB  
JOB NO: 1803  
SCALE: 3/16" = 1'-0"

EXTERIOR  
ELEVATIONS

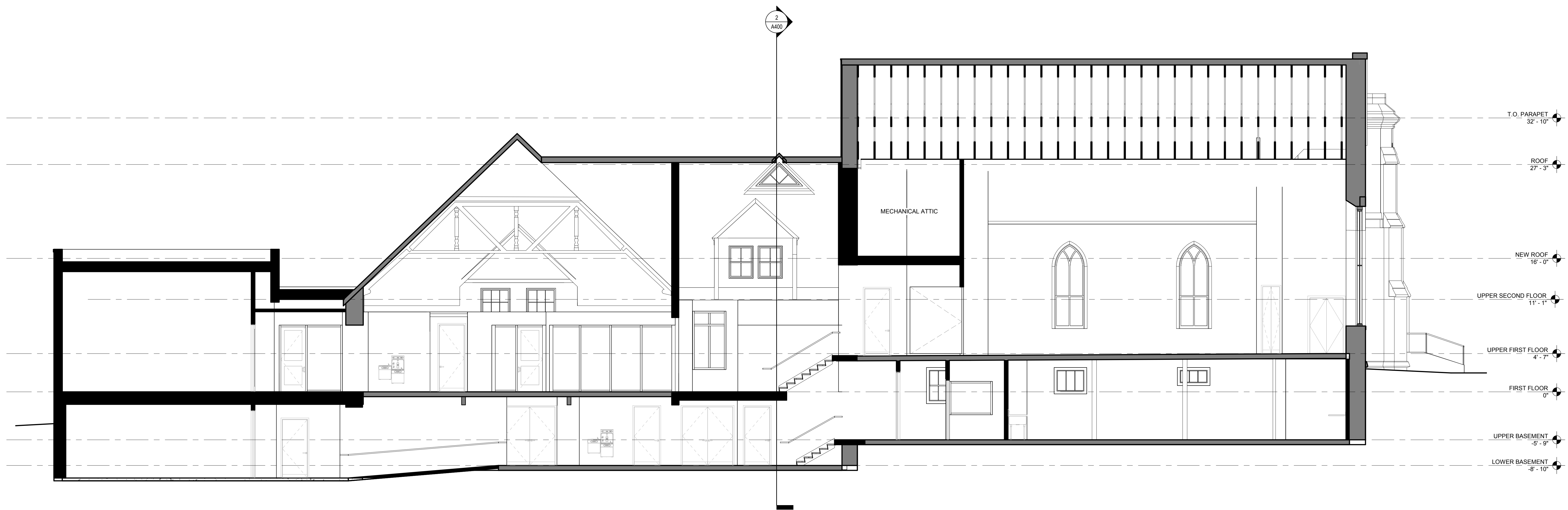
**A301**

SCHEMATIC DESIGN

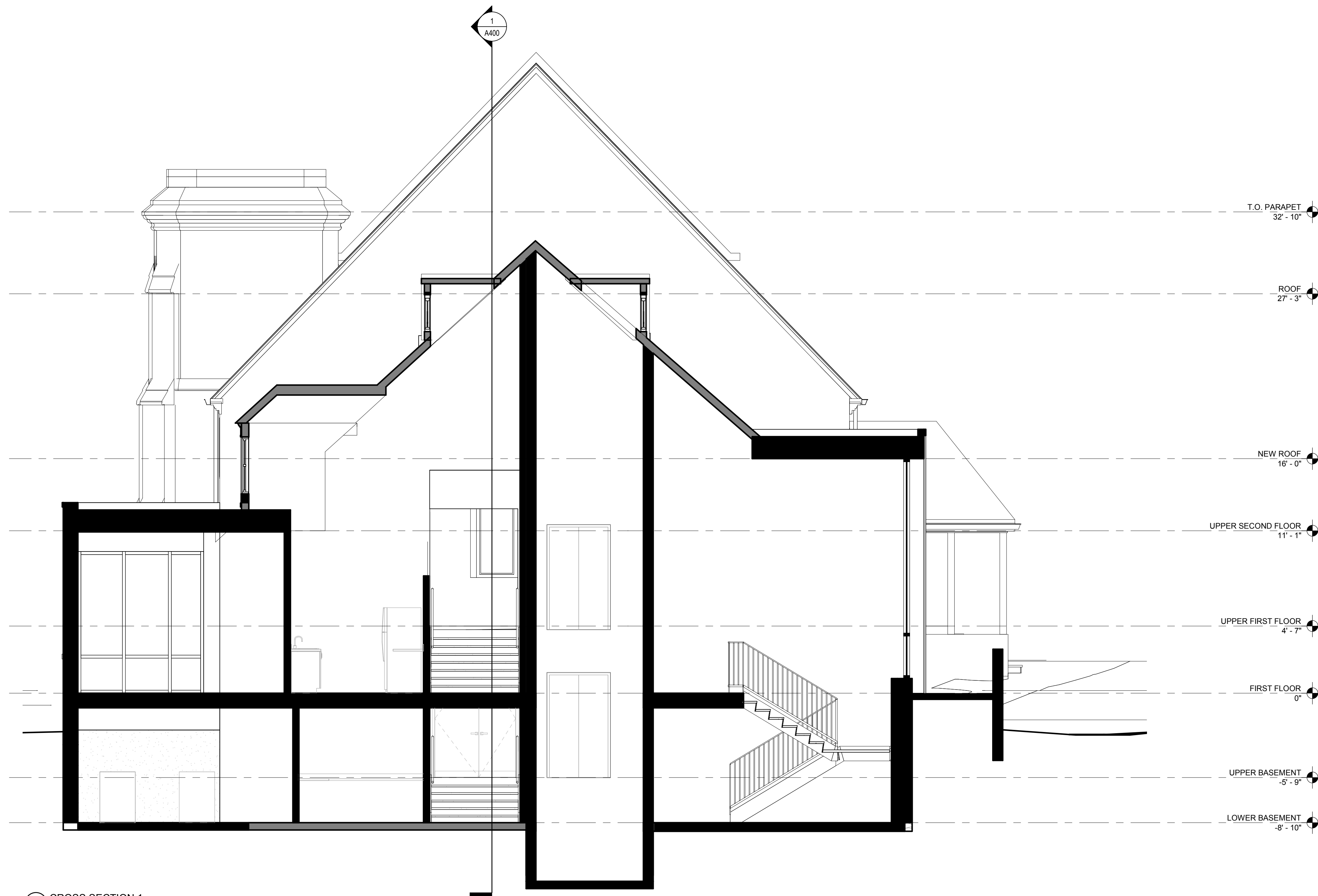


**DBVW  
ARCHITECTS**  
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www.dbvw.com PROVIDENCE, RI 02903

FOR REFERENCE  
ONLY NOT FOR  
CONSTRUCTION



1 LONGITUDINAL SECTION  
3/16" = 1'-0"



2 CROSS SECTION 1  
1/4" = 1'-0"



**New Art Center**  
61 Washington Park  
Newton, MA  
NEW ART CENTER

NO	DATE	DESCRIPTION

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DATE: 05/01/2018

DRAWN BY: BJB

JOB NO: 1803

SCALE: As indicated

BUILDING SECTIONS

**A400**

SCHEMATIC DESIGN