

New Art Center



61 Washington Park Newton, MA

Print Date: 6/15/18 Estimate Number: 105-18 Base

Program Budget

CSI DIVISION	<u> </u>	COST
Division 2	Project Requirements	\$ 163,300
	Scan Concrete Floor Slabs	\$ 2,500
	Site work	\$ 195,980
	Landscape	\$ 40,000
	Selective Demolition	\$ 147,176
Division 3	Concrete	\$ 137,161
	Floor Preparation	\$ 15,000
Division 4	Masonry	\$ 769,860
Division 5	Miscellaneous Metals	\$ 42,300
	Rough Carpentry	\$ 179,485
	Finish Carpentry / Millwork	\$ 137,340
Division 7		\$ 265,850
	Waterproofing	\$ 16,564
	Caulking/Fire Proofing	\$ 16,800
Division 8	Doors, Frames, Hardware	\$ 54,000
	Glass and Glazing	\$ 202,890
Division 9	Gypsum Board Systems	\$ 183,508
	Acoustical Ceiling	\$ 90,126
	Ceramic Tile	\$ 58,950
	Flooring	\$ 66,490
	Painting	\$ 65,094
Division 10	Toilet Partitions / Accessories	\$ 13,200
	Fire Extinguishers/Cabinets	\$ 2,400
	Appliances	\$ 3,500
	Window Treatment	\$ 15,000
	Conveying Systems	\$ 200,000
Division 15	Fire Protection	\$ 120,170
	Plumbing	\$ 147,100
	HVAC	\$ 569,869
Division 16		\$ 345,989
	Tel/Data	NIC
	AV	NIC
	Security	NIC
	SUBTOTAL	\$ 4,267,601
	General Conditions	\$ 288,000
	Estimating Contingency 15.00%	\$ 683,300
	Escalation 3.00%	\$ 128,028
	Building Permit	\$ 99,825
	Fee 4.00%	\$ 214,677
	Liability Insurance	\$ 79,540
	TOTAL	\$ 5,760,972

NEW ART CENTER

61 WASHINGTON PARK NEWTONVILLE, MA 02460

ARCHITECT:

DBVW ARCHITECTS, INC.

111 CHESTNUT STREET PROVIDENCE, RI 02903 T: 401.831.1240 F: 401.331.1945

STRUCTURAL ENGINEER: RSE ASSOCIATES, INC.

63 PLEASANT STREET, SUITE 300 WATERTOWN, MA 02472 T: 617.926.9300

MEP ENGINEER:

WOZNY/BARBAR & ASSOCIATES, INC.

161 EXCHANGE STREET PAWTUCKET, RI 02860 T: 781.826.4144 F: 781.829.5023

CIVIL ENGINEER:

1 CEDAR STREET #400 PROVIDENCE, RI 02903 T: 401.272.8100 F: 401.277.8400

GRAB BAR

CLOSET

(FRONT)

WATER

CLOSET

COORDINATED WITH CODE AND

(SIDE)

INSULATE

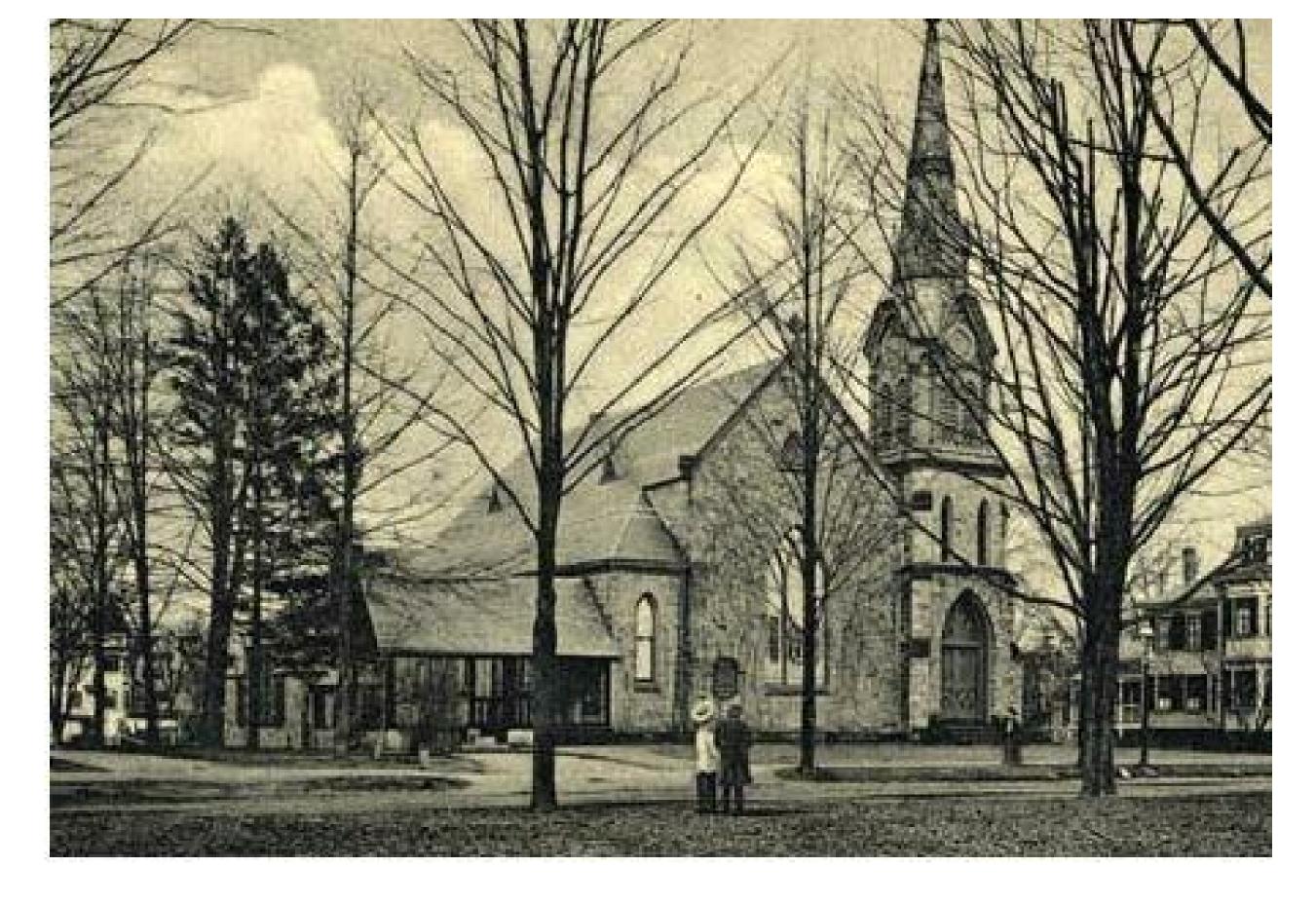
₹ PIPES, TYP

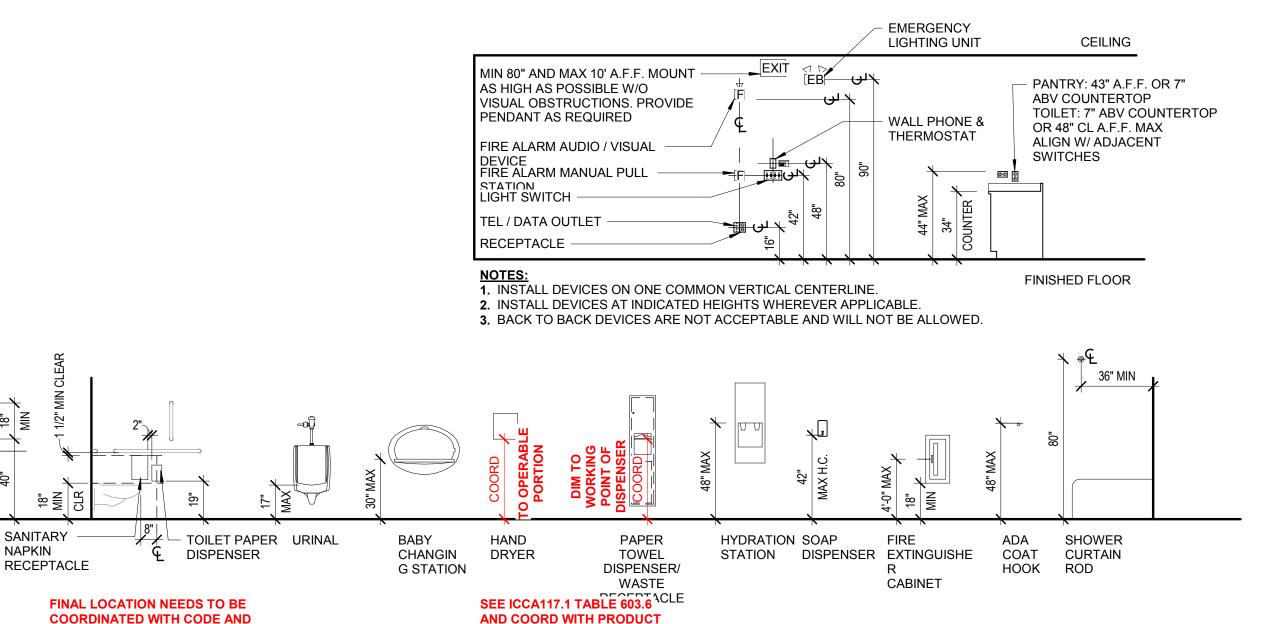
WALL HUNG

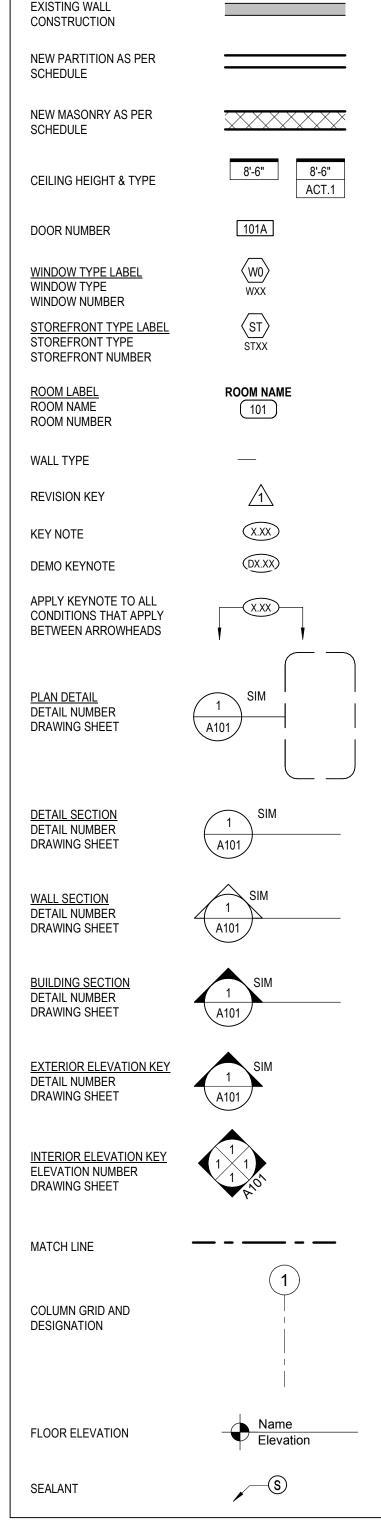
LAVATORY

TYPICAL MOUNTING HEIGHTS

New Art Center







SYMBOLS

REMOVE EXISTING DOOR AND FRAME EXISTING WALL

SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR -----REMOVE EXISTING WALL, ----CONDITIONS SHALL BE THE SAME UNLESS SPECIFICALLY ASSEMBLY, OR EQUIPMENT. DETAILED OR NOTED OTHERWISE. 2. ALL DIMENSIONS ARE TO THE FINISH FACE OF WALL (GWB.) BRICK, CMU) UNLESS NOTED OTHERWISE. DIMENSIONS AT WALLS WITH TILE FINISH ARE TO THE FACE OF SUBSTRATE. 3. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT OF ANY DIMENSIONAL REQUIREMENT AS NECESSARY FOR THE PROPER EXECUTION OF ANY AFFECTED WORK PRIOR TO THE COMMENCEMENT OF SUCH WORK. 4. THE TERM "AFFECTED WORK" AS USED IN THESE GENERAL NOTES SHALL BE DEEMED TO BE ANY REQUIREMENT OF THE CONSTRUCTION DOCUMENTS & SHALL BE FURTHER DEEMED TO INCLUDE THE PROCUREMENT OF ANY & ALL MATERIALS, TOOLS, LABOR, ETC., AS FURTHER DESCRIBED IN THE PROJECT MANUAL, REQUIRED FOR THE EXECUTION OF SUCH 5. THE CONTRACTOR SHALL REPORT ANY DISCREPANCY WITHIN THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION &/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. SUCH CLARIFICATION &/OR RESOLUTION SHALL BE PROVIDED BY THE ARCHITECT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. 6. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE, BUILDING, & UTILITY CONDITIONS, & SHALL REPORT ANY DISCREPANCIES BETWEEN SUCH EXISTING CONDITIONS & THE REQUIREMENTS OF THE CONTRACT DOCUMENTS TO THE ARCHITECT FOR CLARIFICATION &/OR RESOLUTION, PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE SUCH CLARIFICATION &/OR RESOLUTION PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. 7. THE LOCATIONS OF ALL NEW PLUMBING FIXTURES, MECHANICAL EQUIPMENT, DUCTWORK, & PIPING ARE TO BE CONSIDERED DIAGRAMMATIC UNLESS SPECIFICALLY NOTED AND/OR DIMENSIONED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATIONAL REQUIREMENTS FOR THE SAME, & SHALL REPORT ANY CONFLICTS AFFECTING THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. THE ARCHITECT SHALL PROVIDE CLARIFICATION &/OR RESOLUTION REGARDING ANY SUCH CONFLICT ACCORDING TO THE PROVISIONS OF THE PROJECT MANUAL PRIOR TO THE COMMENCEMENT OF ANY AFFECTED WORK. IT SHALL BE THE RESPONISBILITY OF THE CONTRACTOR TO VERIFY REQUIREMENTS FOR ALL OFFSETS, BENDS, ELBOWS, &/OR OTHER COMPONENTS NOT DRAWN BUT NECESSARY FOR PROPER EXECUTION OF THE WORK, & ALL SUCH MISCELLANEOUS COMPONENTS SHALL BE DEEMED TO BE PART OF THE SCOPE OF WORK REQUIRED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MANUFACTURERS' REQUIREMENTS FOR MECHANICAL EQUIPMENT RELATED TO POWER, WATER SUPPLY, DRAINAGE, PADS, BASES, ANCHORAGE, STRUCTURAL OPENINGS, ETC. PIPING & DUCTS PENETRATING WALLS &/OR FLOOR/CEILING ASSEMBLIES SHALL BE PROVIDED WITH ALL NECESSARY FRAMES, BRACING, SAFING, & ACOUSTICAL SEALANT AROUND SUCH OPENINGS. SEE MECHANICAL DRAWINGS & SPECIFICATIONS. 8. THE CONTRACTOR SHALL PROVIDE & INSTALL ALL STIFFENERS, BRACINGS, BLOCKING, BACK-UP PLATES & SUPPORTING BRACKETS NOT DRAWN OR SPECIFIED BUT REQUIRED FOR THE PROPER INSTALLATION OF ALL CASEWORK & SHELVING, TOILET & BATH ACCESSORIES, HAND & GUARD RAILS, & OTHER FIXTURES. **DEFINITIONS:** EXTERIOR RESTORATION DEFINITIONS: NEW - PROVIDE MATERIAL WHICH MATCHES ORIGINAL MATERIAL IN ALL RESPECTS. USE MATERIAL WITH PERFORMANCE CHARACTERISTICS THAT WILL EQUAL OR SURPASS THAT OF THE ORIGINAL MATERIAL REPAIR - RETURN ENTIRE ASSEMBLY TO SOUND CONDITION. MATCH ORIGINAL PROFILES UNLESS NOTED OTHERWISE. INCLUDE ASSOCIATED MATERIALS WHETHER OR NOT EXPOSED TO VIEW AS PART OF THE COMPLETED WORK. REPLACE - REMOVE EXISTING AND INSTALL NEW MATERIAL IN SUCH A WAY AS TO INSURE STRUCTURAL AND VISUAL INTEGRITY OF THE ENTIRE AREA. RESTORE - RETURN TO ORIGINAL FORM AND CONDITION

GENERAL NOTES



DRAWING LIST

BASEMENT DEMOLITION PLAN

ARCHITECTURAL SITE PLAN

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

BUILDING SECTIONS

ROOF PLAN

LOWER AND UPPER BASEMENT PLAN

LOWER AND UPPER FIRST FLOOR PLAN

GENERAL A000

CIVIL

C100

LANDSCAPE L100

ARCHITECTURAL

STRUCTURAL S100

FP100

PLUMBING P100

MECHANICAL M100 -

ELECTRICAL E100

FIRE ALARM FA100 -

T100 -

AUDIO VISUAL

AV100 -

TELECOMMUNICATIONS

FIRE PROTECTION



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New Art Center 61 Washington Park

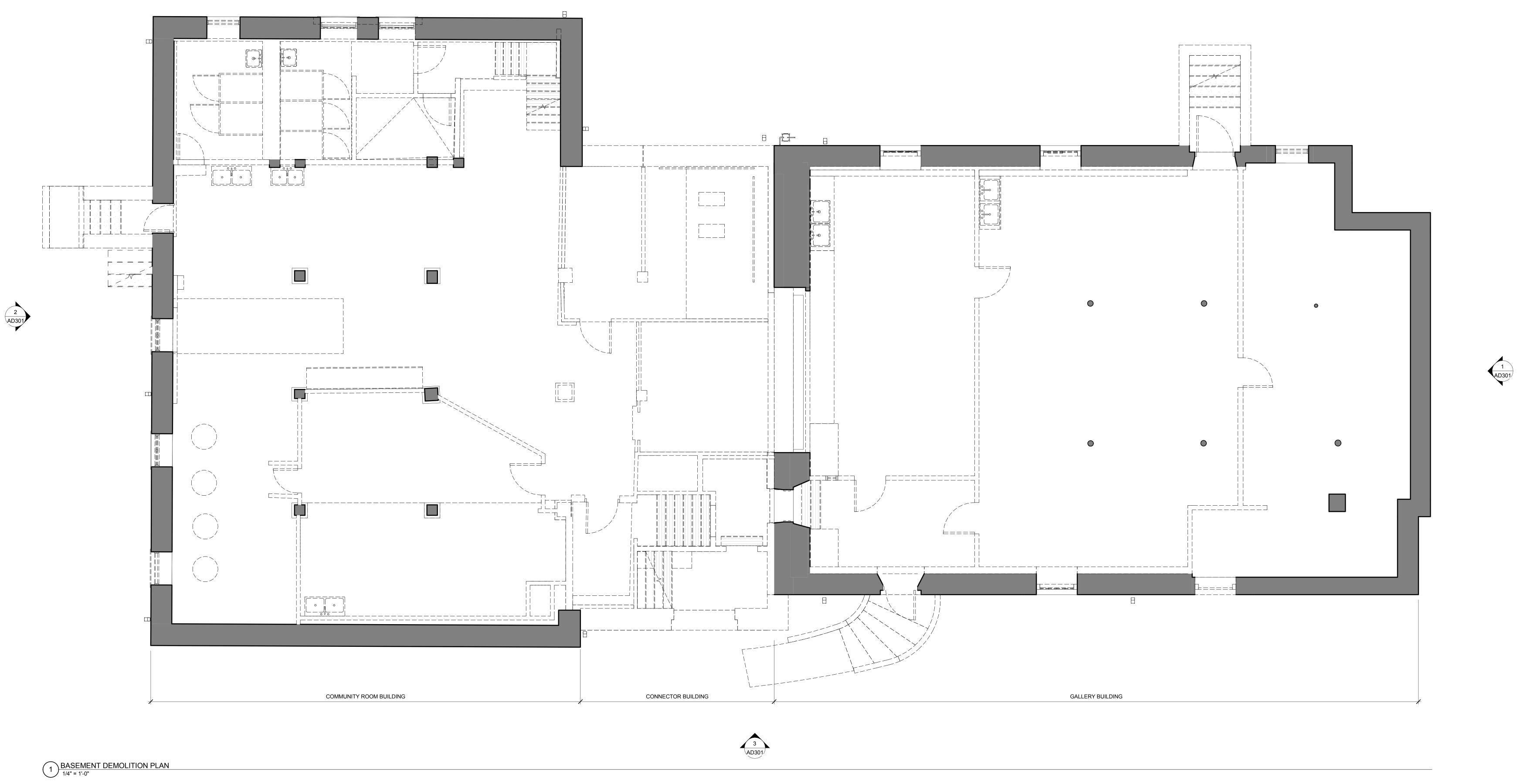
NEW ART CENTER NO DATE DESCRIPTION

Newton, MA

DBVW ARCHITECTS, INC. UNAUTHORIZED USE IS PROHIBITED DATE: 05/01/2018 DRAWN BY: BJB JOB NO: 1803

SCALE: As indicated





DEMOLITION NOTES

- 1. DEMOLITION DRAWINGS DO NOT SHOW ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING EQUIPMENT, ETC. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO BECOME FULLY FAMILIAR WITH THE EXISTING CONDITIONS INCLUDING ALL SUCH ITEMS IN THE CEILINGS, ETC.
- RELOCATE ALL MECHANICAL, ELECTRICAL, FIRE ALARM AND SPRINKLER
 EQUIPMENT AS REQUIRED FOR IMPROVEMENTS REQUIRED BY THE CONTRACT
 DOCUMENTS IN ACCORDANCE WITH ALL STATE AND LOCAL CODE
 REQUIREMENTS.
 WHERE THE PLANS CALL FOR THE REMOVAL OF ANY ITEM, BOARD, PANEL,
 DEVICE EQUIPMENT, ETC. IT IS UNDERSTOOD THAT ALL ASSOCIATED
- ANCHORING SYSTEMS AND APPURTENANCES SUCH AS NAILS, BOLTS,
 STRAPPING AND/OR HARDWARE ARE TO BE REMOVED ACCORDINGLY.
 COORDINATE WITH OWNER ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION.
 THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING WALLS, WINDOWS,
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 THE GENERAL CONTRACTOR IS TO PROVIDE PROTECTION OF ANY EXISTING SPACES BELOW THE AREAS OF CONSTRUCTION THAT WILL BE AFFECTED DUE TO THE CONSTRUCTION OF ACTIVITIES ABOVE. SCHEDULE AND COORDINATE
- CONSTRUCTION ACTIVITIES WITH USERS BELOW SO AS NOT TO INTERRUPT THE WORK FORCE OPERATIONS.
 SEE EXTERIOR ELEVATION SHEETS FOR ADDITIONAL MASONRY REMOVALS AND REPAIRS.

INDICATES AREAS OF REMOVALS

INDICATES AREAS OF STAINED GLASS

DBVVV
ARCHITECTS

T 401 831 1240
www.dbvw.com 111 CHESTNUT STREET
PROVIDENCE, RI 02903

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61 Washington Park
Newton, MA

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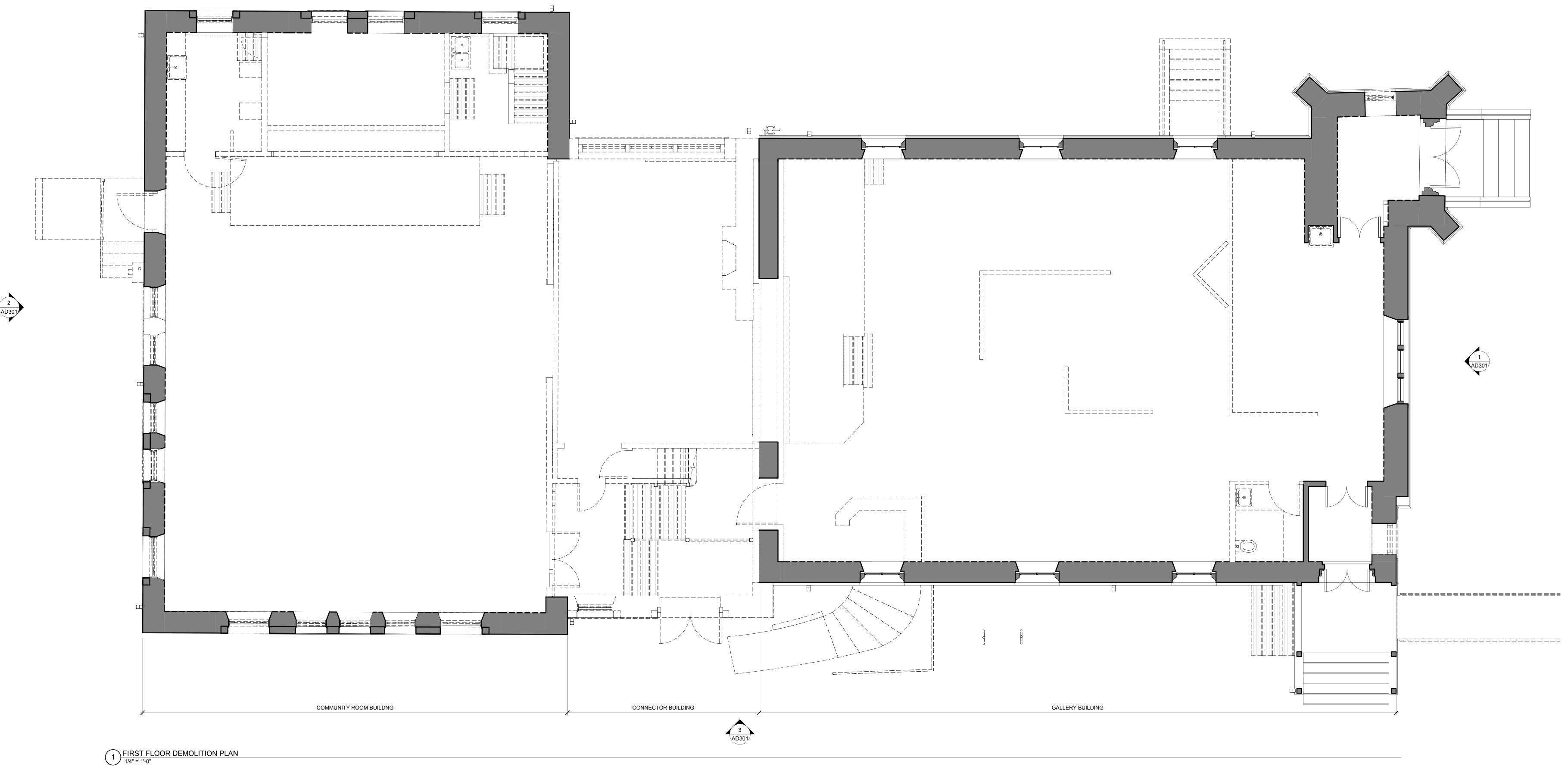
JOB NO: 1803

SCALE: 1/4" = 1'-0"

BASEMENT DEMOLITION PLAN

AD200





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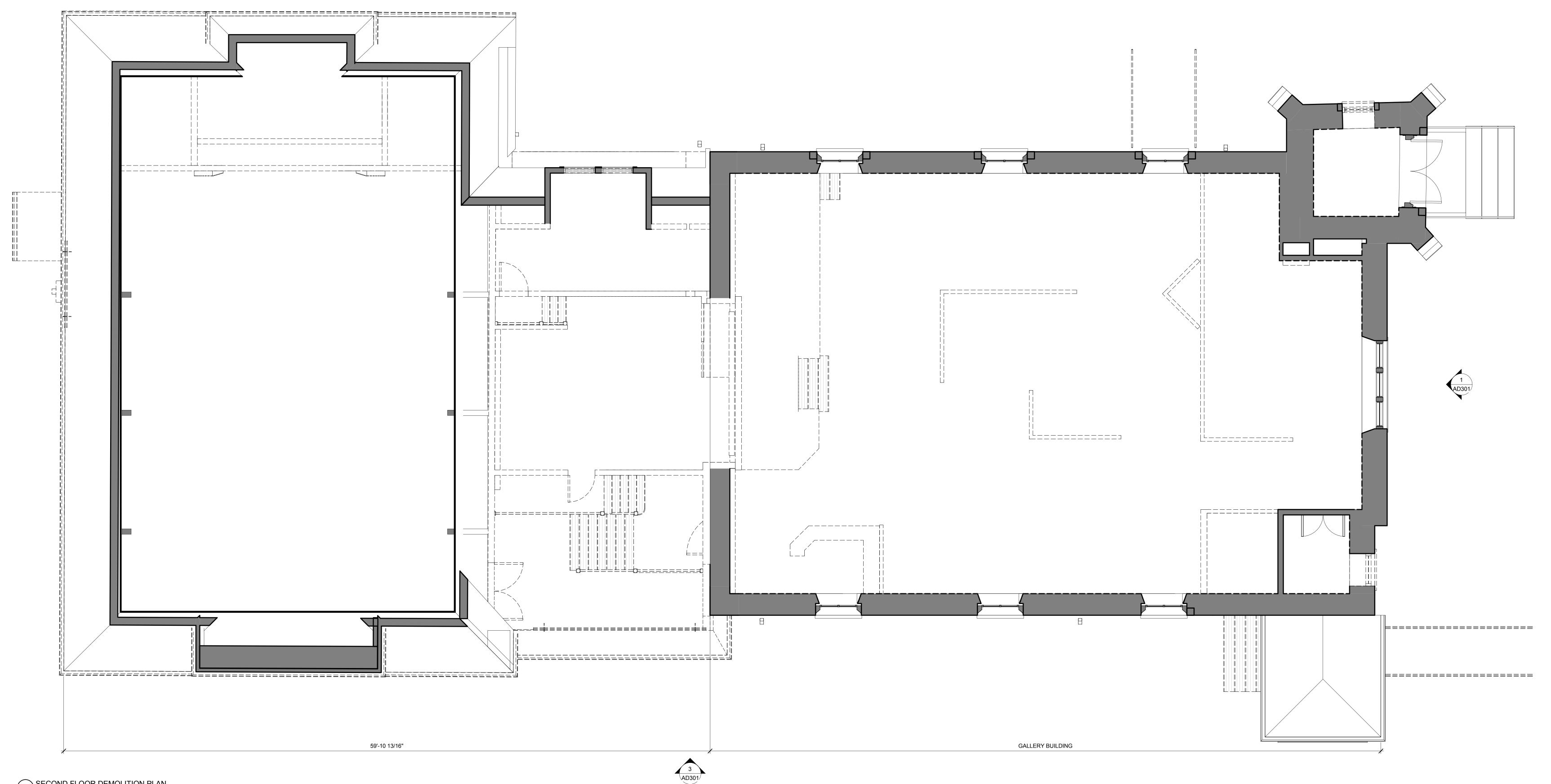
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FIRST FLOOR

DEMOLITION PLAN





DEMOLITION NOTES

ENGINEER.

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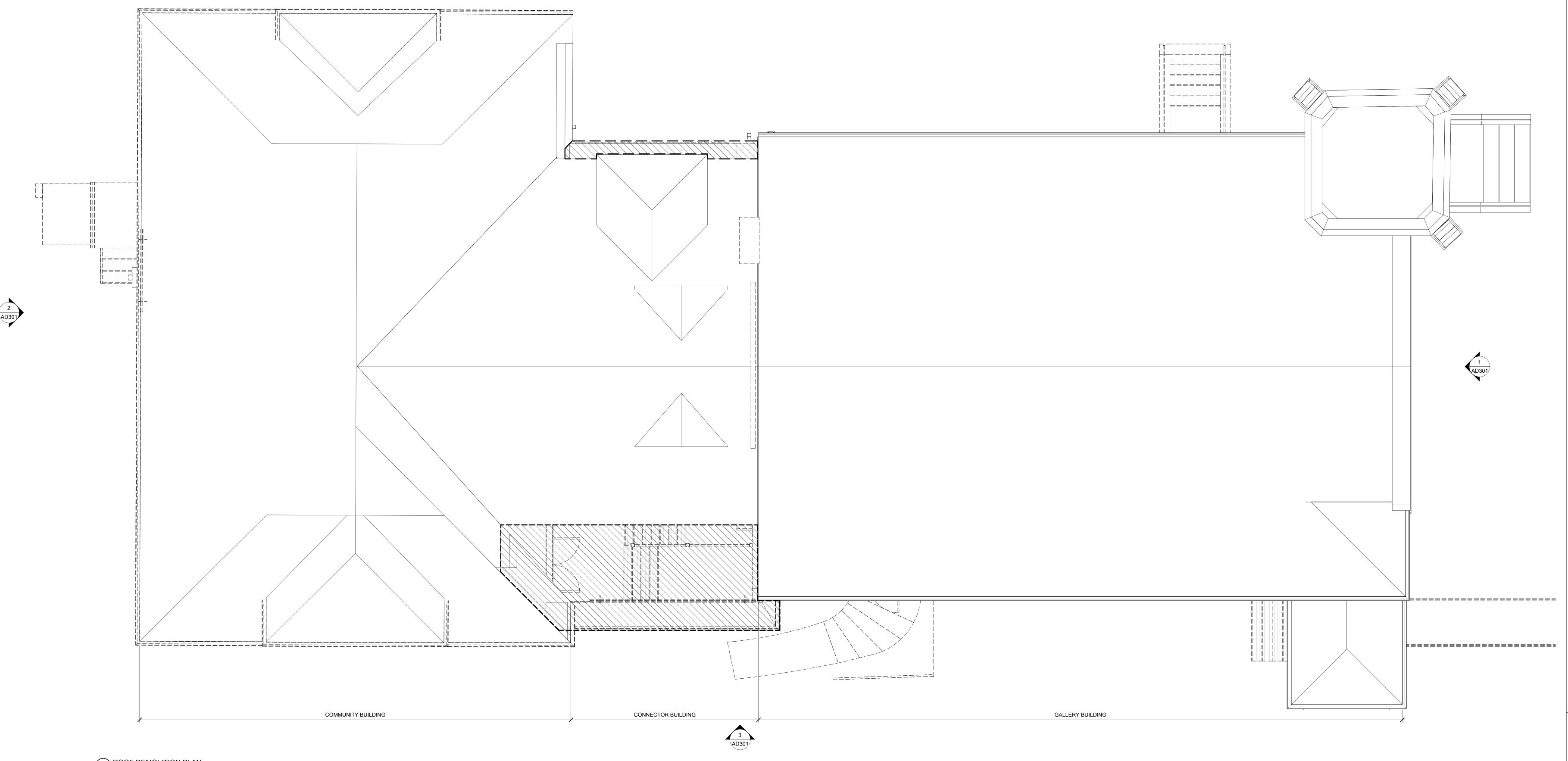
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SCALE: 1/4" = 1'-0"

SECOND FLOOR DEMOLITION PLAN

AD202





61 Washington Park Newton, MA

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JOB NO: 1803 SCALE: 1/4" = 1'-0"

ROOF DEMOLITION

SCHEMATIC DESIGN

DEMOLITION NOTES

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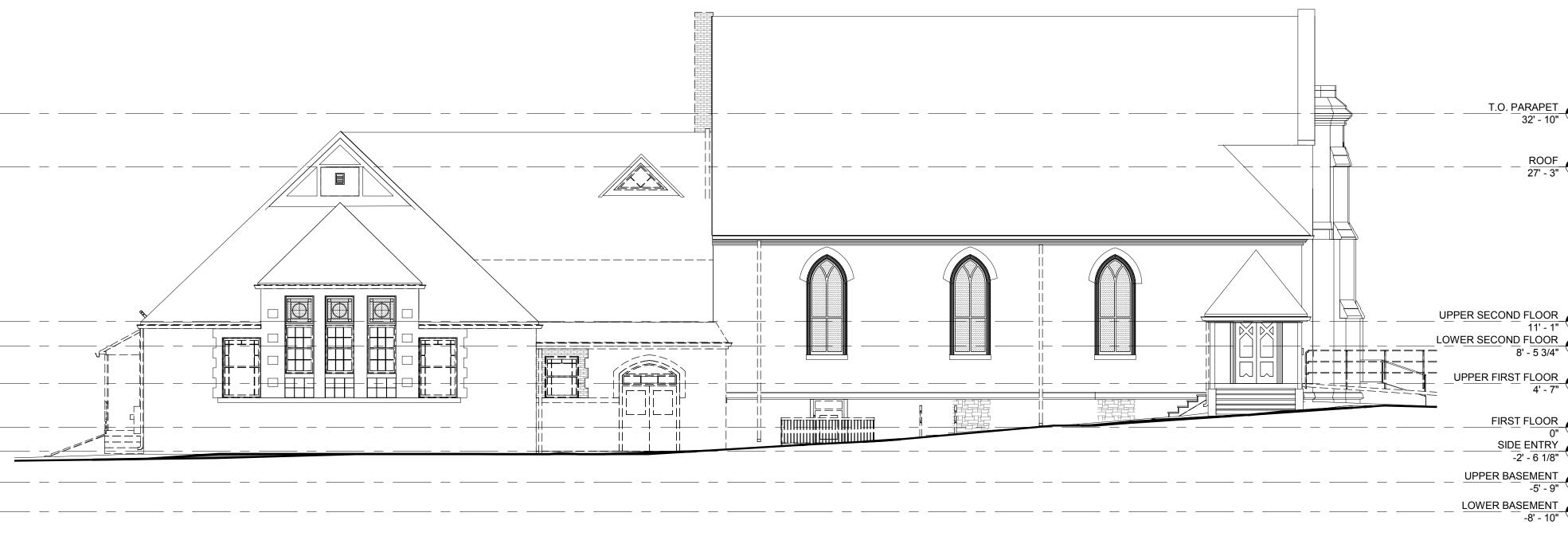
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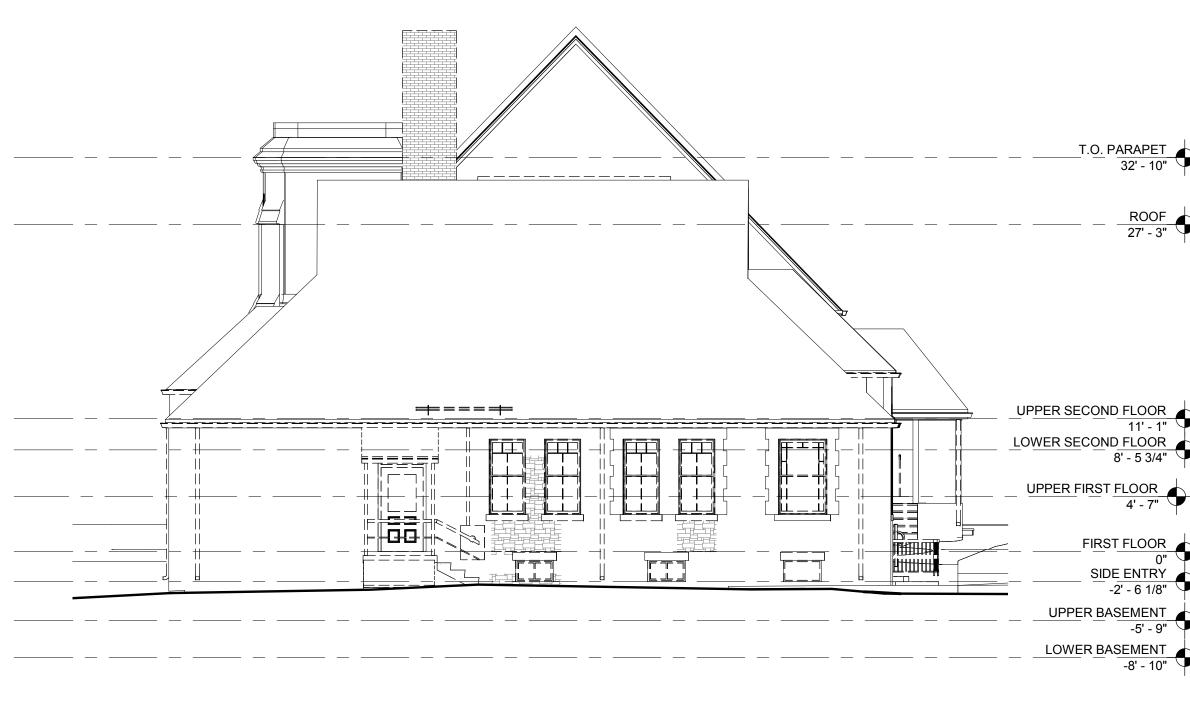


4 DEMOLITION - EAST ELEVATION

1/8" = 1'-0"

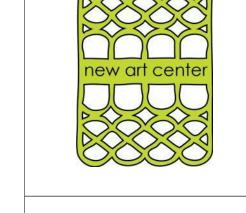
3 DEMOLITION - WEST ELEVATION
1/8" = 1'-0"







1 DEMOLITION - SOUTH ELEVATION
1/8" = 1'-0"



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> **DEMOLITION ELEVATIONS**

SCHEMATIC DESIGN

DEMOLITION NOTES

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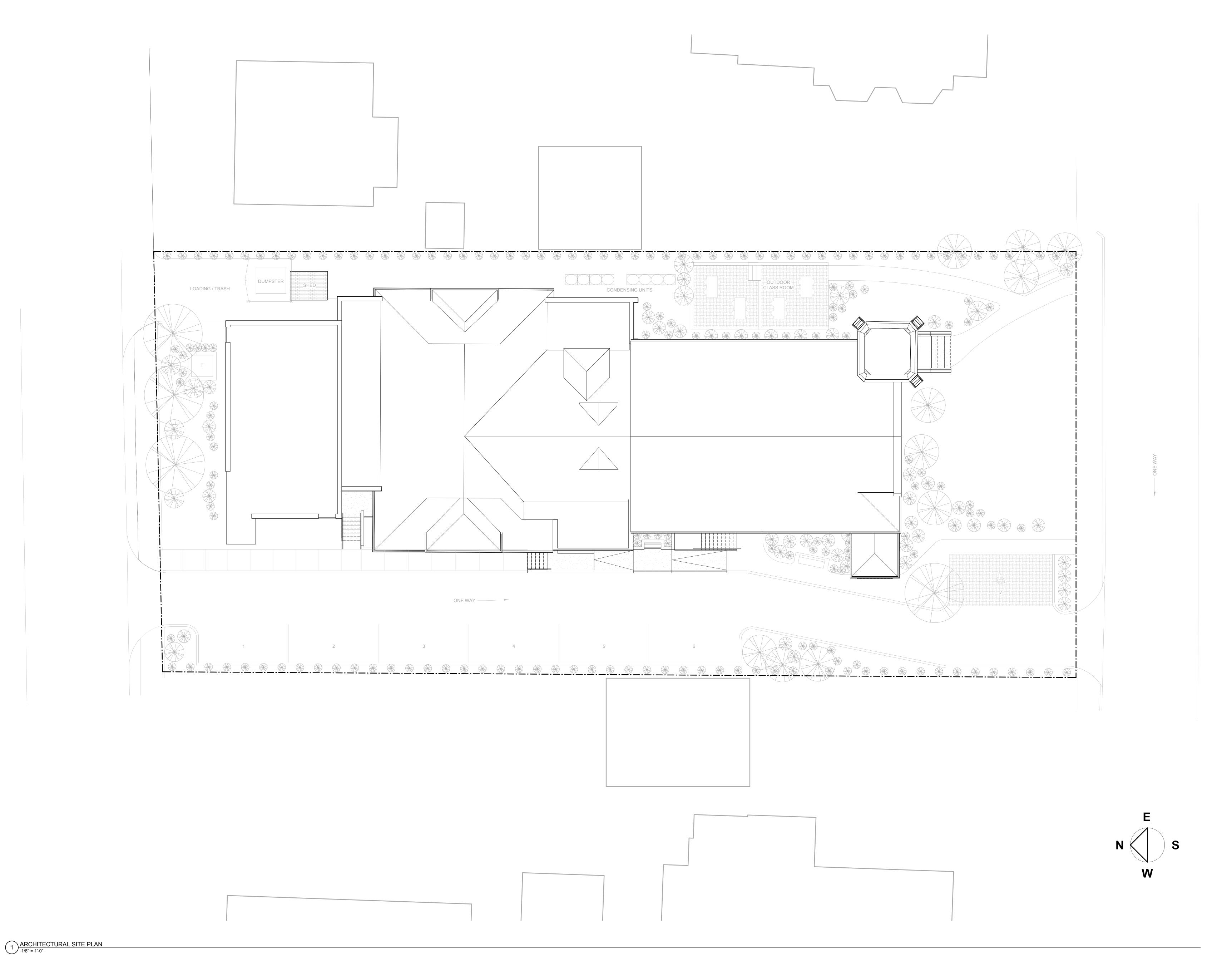
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SEE EXTERIOR ELEVATION SHEETS FOR ADDITIONAL MASONRY REMOVALS AND

INDICATES AREAS OF REMOVALS

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REPAIRS.





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SCALE: 1/8" = 1'-0"

ARCHITECTURAL SITE PLAN

A100

FLOOR PLAN NOTES

1. FIRESTOP AND SEAL ALL PENETRATIONS IN FIRE-RATED WALL & FLOOR ASSEMBLIES. REFER TO CODE PLANS FOR RATING REQUIREMENTS & ADDITIONAL INFORMATION.

2. SEE SHEET A010 CODE PLAN FOR CONCEALED SUPPORTING STRUCTURE REQUIRING 1-HR FIREPROOFING.

3. NEW EXTERIOR WALL HYDRANTS AND ASSOCIATED PIPING SHALL BE FULLY CONCEALED WITHIN INTERIOR WALLS.







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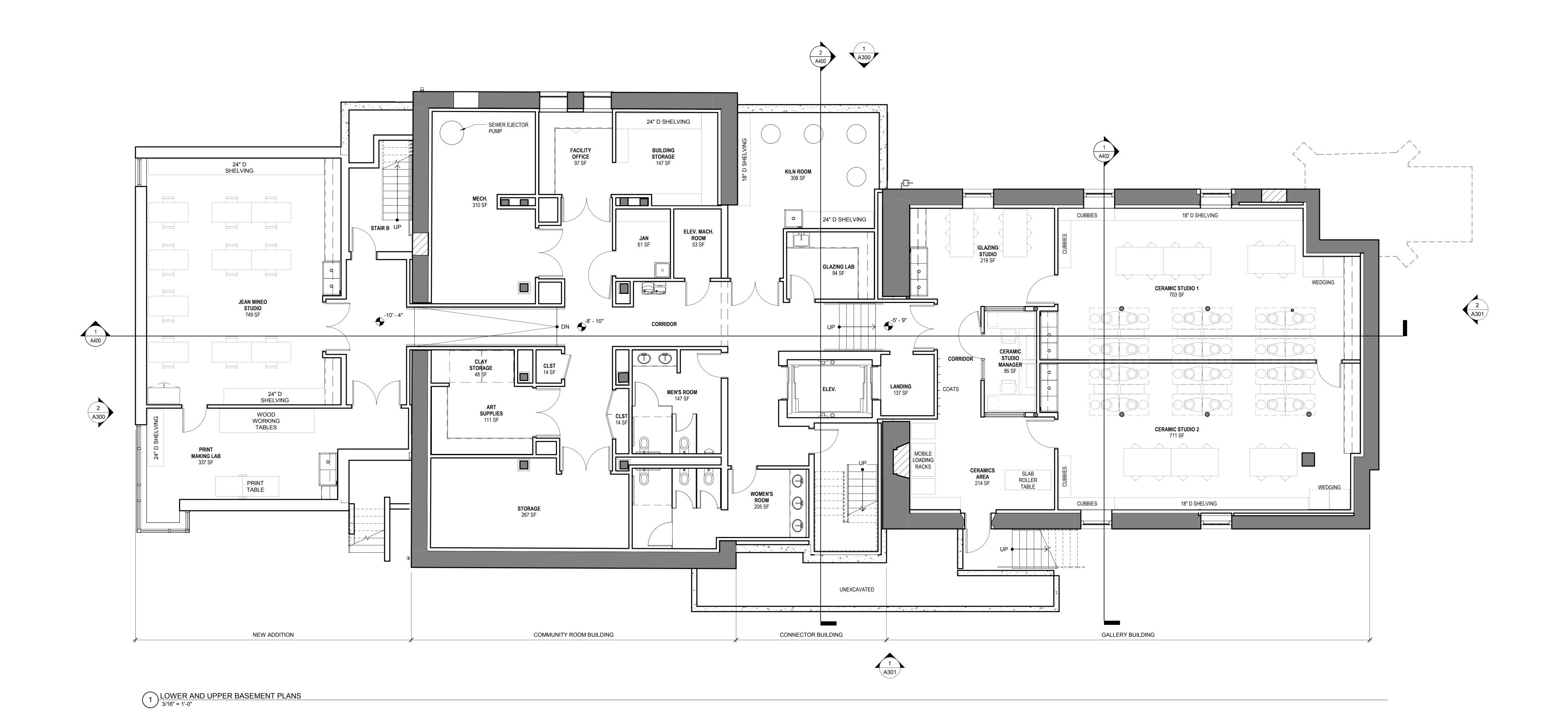
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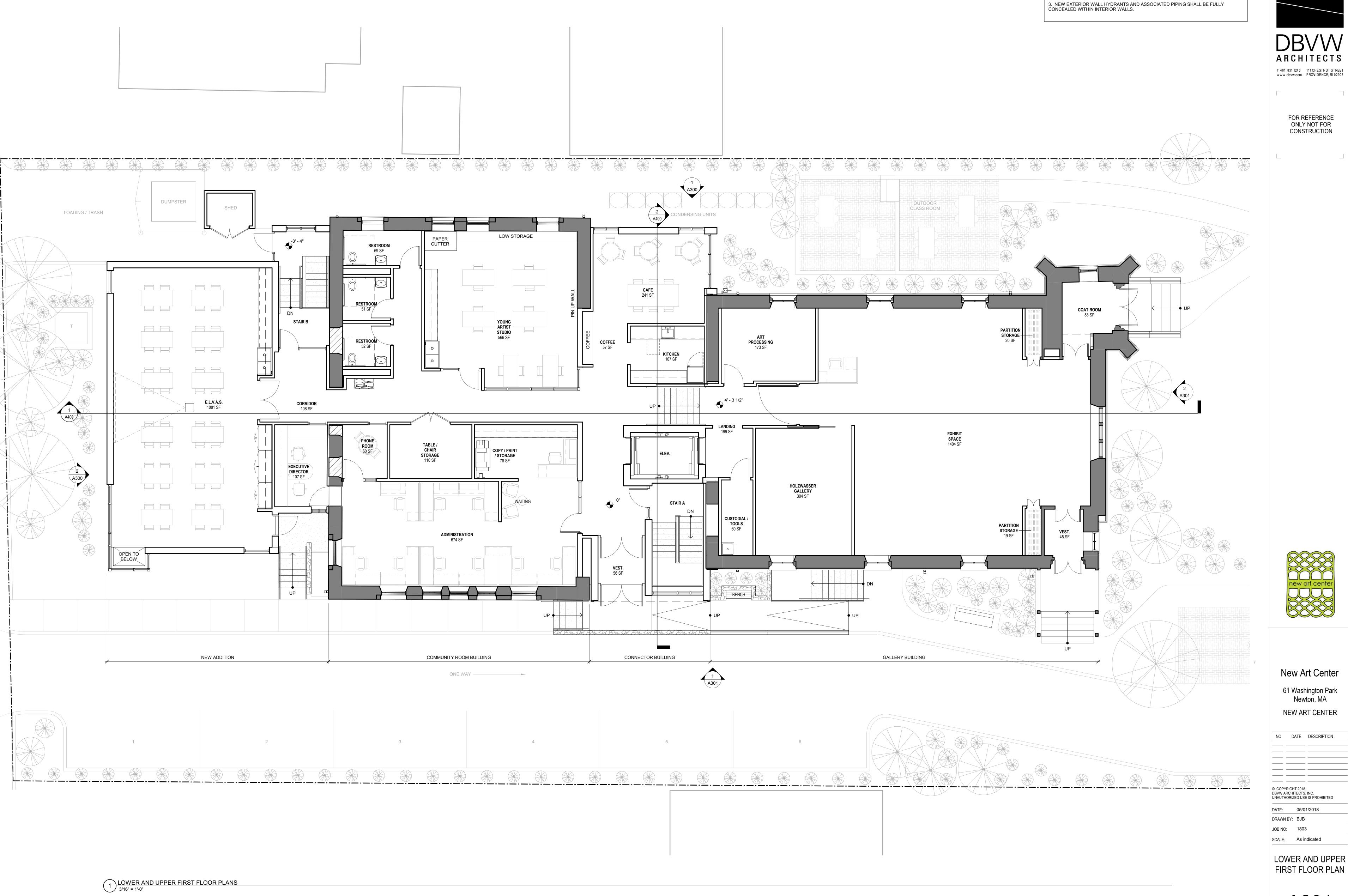
JOB NO: 1803

SCALE: As indicated

LOWER AND UPPER BASEMENT PLAN

A200 SCHEMATIC DESIGN





DBVVV ARCHITECTS

FLOOR PLAN NOTES

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LOWER AND UPPER FIRST FLOOR PLAN

A201



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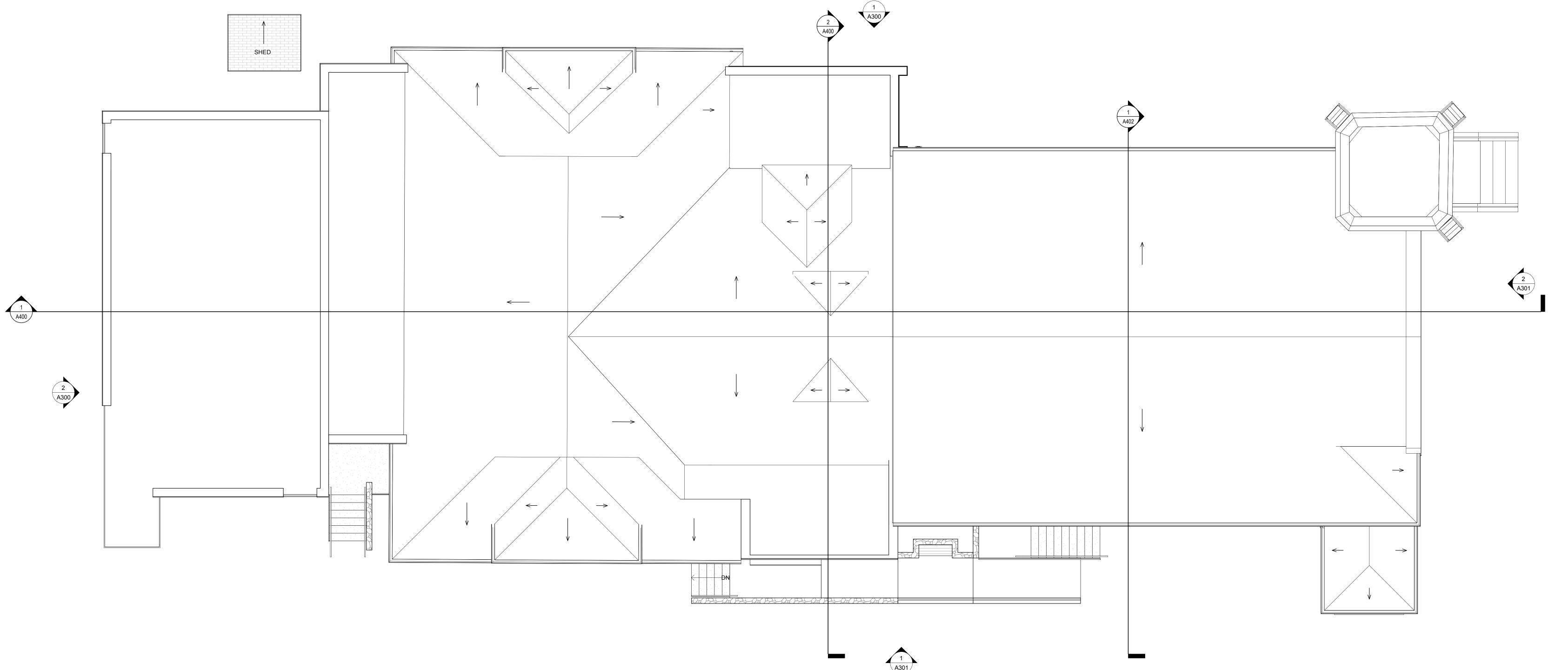
DATE: 05/01/2018

DRAWN BY: BJB JOB NO: 1803

SCALE: 3/16" = 1'-0"

ROOF PLAN

SCHEMATIC DESIGN



ROOF PLAN NOTES

1. FIELD VERIFY QUANTITY AND LOCATION OF PLUMBING VENTS, ROOF CONDUITS, HVAC REF. LINES AND CABLES. FLASH IN ACCORDANCE W/ MANUFACTURER DETAILS AND SPECS. 2. SIZE AND LOCATIONS OF EXHAUST FANS, MECH UNITS, VENT STACKS AND OTHER ROOF PENETRATIONS OF ROOF MTD ITEMS ARE DIAGRAMMATIC, COORD. W/ M/E/P DWG REQUIREMENTS

3. CONTRACTOR SHALL VERIFY IN FIELD AND CONFIRM EXIST. ROOF DECK SLOPES INDICATED ON THE DWG'S ARE ACCURATE. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO ROOF WORK.

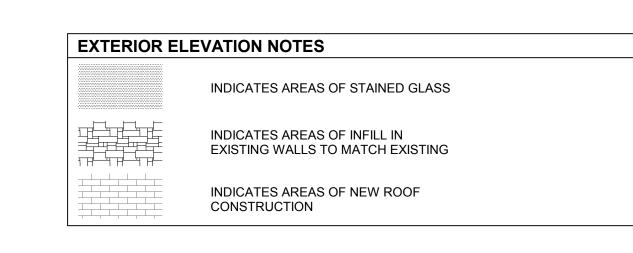
4. ALL WOOD BLOCKING IN ROOF ASSEMBLIES SHALL HAVE JOINTS STAGGERED A MIN. OF 24" 5. WOOD NAILERS SHALL BE SECURELY ANCHORED TO EXIST. ROOF DECK AND/OR STRCT TO RESIST A FORCE OF 300 POUNDS PER LINEAR FOOT IN ANY DIRECTION (TYP)

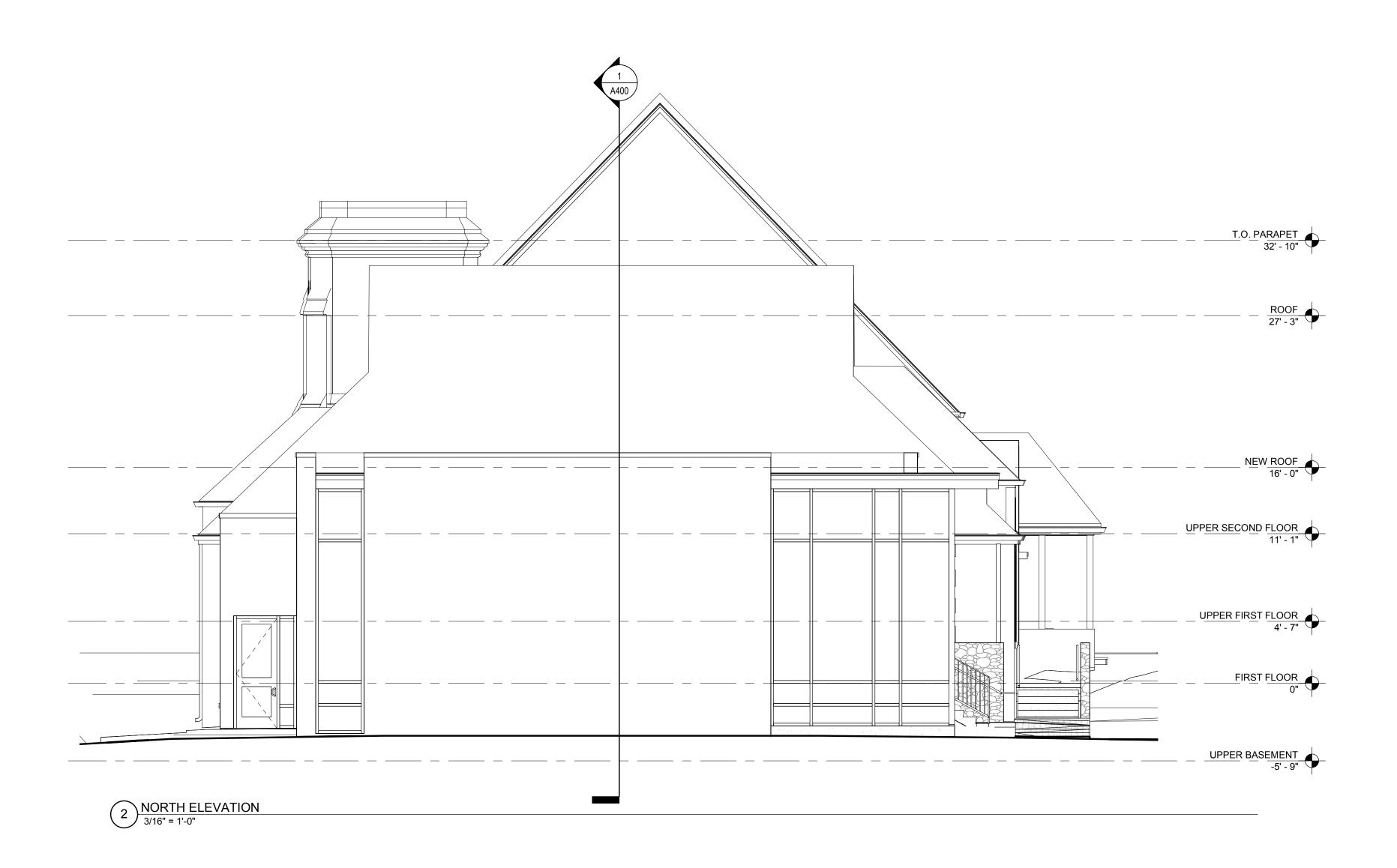
7. NO NEW EQUIP. REQUIRING SERVICING SHALL BE LOCATED WITHIN 10'-0" OF ROOF EDGE.

6. PROVIDE WD. BLK'G AS REQD TO ENSURE CONT. COPING DIMENSIONS FOR EACH INDIVIDUAL ROOF AREA. PERIMETER BLK'G TO ALIGN w/ HIGH POINT OF INSUL. AT ALL CONDITIONS TO MAINTAIN A CONSTANT HORZ. ELEVATION (TYP)

8. SEE SHEET A500 FOR TYPICAL ROOF DETAILS 9. STAGGER JOINTS BETWEEN LAYERS OF INSULATION (TYP)

INDICATES AREAS OF NEW ROOF CONSTRUCTION









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61 Washington Park
Newton, MA

NEW ART CENTER

NO DATE DESCRIPTION

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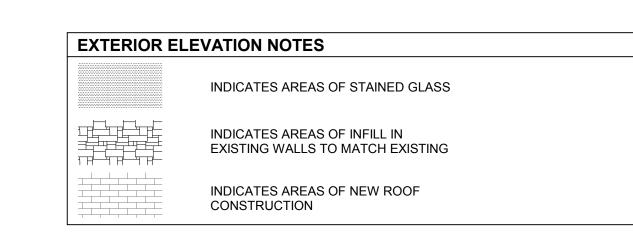
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DRAWN BY: BJB

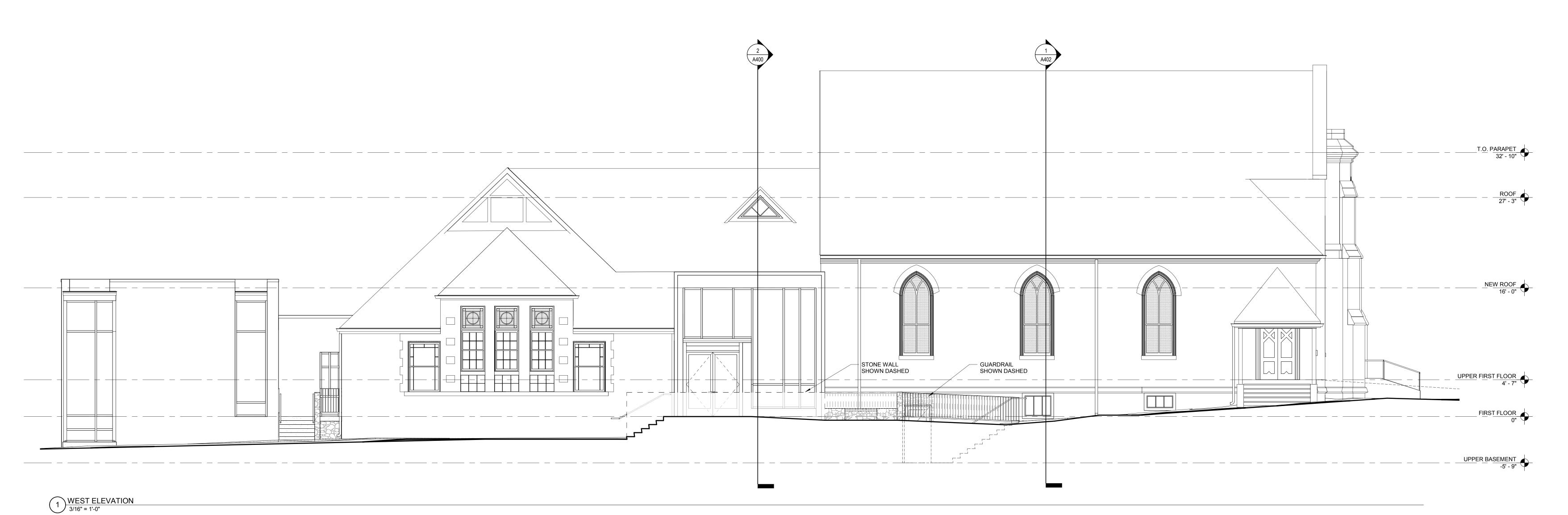
JOB NO: 1803 SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS

A300









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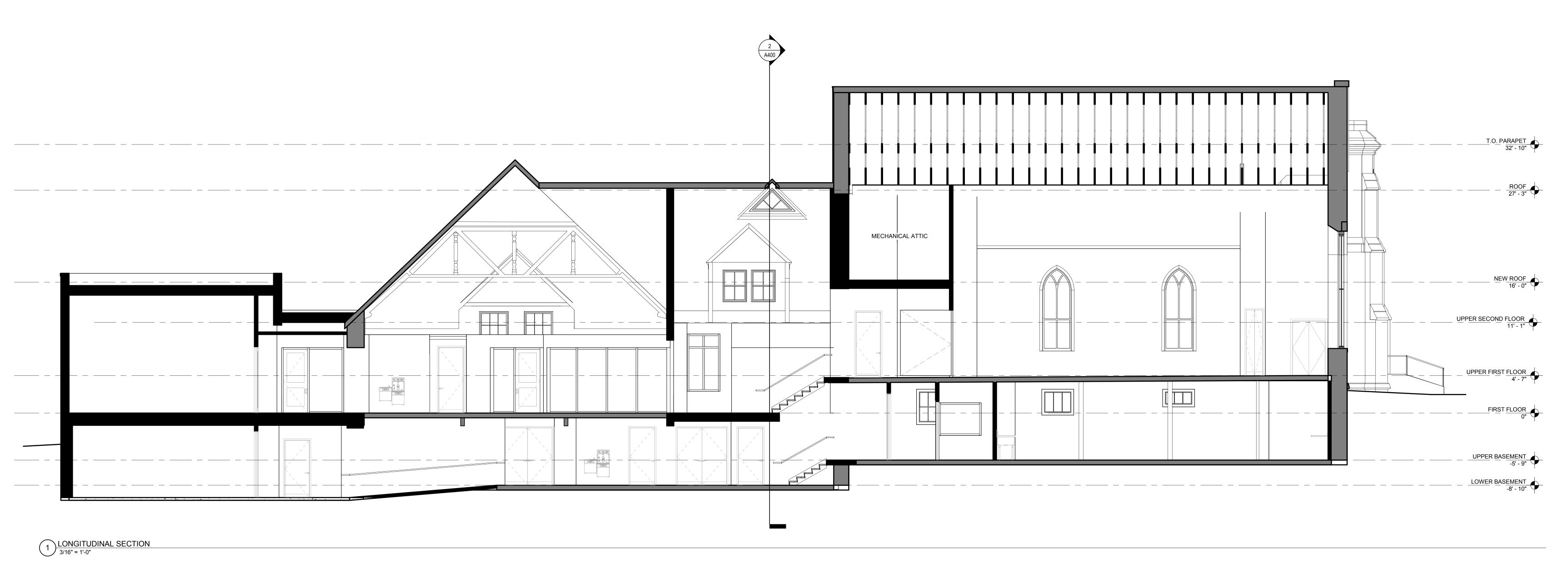
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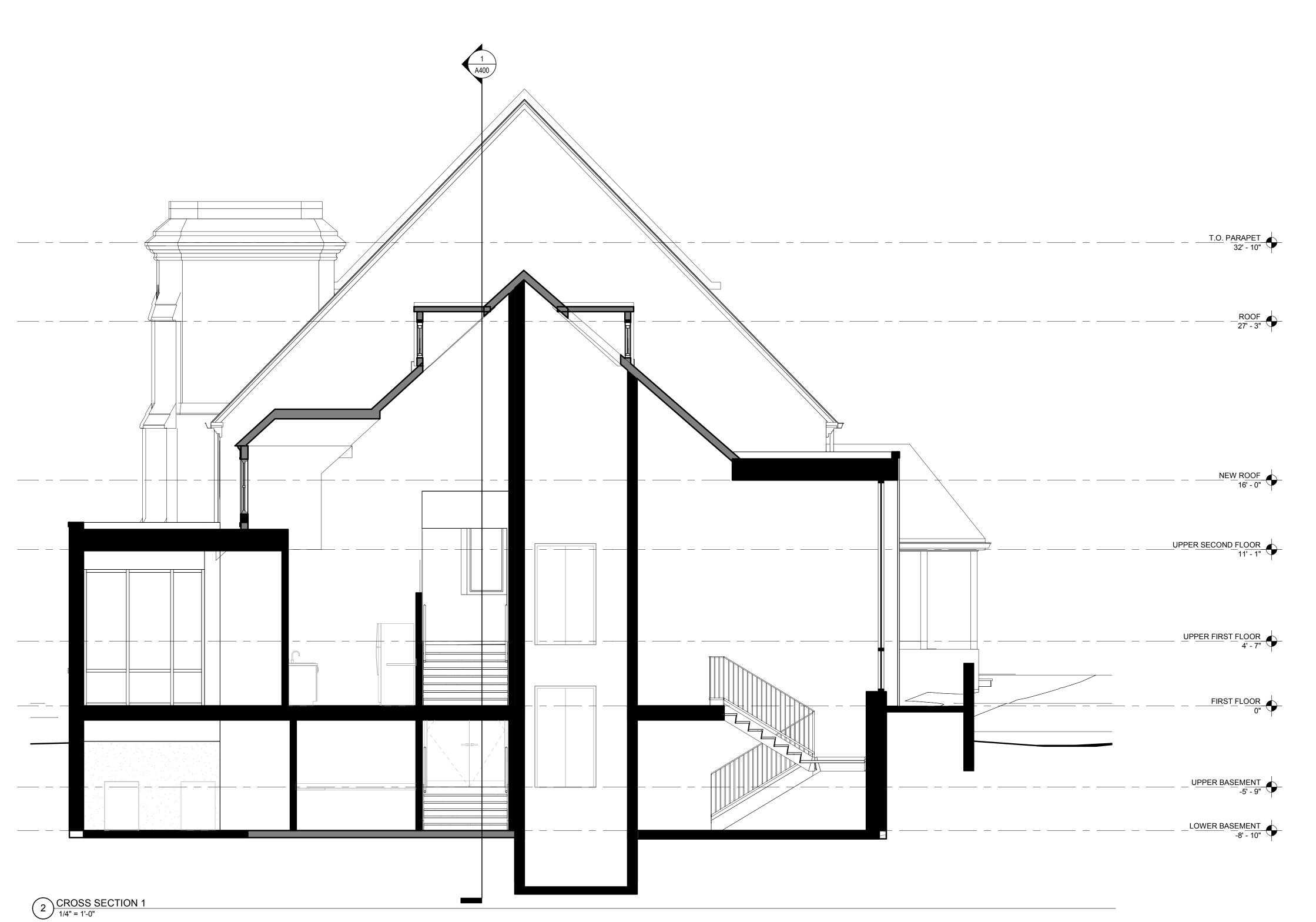
DRAWN BY: BJB

JOB NO: 1803 SCALE: 3/16" = 1'-0"

EXTERIOR ELEVATIONS

A301

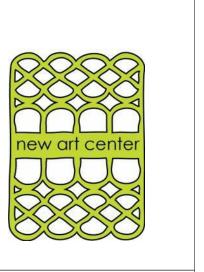






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JOB NO: 1803

SCALE: As indicated

BUILDING SECTIONS

A400