

CONSERVATION COMMISSION AGENDA

The Conservation Commission will hold this meeting as a virtual meeting on Thursday, November 19, 2020 at 7:00 pm. No in-person meeting will take place at City Hall.

Zoom access information for the November 19, 2020 Conservation Commission meeting will be posted at the following web address 48 hours in advance of the meeting.

<http://www.newtonma.gov/gov/planning/conserv/default.asp>

Please feel free to email jsteel@newtonma.gov and crundelli@newtonma.gov with any questions about filings prior to the meeting or access to the meeting.

NOTE: Items may be taken out of order at the Chair's discretion.

NOTE: Discussions of wetland cases may be limited to 20 minutes for RDAs and 40 minutes for NOIs

DECISIONS

I. WETLANDS DECISIONS

1. **Zoning Redesign – Community Engagement Update Presentation**
 - **Presenter:** Nevena Pilipovic-Wengler, Community Planning/Engagement Specialist
2. **1000 Commonwealth Avenue (City Hall Ponds) – OOC – pond dredging – DEP File #239-878**
 - **Owner:** City of Newton **Applicant:** Maria Rose, DPW **Representative:** Robin Casioppo, GZA GeoEnvironmental, Inc.
 - **Request:** Issue OOC.
3. **41 Concord Street (Leo J Martin Golf Course) – OOC (cont'd) – irrigation and snowmaking upgrades – DEP File #239-877**
 - **Owner:** Massachusetts Department of Conservation and Recreation **Applicant:** Raul Silva, DCR **Representative:** Jay Viamari, Tighe and Bond
 - **Request:** Issue OOC.
4. **2345 Commonwealth Avenue – OOC Amendment – relocation of aboveground propane tank – DEP File #239-869**
 - **Owner:** CHSP Newton LLC **Applicant:** Andrew Shelby, Boston Gas Company **Representative:** Amanda Houle, Tighe & Bond, Inc.
 - **Request:** Amend OOC.
5. **326 Fuller Street – OOC Extension – new paddle tennis courts – DEP File #239-813**
 - **Owner/Applicant:** Sean McLaughlin, Brae Burn Country Club **Representative:** none
 - **Request:** Issue 3-year OOC Extension.
6. **55 Boylston Street – COC – new open dining deck and rain gardens – DEP File #239-765**
 - **Owner/Applicant:** Chestnut Hill Shopping Center LLC **Representative:** none
 - **Request:** Issue COC.

II. CONSERVATION AREA DECISIONS

7. **Bee Policy**

III. ADMINISTRATIVE DECISIONS

8. **Commission Engagement: Packets, site visits, etc.**
9. **Recognition of past Commissioners**
10. **Minutes of 10/29/20 to be approved**

IV. ISSUES AROUND TOWN DECISIONS

UPDATES

V. WETLANDS UPDATES

VI. CONSERVATION AREA UPDATES

VII. ISSUES AROUND TOWN UPDATES

VIII. ADMINISTRATIVE UPDATES

OTHER TOPICS NOT REASONABLY ANTICIPATED BY THE CHAIR 48 HOURS BEFORE THE MEETING

ADJOURN



Mayor
Ruthanne Fuller

**Director
Planning &
Development**
Barney Heath

**Chief
Environmental
Planner**
Jennifer Steel

**Assistant
Environmental
Planner**
Claire Rundelli

**Conservation
Commission
Members**
Kathy Cade
Dan Green
Judy Hepburn
Ellen Katz
Susan Lunin
Jeff Zabel
Leigh Gilligan

1000 Comm. Ave.
Newton, MA 02459
T 617/796-1120
F 617/796-1142

www.newtonma.gov

The location of this meeting/event is wheelchair accessible and Reasonable Accommodations will be provided to persons with disabilities who require assistance. If you need a Reasonable Accommodation, please contact the city of Newton's ADA/Section 504 Coordinator, Jini Fairley, at least two business days in advance (2 weeks for ASL or CART) of the meeting/event: jfairley@newtonma.gov or (617) 796-1253. The city's TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

CONSERVATION COMMISSION AGENDA

The Conservation Commission will hold this meeting as a virtual meeting on Thursday, November 19, 2020 at 7:00 pm. No in-person meeting will take place at City Hall.

Zoom access information for the November 19, 2020 Conservation Commission meeting will be posted at the following web address 48 hours in advance of the meeting.

<http://www.newtonma.gov/gov/planning/conserv/default.asp>

Please feel free to email jsteel@newtonma.gov and crundelli@newtonma.gov with any questions about filings prior to the meeting or access to the meeting.

NOTE: Items may be taken out of order at the Chair's discretion.

NOTE: Discussions of wetland cases may be limited to 20 minutes for RDAs and 40 minutes for NOIs

DECISIONS

I. WETLANDS DECISIONS

1. Zoning Redesign – Community Engagement Update Presentation

- **Presenter:** Nevena Pilipovic-Wengler, City of Newton Community Planning/Engagement Specialist
- **Staff Notes:** As the Zoning Redesign process starts up again, there will be a renewed push for community engagement. Planning Department staff wish to update/engage the Commission.

2. 1000 Commonwealth Avenue (City Hall Ponds) – OOC – pond dredging – DEP File #239-878

- **Owner:** City of Newton **Applicant:** Maria Rose, DPW **Representative:** Robin Casioppo, GZA GeoEnvironmental, Inc.
- **Request:** Issue OOC.
- **Documents Presented:** Colored plans, site photos, draft OOC
- **Jurisdiction:** Bank, LUWW
- **Performance Standards**

- **Bank: 310 CMR 10.54 of POND**

(a) Work on a Bank shall not impair the following:

1. The physical stability of the Bank;
2. The water carrying capacity of the existing channel within the Bank;
3. Ground water and surface water quality;
4. The capacity of the Bank to provide breeding habitat, escape cover and food for fisheries;
5. The capacity of the Bank to provide important wildlife habitat functions. A project ... that (cumulatively) alter(s) up to 10% or 50 feet (whichever is less) of the length of the bank found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions.
6. Work on a stream crossing

(b) Structures may be permitted in or on a Bank ...

(c) No project may be permitted which will have any adverse effect on specified habitat sites of Rare Species.

- **LUWW: 10.56**

(a) Work shall not impair the following:

1. The water carrying capacity within the defined channel, which is provided by said land in conjunction with the banks;
2. Ground and surface water quality;
3. The capacity of said land to provide breeding habitat, escape cover and food for fisheries; and
4. The capacity of said land to provide important wildlife habitat functions. A project... that (cumulatively) alter(s) up to 10% or 5,000 square feet (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations... may



Mayor
Ruthanne Fuller

**Director
Planning &
Development**
Barney Heath

**Chief
Environmental
Planner**
Jennifer Steel

**Assistant
Environmental
Planner**
Claire Rundelli

**Conservation
Commission
Members**
Kathy Cade
Dan Green
Judy Hepburn
Ellen Katz
Susan Lunin
Jeff Zabel
Leigh Gilligan

1000 Comm. Ave.
Newton, MA 02459
T 617/796-1120
F 617/796-1142

www.newtonma.gov

The location of this meeting/event is wheelchair accessible and Reasonable Accommodations will be provided to persons with disabilities who require assistance. If you need a Reasonable Accommodation, please contact the city of Newton's ADA/Section 504 Coordinator, Jini Fairley, at least two business days in advance (2 weeks for ASL or CART) of the meeting/event: jfairley@newtonma.gov or (617) 796-1253. The city's TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures established under 310 CMR 10.60.

5. Work on a stream crossing....

(b) The issuing authority may issue an Order to maintain or improve boat channels

(c) No project may be permitted which will have any adverse effect on rare species.

• **Wildlife Habitat Evaluation: 10.60.**

- Evaluation of topography, wildlife usage, soil structure, plant community must be characterized
- Impact areas and impacts must be evaluated.

• **Stormwater Standards:** DEP confirmed that this project is exempt from the standards (because there are no new point source discharges and no new construction).

• **Sediment Quality**

• **City Floodplain. Sec. 22-22. Floodplain/Watershed Protection Provisions**

(b)(1) Except as provided in subsections (b)(2) and (e) of this section, no building or other structure shall be erected, constructed, altered, enlarged or otherwise created for any residence or other purpose ... which will restrict floodwater flow or reduce floodwater storage capacity shall be permitted.

(b)(3) No order of conditions shall be issued under paragraphs (2)(b)-(2)(f) of this subsection unless it is demonstrated to the satisfaction of the conservation commission that the cumulative effect of the proposed project, when combined with all other existing and anticipated development, will not increase the water surface elevation of the 100-year flood at any point within the city.

○ **Project Summary**

- Restore the open water resource and hydraulic capacity of City Hall Ponds, improve flood control, and improve the ecological and recreational values of the historic City Hall Ponds by performing maintenance sediment removal (including the removal of accumulated sediment from a portion of the upgradient Hammond Brook and Cold Spring Brook culverts).
- Remove 1-3 feet of accumulated sediment over 0.9 acres.
- Work will begin Fall 2021; planting will occur Spring 2022.
- Timeline of Work: (1) Install erosion controls. (2) Install temporary access roads. (3) Bypass pump stream. (4) Dewater ponds. (5) Excavate ponds from within the basin by excavators, backhoes, and similar equipment. (6) Repair bridge surfaces. (7) Revegetate disturbed areas.
- A total of 3,270±CY of sediment is estimated for removal from City Hall Ponds and 330±CY from culverts.
- Most sediment dewatering will occur in the basins, but some stockpiling may occur on land prior to trucking material off the site.

○ **Staff Notes**

- The ponds are man-made, and stone walled. There is no BVW. There may be a clay liner in places.
- City Hall Ponds have been managed as stormwater collection facilities, flood management/attenuation facilities, and aesthetic features.
- The ponds were previously dredged in 1980, 1992, and 2013.
- The applicant is requesting that the Commission consider a provision to allow for future maintenance dredging when needed, through an ongoing Special Condition including required notification to the Commission and reporting to be specified by the Commission. Staff feel that future maintenance dredging should be reviewed through an NOI.
- Sediment is clean enough for the City to use it at 70 Crescent Street. DEP confirmed upland reuse is okay.
- Wildlife habitat is fairly limited. It will not be adversely impacted and will likely be improved. A full Wildlife Habitat Evaluation was conducted and found that for all likely wildlife (i.e., frogs, turtles, birds, fish, and mammals), the project will likely improve pond bottom habitat, the buffer zone habitat, and bank habitat.
- Sediment quality is better than it used to be, thanks to better watershed management.
- O&M of the upgradient pond (with monthly inspections) will limit need for future dredging.
- The restoration plant list looks appropriate.

○ **Staff Questions and Concerns:**

- What is the anticipated duration of the bypass pumping/ work in the basins?
- What scale of vehicles/machinery will be utilized? (Please comment on all trucks, excavators, etc.)
- Construction access: narrative says "minor surface grading"; however, plans show a full gravel roadway.
- Might a frac tank be necessary for the bypass pumping?

- Plan sheet C-6 notes that dewatering effluent will be addressed in some way. ConCom must approve the proposed plans. Narrative says “During excavation of the most downgradient pond lobe, a separate dewatering best management practice (BMP) will be used to treat pumped dewatering flows prior to discharge. Contractor shall select and operate BMP(s) based on specific site conditions present at that time, with the BMP required to be reviewed and approved by the Engineer prior to use. ConCom must approve any dewatering plans.
- In general, ConCom must approve any changes, details proposed. (See NOTES 1 and 3 on C-6)
- Applicant should provide revised sheets that provide one plan for site restoration, as currently site restoration plans vary among the narrative, and the different plan sheets, from seed, to loam and seed, to loam and sod.
- Truck wash site details are missing and should be provided.
- Catch-basins should be identified for sediment controls (e.g., silt sacks).
- Plant locations/spacing should be clarified and Parks and Rec should be consulted since there are “bare” spots that might need filling in.
- NOTE: Staff would like the applicant to address the possibility of accessing the ponds from the pathways along Walnut Street to limit disturbance of lawn and vegetated buffer. The included plan sheet shows current proposed access in yellow and possible improved access in pink. Existing pathways could provide vehicular access. Existing unvegetated areas could provide access to the ponds.
- **Staff Recommendations:** Once plans are finalized, issue an OOC for the proposed dredging with the following special conditions:
 - The approved plans for access and restoration must be adhered to.
 - Dewatering must occur as noted on plan sheet C-6.
 - Turbidity curtain must be installed as noted on plan sheet C-6.
 - Construction Notes 8, 9, 12, 13, 14 on plan sheet C-7 must be adhered to.
 - Sediment Excavation Note 2 on plan sheet C-7 must be adhered to.
 - Footbridge Repair Notes 1, 4 on plan sheet C-7 must be adhered to.
 - Restoration Note 4 on plan sheet C-7 must be adhered to.
 - The O&M Plan must be recorded and adhered to.
 - Restoration plants must survive 2 growing seasons.

3. 41 Concord Street (Leo J Martin Golf Course) – OOC (cont’d) – irrigation and snowmaking upgrades – DEP File #239-877

- **Owner:** Massachusetts Department of Conservation and Recreation **Applicant:** Raul Silva, DCR **Representative:** Jay Viamari, Tighe and Bond
- **Request:** Issue OOC.
- **Documents Presented:** Colored plans, site photos, draft OOC
- **Jurisdiction:** Buffer Zone, Riverfront Area, Bank, LUWW, BLSF, City Floodplain
- **Performance Standards:**
 - **Riverfront Area: 10.58(4)**
 - (c) Practicable and Substantially Equivalent Economic Alternatives.
 - (d) No Significant Adverse Impact.
 1. Within 200 foot riverfront areas, the issuing authority may allow the alteration of up to 5000 square feet or 10% of the riverfront area within the lot, whichever is greater ..., provided that:
 - a. At a minimum, a 100’ wide area of undisturbed vegetation is provided... preserved or extended to the max. extent feasible....
 - b. Stormwater is managed ...
 - c. Proposed work does not impair the capacity of the riverfront area to provide important wildlife habitat functions. ...
 - d. ...incorporating erosion and sedimentation controls and other measures to attenuate nonpoint source pollution.
 - **Bank: 310 CMR 10.54**
 - (a) Work on a Bank shall not impair the following:
 1. The physical stability of the Bank;
 2. The water carrying capacity of the existing channel within the Bank;
 3. Ground water and surface water quality;
 4. The capacity of the Bank to provide breeding habitat, escape cover and food for fisheries;

The location of this meeting/event is wheelchair accessible and Reasonable Accommodations will be provided to persons with disabilities who require assistance. If you need a Reasonable Accommodation, please contact the city of Newton’s ADA/Section 504 Coordinator, Jini Fairley, at least two business days in advance (2 weeks for ASL or CART) of the meeting/event: jfairley@newtonma.gov or (617) 796-1253. The city’s TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

5. The capacity of the Bank to provide important wildlife habitat functions. A project ... that (cumulatively) alter(s) up to 10% or 50 feet (whichever is less) of the length of the bank found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. In the case of a bank of a river or an intermittent stream, the impact shall be measured on each side of the stream or river. Additional alterations... may be permitted if they will have no adverse effects on wildlife habitat...
 6. Work on a stream crossing
 - (b) Structures may be permitted in or on a Bank when required to prevent flood damage, including the renovation or reconstruction (but not substantial enlargement) of such facilities, buildings and roads, ...
 - (c) No project may be permitted which will have any adverse effect on specified habitat sites of Rare Species.
- **LUWW: 10.56**
 - (a) Work shall not impair the following:
 1. The water carrying capacity within the defined channel, which is provided by said land in conjunction with the banks;
 2. Ground and surface water quality;
 3. The capacity of said land to provide breeding habitat, escape cover and food for fisheries; and
 4. The capacity of said land to provide important wildlife habitat functions. A project... that (cumulatively) alter(s) up to 10% or 5,000 square feet (whichever is less) of land in this resource area found to be significant to the protection of wildlife habitat, shall not be deemed to impair its capacity to provide important wildlife habitat functions. Additional alterations... may be permitted if they will have no adverse effects on wildlife habitat, as determined by procedures established under 310 CMR 10.60.
 5. Work on a stream crossing....
 - (b) The issuing authority may issue an Order to maintain or improve boat channels
 - (c) No project may be permitted which will have any adverse effect on rare species.
 - **Bordering Land Subject to Flooding: 10.57**
 - Compensatory storage shall be provided for all flood storage volume that will be lost ... Such compensatory volume shall have an unrestricted hydraulic connection to the same waterway or water body.
 - Work shall not restrict flows so as to cause an increase in flood stage or velocity.
 - Work in those portions of bordering land subject to flooding found to be significant to the protection of wildlife habitat shall not impair its capacity to provide important wildlife habitat functions.
 - **City Floodplain. Sec. 22-22. Floodplain/Watershed Protection Provisions**
 - (b)(1&2) ... the conservation commission may issue an order of conditions for [grading] for which compensatory storage is provided ...
- **Project Summary**
 - Project goals: install new snow making and irrigation infrastructure.
 - Project activities include:
 - demolition/removal of a masonry irrigation pump house and intake structure,
 - dredging of the manmade lagoon,
 - installation of a new pump house building,
 - installation of new water lines and electrical conduit, and
 - associated tree and understory vegetation removal.
 - **Staff Notes:**
 - Staff and commission questions and concerns have been addressed in revised plans.
 - Flood elevations and flood calculations were corrected, so there will be a net gain in storage capacity.
 - The pump house was moved to reduce tree cutting. Only 3 trees are now proposed to be removed at a total of 84 caliper inches instead of the previous 234 caliper inches.
 - Dredging access will be from the south side for less disturbance.
 - Plantings have been revised to include 52 trees and 47 shrubs.
 - Applicant should correct Sheet C-105, which shows the wrong trees as to be removed.
 - Applicant should clarify where on Sheet C-109 and C-110 where erosion controls and snow fencing will be installed.
 - Staff counted 47, not 49, shrubs on Sheet C-110A.
 - **Staff Recommendations:** Close the hearing and issue an OOC with the following special conditions.
 - Contractor shall install plywood to protect the roots of the mature trees near the existing and proposed pump houses.
 - All dredge spoils shall be properly disposed of off-site.
 - All disturbed turf shall be stabilized and/or restored immediately upon conclusion of construction activities

- 75% of trees and 75% of shrubs planted shall survive 2 growing seasons.

4. 2345 Commonwealth Avenue – OOC Amendment – relocation of aboveground propane tank – DEP File #239-869

- Owner: CHSP Newton LLC Applicant: Andrew Shelby, Boston Gas Company Representative: Amanda Houle, Tighe & Bond, Inc.
- Request: Amend OOC.
- Documents Presented: Colored plans, site photos, draft OOC amendment
- Jurisdiction: Riverfront Area
- Performance Standards
 - **Riverfront Area: 10.58(4)**
 - (c) Practicable and Substantially Equivalent Economic Alternatives.
 - (d) No Significant Adverse Impact.
 1. Within 200 foot riverfront areas, the issuing authority may allow the alteration of up to 5000 square feet or 10% of the riverfront area within the lot, whichever is greater ..., provided that:
 - a. At a minimum, a 100' wide area of undisturbed vegetation is provided... preserved or extended to the max. extent feasible....
 - b. Stormwater is managed ...
 - c. Proposed work does not impair the capacity of the riverfront area to provide important wildlife habitat functions. ...
 - d. ... incorporating erosion and sedimentation controls and other measures to attenuate nonpoint source pollution.
- Approved Project Summary
 - Relocation of a 1,000-gal propane tank and the associated pouring of a 16'x6' concrete pad in the new location; and construction of a 35' long and retaining wall around the proposed new location.
 - Proposed project will result in a 139 s.f. increase in impervious area.
 - Proposed 14" wide retaining wall will range in height from 1.5' to 3' and will require the excavation of a trench for the footings.
 - Existing concrete pad for the tank is proposed to remain, but the existing tank will be removed once the propane has been transferred to the new tank.
 - Existing non-native shrubs in the proposed tank location are proposed to be removed and an in-kind number of native plantings (~9) are proposed for replacement.
- Requested Amendments
 - In order to comply with fire safety regulations, the location of the newly proposed tank, vaporizer, and transformer must be moved.
 - The tank and vaporizer must be at least 25' from the building.
 - The tank and the transformer must be at least 10' from each other.
 - The vaporizer and transformer must be at least 15' from each other.
 - The new design places the tank and the vaporizer 30' from the building, while leaving the transformer in the originally proposed location. The distance of 30' was to minimize impact on the 25' naturally vegetated buffer.
- Staff Notes:
 - The largest impact change in the requested amendment is a larger area of regrading for the new equipment location, versus the previous location adjacent to the building.
 - The regrading does impinge on the 25' buffer but will not result in the removal of natural woody vegetation, only the regrading of lawn and mulch bed. Disturbed areas within the 25' buffer zone are proposed to be reseeded with the New England Wetland Plants Erosion/Restoration Mix for Dry Sites.
 - All other proposed plantings remain the same.
 - Applicant should propose winter slope stabilization plans, as seeding may not be accomplished in the growing season.
- Staff Recommendations: Close the hearing and issue an OOC with the following special conditions.
 - Applicant must include jute matting or the equivalent to ensure slope stability while seed mix becomes established.
 - Applicant must install silt fence along with the compost sock to protect the resource area during construction.

5. 326 Fuller Street – OOC Extension – new paddle tennis courts – DEP File #239-813

The location of this meeting/event is wheelchair accessible and Reasonable Accommodations will be provided to persons with disabilities who require assistance. If you need a Reasonable Accommodation, please contact the city of Newton's ADA/Section 504 Coordinator, Jini Fairley, at least two business days in advance (2 weeks for ASL or CART) of the meeting/event: jfairley@newtonma.gov or (617) 796-1253. The city's TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.

- Owner/Applicant: Sean McLaughlin, Brae Burn Country Club Representative: none
- Request: Issue 3-year OOC Extension.
- Jurisdiction: Buffer Zone, City Floodplain
- Staff Notes:
 - The applicant has constructed 1 of the 2 approved new courts.
 - The applicant has requested a 3-year extension to the OOC issued in 2018 (due to expire in 2021), as they are unsure of when and if the second court will be constructed because of impacts from COVID-19.
 - Staff feel that a 3-year extension is appropriate since there is a 2-season planting survival requirement.
- Staff Recommendations: Vote to issue a 3-year OOC extension for project 239-813.

6. 55 Boylston Street – COC – new open dining deck and rain gardens – DEP File #239-765

- Owner/Applicant: Chestnut Hill Shopping Center LLC Representative: none
- Request: Issue COC.
- Jurisdiction: Buffer Zone, City Floodplain
- Staff Notes: Staff site visit on 10/22/20 confirmed compliance; all required paperwork has been received. On-going maintenance and planting will occur within the rain gardens as they are impacted by foot and car traffic in the adjacent parking lot.
- Staff Recommendations: Vote to issue a complete Certificate of Compliance.

II. CONSERVATION AREA DECISIONS

7. Bee Policy

- Staff notes: Ellen Katz is working to develop a policy on beekeeping on City lands. Commissioners should bring any suggestions or questions they may have to contribute to that effort.

III. ADMINISTRATIVE DECISIONS

8. Commission Engagement: Packets, site visits, etc.

- Staff notes: Staff would like feedback on the nature and format of information and engagement. Would Commissioners like more info from applications? Regular schedules for site visits? More active sub-committees? More engagement with Conservation Areas?

9. Recognition of past Commissioners

- Staff notes: Commissioners should discuss next steps in producing and delivering appreciations of past commissioners.

10. Minutes of 10/29/20 to be approved

- Documents Presented: Draft minutes
- Staff Recommendations: Vote to accept the 10/29/20 minutes.

IV. ISSUES AROUND TOWN DECISIONS – None at this point in time.

UPDATES

V. WETLANDS UPDATES

- Bullough’s Pond Skating Shed Violation: PRC staff met with Conservation staff on site to discuss the revised restoration planting plan for the area around the unpermitted wall. 15 native shrubs are due to be installed by the Bullough’s Pond Association within a week.
- MBTA Green Line Herbicide Spraying. MBTA may have sprayed more often than their RDA allowed. Staff will look into it.

VI. CONSERVATION AREA UPDATES

- Houghton Garden – Hydroraking: Solitude is currently set to start hydroraking the pond the week of November 16th.
- Charles River Pathway – Stairs: We received 2 bids on the connector stair project. The low bid was awarded the project and we are working to get the contract signed so work can begin ASAP.

VII. ISSUES AROUND TOWN UPDATES

- OSRP approval: Staff received further comments on the OSRP, mainly regarding the need for a complete facility inventory for PRC parcels with their template. PRC staff are working to plan this effort, but final approval may be delayed.
- Christina Street Bridge Feasibility Study: Staff are working with DCR to finalize all requisite paperwork and with City staff to finalize the scope of services. Once all DCR permits have been received the scope will be sent out for estimates. The next step will be to secure the required MBTA access license.
- Climate Action rolls along! Website coordination with Green Newton is active, the Energy Coach position has been posted, solar installations continue, BlueBikes are here, EV chargers are being installed, zoning changes are under discussion, etc.!
- Stormwater Ordinance: A new draft is being developed for internal review.

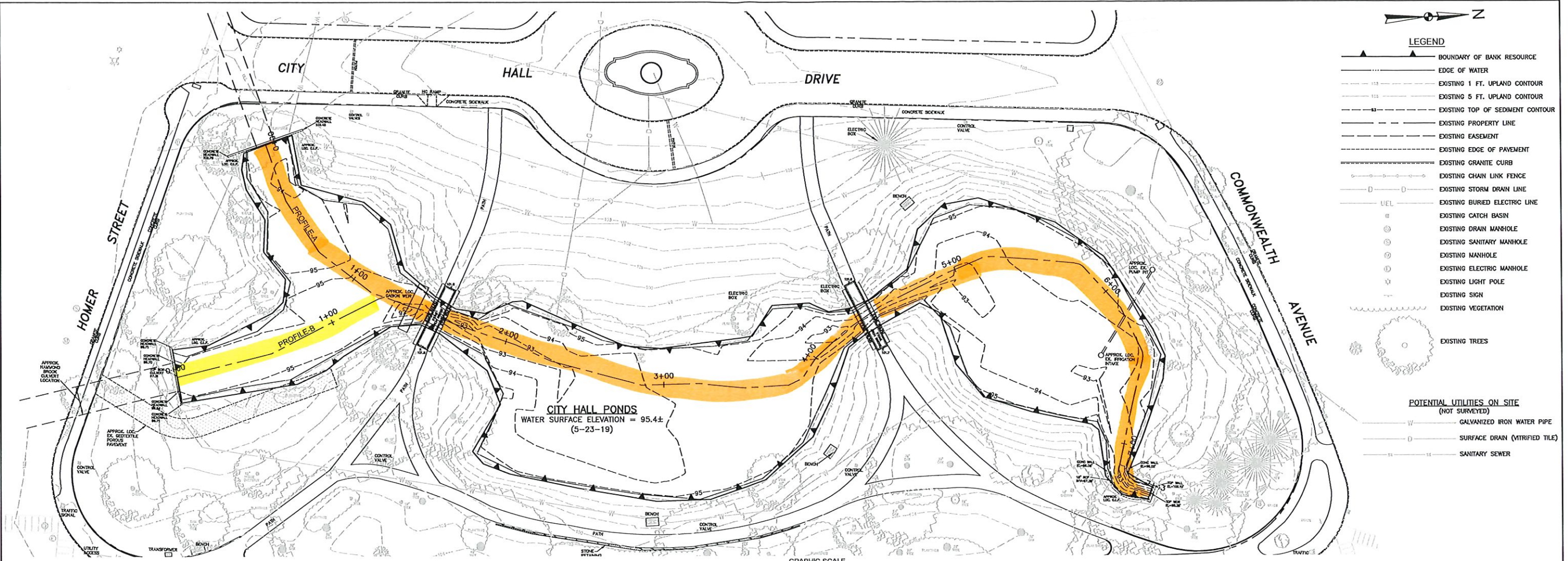
VIII. ADMINISTRATIVE UPDATES

- Office Move: The Conservation Office (and the rest of the Planning Department) has moved to the second floor of City Hall. Staff can be found within the Inspectional Services Department and our assistance can be requested at the counter.
 - Native Species List: Staff will be working over the winter to update the native plants list that is provided to residents.
 - Interns: Staff had an initial interview with a potential Northeastern co-op but lack of funds quashed the possibility.
-

OTHER TOPICS NOT REASONABLY ANTICIPATED BY THE CHAIR 48 HOURS BEFORE THE MEETING

ADJOURN

© 2020 GZA GeoEnvironmental, Inc. GZA-VA-166700 - 0 166799\15.0166758.00 CITY HALL PONDS DREDGING-NEWTON, MA\15.0166758.00-GZA BASEDNG POND PROFILES SEPTEMBER 11, 2020 9:27AM EDWARD MULLIN



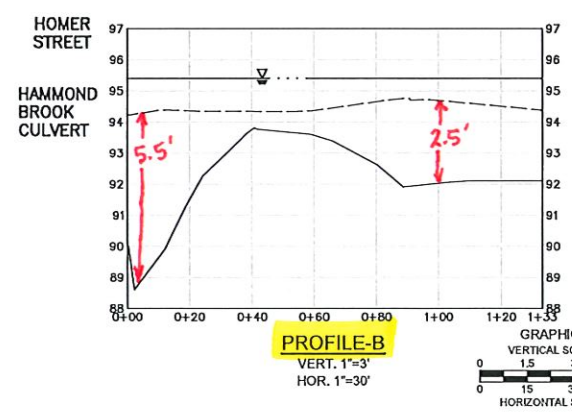
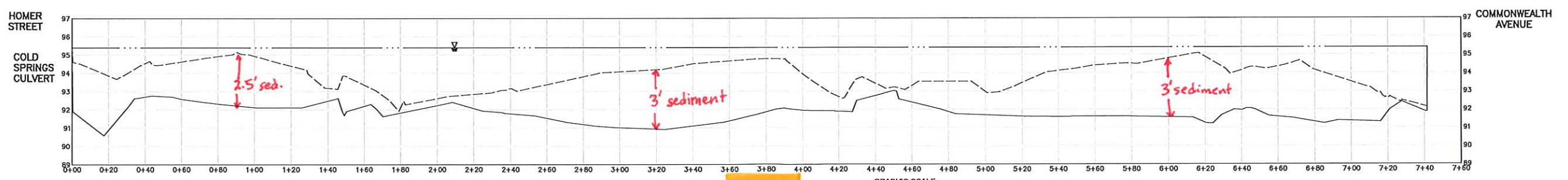
LEGEND

- ▲ BOUNDARY OF BANK RESOURCE
- EDGE OF WATER
- - - EXISTING 1 FT. UPLAND CONTOUR
- - - EXISTING 5 FT. UPLAND CONTOUR
- - - EXISTING TOP OF SEDIMENT CONTOUR
- - - EXISTING PROPERTY LINE
- - - EXISTING EASEMENT
- - - EXISTING EDGE OF PAVEMENT
- - - EXISTING GRANITE CURB
- - - EXISTING CHAIN LINK FENCE
- - - EXISTING STORM DRAIN LINE
- - - EXISTING BURIED ELECTRIC LINE
- U/E/L EXISTING CATCH BASIN
- ⊕ EXISTING DRAIN MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING MANHOLE
- ⊙ EXISTING ELECTRIC MANHOLE
- ⊙ EXISTING LIGHT POLE
- ⊙ EXISTING SIGN
- ⊙ EXISTING VEGETATION
- ⊙ EXISTING TREES

POTENTIAL UTILITIES ON SITE (NOT SURVEYED)

- GALVANIZED IRON WATER PIPE
- SURFACE DRAIN (MITRIFIED TILE)
- SANITARY SEWER

PLAN VIEW
1"=30'
GRAPHIC SCALE
SCALE IN FEET



LEGEND

- ▽ W.S.E.=95.4± (5-23-19) WATER SURFACE ELEVATION
- - - TOP OF SEDIMENT
- BOTTOM OF SEDIMENT

NOTE:
1. BATHYMETRIC SURVEY OF POND BOTTOM COMPLETED BY GZA GEOENVIRONMENTAL, INC. (GZA) MAY 2019. PROBINGS USED TO ESTIMATE DEPTH TO BOTTOM OF SEDIMENT FROM SURVEY COMPLETED DECEMBER 2010 BY GZA.

**PRELIMINARY
NOT FOR CONSTRUCTION**



NO.	ISSUE/DESCRIPTION	BY	DATE
0	ISSUED FOR PERMITTING	JRB	9/11/20

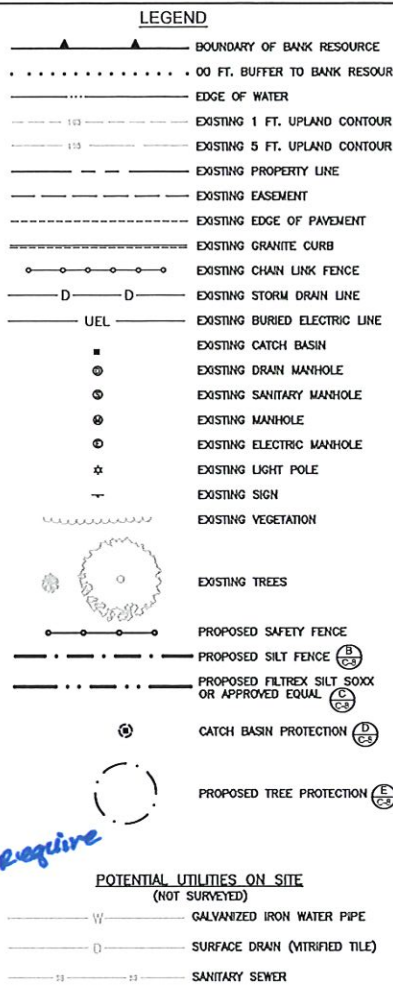
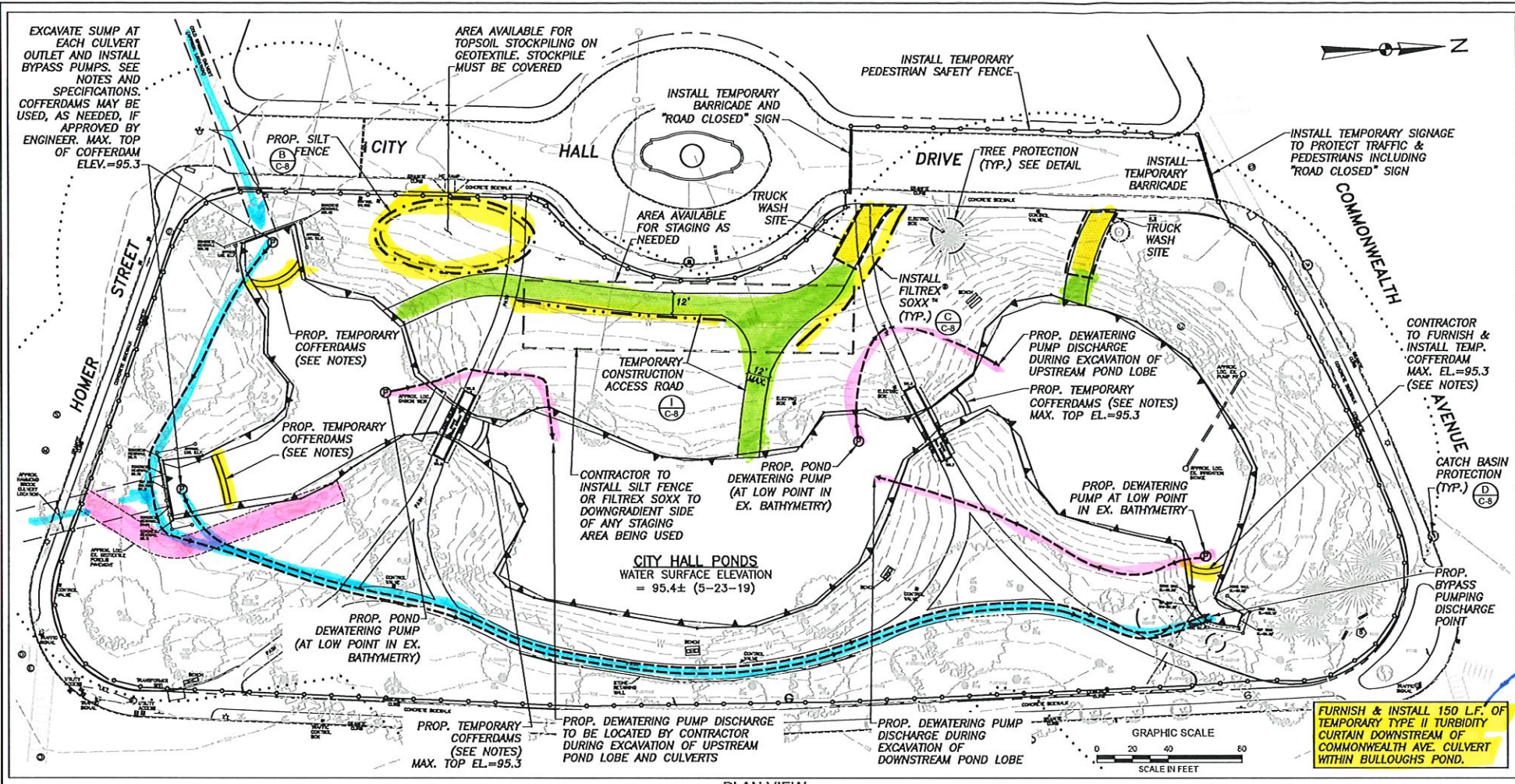
UNLESS SPECIFICALLY STATED BY WRITTEN AGREEMENT, THIS DRAWING IS THE SOLE PROPERTY OF GZA GEOENVIRONMENTAL, INC. (GZA). THE INFORMATION SHOWN ON THE DRAWING IS SOLELY FOR USE BY GZA'S CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE FOR THE SPECIFIC PROJECT AND LOCATION IDENTIFIED ON THE DRAWING. THE DRAWING SHALL NOT BE TRANSFERRED, REUSED, COPIED, OR ALTERED IN ANY MANNER FOR USE AT ANY OTHER LOCATION OR FOR ANY OTHER PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF GZA. ANY TRANSFER, REUSE, OR MODIFICATION TO THE DRAWING BY THE CLIENT OR OTHERS, WITHOUT THE PRIOR WRITTEN EXPRESS CONSENT OF GZA, WILL BE AT THE USER'S SOLE RISK AND WITHOUT ANY RISK OR LIABILITY TO GZA.

**CITY HALL PONDS MAINTENANCE DREDGING PROJECT
NEWTON CENTRE, MASSACHUSETTS**

POND PROFILES

PREPARED BY:	GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com	PREPARED FOR:	CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS 1000 COMMONWEALTH AVENUE NEWTON CENTRE, MA 02459
PROJ MGR:	JRB	REVIEWED BY:	TEJ
DESIGNED BY:	JRB	DRAWN BY:	EDM
DATE:	SEPTEMBER, 2020	PROJECT NO.:	15.0166758.00
		CHECKED BY:	SLL
		SCALE:	1"=30'
		REVISION NO.:	0
		DRAWING	C-5

SWPPP must be submitted to ConCom



- STORMWATER PERMIT NOTES:**
- THIS PROJECT IS REGULATED UNDER THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S (EPA'S) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES. OPERATORS OF SUCH CONSTRUCTION SITES MUST MEET THE REQUIREMENTS OF EPA'S CONSTRUCTION GENERAL PERMIT (CGP). PART OF THE CGP REQUIREMENTS IS THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROPOSED PROJECT. A SWPPP HAS BEEN PREPARED FOR THIS PROJECT AND WILL BE PROVIDED TO THE CONTRACTOR BY THE OWNER.
 - UNDER THE CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT, THE CONTRACTOR SHALL BE THE OWNER'S FULL AGENT IN THE IMPLEMENTATION AND MAINTENANCE OF THE SWPPP.
 - TO OBTAIN COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT (CGP), A COMPLETE AND ACCURATE NOTICE OF INTENT (NOI) SHALL BE PREPARED ONLINE USING THE NET SYSTEM AND SUBMITTED TO THE ENVIRONMENTAL PROTECTION AGENCY (EPA) BY THE OWNER, THE CONTRACTOR, AND ANY APPLICABLE SUBCONTRACTORS.
 - THE OWNER, CONTRACTOR, AND ALL APPLICABLE SUBCONTRACTORS ARE EQUALLY RESPONSIBLE FOR COMPLYING WITH THE TERMS OF THE CGP AND FOR THE EFFECTIVE IMPLEMENTATION OF THE SWPPP. EACH PARTY FILING A NOI WILL NEED TO ADD COMPANY CONTACT INFORMATION AND TO AMEND THE SWPPP AS SITE CONDITIONS WARRANT TO MEET REQUIRED PERMIT ELEMENTS. ALL PARTIES WILL ALSO NEED TO MAINTAIN THE SWPPP DOCUMENT, CONDUCT INSPECTIONS, UPGRADE AND MAINTAIN SEDIMENT AND EROSION CONTROLS AS NEEDED, AND MEET ALL PERMIT NOTICE OF INTENT (NOI) / NOTICE OF TERMINATION (NOT) REQUIREMENTS.
 - EACH CONTRACTOR AND SUBCONTRACTOR THAT HAS OPERATIONAL CONTROL OVER THE CONSTRUCTION PLANS AND/OR SPECIFICATIONS MUST SIGN THE CONTRACTOR'S CERTIFICATION FOR THE SWPPP.
 - IMPLEMENTATION OF THE SWPPP MUST BEGIN AT THE COMMENCEMENT OF CONSTRUCTION ACTIVITY AND MUST BE FULLY AND CONTINUALLY DOCUMENTED UNTIL FINAL STABILIZATION OF THE SITE IS COMPLETE AND A NOI IS FILED.
 - A SIGN MUST BE VISIBLY POSTED AT THE SITE WHICH PROVIDES NOTICE OF THE CGP, THE NPDES PERMIT ID(S), A CONTACT NAME AND PHONE NUMBER FOR OBTAINING ADDITIONAL INFORMATION, AND THE ONSITE LOCATION WHERE THE SWPPP IS STORED, AS WELL AS THE URL FOR THE SWPPP IF POSTED ONLINE. IN ADDITION, TWO STATEMENTS IDENTIFIED IN THE SWPPP REGARDING HOW TO OBTAIN MORE INFORMATION MUST BE POSTED IN THIS SIGNAGE.
 - IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS TO INDICATE CONSTRUCTION ACTIVITY SEQUENCING AND TIMING IN THE SWPPP.
 - INSPECTION AND MAINTENANCE MUST BE PERFORMED REGULARLY FOR PERMIT COMPLIANCE AND DOCUMENTATION OF INSPECTIONS AND MAINTENANCE MUST BE APPENDED TO THE SWPPP BY THE CONTRACTOR.
 - WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, OR MAINTENANCE AT THE CONSTRUCTION SITE THAT HAS, OR COULD HAVE, A SIGNIFICANT EFFECT ON THE DISCHARGE OF STORMWATER POLLUTANTS, THE SWPPP MUST BE AMENDED BY THE CONTRACTOR.
 - CONTRACTOR SHALL IDENTIFY THE LOCATIONS OF THE FOLLOWING ON THE SEDIMENT AND EROSION CONTROL (SAEC) PLANS AS WELL AS THE PERMITS REQUIRED PERMIT ELEMENTS NOT SHOWN ON THE PLANS AT THE TIME OF THEIR PREPARATION (SEE CGP PERMIT SECTION):
 - CONCRETE TRUCK WASHOUT AREAS (SEE SWPPP)
 - PORTABLE SANITARY UNITS (TOILETS)
 - FUEL TANKS
 - LIMITS OF STAGING AREAS & SOIL DISTURBANCE AREAS
 - WASTE CONTAINER LOCATIONS (E.G., DUMPSTERS)
 - CHEMICAL, MATERIAL, EQUIPMENT, & VEHICLE STORAGE AREAS
 - SOIL STOCKPILES & CONTROLS.
 - IF ADDITIONAL CONTROLS OR BMPs ARE ADDED, THESE SHALL BE DEPICTED ON THE SAEC PLANS AND A DESCRIPTION ADDED TO THE SWPPP BY THE CONTRACTOR. THESE NEW CONTROLS SHALL BE ADDED TO THE WEEKLY INSPECTIONS AS WELL. CONTRACTOR SHALL IDENTIFY ON THE SAEC PLANS ALL AREAS THAT HAVE UNDERGONE FINAL STABILIZATION.
 - UPON FINAL STABILIZATION, A NOTICE OF TERMINATION (NOT) MUST BE ELECTRONICALLY PREPARED AND SUBMITTED TO THE EPA BY ALL PARTIES WHO COMPLETED A NOI USING THE ONLINE NET SYSTEM.

SEDIMENT AND EROSION CONTROL NOTES:

- SEDIMENT BASINS AND TRAPS, PERIMETER BERMS, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE SEDIMENT AND EROSION CONTROL PLAN PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES. SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES, AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURES UNTIL THE AREAS BEING FINAL STABILIZED. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIME AS THEY ARE REMOVED. CONDUCT INSPECTIONS AND REPORTING IN ACCORDANCE WITH ALL PERMITS.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE CONTRACTOR SHALL INSTALL AND MAINTAIN, AT NO ADDITIONAL COST TO THE OWNER, ANY ADDITIONAL EROSION CONTROL MEASURES DEEMED NECESSARY FOR PERMIT COMPLIANCE BY THE CONTRACTOR, THE OWNER AND/OR THEIR REPRESENTATIVES, OR BY FEDERAL/STATE/LOCAL GOVERNMENT INSPECTORS.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS AND THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS: A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS (MA DEP, MAY 2003).
- A CONSTRUCTION ENTRANCE FOR THIS PROJECT IS MANDATORY TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC THOROUGHFARES. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVELLED PUBLIC THOROUGHFARES. ALL MATERIALS DEPOSITED ONTO PUBLIC THOROUGHFARES SHALL BE REMOVED IMMEDIATELY.
- ALL SEDIMENT BASINS, TRAP EMBANKMENTS, SWALES, PERIMETER DIKES, AND PERMANENT SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES, COMMENCING IMMEDIATELY WHEN WORK IS COMPLETE AND COMPLETING THE WORK WITHIN 14 CALENDAR DAYS OF INITIATION OR 7 DAYS IF THE TOTAL AREA DISTURBED ONSITE IS MORE THAN 5 ACRES AT ANY TIME OR IF THE SITE HAS DISCHARGES TO SEDIMENT OR NUTRIENT IMPAIRED WATERS OR TO A TIER 2, 2.5, OR 3 WATER, AS DISCUSSED IN THE SWPPP. NO AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL BARRIER OR LIMIT OF WORK SHALL BE DISTURBED.
- THE CONTRACTOR SHALL APPLY SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS IMMEDIATELY UPON CESSATION OF ACTIVITY AND SHALL COMPLETE THE EFFORT WITHIN 14 CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED ON THAT AREA, UNLESS SHORTER TIMELINES APPLY TO THE SITE DUE TO THE ITEMS INDICATED IN #8 ABOVE (LARGER AREAS OF DISTURBANCE, DISCHARGES TO IMPAIRED OR HIGH QUALITY WATERS, ETC.). MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
- STOCKPILES WHICH HAVE NOT BEEN USED FOR 14 CALENDAR DAYS, SHALL BE STABILIZED THROUGH THE APPLICATION OF SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES.
- ALL CATCH BASINS OR OTHER DRAIN INLETS WHICH MAY RECEIVE STORMWATER FROM DISTURBED AREAS SHALL BE PROVIDED WITH SUITABLE INLET PROTECTION CONSISTING OF AN OPEN-TOP FILTER FABRIC BAG THAT IS DESIGNED TO HANG UNDERNEATH A STORM GRATE TO FILTER SEDIMENT-LADEN STORMWATER.
- EFFLUENT FROM DEWATERING OPERATIONS AND LINE FLUSHING DISCHARGES SHALL BE DIRECTED INTO FIBER MATS, NETTING, RIPRAP, OR NATURALLY OCCURRING GROUND COVER TO MINIMIZE EROSION. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE PUMPED EITHER TO SEDIMENT TANKS, SEDIMENT BAGS, AND/OR SEDIMENT TRAPS FOR SEDIMENT REMOVAL. DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS: A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS AND IN A MANNER THAT DOES NOT ADVERSELY AFFECT AREAS OUTSIDE OF THE LIMIT OF WORK.
- TEMPORARY SEDIMENT TRAP(S) SHALL BE CLEANED OUT AND RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A POINT ONE HALF (1/2) THE DEPTH BETWEEN THE OUTLET CREST AND THE BOTTOM OF THE TRAP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING, CALCIUM CHLORIDE, OR OTHER EFFECTIVE MEANS OF CONTROL.
- ALL WASTE MATERIALS GENERATED AT THE SITE SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF OR STORED IN A SECURELY COVERED CONTAINER IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. CONTAINERS SHALL BE EMPTIED ON A REGULAR BASIS AND AS NECESSARY. NO CONSTRUCTION WASTE OR DEBRIS SHALL BE BURIED ONSITE.
- PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED AND WITH AN APPROVED EROSION CONTROL MATTING OR BY OTHER APPROVED STABILIZATION MEASURES.
- FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS SO AS TO PREVENT WATER FROM STANDING ON THE SURFACE OF LAWNS MORE THAN 24 HOURS AFTER THE END OF A RAINFALL, EXCEPT IN DESIGNATED DRAINAGE COURSES AND SWALE FLOW AREAS WHICH MAY DRAIN AS LONG AS 48 HOURS AFTER THE END OF A RAINFALL, AND PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS OR OPENINGS.
- PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES THE CONTRACTOR SHALL STABILIZE ALL CONTRIBUTORY DISTURBED AREAS USING SOD OR AN APPROVED PERMANENT SEED MIXTURE WITH REQUIRED SOIL AMENDMENTS AND AN APPROVED ANCHORED MULCH. AREAS BROUGHT TO FINISHED GRADE DURING THE SEEDING SEASON SHALL BE PERMANENTLY STABILIZED IMMEDIATELY WITH EFFORTS COMPLETED WITHIN 14 CALENDAR DAYS OF ESTABLISHMENT UNLESS MORE STRINGENT STABILIZATION DEADLINES APPLY TO THE SITE, AS DISCUSSED IN THE SWPPP. WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS WHEN PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, AN APPROVED TEMPORARY SEED AND STRAW ANCHORED MULCH OR OTHER ACCEPTABLE MEANS SHALL BE APPLIED TO DISTURBED AREAS.
- TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE REMOVED WITHIN (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTRIBUTORY DRAINAGE AREAS. STORMWATER MANAGEMENT STRUCTURES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CLEANED AND CONVERTED TO THEIR PERMANENT CONFIGURATION WITHIN THIS TIME PERIOD AS WELL. ALL STORM DRAINAGE STRUCTURES, SUNPS, AND PIPES SHALL BE CLEANED OF ALL SEDIMENTS PRIOR TO FINAL PAYMENT.

*** Req'd**
SUGGESTED POND DEWATERING METHODS AND SEQUENCE:

- PHASE I**
STEP 1A. CONDUCT INITIAL DEWATERING OF CITY HALL PONDS BY INSTALLATION OF PUMP IN LOWER LOBE OF CITY HALL PONDS AND DECANTING CLEAN WATER FROM ABOVE LEVEL OF SEDIMENTS IN ALL THREE LOBES. TURBID WATER AND SEDIMENTS SHALL NOT BE DISCHARGED DOWNSTREAM DURING THIS PROCESS.
- STEP 1B. EXCAVATE SUNPS AT THE TWO CULVERT OUTLETS INTO THE POND. SUNPS SHALL BE LINED WITH GEOTEXTILE FABRIC AND WASHED STONE. CONSTRUCT COFFERDAMS AT THESE LOCATIONS, WITH MAXIMUM ELEVATION = 95.3 FT.
- STEP 1C. INSTALL COFFERDAM AT DOWNSTREAM END OF POND, IN APPROXIMATE LOCATION SHOWN ON PLANS. ELEVATION OF COFFERDAM SHALL NOT EXCEED 95.3 FT. CONTRACTOR MAY SELECT COFFERDAM MATERIALS, TO BE ACCEPTED BY ENGINEER. INSTALL HAMMOND BROOK AND COLD SPRINGS CULVERT BYPASS PUMPS AND BEGIN PUMPING CLEAR WATER TO THE PROPOSED OUTLET POINT PRIOR TO THE POND OUTLET.
- PHASE II**
STEP 2A. DURING A DRY WEATHER PERIOD, EXCAVATE SEDIMENTS FROM WITHIN THE HAMMOND BROOK AND COLD SPRINGS CULVERTS. DURING THE PERIOD OF SEDIMENT EXCAVATION FROM EACH CULVERT, FLOWS FROM THAT CULVERT WILL BE REDIRECTED TO THE POND BASIN AREA RATHER THAN THE DOWNSTREAM DISCHARGE POINT, TO PREVENT MOBILIZATION OF SEDIMENTS DOWNSTREAM DURING CULVERT EXCAVATION. ONCE CULVERT CLEANING IS COMPLETED AND REVIEWED BY THE ENGINEER, BYPASS PUMPING MAY RESTART FROM THAT CULVERT.
- STEP 2B. WITH BYPASS PUMPS AND DOWNSTREAM COFFERDAM IN PLACE, CONTRACTOR SHALL CONTINUE TO DEWATER THE POND LOBES AS NEEDED THROUGH THE CONSTRUCTION PERIOD BY INSTALLING POND DEWATERING PUMPS IN THE THREE LOBES AS EXCAVATION PROGRESSES, AS DESCRIBED IN THE FOLLOWING SUGGESTED SEQUENCE. DEWATERING PUMPS WITHIN THE POND SHALL BE SET IN SUNPS LINED WITH GEOTEXTILE FABRIC AND SURROUNDED BY WASHED STONE. SUNPS SHALL NOT BE DEEPER THAN THE HISTORICAL POND BOTTOM OR THE EXTENTS SHOWN ON THE PLANS, WHICHEVER IS ENCOUNTERED FIRST. ALL WORK WITHIN THE POND SHOULD PROGRESS FROM UPSTREAM TO DOWNSTREAM.
- PHASE III**
STEP 3A. DURING THE PERIOD OF EXCAVATION OF SEDIMENTS FROM THE UPPER POND LOBE, DEWATERING PUMP DISCHARGES SHOULD BE DIRECTED TO THE NEXT DOWNSTREAM POND LOBE (THE MIDDLE LOBE) FOR SETTLING. TEMPORARY COFFERDAM MAY BE CONSTRUCTED NEAR THE MORE DOWNSTREAM PEDESTRIAN BRIDGE, IN A LOCATION SELECTED BY THE CONTRACTOR AND ACCEPTED BY THE ENGINEER.
- STEP 3B. DURING THE PERIOD OF EXCAVATION OF SEDIMENTS FROM THE MIDDLE POND LOBE, DEWATERING PUMP DISCHARGES SHOULD BE DIRECTED TO THE MOST DOWNSTREAM POND LOBE FOR SETTLING. TEMPORARY COFFERDAM MAY BE CONSTRUCTED NEAR THE MORE DOWNSTREAM PEDESTRIAN BRIDGE, IN A LOCATION SELECTED BY THE CONTRACTOR AND ACCEPTED BY THE ENGINEER.
- STEP 3C. DURING THE PERIOD OF EXCAVATION OF SEDIMENTS FROM THE MOST DOWNSTREAM POND LOBE, DEWATERING PUMP DISCHARGES SHOULD BE DIRECTED UPGRADENT TO THE MIDDLE POND LOBE.
- PHASE IV**
STEP 4A. CONTINUE DEWATERING USING THE POND DEWATERING PUMPS AND BYPASS PUMPS THROUGHOUT THE PROJECT.
- STEP 4B. DURING DRY WEATHER, INFLOW TO THE POND WILL BE BYPASSED BY THE TWO BYPASS PUMPS. OTHER INFLOW WILL COLLECT IN LOW LINDG AREAS. THE CONTRACTOR SHALL OPERATE THE POND DEWATERING PUMPS AS NEEDED TO PUMP FLOWS TO OTHER POND LOBES. NO DEWATERING PUMP DISCHARGE DIRECTLY TO DOWNSTREAM AREAS WILL BE ALLOWED. NO TURBID DISCHARGES TO THE POND OUTLET AND DOWNSTREAM AREAS WILL BE ALLOWED. ALL DISCHARGE REQUIREMENTS OF PROJECT PERMITS MUST BE MET.
- STEP 4C. DURING WET WEATHER, THE CONTRACTOR SHALL MINIMIZE THE RISE OF WATER WITHIN THE POND BY CONTINUING TO BYPASS PUMP AND BY USING THE DEWATERING PUMPS. IF INCOMING FLOW EXCEEDS THE CONTRACTOR'S CAPACITY TO PUMP OR TO TREAT DEWATERING DISCHARGES, CONTRACTOR SHALL REMOVE EQUIPMENT AND MACHINERY FROM THE POND AND ALLOW FLOW TO REFILL THE POND AND TO PASS OVER THE COFFERDAM AND DOWNSTREAM.
- STEP 4D. ALL MATERIALS USED IN THE CONSTRUCTION OF COFFERDAMS SHALL BE REMOVED AT THE END OF THE PROJECT. ALL AREAS DISTURBED BY PUMPS, PIPELINES, ACCESS, AND OTHER MATERIALS/ACTIVITIES ASSOCIATED WITH CONTROL OF WATER SHALL BE RESTORED TO PRECONSTRUCTION CONDITION OR BETTER AT THE END OF THE PROJECT.

add loan see C-7 Restoration #4 = Sod

CBs?

which one? detail?

add loan (see above)

PRELIMINARY NOT FOR CONSTRUCTION

NO.	ISSUE/DESCRIPTION	BY	DATE
0	ISSUED FOR PERMITTING	JRB	9/11/20

UNLESS SPECIFICALLY STATED BY WRITTEN AGREEMENT, THIS DRAWING IS THE SOLE PROPERTY OF GZA GEOTECHNICAL, INC. (GZA). THE INFORMATION SHOWN ON THIS DRAWING IS SOLELY FOR USE BY GZA'S CLIENT OR THE CLIENT'S REPRESENTATIVE FOR THE SPECIFIC PROJECT AND LOCATION IDENTIFIED ON THE DRAWING. THE DRAWING SHALL NOT BE TRANSFERRED, REUSED, COPIED, OR ALTERED IN ANY MANNER FOR USE AT ANY OTHER LOCATION OR FOR ANY OTHER PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF GZA. ANY TRANSFER, REUSE, OR MODIFICATION TO THE DRAWING BY THE CLIENT OR OTHERS, WITHOUT THE PRIOR WRITTEN EXPRESS CONSENT OF GZA, WILL BE AT THE USER'S SOLE RISK AND WITHOUT ANY RISK OR LIABILITY TO GZA.

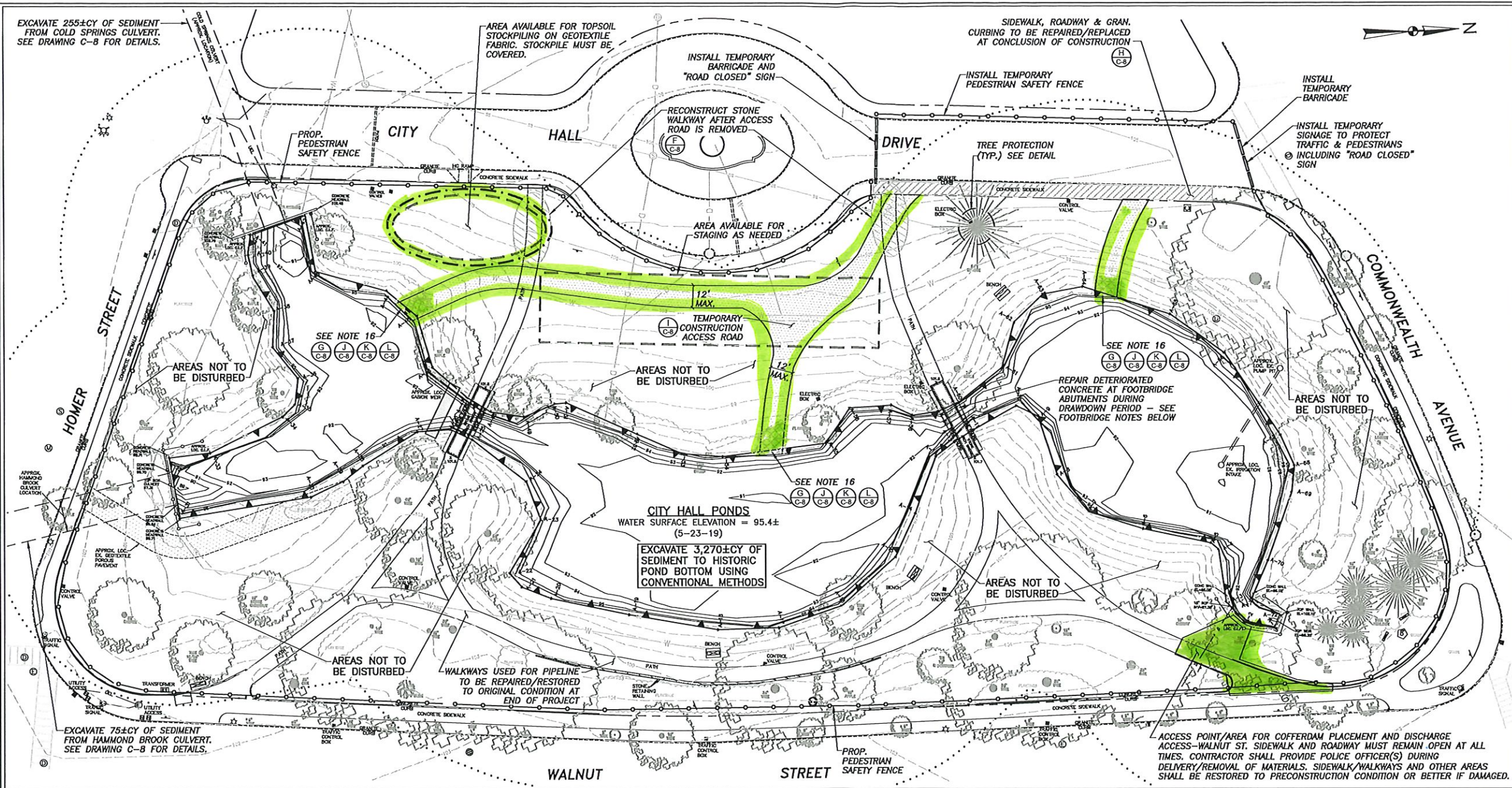
CITY HALL PONDS MAINTENANCE DREDGING PROJECT
NEWTON CENTRE, MASSACHUSETTS

EROSION AND SEDIMENT CONTROL & CONTROL OF WATER PLAN

PREPARED BY: GZA Geo-Environmental, Inc. Engineers and Scientists www.gza.com	PREPARED FOR: CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS 1000 COMMONWEALTH AVENUE NEWTON CENTRE, MA 02459		
PROJ MGR: JRB	REVIEWED BY: TEJ	CHECKED BY: SLL	DRAWING
DESIGNED BY: JRB	DRAWN BY: EDM	SCALE: 1"=40'	C-6
DATE: SEPTEMBER, 2020	PROJECT NO. 15.0166758.00	REVISION: 0	



2020 GZA GeoEnvironmental, Inc. GZA-VA-168700
 15.0166758.00 CITY HALL PONDS DREDGING-NEWTON, MA 15.0166758.00 CAD\UNV\758.00-GZA BASE.DWG RESTORATION SEPTEMBER 11, 2020 9:25AM EDWARD MULLIN



LEGEND

- ▲ BOUNDARY OF BANK RESOURCE
- RESOURCE AREA FLAG
- 100 FT. BUFFER TO BANK RESOURCE
- EXISTING 1 FT. UPLAND CONTOUR
- EXISTING 5 FT. UPLAND CONTOUR
- PROPOSED POND BOTTOM CONTOUR
- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING GRANITE CURB
- EXISTING CHAIN LINK FENCE
- EXISTING STORM DRAIN LINE
- UEL EXISTING BURIED ELECTRIC LINE
- EXISTING CATCH BASIN
- EXISTING DRAIN MANHOLE
- EXISTING SANITARY MANHOLE
- EXISTING MANHOLE
- EXISTING ELECTRIC MANHOLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING VEGETATION
- EXISTING TREES
- PROPOSED PEDESTRIAN SAFETY FENCE
- PROPOSED SILT FENCE
- PROPOSED FILTER SILT SOXX OR APPROVED EQUAL
- CATCH BASIN PROTECTION
- PROPOSED TREE PROTECTION
- SEE NOTE 16

POTENTIAL HISTORIC UTILITIES ON SITE (NOT SURVEYED)

- GALVANIZED IRON WATER PIPE
- SURFACE DRAIN (MTRIFIED TILE)
- SANITARY SEWER

CONSTRUCTION NOTES — SEDIMENT REMOVAL AND MAINTENANCE OF CITY HALL PONDS

1. PLANS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. CONTACT DIG SAFE (1-888-344-7233) 72 HOURS PRIOR TO BEGINNING EXCAVATION ACTIVITIES.
2. ALL WORK SHALL COMPLY WITH ENVIRONMENTAL PERMITS ISSUED FOR THE PROJECT. CONTRACTOR SHALL PROVIDE AND ERECT REQUIRED SIGN FOR DISPLAYING DEP FILE NUMBER (SEE SPECIFICATIONS).
3. TREES AND PERMANENT STRUCTURES ARE TO BE PROTECTED. VEGETATION REMOVAL SHALL BE LIMITED ALONG POND BANKS AS PER ENVIRONMENTAL PERMITS AND PROJECT PLANS AND SPECIFICATIONS.
4. SITE ACCESS SHALL BE AS SHOWN ON THE PLANS AND DETAILED IN THE PROJECT SPECIFICATIONS. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO LOCATION AND ALIGNMENT OF ACCESS DRIVE ONLY WITH ACCEPTANCE OF OWNER.
5. EXCAVATION SHALL CONFORM TO THE REQUIREMENTS OF THE SPECIFICATIONS.
6. SEQUENCE OF EXCAVATION OPERATIONS SHALL INSURE THE EFFICIENT REMOVAL OF MATERIALS IN A TIMELY MANNER. SEQUENCE OF OPERATIONS MUST COMPLY WITH THE TERMS OF ANY ENVIRONMENTAL PERMITS ISSUED FOR THE PROJECT AND THE PROJECT SPECIFICATIONS.
7. NOTIFY THE ENGINEER IF ANY UTILITIES ARE DISCOVERED DURING THE DRAWDOWN OF THE POND OR EXCAVATION OPERATIONS. UTILITIES DETERMINED TO BE ABANDONED SHALL BE REMOVED WITHIN THE GRADES SHOWN IN THE PLANS AT THE ENGINEER'S DIRECTION. ACTIVE UTILITIES SHALL NOT BE DISTURBED UNLESS DIRECTED BY THE ENGINEER. IRRIGATION SYSTEM IS ACTIVE. CONTRACTOR SHALL PROTECT ALL UTILITIES THROUGHOUT COURSE OF PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL DAMAGED UTILITIES/IRRIGATION SYSTEMS AT NO ADDITIONAL EXPENSE TO OWNER.
8. GABION WEIR IN POND MUST BE PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PERIOD AND REPAIRED/RESET IF DAMAGE OR MOVEMENT OCCURS.
9. OVEREXCAVATION BEYOND THE AREA OF WORK AND CONTOURS INDICATED ON THE PLANS AND THE ELEVATIONS INDICATED ON THE CROSS SECTIONS WILL NOT BE PERMITTED OR PAID FOR BY THE OWNER. THE POND REPORTEDLY HAS A CLAY LINER. THE HISTORIC POND BOTTOM/LINER SHALL NOT BE DISTURBED DURING THE PROJECT.
10. BEDROCK IS NOT TO BE EXCAVATED IF ENCOUNTERED.
11. UNSUITABLE MATERIALS INCLUDING ALL MANMADE OR NATURAL OBJECTS NOT CLASSIFIED AS SEDIMENTS SHALL BECOME THE PROPERTY OF THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO TIRES, CAR PARTS, APPLIANCES, TREE STUMPS OR LIMBS, VEGETATION, ETC. THESE MATERIALS MUST BE DISPOSED OF AT AN APPROPRIATE LOCATION OFFSITE CONSISTENT WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
12. EQUIPMENT AND MATERIALS STORAGE SHALL BE CONFINED TO THE STAGING AREA. EXCAVATION EQUIPMENT MAY BE PARKED ON THE CONSTRUCTION ACCESS OUTSIDE OF THE POND DURING PERIODS OF INACTIVITY.
13. REFUELING OF EQUIPMENT MUST TAKE PLACE OUTSIDE OF THE POND AND THE 100 FT. BUFFER TO RESOURCE AREAS. TEMPORARY FUEL STORAGE TANKS SHALL NOT BE PERMITTED AT THE PROJECT SITE. REFUELING ON SITE MAY ONLY OCCUR IN AREAS APPROVED BY THE OWNER.
14. THE POTENTIAL EXIST FOR MAJOR FLOOD EVENTS DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL NOT LEAVE EQUIPMENT IN THE POND AREA DURING PERIODS WHEN PERSONNEL ARE NOT ONSITE TO MOVE IT.
15. AT THE COMPLETION OF EXCAVATION OPERATIONS, THE CONTRACTOR SHALL REMOVE ALL EROSION CONTROL BARRIERS, GEOTEXTILE FABRICS, STONE, TIMBERS, AND OTHER MATERIALS USED FOR TEMPORARY ACCESS OR CONTROLS ON THE POND BOTTOM.
16. CONTRACTOR TO REMOVE AND RESET CHAIN LINK FENCE (IF PRESENT) AND BOULDERS AT THREE POND ACCESS POINTS. EACH OF THREE POND ACCESS POINTS SHALL INCLUDE VEGETATION REMOVAL ALONG NO MORE THAN 15 FT. OF BANK. TOPSOIL FROM ACCESS AREAS (HATCHED ON PLAN) SHALL BE STOCKPILED SEPARATELY AND RESET AT PROJECT END. RESTORATION OF AREAS SHALL COMMENCE WITHIN 14 DAYS OF THE END OF WORK WITHIN A POND LOBE AND ACCESS ROAD REMOVAL. 12" DIA. FILTERSOX SOXX OR EQUAL SHALL BE PLACED AROUND AREA UNTIL VEGETATION IS ESTABLISHED.

PLAN VIEW
1"=30'

SEDIMENT EXCAVATION AND DISPOSAL NOTES:

1. PROPOSED CONTOURS APPROXIMATE THE ORIGINAL POND BOTTOM BENEATH THE ACCUMULATED SEDIMENTS AS ESTIMATED SPROBING DATA OBTAINED BY GZA GEOENVIRONMENTAL, INC. IN DECEMBER 2010.
2. SEDIMENT EXCAVATION SHALL PROCEED TO THE LINES AND GRADES AS INDICATED ON THESE PLANS AND CROSS SECTIONS OR TO THE FIRM CLAY BOTTOM APPROVED BY THE ENGINEER, WHICHEVER IS FIRST ATTAINED.
3. OVEREXCAVATION BEYOND THE LINES AND GRADES AS INDICATED ON THESE PLANS AN DISTURBANCE OF THE CLAY ORIGINAL POND BOTTOM WILL NOT BE PERMITTED OR PAID FOR BY THE OWNER.
4. DREDGED SLOPES SHALL HAVE A MAXIMUM STEEPNESS OF 3 HORIZONTAL TO 1 VERTICAL (3H:1V).
5. SEDIMENTS SHALL BE TRANSPORTED BY THE CONTRACTOR FOR REUSE AT A SITE SELECTED BY THE OWNER. SEE SPECIFICATIONS FOR DETAILS.

FOOTBRIDGE REPAIR NOTES:

1. ALL FOOTBRIDGE REPAIR WORK SHALL BE CONDUCTED IN DRY WEATHER CONDITIONS, WITH THE POND DRAWN DOWN IN THE AREA OF THE WORK.
2. THE STONE FACES OF THE FOOTBRIDGE SHALL BE PROTECTED FROM THE REPAIR ACTIVITIES. ANY DAMAGE SHALL BE REPAIRED IN COORDINATION WITH APPLICABLE HISTORICAL REPAIR CONSULTANTS.
3. REPAIR WORK SHALL BE LIMITED TO AREAS OF DETERIORATED CONCRETE AT THE NORMAL WATER LINE AND SHALL BE CONDUCTED PER PROJECT DRAWINGS AND SPECIFICATIONS.
4. IN GENERAL, REPAIR WORK WILL CONSIST OF REMOVING DETERIORATED CONCRETE IN THE AREA OF THE NORMAL WATER LINE, PREPARATION OF THE SUBSTRATE, FORMING AND POURING CONCRETE REPAIRS, AND RUBBING AND FINISHING THE FORMED CONCRETE SURFACES.

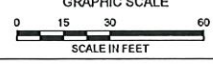
RESTORATION OF DISTURBED AREA NOTES:

1. ANY DAMAGE TO SIDEWALKS MUST BE REPAIRED PER DETAIL IN PLAN SET.
2. EXISTING WALKWAYS TO BE RESTORED TO ORIGINAL CONDITION OR BETTER AFTER TEMPORARY ACCESS ROUTES HAVE BEEN REMOVED.
3. CONTRACTOR TO REMOVE ALL STONE AND FILTER FABRIC FROM TEMPORARY ACCESS AREAS AT END OF CONSTRUCTION.
4. ALL DISTURBED AREAS BEYOND POND LIMITS TO BE RESTORED TO PRECONSTRUCTION GRADES WITH ORDINARY BORROW, DRESSED WITH 6 INCHES OF TOPSOIL AND SOODED, EXCEPT AREAS NOTED ALONG BANK OF PONDS, WHICH SHOULD BE RESTORED TO PRECONSTRUCTION SUBGRADES WITH ORDINARY BORROW, DRESSED WITH TOPSOIL SET ASIDE FROM BANK AREA AT START OF CONSTRUCTION TO ATTAIN PRECONSTRUCTION GRADE AND MULCHED, WITH WOODY VEGETATION PLANTED AS PER PLANTING PLAN (SEE DRAWING 6) AND SPECIFICATIONS.

OPERATION & MAINTENANCE (O&M) NOTES:

1. POST CONSTRUCTION, THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS WILL OPERATE & MAINTAIN THE POND IN ACCORDANCE WITH THE O&M PLAN DEVELOPED FOR THE SITE.

PRELIMINARY NOT FOR CONSTRUCTION



NO.	ISSUE/DESCRIPTION	BY	DATE
0	ISSUED FOR PERMITTING	JRB	9/11/20

UNLESS SPECIFICALLY STATED BY WRITTEN AGREEMENT, THIS DRAWING IS THE SOLE PROPERTY OF GZA GEOENVIRONMENTAL, INC. (GZA). THE INFORMATION SHOWN ON THE DRAWING IS SOLELY FOR USE BY GZA'S CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE FOR THE SPECIFIC PROJECT AND LOCATION IDENTIFIED ON THE DRAWING. THE DRAWING SHALL NOT BE TRANSFERRED, REUSED, COPIED, OR ALTERED IN ANY MANNER FOR USE AT ANY OTHER LOCATION OR FOR ANY OTHER PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF GZA. ANY TRANSFER, REUSE, OR MODIFICATION TO THE DRAWING BY THE CLIENT OR OTHERS, WITHOUT THE PRIOR WRITTEN EXPRESS CONSENT OF GZA, WILL BE AT THE USER'S SOLE RISK AND WITHOUT ANY RISK OR LIABILITY TO GZA.

**CITY HALL PONDS MAINTENANCE DREDGING PROJECT
NEWTON CENTRE, MASSACHUSETTS**

POND RESTORATION PLAN

PREPARED BY: GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com	PREPARED FOR: CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS 1000 COMMONWEALTH AVENUE NEWTON CENTRE, MA 02459
PROJ MGR: JRB DESIGNED BY: JRB DATE: SEPTEMBER, 2020	REVIEWED BY: TEJ DRAWN BY: EDM PROJECT NO: 15.0166758.00
CHECKED BY: SLL SCALE: 1"=30' REVISION NO: 0	DRAWING C-7

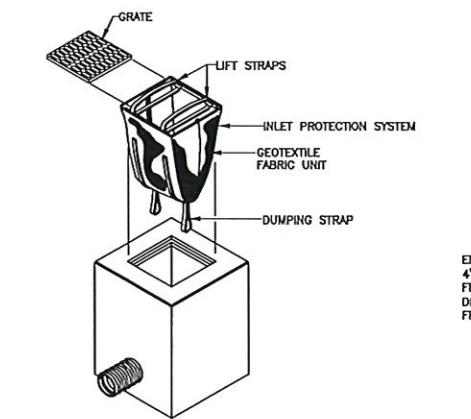
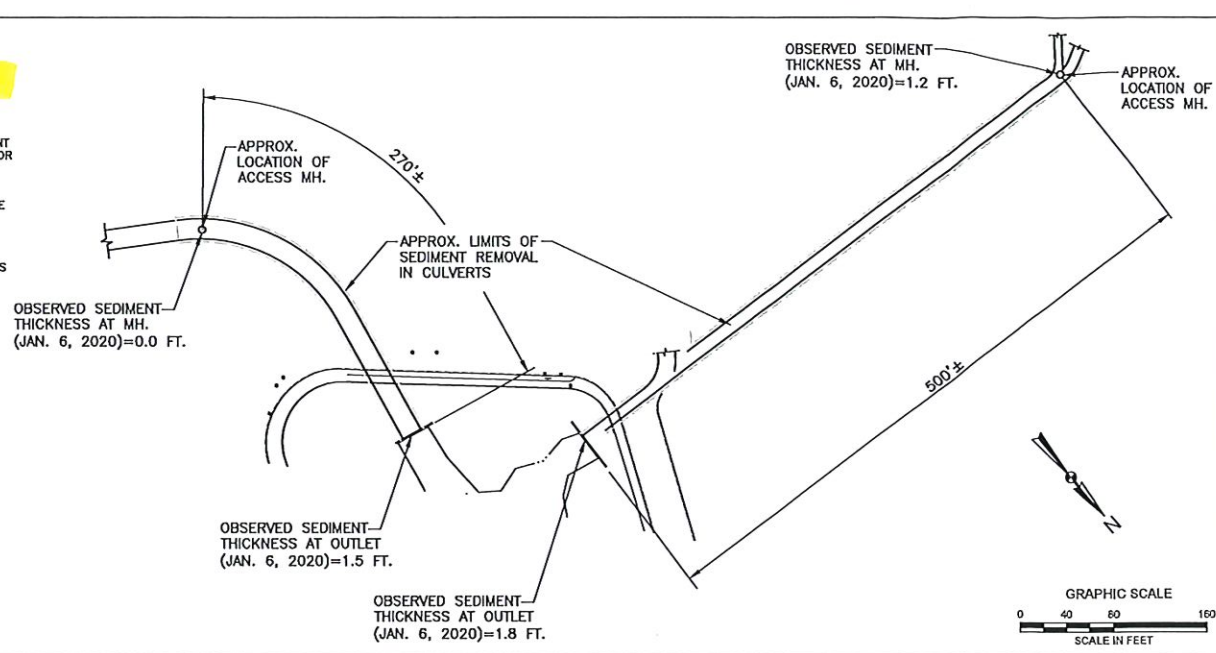


CULVERT CLEANING NOTES:

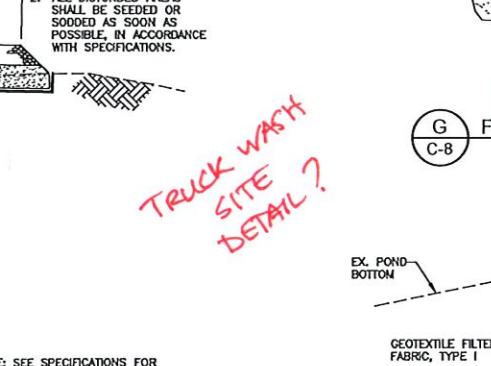
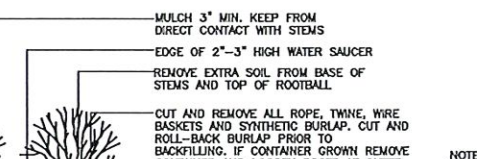
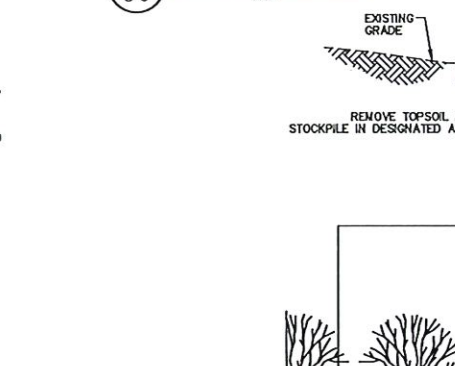
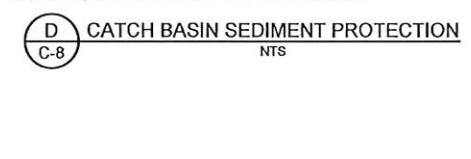
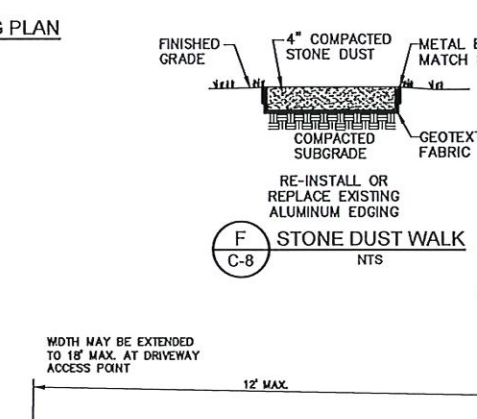
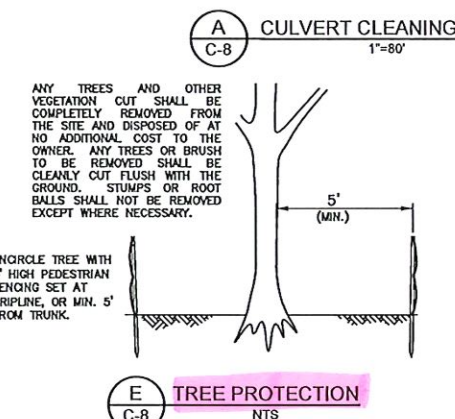
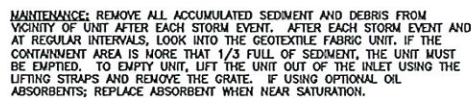
- 1. SEDIMENT MAY BE REMOVED FROM THE CULVERTS BY USE OF MECHANICAL EQUIPMENT, HAND LABOR, OR VACUUMING AS PROPOSED BY THE CONTRACTOR AND ACCEPTED.
2. CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION EXISTING CONDITIONS SURVEY TO DETERMINE THE AMOUNT OF SEDIMENT PRESENT IN EACH CULVERT AND EXISTING CONDITIONS OF CULVERTS...
3. CONSTRUCTION ACTIVITIES SHALL NOT DAMAGE THE INTERIOR OF THE CULVERTS...
4. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING FLOWS WITHIN THE CULVERTS...

DATA SOURCES:

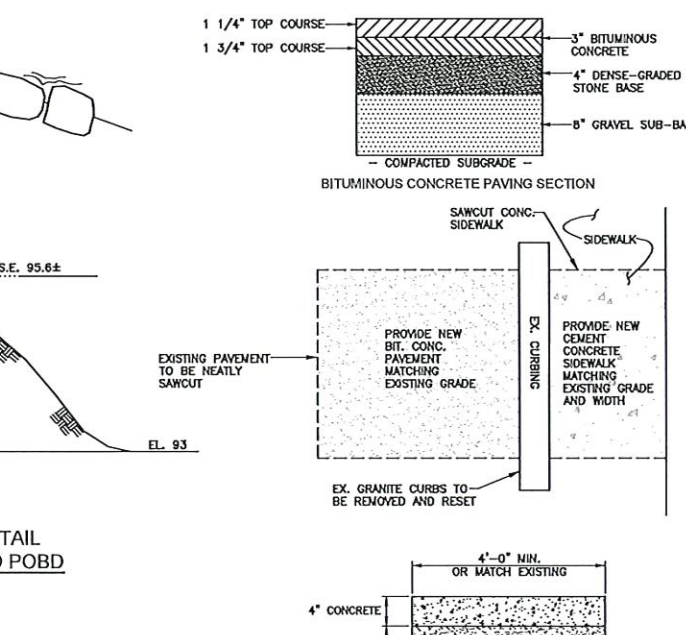
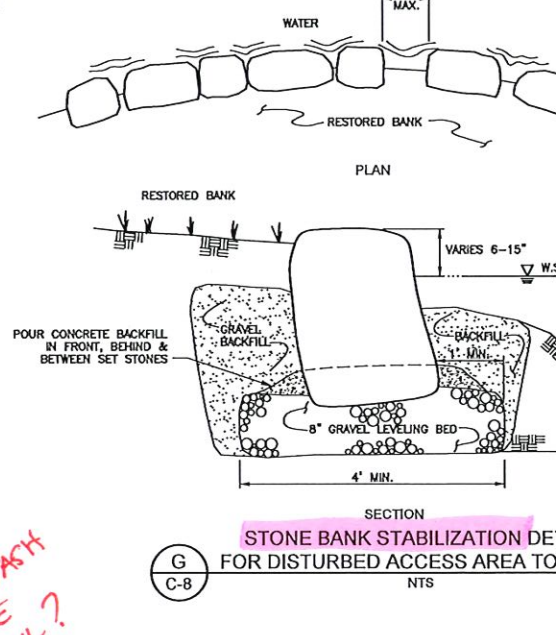
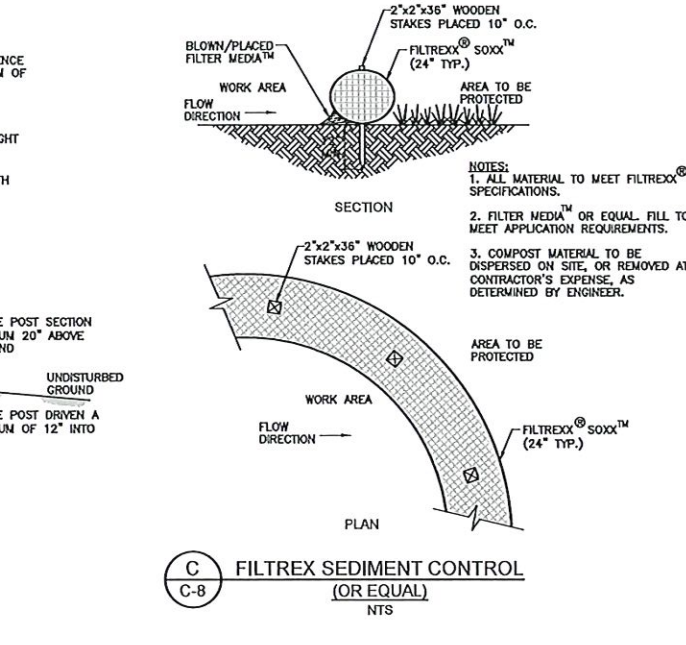
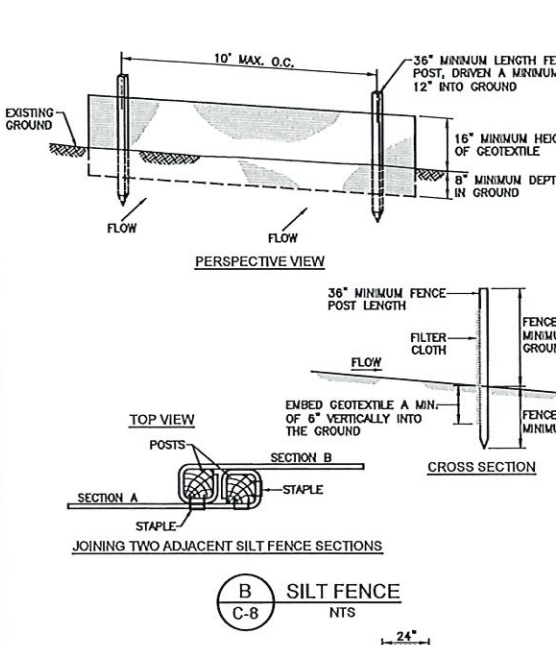
- 1. CULVERT LOCATION INFORMATION AND SLOPES TAKEN FROM PLANS ENTITLED 'PROPOSED STREAM IMPROVEMENTS PIPE CONDUIT & CONCRETE CULVERT COLD SPRING & HAMMOND BROOK...
2. APPROXIMATE ACCESS MANHOLE (MH) LOCATION INFORMATION TAKEN FROM PLANS ENTITLED 'PLANS FOR THE RESTORATION OF LAUNDRY BROOK DRAINAGE SYSTEM...
3. APPROXIMATE CULVERT SEDIMENT THICKNESSES MEASURED BY GZA, INC. ON JANUARY 6, 2020.



INSTALLATION AND MAINTENANCE GUIDELINES
INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS, PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE GEOTEXTILE FABRIC UNIT...
MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT...

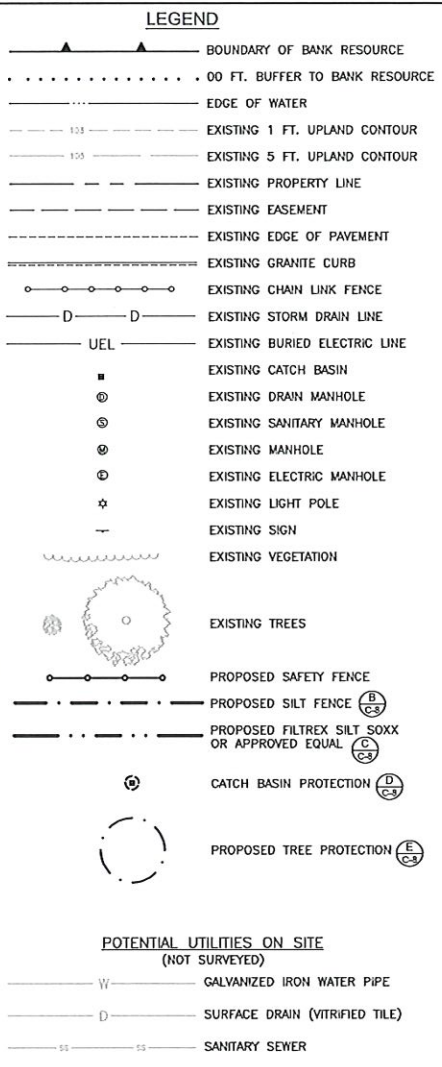
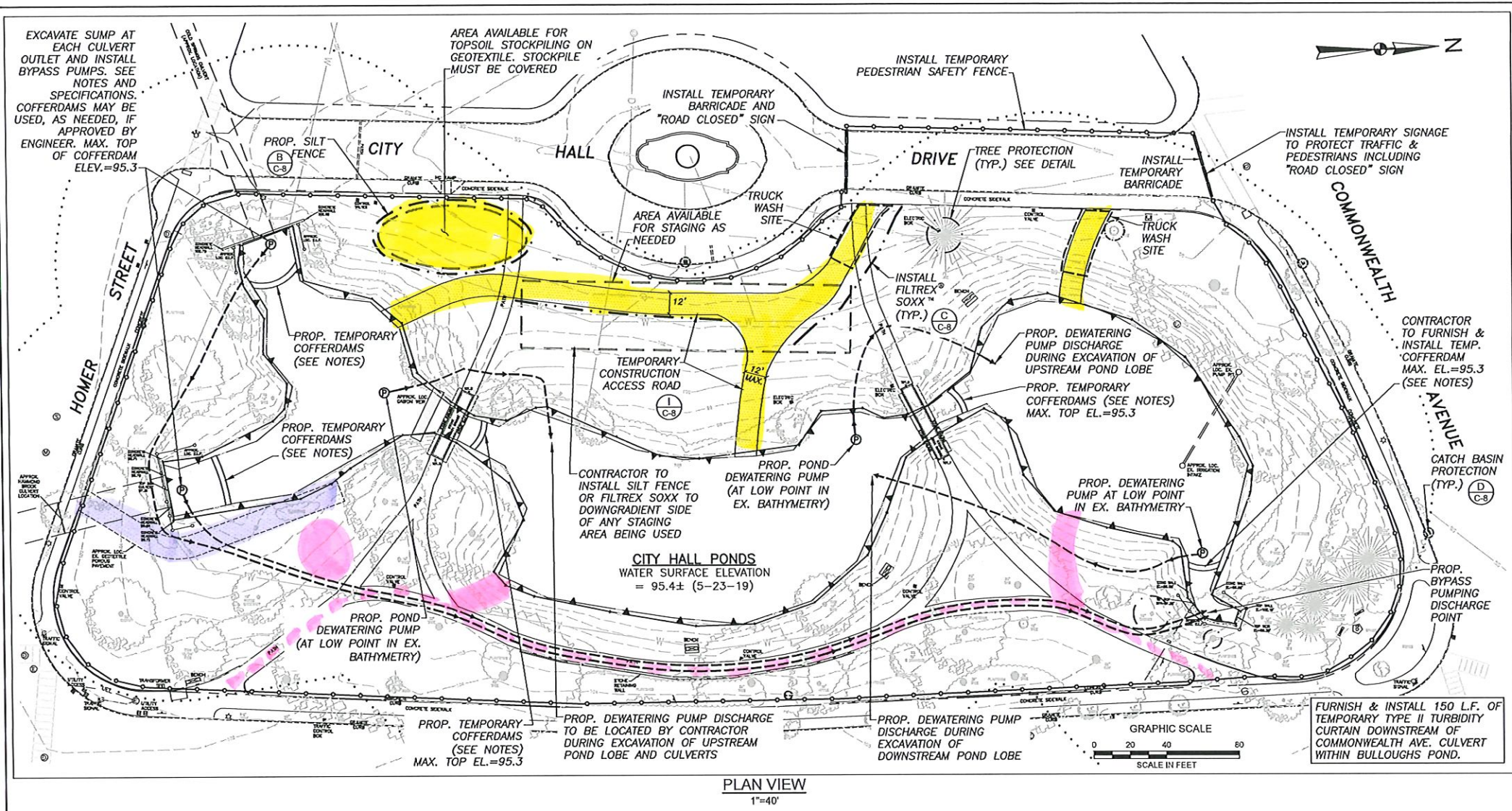


Plant List table with columns: COMMON NAME, BOTANICAL NAME, SIZE, QUANTITY, NOTES. Includes plants like Amelanchier canadensis, Fragrant sumac, Winterberry, Black chokeberry, Northern arrowwood.



Project information table and permit information. Includes: ISSUED FOR PERMITTING (JRB, 9/11/20), ISSUE/DESCRIPTION (BY DATE), ISSUED FOR PERMITTING (JRB, 9/11/20), ISSUE/DESCRIPTION (BY DATE), CITY HALL PONDS MAINTENANCE DREDGING PROJECT, NEWTON CENTRE, MASSACHUSETTS, CULVERT CLEANING PLAN AND DETAILS, PREPARED BY: GZA GeoEnvironmental, Inc., ENGINEERS AND SCIENTISTS, www.gza.com, DEPARTMENT OF PUBLIC WORKS, 1000 COMMONWEALTH AVENUE, NEWTON CENTRE, MA 02459, PROJECT MANAGER: JRB, REVIEWED BY: TEJ, CHECKED BY: SLL, DRAWING: C-8, DESIGNED BY: JRB, DRAWN BY: EDM, SCALE: AS NOTED, DATE: SEPTEMBER, 2020, PROJECT NO.: 15.0166758.00, REVISION NO.: 0.

PRELIMINARY NOT FOR CONSTRUCTION
THOMAS E. JENKINS, JR. CIVIL No. 2450 REG. IN STATE OF MASSACHUSETTS 9-11-2020



- STORMWATER PERMIT NOTES:**
- THIS PROJECT IS REGULATED UNDER THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S (EPA'S) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES. OPERATORS OF SUCH CONSTRUCTION SITES MUST MEET THE REQUIREMENTS OF EPA'S CONSTRUCTION GENERAL PERMIT (CGP). PART OF THE CGP REQUIREMENTS IS THE PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE PROPOSED PROJECT. A SWPPP HAS BEEN PREPARED FOR THIS PROJECT AND WILL BE PROVIDED TO THE CONTRACTOR BY THE OWNER.
 - UNDER THE CONTRACT FOR THE CONSTRUCTION OF THIS PROJECT, THE CONTRACTOR SHALL BE THE OWNER'S FULL AGENT IN THE IMPLEMENTATION AND MAINTENANCE OF THE SWPPP.
 - TO OBTAIN COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT (CGP), A COMPLETE AND ACCURATE NOTICE OF INTENT (NOI) SHALL BE PREPARED ONLINE USING THE NET SYSTEM AND SUBMITTED TO THE ENVIRONMENTAL PROTECTION AGENCY (EPA) BY THE OWNER, THE CONTRACTOR, AND ANY APPLICABLE SUBCONTRACTORS.
 - THE OWNER, CONTRACTOR, AND ALL APPLICABLE SUBCONTRACTORS ARE EQUALLY RESPONSIBLE FOR COMPLYING WITH THE TERMS OF THE CGP AND FOR THE EFFECTIVE IMPLEMENTATION OF THE SWPPP. EACH PARTY FILING A NOI WILL NEED TO ADD COMPANY CONTACT INFORMATION AND TO AMEND THE SWPPP AS SITE CONDITIONS WARRANT TO MEET REQUIRED PERMIT ELEMENTS. ALL PARTIES WILL ALSO NEED TO MAINTAIN THE SWPPP DOCUMENT, CONDUCT INSPECTIONS, UPGRADE AND MAINTAIN SEDIMENT AND EROSION CONTROLS AS NEEDED, AND MEET ALL PERMIT NOTICE OF INTENT (NOI) / NOTICE OF TERMINATION (NOT) REQUIREMENTS.
 - EACH CONTRACTOR AND SUBCONTRACTOR THAT HAS OPERATIONAL CONTROL OVER THE CONSTRUCTION PLANS AND/OR SPECIFICATIONS MUST SIGN THE CONTRACTOR'S CERTIFICATION FORM INCLUDED IN THE SWPPP.
 - IMPLEMENTATION OF THE SWPPP MUST BEGIN AT THE COMMENCEMENT OF CONSTRUCTION ACTIVITY AND MUST BE FULLY AND CONTINUALLY DOCUMENTED UNTIL FINAL STABILIZATION OF THE SITE IS COMPLETE AND A NOT IS FILED.
 - A SIGN MUST BE VISIBLY POSTED AT THE SITE WHICH PROVIDES NOTICE OF THE CGP, THE NPDES PERMIT ID(S), A CONTACT NAME AND PHONE NUMBER FOR OBTAINING ADDITIONAL INFORMATION, AND THE ON-SITE LOCATION WHERE THE SWPPP IS STORED, AS WELL AS THE URL FOR THE SWPPP IF POSTED ONLINE. IN ADDITION, TWO STATEMENTS IDENTIFIED IN THE SWPPP REGARDING HOW TO OBTAIN MORE INFORMATION MUST BE POSTED IN THIS SIGNAGE.
 - IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTOR AND ALL APPLICABLE SUBCONTRACTORS TO INDICATE CONSTRUCTION ACTIVITY SEQUENCING AND TIMING IN THE SWPPP.
 - INSPECTION AND MAINTENANCE MUST BE PERFORMED REGULARLY FOR PERMIT COMPLIANCE, AND DOCUMENTATION OF INSPECTIONS AND MAINTENANCE MUST BE APPENDED TO THE SWPPP BY THE CONTRACTOR.
 - WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION, OR MAINTENANCE AT THE CONSTRUCTION SITE THAT HAS, OR COULD HAVE, A SIGNIFICANT EFFECT ON THE DISCHARGE OF STORMWATER POLLUTANTS, THE SWPPP MUST BE AMENDED BY THE CONTRACTOR.
 - CONTRACTOR SHALL IDENTIFY THE LOCATIONS OF THE FOLLOWING ON THE SEDIMENT AND EROSION CONTROL (S&EC) PLANS AS WELL AS ANY OTHER REQUIRED PERMIT ELEMENTS NOT SHOWN ON THE PLANS AT THE TIME OF THEIR PREPARATION (SEE CGP PERMIT SECTION):
 - CONCRETE TRUCK WASHOUT AREAS (SEE SWPPP)
 - PORTABLE SANITARY UNITS (TOILETS)
 - FUEL TANKS
 - LIMITS OF STAGING AREAS & SOIL DISTURBANCE AREAS
 - WASTE CONTAINER LOCATIONS (E.G., DUMPSTERS)
 - CHEMICAL, MATERIAL, EQUIPMENT, & VEHICLE STORAGE AREAS
 - SOIL STOCKPILES & CONTROLS.
 - IF ADDITIONAL CONTROLS OR BMPs ARE ADDED, THESE SHALL BE DEPICTED ON THE S&EC PLANS AND A DESCRIPTION ADDED TO THE SWPPP BY THE CONTRACTOR. THESE NEW CONTROLS SHALL BE ADDED TO THE WEEKLY INSPECTIONS AS WELL. CONTRACTOR SHALL IDENTIFY ON THE S&EC PLANS ALL AREAS THAT HAVE UNDERGONE FINAL STABILIZATION.
 - UPON FINAL STABILIZATION, A NOTICE OF TERMINATION (NOT) MUST BE ELECTRONICALLY PREPARED AND SUBMITTED TO THE EPA BY ALL PARTIES WHO COMPLETED A NOI USING THE ONLINE NET SYSTEM.

- SEDIMENT AND EROSION CONTROL NOTES:**
- SEDIMENT BASINS AND TRAPS, PERIMETER BERMS, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
 - THE CONTRACTOR SHALL CONSTRUCT ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE SEDIMENT AND EROSION CONTROL PLAN PRIOR TO BEGINNING ANY OTHER LAND DISTURBANCES. SHALL ENSURE THAT ALL RUNOFF FROM DISTURBED AREAS IS DIRECTED TO THE SEDIMENT CONTROL DEVICES, AND SHALL NOT REMOVE ANY EROSION OR SEDIMENT CONTROL MEASURES UNTIL THE AREAS DRAINING TO THEM ARE FINAL STABILIZED. THE CONTRACTOR SHALL INSPECT DAILY AND MAINTAIN CONTINUOUSLY IN EFFECTIVE OPERATING CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL SUCH TIME AS THEY ARE REMOVED. CONDUCT INSPECTIONS AND REPORTING IN ACCORDANCE WITH ALL PERMITS.
 - IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE CONTRACTOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION. THE CONTRACTOR SHALL INSTALL AND MAINTAIN, AT NO ADDITIONAL COST TO THE OWNER, ANY ADDITIONAL EROSION CONTROL MEASURES DEEMED NECESSARY FOR PERMIT COMPLIANCE BY THE CONTRACTOR, THE OWNER AND/OR THEIR REPRESENTATIVES, OR BY FEDERAL/STATE/LOCAL GOVERNMENT INSPECTORS.
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS AND THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS: A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS" (MA DEP, MAY 2003).
 - A CONSTRUCTION ENTRANCE FOR THIS PROJECT IS MANDATORY TO PREVENT TRACKING OF SEDIMENT ONTO PUBLIC THOROUGHFARES. THE CONTRACTOR SHALL PROTECT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS TO PREVENT THE DEPOSITION OF MATERIALS ONTO TRAVERS PUBLIC THOROUGHFARES. ALL MATERIALS DEPOSITED ONTO PUBLIC THOROUGHFARES SHALL BE REMOVED IMMEDIATELY.
 - ALL SEDIMENT BASINS, TRAP EMBANKMENTS, SWALES, PERIMETER DIKES, AND PERMANENT SLOPES STEEPER OR EQUAL TO 3:1 SHALL BE STABILIZED WITH SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES, COMMENCING IMMEDIATELY WHEN WORK IS COMPLETE AND COMPLETING THE WORK WITHIN 14 CALENDAR DAYS OF INITIATION OR 7 DAYS IF THE TOTAL AREA DISTURBED ON-SITE IS MORE THAN 5 ACRES AT ANY TIME OR IF THE SITE HAS DISCHARGES TO SEDIMENT OR NUTRIENT IMPAIRED WATERS OR TO A TIER 2, 2.5, OR 3 WATER, AS DISCUSSED IN THE SWPPP. NO AREAS OUTSIDE OF THE PERIMETER SEDIMENT CONTROL BARRIER OR LIMIT OF WORK SHALL BE DISTURBED.
 - THE CONTRACTOR SHALL APPLY SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES TO ALL DISTURBED AREAS IMMEDIATELY UPON CESSATION OF ACTIVITY AND SHALL COMPLETE THE EFFORT WITHIN 14 CALENDAR DAYS AFTER STRIPPING AND GRADING ACTIVITIES HAVE CEASED ON THAT AREA, UNLESS SHORTER TIMELINES APPLY TO THE SITE DUE TO THE ITEMS INDICATED IN #6 ABOVE (LARGER AREAS OF DISTURBANCE, DISCHARGES TO IMPAIRED OR HIGH QUALITY WATERS, ETC.). MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO ENSURE CONTINUED STABILIZATION.
 - STOCKPILES WHICH HAVE NOT BEEN USED FOR 14 CALENDAR DAYS, SHALL BE STABILIZED THROUGH THE APPLICATION OF SOD, SEED AND ANCHORED STRAW MULCH, OR OTHER APPROVED STABILIZATION MEASURES.
 - ALL CATCH BASINS OR OTHER DRAIN INLETS WHICH MAY RECEIVE STORMWATER FROM DISTURBED AREAS SHALL BE PROVIDED WITH SUITABLE INLET PROTECTION CONSISTING OF AN OPEN-TOP FILTER FABRIC BAG THAT IS DESIGNED TO HANG UNDERNEATH A STORM GRATE TO FILTER SEDIMENT-LADEN STORMWATER.
 - EFFLUENT FROM DEWATERING OPERATIONS AND LINE FLUSHING DISCHARGES SHALL BE DIRECTED INTO FIBER MATS, NETTING, RIPRAP, OR NATURALLY OCCURRING GROUND COVER TO MINIMIZE EROSION. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE PUMPED EITHER TO SEDIMENT TANKS, SEDIMENT BAGS, AND/OR SEDIMENT TRAPS FOR SEDIMENT REMOVAL. DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS: A GUIDE FOR PLANNERS, DESIGNERS, AND MUNICIPAL OFFICIALS" AND IN A MANNER THAT DOES NOT ADVERSELY AFFECT AREAS OUTSIDE OF THE LIMIT OF WORK.
 - TEMPORARY SEDIMENT TRAP(S) SHALL BE CLEANED OUT AND RESTORED TO ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A POINT ONE HALF (1/2) THE DEPTH BETWEEN THE OUTLET CREST AND THE BOTTOM OF THE TRAP.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING, CALCIUM CHLORIDE, OR OTHER EFFECTIVE MEANS OF CONTROL.
 - ALL WASTE MATERIALS GENERATED AT THE SITE SHALL BE IMMEDIATELY REMOVED AND DISPOSED OF OR STORED IN A SECURELY-COVERED CONTAINER IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS. CONTAINER SHALL BE EMPTIED ON A REGULAR BASIS AND AS NECESSARY. NO CONSTRUCTION WASTE OR DEBRIS SHALL BE BURIED ON-SITE.
 - PERMANENT SWALES OR OTHER POINTS OF CONCENTRATED WATER FLOW SHALL BE STABILIZED WITH SOD OR SEED AND WITH AN APPROVED EROSION CONTROL MATTING OR BY OTHER APPROVED STABILIZATION MEASURES.
 - FOR FINISHED GRADING, THE CONTRACTOR SHALL PROVIDE ADEQUATE GRADIENTS SO AS TO PREVENT WATER FROM STANDING ON THE SURFACE OF LAWNS MORE THAN 24 HOURS AFTER THE END OF A RAINFALL, EXCEPT IN DESIGNATED DRAINAGE COURSES AND SWALE FLOW AREAS WHICH MAY DRAIN AS LONG AS 48 HOURS AFTER THE END OF A RAINFALL, AND PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS OR OPENINGS.
 - PRIOR TO REMOVAL OF SEDIMENT CONTROL MEASURES THE CONTRACTOR SHALL STABILIZE ALL CONTIBUTORY DISTURBED AREAS USING SOD OR AN APPROVED PERMANENT SEED MIXTURE WITH REQUIRED SOIL AMENDMENTS AND AN APPROVED ANCHORED MULCH. AREAS BROUGHT TO FINISHED GRADE DURING THE SEEDING SEASON SHALL BE PERMANENTLY STABILIZED IMMEDIATELY WITH EFFORTS COMPLETED WITHIN 14 CALENDAR DAYS OF ESTABLISHMENT UNLESS MORE STRINGENT STABILIZATION DEADLINES APPLY TO THE SITE, AS DISCUSSED IN THE SWPPP. WHEN PROPERTY IS BROUGHT TO FINISHED GRADE DURING THE MONTHS WHEN PERMANENT STABILIZATION IS FOUND TO BE IMPRACTICAL, AN APPROVED TEMPORARY SEED AND STRAW ANCHORED MULCH OR OTHER ACCEPTABLE MEANS SHALL BE APPLIED TO DISTURBED AREAS.
 - TEMPORARY SEDIMENT CONTROL DEVICES SHALL BE REMOVED WITHIN (30) CALENDAR DAYS FOLLOWING ESTABLISHMENT OF PERMANENT STABILIZATION IN ALL CONTIBUTORY DRAINAGE AREAS. STABILIZATION MANAGEMENT STRATEGIES USED TEMPORARILY FOR SEDIMENT CONTROL SHALL BE CLEANED AND CONVERTED TO THEIR PERMANENT STABILIZATION MEASURES.

- SUGGESTED POND DEWATERING METHODS AND SEQUENCE:**
- PHASE I**
STEP IA. CONDUCT INITIAL DEWATERING OF CITY HALL PONDS BY INSTALLATION OF PUMP IN LOWER LOBE OF CITY HALL PONDS AND DECANTING CLEAN WATER FROM ABOVE LEVEL OF SEDIMENTS IN ALL THREE LOBES. TURBID WATER AND SEDIMENTS SHALL NOT BE DISCHARGED DOWNSTREAM DURING THIS PROCESS.
- STEP IB. EXCAVATE SUMPS AT THE TWO CULVERT OUTLETS INTO THE POND. SUMPS SHALL BE LINED WITH GEOTEXTILE FABRIC AND WASHED STONE. CONSTRUCT COFFERDAMS AT THESE LOCATIONS, WITH MAXIMUM ELEVATION = 95.3 FT.
- STEP IC. INSTALL COFFERDAM AT DOWNSTREAM END OF POND, IN APPROXIMATE LOCATION SHOWN ON PLANS. ELEVATION OF COFFERDAM SHALL NOT EXCEED 95.3 FT. CONTRACTOR MAY SELECT COFFERDAM MATERIALS, TO BE ACCEPTED BY ENGINEER. INSTALL HAMMOND BROOK AND COLD SPRINGS CULVERT BYPASS PUMPS AND BEGIN PUMPING CLEAR WATER TO THE PROPOSED OUTLET POINT PRIOR TO THE POND OUTLET.
- PHASE II**
STEP IIA. DURING A DRY WEATHER PERIOD, EXCAVATE SEDIMENTS FROM WITHIN THE HAMMOND BROOK AND COLD SPRINGS CULVERTS. DURING THE PERIOD OF SEDIMENT EXCAVATION FROM EACH CULVERT, FLOWS FROM THAT CULVERT WILL BE REDIRECTED TO THE POND BASIN AREA RATHER THAN THE DOWNSTREAM DISCHARGE POINT, TO PREVENT MOBILIZATION OF SEDIMENTS DOWNSTREAM DURING CULVERT EXCAVATION. ONCE CULVERT CLEANING IS COMPLETED AND REVIEWED BY THE ENGINEER, BYPASS PUMPING MAY RESTART FROM THAT CULVERT.
- STEP IIB. WITH BYPASS PUMPS AND DOWNSTREAM COFFERDAM IN PLACE, CONTRACTOR SHALL CONTINUE TO DEWATER THE POND LOBES AS NEEDED THROUGHOUT THE CONSTRUCTION PERIOD BY INSTALLING POND DEWATERING PUMPS IN THE THREE LOBES AS EXCAVATION PROGRESSES, AS DESCRIBED IN THE FOLLOWING SUGGESTED SEQUENCE. DEWATERING PUMPS WITHIN THE POND SHALL BE SET IN SUMPS LINED WITH GEOTEXTILE FABRIC AND SURROUNDED BY WASHED STONE. SUMPS SHALL NOT BE DEEPER THAN THE HISTORICAL POND BOTTOM OR THE EXTENTS SHOWN ON THE PLANS, WHICHEVER IS ENCOUNTERED FIRST. ALL WORK WITHIN THE POND SHOULD PROGRESS FROM UPSTREAM TO DOWNSTREAM.
- PHASE III**
STEP IIIA. DURING THE PERIOD OF EXCAVATION OF SEDIMENTS FROM THE UPPER POND LOBE, DEWATERING PUMP DISCHARGES SHOULD BE DIRECTED TO THE NEXT DOWNSTREAM POND LOBE (THE MIDDLE LOBE) FOR SETTLING. TEMPORARY COFFERDAM MAY BE CONSTRUCTED NEAR THE MORE UPSTREAM PEDESTRIAN BRIDGE, IN A LOCATION SELECTED BY THE CONTRACTOR AND ACCEPTED BY THE ENGINEER.
- STEP IIIB. DURING THE PERIOD OF EXCAVATION OF SEDIMENTS FROM THE MIDDLE POND LOBE, DEWATERING PUMP DISCHARGES SHOULD BE DIRECTED TO THE MOST DOWNSTREAM POND LOBE FOR SETTLING. TEMPORARY COFFERDAM MAY BE CONSTRUCTED NEAR THE MORE DOWNSTREAM PEDESTRIAN BRIDGE, IN A LOCATION SELECTED BY THE CONTRACTOR AND ACCEPTED BY THE ENGINEER.
- STEP IIIC. DURING THE PERIOD OF EXCAVATION OF SEDIMENTS FROM THE MOST DOWNSTREAM POND LOBE, DEWATERING PUMP DISCHARGES SHOULD BE DIRECTED UPGRADIENT TO THE MIDDLE POND LOBE.
- PHASE IV**
STEP IVA. CONTINUE DEWATERING USING THE POND DEWATERING PUMPS AND BYPASS PUMPS THROUGHOUT THE PROJECT.
- STEP IVB. DURING DRY WEATHER, INFLOW TO THE POND WILL BE BYPASSED BY THE TWO BYPASS PUMPS. OTHER INFLOW WILL COLLECT IN LOW LYING AREAS. THE CONTRACTOR SHALL OPERATE THE POND DEWATERING PUMPS AS NEEDED TO PUMP FLOWS TO OTHER POND LOBES. NO DEWATERING PUMP DISCHARGE DIRECTLY TO DOWNSTREAM AREAS WILL BE ALLOWED. NO TURBID DISCHARGES TO THE POND OUTLET AND DOWNSTREAM AREAS WILL BE ALLOWED. ALL DISCHARGE REQUIREMENTS OF PROJECT PERMITS MUST BE MET.
- STEP IVC. DURING WET WEATHER, THE CONTRACTOR SHALL MINIMIZE THE RISE OF WATER WITHIN THE POND BY CONTINUING TO BYPASS PUMP AND BY USING THE DEWATERING PUMPS. IF INCOMING FLOW EXCEEDS THE CONTRACTOR'S CAPACITY TO PUMP OR TO TREAT DEWATERING DISCHARGES, CONTRACTOR SHALL REMOVE EQUIPMENT AND MACHINERY FROM THE POND AND ALLOW FLOW TO REFILL THE POND AND TO PASS OVER THE COFFERDAM AND DOWNSTREAM.
- STEP IVD. ALL MATERIALS USED IN THE CONSTRUCTION OF COFFERDAMS SHALL BE REMOVED AT THE END OF THE PROJECT. ALL AREAS PERTAINING TO BURIED BUSINESS ACCESS AND OTHER MATERIALS/STRUCTURES ASSOCIATED WITH CONTROL OF

**PRELIMINARY
NOT FOR CONSTRUCTION**

0	ISSUED FOR PERMITTING	JRB	9/11/20
NO.	ISSUE/DESCRIPTION	BY	DATE

UNLESS SPECIFICALLY STATED BY WRITTEN AGREEMENT, THIS DRAWING IS THE SOLE PROPERTY OF GZA GEOENVIRONMENTAL, INC. (GZA). THE INFORMATION SHOWN ON THE DRAWING IS SOLELY FOR USE BY GZA'S CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE FOR THE SPECIFIC PROJECT AND LOCATION IDENTIFIED ON THE DRAWING. THE DRAWING SHALL NOT BE TRANSFERRED, REUSED, COPIED, OR ALTERED IN ANY MANNER FOR USE AT ANY OTHER LOCATION OR FOR ANY OTHER PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF GZA. ANY TRANSFER, REUSE, OR MODIFICATION TO THE DRAWING BY THE CLIENT OR OTHERS, WITHOUT THE PRIOR WRITTEN EXPRESS CONSENT OF GZA, WILL BE AT THE USER'S SOLE RISK AND WITHOUT ANY RISK OR LIABILITY TO GZA.

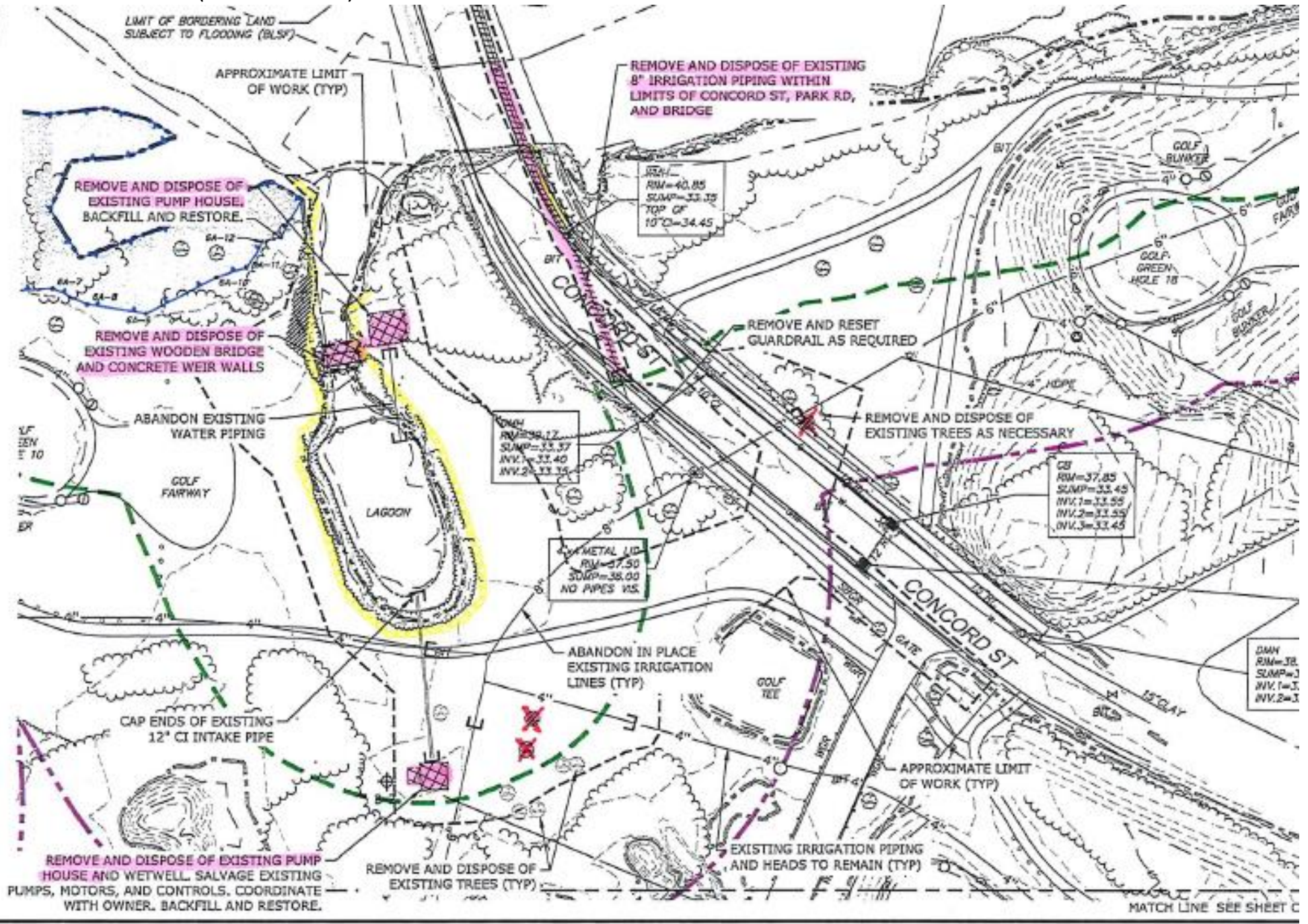
**CITY HALL PONDS MAINTENANCE DREDGING PROJECT
NEWTON CENTRE, MASSACHUSETTS**

**EROSION AND SEDIMENT CONTROL
& CONTROL OF WATER PLAN**

PREPARED BY:	GZA GeoEnvironmental, Inc. Engineers and Scientists www.gza.com	PREPARED FOR:	CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS 1000 COMMONWEALTH AVENUE NEWTON CENTRE, MA 02459
PROJ MGR:	JRB	REVIEWED BY:	TEJ
CHECKED BY:	SLL	DRAWING	

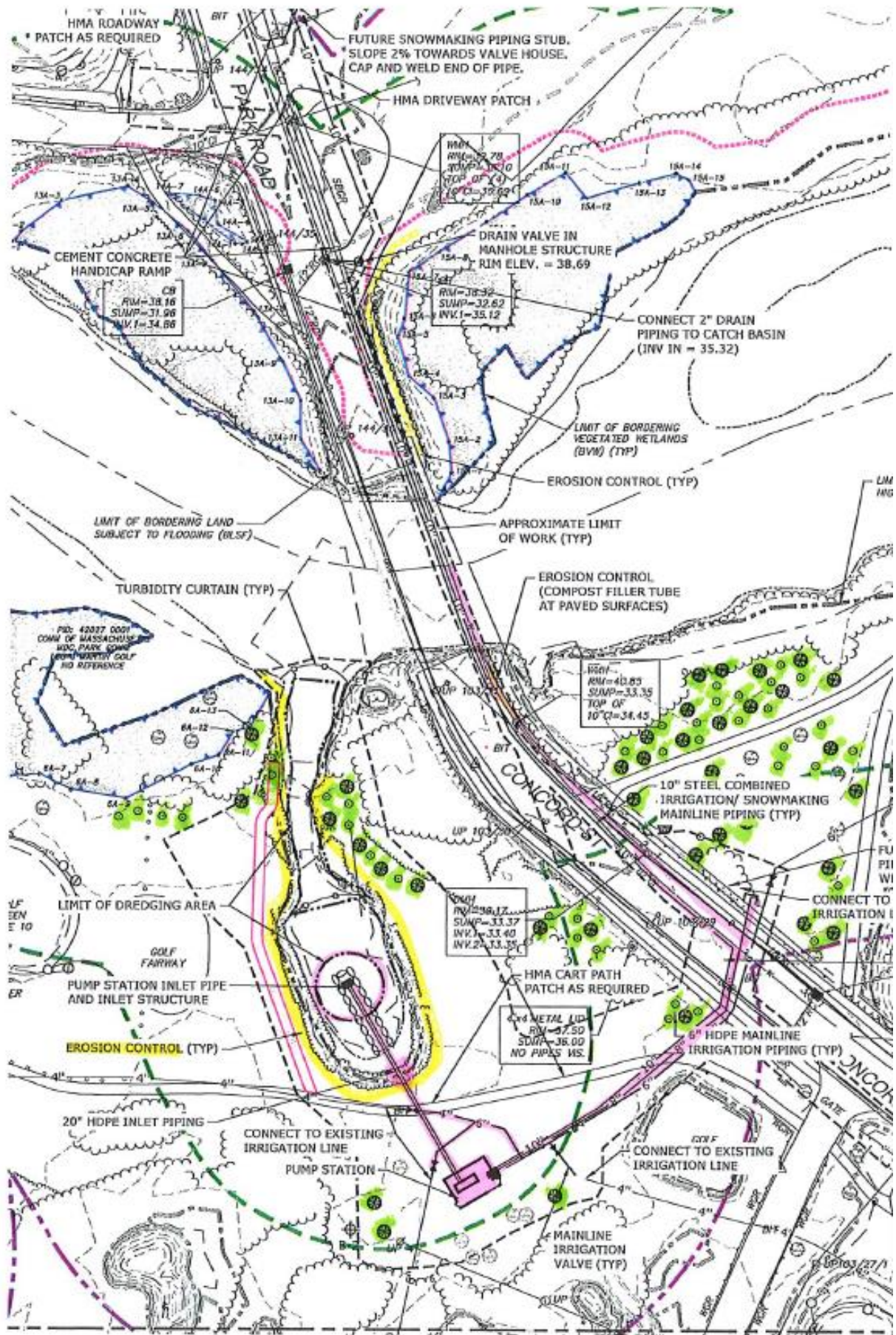


Leo J Martin (41 Concord St)



DEMO AND EXISTING COND. C-105

Leo J Martin (41 Concord St)

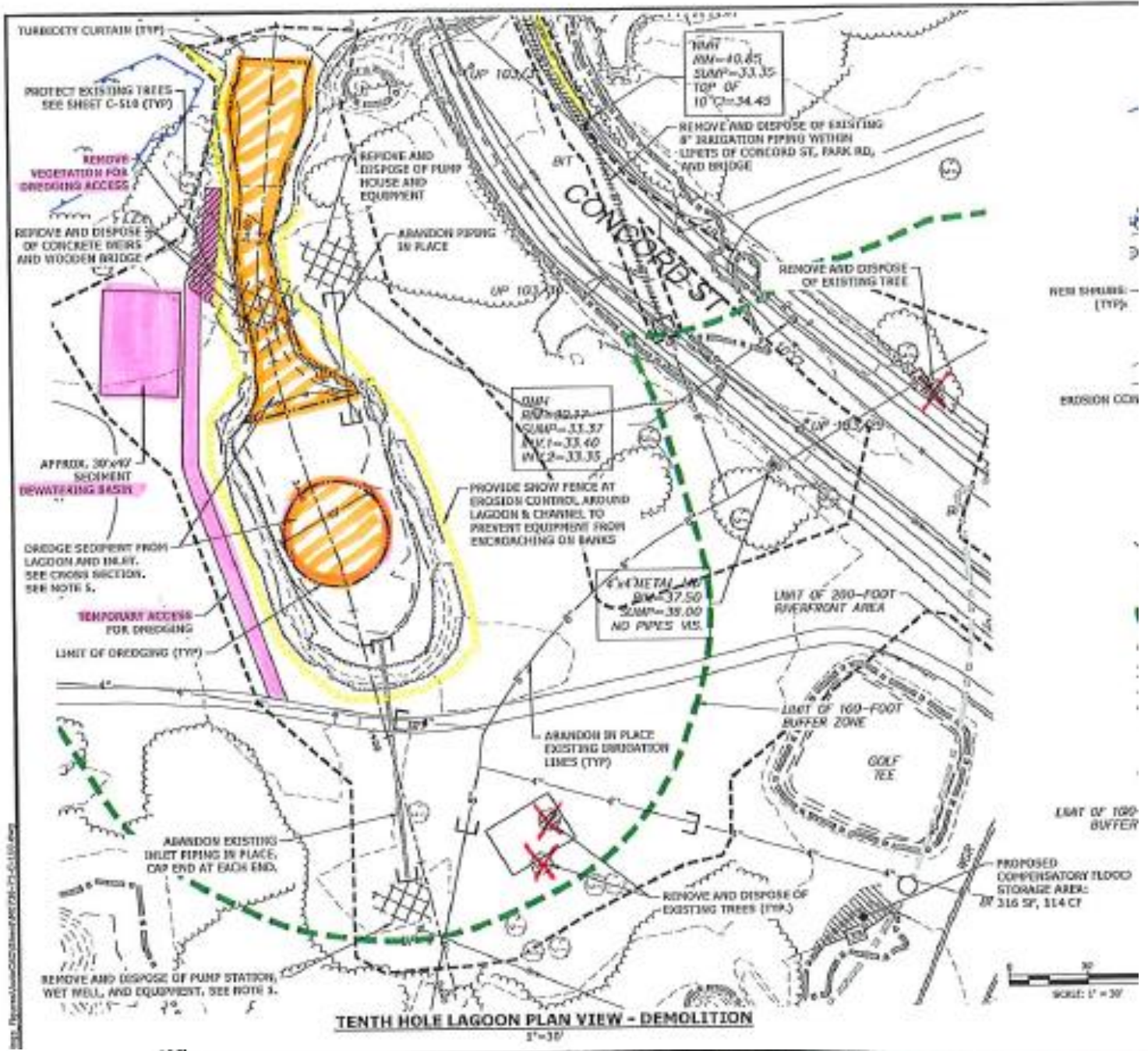


INFRASTRUCT. PROPOSED

LANDSCAPE PLAN

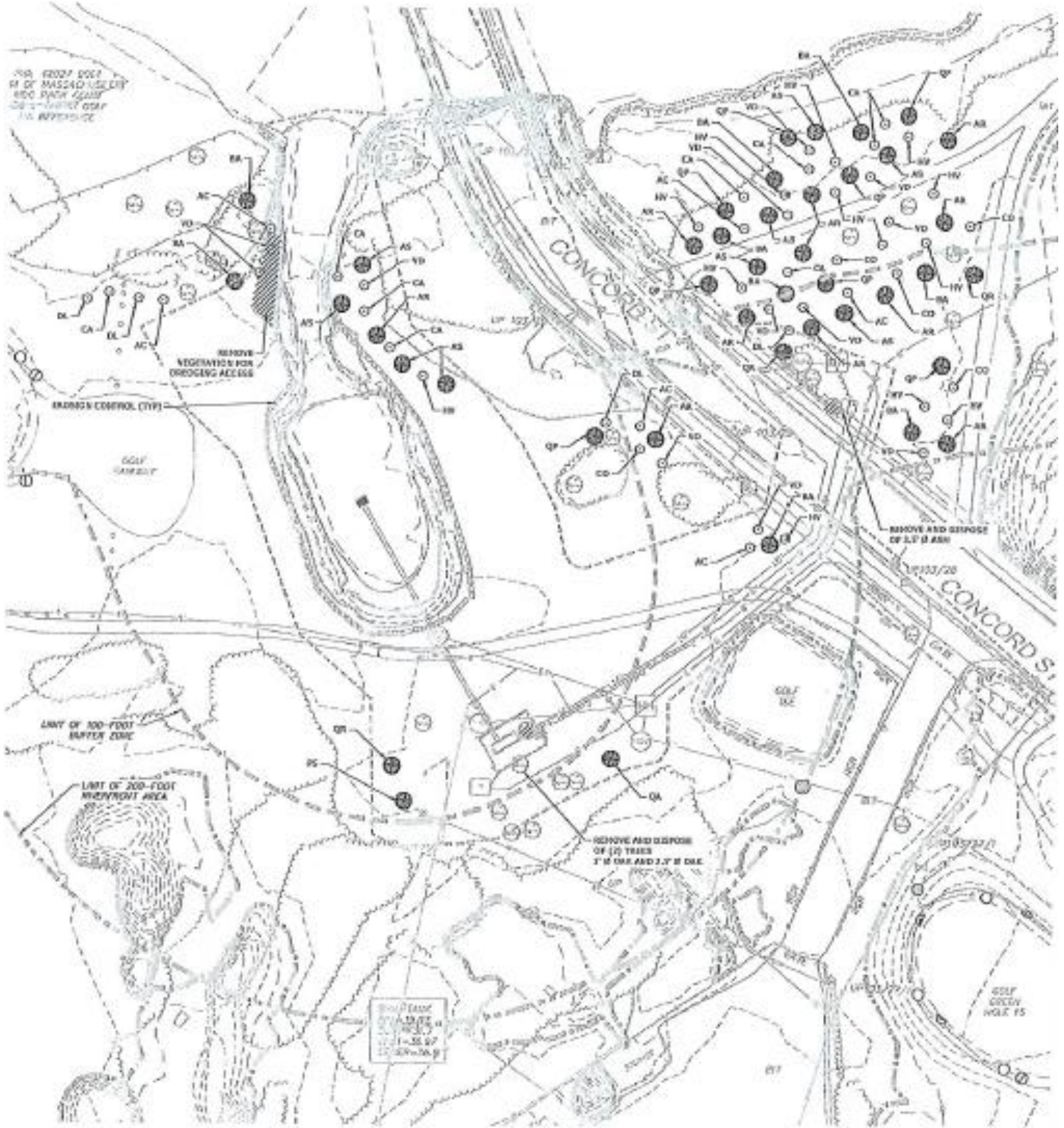
C-109

Leo J Martin (41 Concord St)



ACCESS + DREDGING LAGOON PLAN EASTMAN C-100

Leo J Martin (41 Concord St)

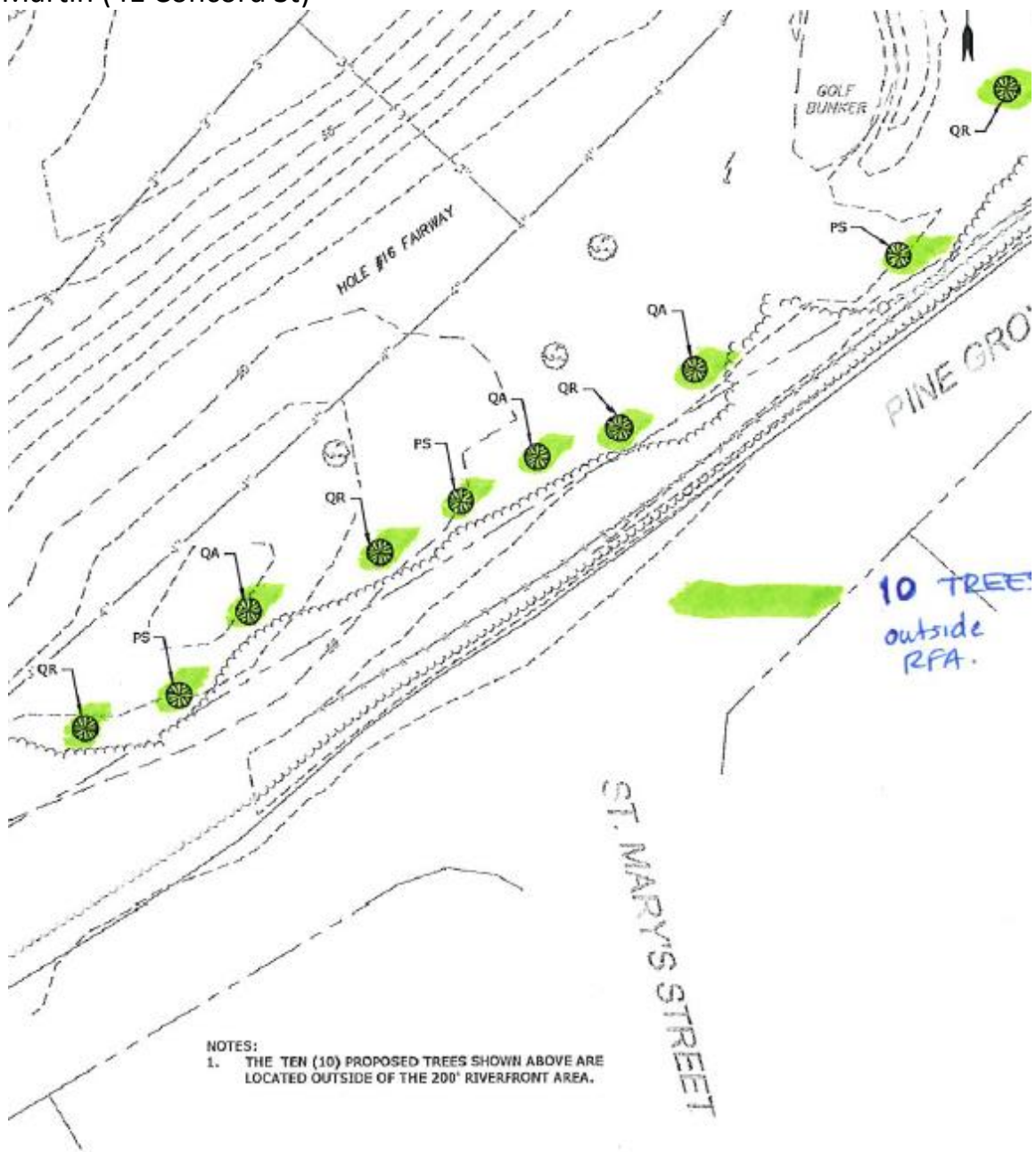


NOTES:
 1. THE 42 PROPOSED TREES AND 48 PROPOSED SHRUBS SHOWN ABOVE ARE LOCATED INSIDE OF THE 180' BUFFER ZONE.

42 trees > in RFA
 47 shrubs

SITE PLANTING PLAN @ 110 A.

Leo J Martin (41 Concord St)

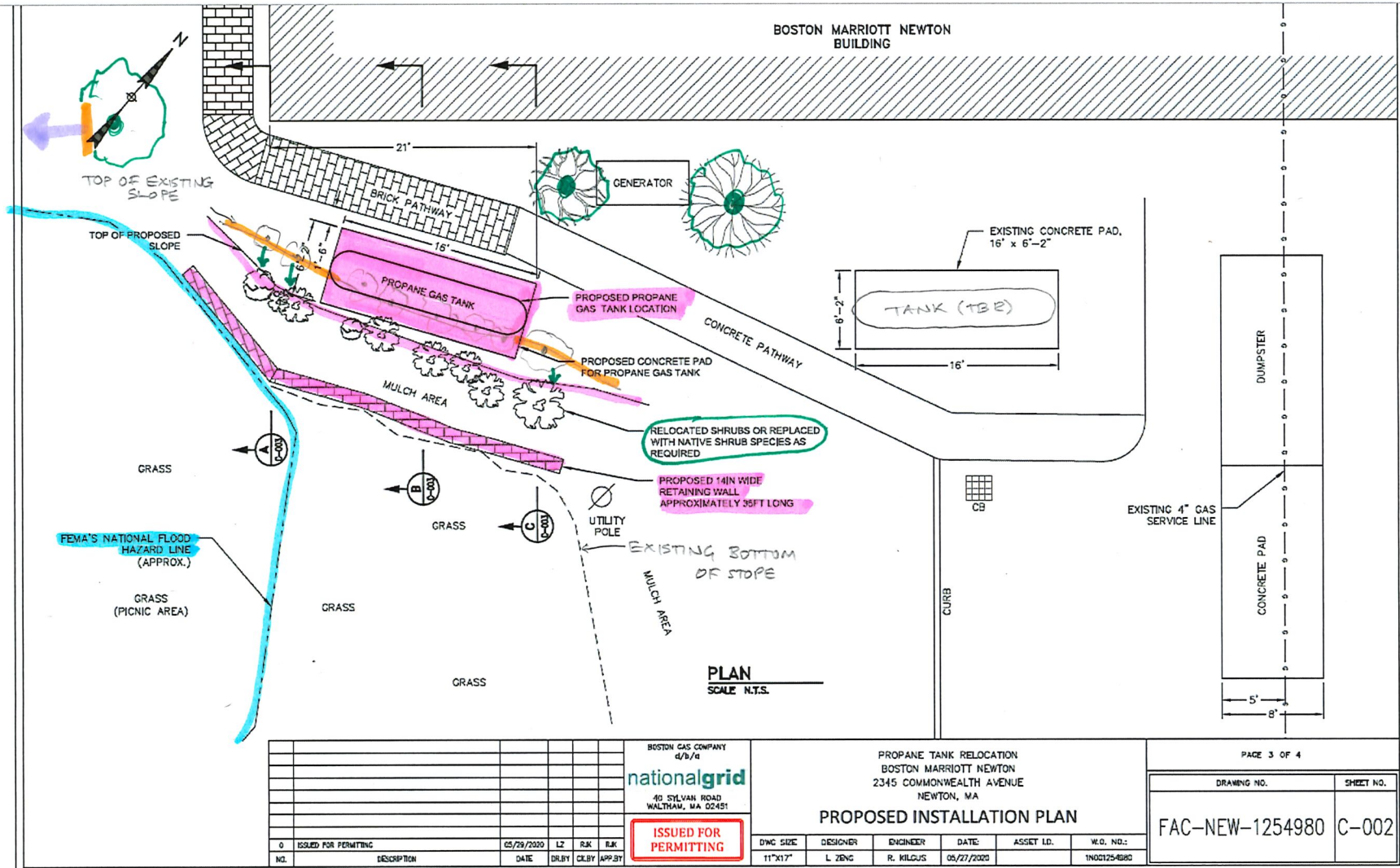


NOTES:
 1. THE TEN (10) PROPOSED TREES SHOWN ABOVE ARE LOCATED OUTSIDE OF THE 200' RIVERFRONT AREA.

TABLE 1
 Riverfront Area Restoration Tree and Shrub Planting Schedule

Symbol	Botanical Name	Common Name	Quantity	Height
Trees				
AS	<i>Acer saccharinum</i>	Silver Maple ²	9	4'-6'
AR	<i>Acer rubrum</i>	Red Maple	11	4'-6'
QP	<i>Quercus palustris</i>	Pin Oak	7	4'-6'
QA	<i>Quercus alba</i>	White Oak	4	4'-6'
QR	<i>Quercus rubra</i>	Northern Red Oak	8	4'-6'
BA	<i>Betula alleghaniensis</i>	Yellow Birch	9	4'-6'
PS	<i>Pinus strobus</i>	White Pine	4	4'-6'
TOTAL TREES			52	
Shrubs				
CA	<i>Clethra alnifolia</i>	Sweet Pepperbush	8	2'-3'
AC	<i>Amelanchier canadensis</i>	Canadian Serviceberry	7	2'-3'
HV	<i>Hammamelis virginiana</i>	Witch Hazel	13	2'-3'
VD	<i>Viburnum dentatum</i>	Arrowwood Viburnum	11	2'-3'
CO	<i>Cornus alternifolia</i>	Alternate-leaved Dogwood	6	2'-3'
DL	<i>Diervilla lonicera</i>	Northern Bush Honeysuckle	4	2'-3'
TOTAL SHRUBS			49	

② 2345 COMMONWEALTH AVENUE - PROPOSED CONDITIONS
6/25/20



NO.	DESCRIPTION	DATE	DRY	CLBY	APP BY
0	ISSUED FOR PERMITTING	05/29/2020	LZ	RJK	ELK

BOSTON GAS COMPANY
d/b/a
nationalgrid
40 SYLVAN ROAD
WALTHAM, MA 02451

ISSUED FOR PERMITTING

PROPRANE TANK RELOCATION
BOSTON MARRIOTT NEWTON
2345 COMMONWEALTH AVENUE
NEWTON, MA

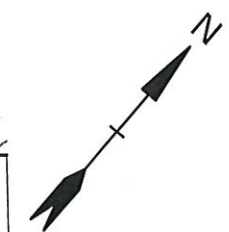
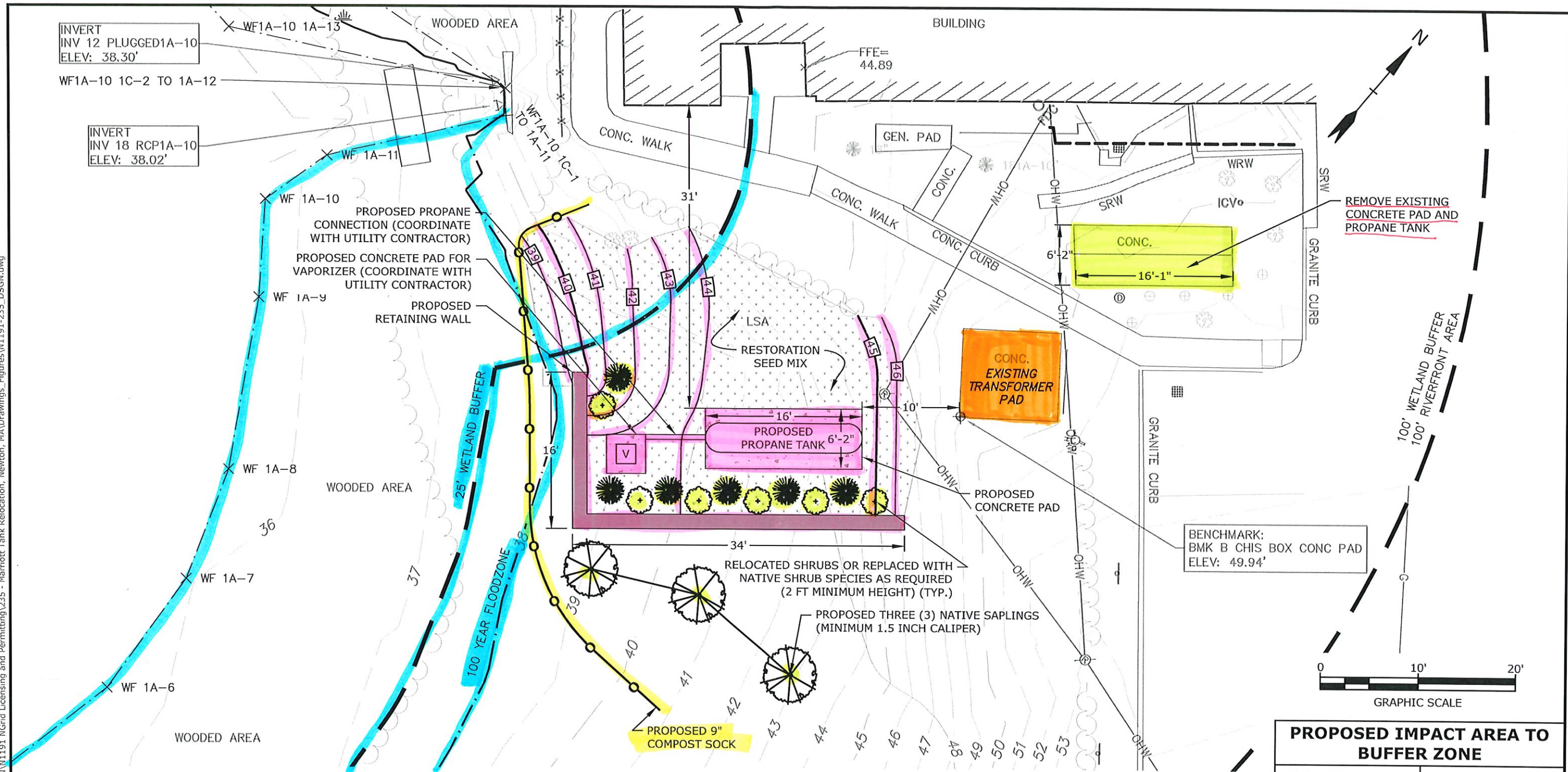
PROPOSED INSTALLATION PLAN

DWG SIZE	DESIGNER	ENGINEER	DATE	ASSET ID.	W.O. NO.:
11"x17"	L. ZENG	R. KILGUS	05/27/2020		1N00125-0180

PAGE 3 OF 4

DRAWING NO.	SHEET NO.
FAC-NEW-1254980	C-002

Oct. 20, 2020-9:47am Plotted By: ASellar
 Tighe & Bond, Inc. \\tigherbond.com\data\Projects\W1191_NGrid Licensing and Permitting\235 - Marriott Tank Relocation, Newton, MA\Drawings_Figures\W1191-235_DSGN.dwg



LEGEND

- | | | |
|----------------------------------|------------------------------|--------------------------------|
| BENCHMARK | ELECTRIC BOX | EXISTING WOOD FENCE |
| EXISTING CATCH BASIN | LSA LANDSCAPE AREA | EXISTING GAS LINE |
| EXISTING FIRE HYDRANT | FFE FINISHED FLOOR ELEVATION | EXISTING OVERHEAD WIRES |
| EXISTING UTILITY POLE WITH RISER | SRW STONE RETAINING WALL | EXISTING TREE LINE |
| SIGN (SINGLE POSTED) | WRW WOOD RETAINING WALL | EXISTING INTERMEDIATE CONTOURS |
| OUTLET | DECIDUOUS TREE | EXISTING INDEX CONTOURS |
| DRAIN MANHOLE | CONIFER TREE | WETLAND LINE |
| BOLLARD | SHRUB | WETLAND BUFFER |
| | | FEMA 100 YEAR FLOODPLAIN |

SPECIAL NOTE: RESTORATION SEED MIX SHALL BE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY SITES BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.

EXISTING CONDITIONS NOTES

- THIS PLAN WAS PREPARED BY ACTUAL ON THE GROUND FIELD SURVEY CONDUCTED BY WSP IN OCTOBER OF 2020.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, MASSACHUSETTS STATE PLANE MAINLAND COORDINATE SYSTEM AND WAS ESTABLISHED UTILIZING RTK GPS SURVEY TECHNIQUES REFERENCING THE MACORS GPS NETWORK.
- THE VERTICAL DATUM SHOWN HEREON REFERENCES THE NORTH AMERICAN VERTICAL DATUM OF 1988, ESTABLISHED ON SITE UTILIZING RTK GPS SURVEY TECHNIQUES REFERENCING THE MACORS GPS NETWORK.
- THE UNDERGROUND UTILITY INFORMATION WAS NOT REQUIRED FOR THIS EFFORT AND THEREFORE ARE NOT SHOWN.
- WETLAND FLAGS HEREON FLAGGED BY OTHERS. LOCATED BY WSP IN OCTOBER 2020.

PROPOSED IMPACT AREA TO BUFFER ZONE

BUFFER ZONE	AREA
25-100 FT	1,005 SF
0-25 FT	170 SF

PROPOSED TANK RELOCATION BOSTON MARRIOTT NEWTON

PROPOSED INSTALLATION PLAN

DATE: 10/20/2020
 SCALE: AS SHOWN
 FIGURE: 1 OF 1



CONSERVATION COMMISSION AGENDA

Date: October 29, 2020

Time: 7:01pm – 9:50pm

Place: This meeting was held as a virtual meeting via Zoom

<https://us02web.zoom.us/j/86198364948>

With a quorum present, the meeting opened at 7:01 Susan Lunin presiding as Chair, with Dan Green taking over upon arrival.

Members Present: Susan Lunin, Leigh Gilligan, Kathy Cade, Jeff Zabel, Judy Hepburn, Ellen Katz (7:22), Dan Green (7:52)

Members Absent: Dan Green

Staff Present: Jennifer Steel and Claire Rundelli

Members of the Public: not recorded due to remote nature of the meeting

DECISIONS

I. WETLANDS DECISIONS

1. 50 Industrial Place – RDA – electrical switch gear replacement w/ minor hardscaping

- Owner/Applicant: Jack Crocker, HC Starck Representative: Sean Barry, STV Incorporated
- Request: Issue DOA.
- Documents Presented: Colored plans, site photos, draft DOA
- Jurisdiction: Buffer Zone, BLSF, City Floodplain
- Performance Standards
- Project Summary
 - Install a new concrete pad for electrical switch gear. Install new gravel pathway section to connect new pad to existing gravel path. Install new chain link fence to protect new pad.
 - Remove some existing asphalt and replace with gravel/crushed stone.
 - Demolish an existing wall and replace with a temporary wooden wall for future tank replacement. After tank is replaced, a brick wall will be reconstructed.
 - Plant 2 raspberry bushes and 1 pagoda dogwood.
- Presentation (Sean Barry) and Discussion:
 - The applicant's representative clarified that the new plans, submitted 10/29, show a reduced area of disturbance of 200 s.f. and show a revised erosion control line.
 - This also resulted in a reduction of the asphalt being transitioned to gravel to 200 s.f.
 - A response to staff comments clarifying the size of the new equipment (1 cubic yard) and that all equipment will be in compliance with building code was submitted .
 - The applicant's representative clarified that the fence line needs to be extended to prevent anyone from reaching in the fence and touching the equipment.
 - Commissioners did point out that the proposed dogwood is not native but recognized that this area is very disturbed, and that the potential habitat value is very limited.
 - Staff confirmed that a planting detail had been provided showing proper soil amendment to ensure planting success.
- Vote: To issue a negative 3 determination with the following conditions. [Motion: Kathy Cade; Second: Judy Hepburn; Roll-call vote: Gilligan (aye), Lunin (aye); Zabel (aye), Hepburn (aye), Cade (aye), Katz (abstain). Vote 5:0:1]
 - The site must be left stable, appropriately vegetated, and clean. Post construction photos must be sent to the Conservation Office when construction is complete.
 - Plantings must occur within 8 months of the infrastructure improvements, must be photo-documented (with photos sent to the Conservation Office at the time of installation), and must survive two growing seasons.

2. 41 Concord Street (Leo J Martin Golf Course) – OOC – irrigation and snowmaking upgrades – DEP File #239-877

- Owner: Massachusetts Department of Conservation and Recreation Applicant: Raul Silva, DCR Representative: Jay Viamari, Tighe and Bond
- Request: Issue OOC.
- Documents Presented: Colored plans, site photos, draft OOC



Mayor
Ruthanne Fuller

**Director
Planning &
Development**
Barney Heath

**Chief
Environmental
Planner**
Jennifer Steel

**Assistant
Environmental
Planner**
Claire Rundelli

**Conservation
Commission
Members**
Kathy Cade
Dan Green
Judy Hepburn
Ellen Katz
Susan Lunin
Jeff Zabel
Leigh Gilligan

1000 Comm. Ave.
Newton, MA 02459
T 617/796-1120
F 617/796-1142

www.newtonma.gov

- Jurisdiction: Buffer Zone, Riverfront Area, Bank, LUWW, BLSF, City Floodplain
- Project Summary
 - Project goals: install new snow making and irrigation infrastructure.
 - Project activities include:
 - demolition/removal of a masonry irrigation pump house and intake structure,
 - dredging of the manmade lagoon,
 - installation of a new pump house building,
 - installation of new water lines and electrical conduit, and
 - associated tree and understory vegetation removal.
- Presentation (April Doroski and Matt Wzorek) and Discussion:
 - The applicant's representatives provided some background of the site and that the proposed changes are needed as existing systems are failing or are undersized.
 - It was clarified that the existing pump house system is split between Newton (irrigation) and Weston (snow making) and a main goal of the project is to combine the two existing pump houses into one for both systems.
 - The revised plans are going to focus on saving trees that were originally proposed to be removed.
 - Rough updated numbers for plantings were provided of 25 saplings and 30 shrubs.
 - The applicant really tried to get home that the existing systems are not working for the golf course both from a maintenance perspective and in meeting the need.
 - Staff stated that points of access for dredging the lagoon in the field that will be on the revised plan, and that access from this side does provide the best option in terms of wetland disturbance and the number of mature trees.
- Staff Notes:
 - **Overall**
 - The applicant claims that this is "water-dependent project" and so could qualify for Limited Project status. Staff feel that irrigation is not "water-dependent" as intended by DEP.
 - Staff recommended using erosion controls only where erosion control is necessary, not to define limits of work areas.
 - Staff asked that all infrastructure be shown on one page (i.e., that proposed electrical infrastructure be overlaid with the proposed water infrastructure to ensure that there won't be conflicts with one another, with existing trees, or with proposed trees).
 - Staff asked that all potentially impacted trees be survey located and identified (species and size) on the plans to clarify potential conflicts and necessary protection.
 - The applicant must clarify what lighting changes are being proposed in (or affecting) Newton and they should demonstrate minimal spill of light into natural wetland areas.
 - Top of Bank and BVW flags must be refreshed to allow staff to confirm the wetland boundaries.
 - Locations of the proposed pump house and irrigation lines should be flagged in the field to allow staff to assess the practicality of the application. (Note: Work in Riverfront must be executed in the least damaging manner, so if less intrusive alternatives exist, they must be considered or adopted.)
 - Individual trees should be shown on the plan in the area of proposed work and planting to ensure that disturbance to trunks and roots will be minimized and to ensure that plantings will be appropriately placed.
 - The applicant must provide a more complete stormwater checklist and report to satisfy DEP requirements.
 - The applicant must insert the appropriate Turf Reinforcement Mat detail and delete the erroneous Erosion Control Blanket detail.
 - The mitigation planting plan of 2 saplings for each 1 mature tree cut is very weak. The proposed cutting is of 234 caliber inches.
 - **BLSF**
 - The applicant indicates that the 100-year flood elevation is at 42' NAVD88. The FEMA Flood Profiles, however, indicate that it is at 39.5'. Plans should be clarified with the addition of a datum (is it NAVD88?) and the BLSF line should be adjusted if appropriate.
 - Cut and fill numbers will need to be entirely reworked.
 - Cut and fill numbers must be balanced (and overcompensated for, according to the ConCom's policy) at every foot of elevation.
 - Clarity must be given on whether the storage shed near the weir and bridge is going to be removed as part of this project.

- The applicant asked whether excess compensatory storage volume could be “banked” for future projects. Staff indicated that she felt that would not be appropriate because of each project needing to be considered on its own merits, the City’s policy requiring excess capacity be generated, and the need to increase flood storage as much as possible in the face of climate change.
- **Land Under Water**
 - The applicant should clarify the total area of the lagoon and the total area of dredging. Both 2900 sf and 4530 sf are used in the application.
- **Bank**
 - Currently the banks of the lagoon are fully vegetated and stable. The applicant should clarify whether (and how) every effort will be made to protect the banks of the lagoon during dredging. The details indicate bank restoration with fill and willow whips in the event of disturbance.
- **Riverfront Area**
 - The applicants claim that the wildlife habitat value in the proposed work areas is limited because of the golf course features, was refuted by staff, since most of the work is proposed within mature tree canopy and fully vegetated areas.
 - Staff questioned the stated reason for such extensive tree removal (protection of the pump house). Proactive cutting of huge native trees because of their proximity to a pump house is not warranted under the Act.
 - The proposal calls for 234 caliper inches of mature oaks and maples to be removed and only 20 4-6 foot tall saplings to be planted. That seemed to staff wholly inadequate.
 - On the site visit, staff noted several areas where enhanced mitigation planting of trees and shrubs could occur. The applicant agreed to enhance the mitigation planting plan.
 - It appeared to staff, that the location of the proposed pump house and new irrigation lines could be modified to reduce the proposed removal of mature trees. Staff asked the applicant to revise the plans.
 - It appeared to staff that access for dredging the lagoon could be better achieved from the western side of the lagoon, with less damage to trees along the bank. Staff asked the applicant to revise the plans showing the new access routes and appropriate protections (such as plywood to protect tree roots).
- **Vote:** To continue the hearing to 11/19/20 allow the applicant time to submit revised plans, due by 11 and schedule another site visit with Conservation staff. [Motion: Leigh Gilligan; Second: Ellen Katz; Roll-call vote: Gilligan (aye), Lunin (aye); Green (abstain), Zabel (aye), Hepburn (aye), Cade (aye), Katz (aye). Vote 6:0:1]

3. 93 Andrew Street – COC – addition to SFH – DEP File #239-546

- **Owner/Applicant:** Karim Favakeh **Representative:** none
- **Request:** Issue COC.
- **Jurisdiction:** Buffer Zone, Riverfront Area, BLSF, City Floodplain
- **Discussion:** Staff site visit on 10/14/20 confirmed compliance; all required paperwork has been received.
- **Vote:** To issue a complete Certificate of Compliance. [Motion: Dan Green; Second: Leigh Gilligan; Roll-call vote: Gilligan (aye), Lunin (aye); Green (aye), Zabel (aye), Hepburn (aye), Cade (aye), Katz (aye). Vote 7:0:0]

4. Discussion of Unrestricted Flow in Flood Zone

- **Issue:** Continued consideration of regulating construction in flood zone, using recent examples in the Upland Ave area.
- **Discussion:**
 - After the last meeting, staff did some more research and spoke at length the owner of 116 Upland Ave.
 - In the cut and fill calculations, the plans for 116 Upland showed “deck screening” of 7.6 cubic feet. The architectural plans presented to ISD showed horizontal skirting. It was always anticipated by the owner. Staff did not take note of that component of the plan (and its potential conflict with unrestricted flow) and so did not bring the issue up as a concern. The issue was never directly discussed or addressed by the applicant, staff, or the Commission, except in the condition of “shall not enclose”.
 - **Consensus:** Commissioners agreed that the condition was clear and that a plan revising the existing skirting to meet the current guidelines must be proposed, per the decision at the 10/8/20 meeting, to the Commission no later than the 12/8/20 meeting.
 - The replacement fence at 29 Brierfield was approved administratively with the condition that it be elevated 4-6 inches from the ground. A staff site visit verified that the fence was installed appropriately above the owners’ ground level as, per the condition in the Admin Approval. The land surface, however, appears to be a bit elevated on the 116 Upland Ave side of the fence (due to mulch and soil associated with the row of Arborvitaes), so the flow of flood water may be somewhat restricted.
 - **Consensus:** Commissioners agreed that this fence is in compliance with the approval.

- The approved plans for 170 Upland indicated that the new house foundation and its deck pillars would not exceed the prior existing fill in floodplain. The decks, however, have been enclosed with solid skirting, effectively adding to the volume of the house in flood zone. The approved plans do not appear to show skirting on the plans or in the cut and fill calculations. The conditions did not directly prohibit deck skirting. The fence that was shown on the approved plans is a solid panel fence that contacts the ground in many places. There were no conditions requiring elevation of the fence. The Commission’s flood zone construction guidelines were not in place at the time.
 - Consensus: Commissioners agreed that staff should reach out to make the homeowner aware that the skirting on the all three porches must be removed or revised to fit the guidelines prior to the issuance of a Certificate of Compliance.

5. Consideration of a New Standard “Finding” in the Commission’s OOC Template

- Discussion:
 - Staff were interest was in addressing Commission concerns about applicants seeking modifications to recent/current projects that increase impacts to wetlands or buffer zones, also referred to as “creep,” through better documentation of the reasoning behind its decisions.
 - Leigh Gilligan researched DEP’s OOC amendment policy and considered the matter.
 - Gilligan recommends forgoing the use of a standard finding in favor of a case-by-case approach and, when necessary, use of DEP’s policy language.
 - Gilligan notes that “an applicant can always ask us to amend an OOC under the DEP policy and our response is completely within our discretion.” And “we should not be allowing increase to impacts via amendment in any event.”
- Consensus: A new finding is not appropriate at this time.

II. CONSERVATION AREA DECISIONS

6. Posting Land Use Regulations at Trail Heads

- Discussion:
 - 6 years ago Jennifer Steel redesigned and replaced all ConCom trail head signs, removing the signs that recited all of the land use regulations, instead installing welcoming signs with: (1) trail maps, (2) “enjoy this nature reserve from dawn to dusk”, (2) “leave no trace of your visit”, (3) “dogs must be on leashes”, & (4) “dog waste must be carried out”.
 - The uptick in use of Conservation parcels has brought more foot traffic and more bicycle traffic.
 - Staff have installed temporary signs reminding people of the prohibition of bicycles on Conservation land, but since all the regulations are not posted, many residents have been surprised by the notion that bicycles are not allowed on Conservation land.
 - Commissioners agreed that the old signs were far too wordy, but that adding regulations may be a good idea.
- Consensus: Staff will send along the old signs, the current signs, and a draft language for new signs and continue the discussion to a future Commission meeting.

7. Clarification of Prior Orienteering Discussion

- Staff notes: Confirm that it is ok with the ConCom to have the trails of Flowed Meadow displayed on an Auburndale Park orienteering course map. All orienteering markers will be located within Auburndale Park. Note: PRC staff will be coming to the 12/10/20 ConCom meeting with draft map of a proposed orienteering course at Kennard Park and Kennard Conservation Area.
- Consensus: Commission confirmed that the trails at Flowed Meadow may be shown on the orienteering map for Auburndale Park, but no markers may be placed within Flowed Meadow.

III. ADMINISTRATIVE DECISIONS

8. Recruitment for Alternates

- Staff Notes:
 - The Commission does not currently have an alternate member. Alternate is the customary pathway for a new person to “learn the ropes” prior to being appointed as a full voting member. Application to the ConCom is always available on-line to residents, but we haven’t had any applications in quite some time. At Steel’s request, the Mayor’s office will advertise the opening to a variety of community organizations that represent diverse demographics. Commissioners should also suggest names of possible candidates.
 - The current ordinance defining the Conservation Commission states that: "(b) There shall also be four (4) alternate members appointed by the mayor with approval by the board of Aldermen". Staff wonder whether the Commission would like to submit a proposed Ordinance change to: "(b) There may also be up to four (4) alternate members

appointed by the mayor with approval by the City Council", or "There shall also be one (1) alternate member ..." A Commission of 11 could be unwieldy.

- Vote: To change the ordinance language to "There may also be up to two (2) alternate members ..." [Motion: Judy Hepburn; Second: Jeff Zabel; Roll-call vote: Gilligan (aye), Lunin (aye); Green (aye), Zabel (aye), Hepburn (aye), Cade (aye), Katz (aye). Vote 7:0:0]

9. Minutes of 10/8/20 to be approved

- Documents Presented: Draft minutes
- Vote: To accept the 10/8/20 minutes as edited. [Motion: Dan Green; Second: Susan Lunin; Roll-call vote: Gilligan (aye), Lunin (aye); Green (aye), Zabel (aye), Hepburn (aye), Cade (aye), Katz (aye). Vote 7:0:0]

IV. ISSUES AROUND TOWN DECISIONS – None at this point in time.

UPDATES

V. WETLANDS UPDATES

- Bullough's Pond Skating Shed Violation: PRC staff are due to provide the Conservation Office with a revised restoration planting plan for the area around the unpermitted wall by 10/22/20.

VI. CONSERVATION AREA UPDATES

- Houghton Garden – Phragmites: Solitude treated the patch last week.
- Dolan Pond: The trail from Cumberland Road to the boardwalk has been regraded and resurfaced to increase accessibility.

VII. ISSUES AROUND TOWN UPDATES

- OSRP approval: Staff still await final state approval. DCS said that our submittal coincided with their busy season, so responses have been delayed.
- Christina Street Bridge Feasibility Study: Staff are working with DCR to finalize all requisite paperwork and with City staff to finalize the scope of services. Once all DCR permits have been received the scope will be sent out for estimates. The next step will be to secure the required MBTA access license.
- DCR Lower Falls shared-use trail vision plan: Staff submitted comments on behalf of the City.
- DCR Quinobequin road and trail improvement alternatives analysis: Staff submitted comments on behalf of the City.
- Climate Action rolls along! Website coordination with Green Newton is active, the Energy Coach position has been posted, solar installations continue, BlueBikes are here, EV chargers are being installed, zoning changes are under discussion, etc.!
- Stormwater Ordinance: A new draft is being developed for internal review.

VIII. ADMINISTRATIVE UPDATES

- Office Move: The Conservation Office (and the rest of the Planning Department) has moved to the second floor of City Hall. Staff can now be found within the Inspectional Services Department and our assistance can be requested by the public at the Inspectional Services counter.
 - Interns: Staff working to advertise for a part-time college co-op position to assist with office and field work.
-

OTHER TOPICS NOT REASONABLY ANTICIPATED BY THE CHAIR 48 HOURS BEFORE THE MEETING

10. Naming of the Old Deer Park Trail

- Discussion: Staff wanted to be sure that a trail name was voted on in open session. Commissioners felt that the "Ira Wallach Trail" was the most appropriate. Dan will look at metal plaque marker options for the trail and will reach out to the Mayor about the Certificate of Service.
 - Consensus: To name the newly created trail within the Old Deer Park, the "Ira Wallach Trail."
-

ADJOURN

- 9:50pm [Motion: Dan Green; Second: Susan Lunin; Roll-call vote: Gilligan (aye), Lunin (aye); Green (aye), Zabel (aye), Hepburn (aye), Cade (aye), Katz (aye). Vote 7:0:0]
-