Owner: **2LIFE COMMUNITIES**

Construction Manager: DELLBROOK

30 WALLINGFORD ROAD BRIGHTON, MA 02135

ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

Structural: **VEITAS & VEITAS ENGINEERS,** INC

639 GRANITE STREET BRAINTREE, MA 02184

DRAWING SCHEDULE

GENERA	L
G-001	COVER & SHEET INDEX
G-100	CODE ANALYSIS
ARCHITE	CTURAL DEMOLITION
AD-100	DEMOLITION PLANS - LEVELS C-A
AD-101	DEMOLITION PLAN - LEVEL 1
AD-102	DEMOLITION PLAN - LEVELS 2-5
AD-103	DEMOLITION PLAN - LEVELS 3-5 (COLEMAN II)
AD-401	ENLARGED UNIT DEMO PLANS
AD-402	ENLARGED UNIT DEMO PLANS
ARCHITE	
A-001	NOTES, ABBREVIATIONS, LEGENDS
A-002	PARTITION TYPES
A-100	FLOOR PLANS - LEVELS C-A
A-101	FLOOR PLAN - LEVEL 1
A-102	FLOOR PLAN - LEVELS 2-5
A-103	FLOOR PLAN - LEVELS 3-5 (COLEMAN II)
A-108	ROOF PLAN
A-111a	RCP FLOOR PLANS - LEVEL C-A
A-111b	RCP FLOOR PLANS - LEVEL 1
A-111c	RCP FLOORS PLANS - LEVELS 2-5
A-111d	RCP FLOOR PLANS - LEVELS 3-5 (COLEMAN II)
A-201	EXTERIOR ELEVATIONS
A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-401	ENLARGED UNIT PLANS
A-402	ENLARGED UNIT PLANS
A-403	ENLARGED UNIT PLANS
A-404	ENLARGED UNIT PLANS
A-405	ENLARGED UNIT PLANS
A-621	STOREFRONT & WINDOW TYPES



2LIFE - COLEMAN HOUSE RENOVATIONS

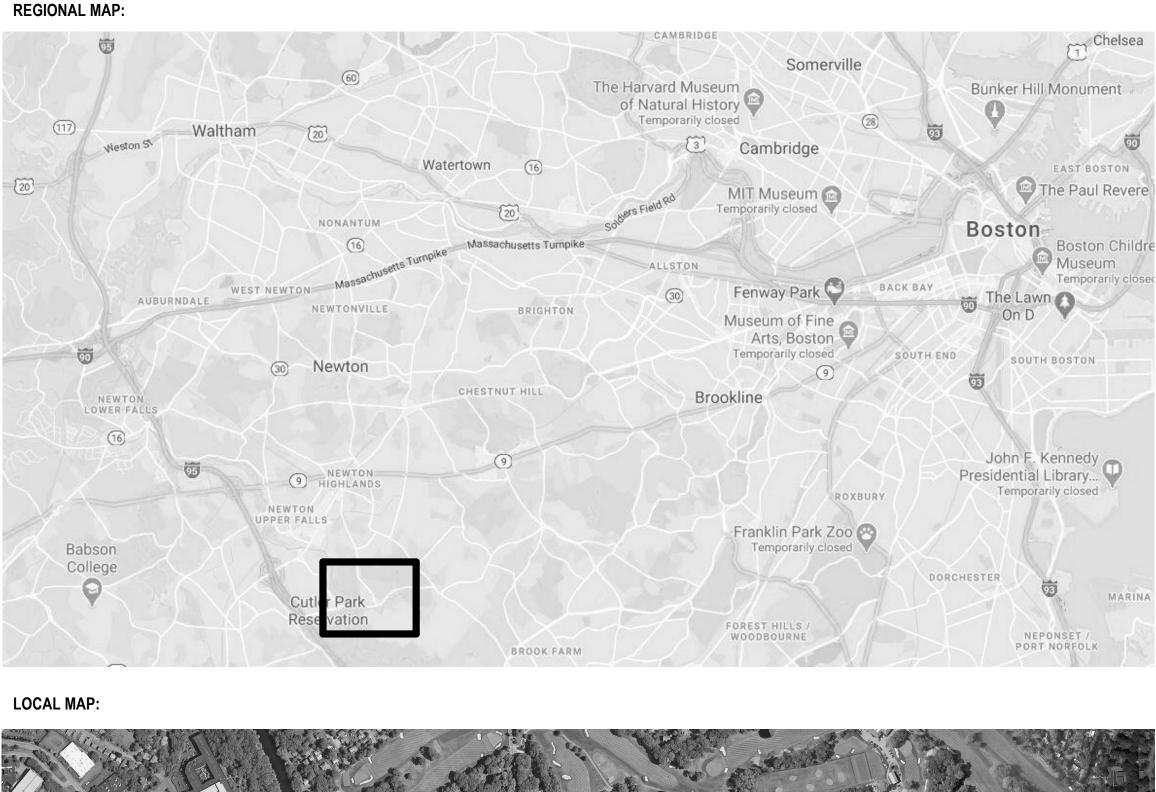
677 WINCHESTER STREET **NEWTON, MA 02459**

MEPFP Engineer: PETERSEN ENGINEERING, INC.

P.O. BOX 4516 PORTSMOUTH. NH 03802 Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC

433 MAIN STREET, SUITE 4 HUDSON, MA 01749

SCHEMATIC DESIGN





PROJECT No. 66574.00 08/07/2020

⁻LOCA 12:43: :\REVIT 7/2020 $\odot \overline{\circ}$

BUILDING CODE SUMMARY

Project Information

Name of Project: 2LIFE COMMUNITIES - COLEMAN HOUSE RENOVATIONS Address: 677 WINCHESTER STREET, NEWTON, MA Zip Code: 02459 Owner: 2LIFE COMMUNITIES Phone #: <u>617-912-8400</u> Code Enforcement Jurisdiction: City <u>NEWTON</u> County <u>MIDDLESEX</u> State <u>MA</u>

Project Summary

Type of work being performed: <u>ALTERATION</u>

Building description:

COLEMAN I, CONSTRUCTED IN 1984, IS A 5-STORY BUILDING CONTAINING 100 UNITS. COLEMAN II IS AN ADDITION TO THE ORIGINAL BUILDING AND IS 8 STORIES CONTAINING 46 UNITS AND WAS CONSTRUCTED IN 1998. THE LOWER THREE FLOORS OF COLEMAN II ARE BELOW THE GROUND FLOOR OF COLEMAN I, IDENTIFIED AS LEVELS A, B AND C GOING DOWN. ALL UNITS ARE ONE BEDROOM/BATHROOM EXCEPT FOR THE MANAGER'S APARTMENT WHICH IS A TWO BEDROOM/ONE BATHROOM UNIT. THERE ARE AMENITY SPACES ON THE GROUND (ENTRY LEVEL) FLOOR WHICH ARE NOT PART OF THE SCOPE OF RENOVATION WORK

Scope of work details:

EXTERIOR REPAIRS - WINDOW REPLACEMENT, CORRECT EXPANSION/CONTROL JOINTS IN BRICK WALLS, PROVIDE NEW MEMBRANE ROOF AND INSULATION RESIDENT UNIT RENOVATIONS - RECONFIGURE BATHROOM AND KITCHEN LAYOUTS TO MEET ACCESSIBILITY REQUIREMENTS AND PROVIDE MANEUVERING SPACE FOR RESIDENTS, REPLACE FLOORING, CABINETS, COUNTERTOPS, APPLIANCES, PLUMBING FIXTURES, REPLACE DOORS, WALL BASE AND DOOR TRIM, PROVIDE CEILING MOUNTED LIGHTING THROUGHOUT, PAINT WALLS AND CEILINGS

EQUIPMENT - REPLACE TRASH COMPACTOR AND REPLACE ELEVATOR FINISHES MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION UPGRADES - REFER TO MEP DRAWINGS AND PROJECT MANUAL FOR MORE INFORMATION

Design Professional Information

LEAD DESIGN F	PROFESSIONAL :				
DESIGNER	FIRM	NAME	LICENSE #	TELEPHONE #	E-MAIL
Architectural					
Electrical					
Fire Alarm					
Plumbing					
Mechanical				<u></u>	
Sprinkler-Standpipe				<u></u>	
Structural			<u></u>		

Major Code References

Building Code: 2015 International Building Code (IBC) with Massachusetts Amendments, Ninth Edition

2015 International Existing Building Code (IEBC) with Massachusetts Amendments, Ninth Edition 2015 International Energy Conservation Code (IECC) with Massachusetts Amendments, Eighth Edition

- 2015 International Fire Code (IFC) with Massachusetts Amendments, Ninth Edition
- 2015 International Mechanical Code (IMC) with Massachusetts Amendments, Ninth Edition 248 CMR, Massachusetts Plumbing Code
- 248 CMR, Massachusetts Fuel and Gas Code
- 527 CMR, Massachusetts Electrical Code
- Massachusetts General Laws 521 CMR, Massachusetts Architectural Access Board (Accessibility Standards)

Stories: 5

Fair Housing Assessibility Guidelines Section 504, Uniform Federal Accessibility Standards

2015 Existing Building Code Existing Building Data:

COLEMAN I (Currently occupied) Year of construction: 1984 Approximate Size: 75,239 GSF COLEMAN II (Currently occupied) Year of construction: 1998 Approximate Size: 41,123 GSF

Number of Units: 100 Stories: 8 Number of Units: 46

AT THE SCHEMATIC DESIGN PHASE, 2 EXISTING BUILDING CODE APPROACHES ARE BEING INVESTIGATED. THEY ARE:

OPTION 1 Compliance Method: WORK AREA

Classification of work: <u>ALTERATION LEVEL 2</u>

DIVIDE BUILDING INTO 2 BUILDING PERMIT AREAS. EACH WORK AREA TO BE UNDER 50% OF THE OVERALL BUILDING AREA.

OPTION 2 Compliance Method: WORK AREA

Classification of work: <u>ALTERATION LEVEL 3</u>

PERFORM ALL WORK UNDER ONE BUILDING PERMIT.

Accessible Dwelling Units and Sleeping Units

ACCESSIBLE DWELLING UNITS:

TOTAL UNITS	ACCESSIBLE	ACCESSIBLE	GROUP 2A	group 2a	GROUP B	GROUP B	TOTAL
	UNITS	UNITS	UNITS	Units	UNITS	UNITS	ACCESSIBLE,
	REQUIRED	PROVIDED	REQUIRED	Provided	REQUIRED	PROVIDED	A & B UNITS
146	8 (5%)	8 (5%)	8	8	0 (0%)	0 (0%)	8

*Seperate column may need to be added to identify which accessibile units have roll in & transfer showers. **Confirm project compliance with fair housing, ADA rooms with communication features (ADA 215, Table 224.4, 224.5, & 806) and other applicable standards

08/07/2020	

SCHEMATIC DESIGN

G-100

SCALE:

PROJECT No: 66574.00 DRAWING TITLE:

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

PETERSEN ENGINEERING, INC. P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer:

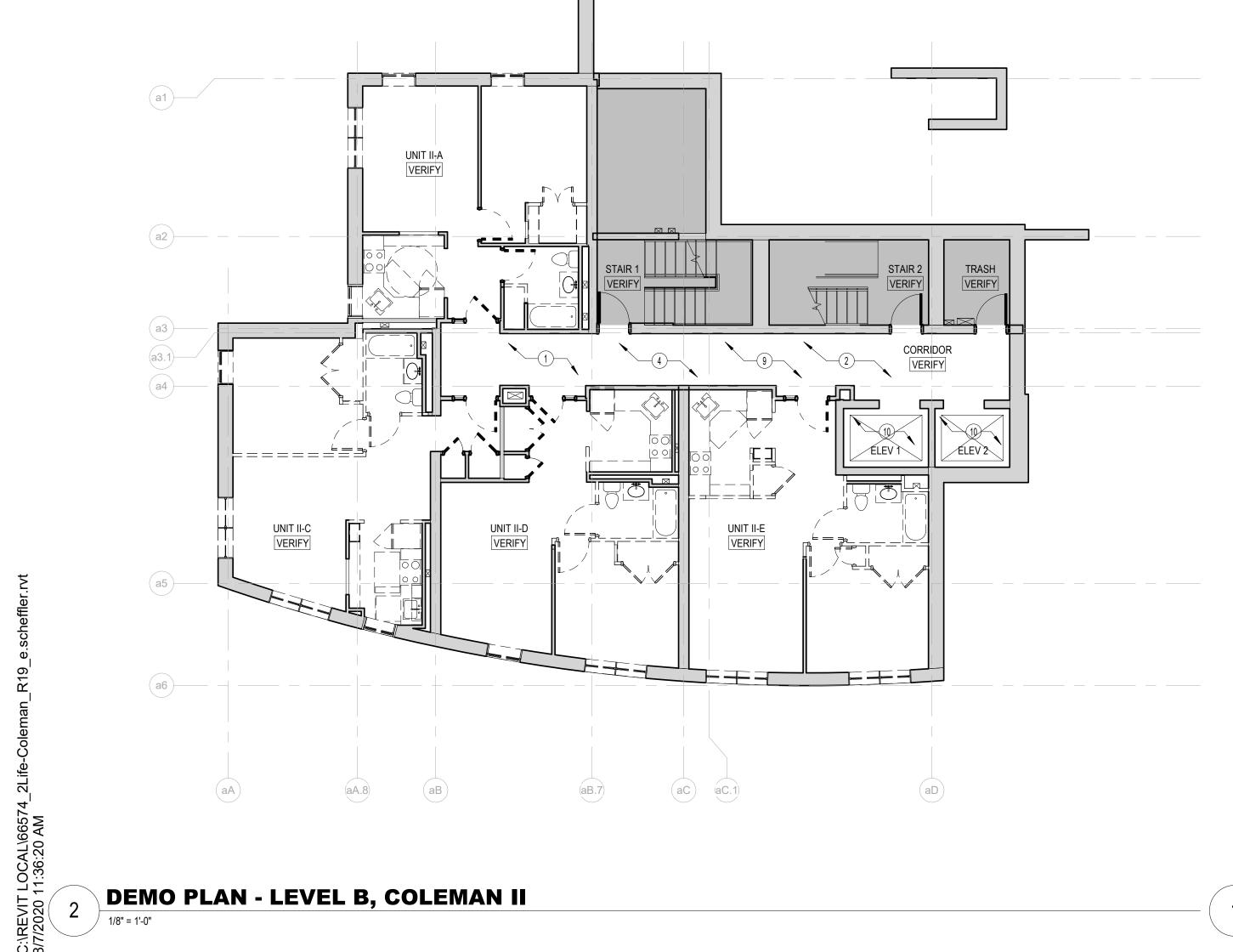
Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184

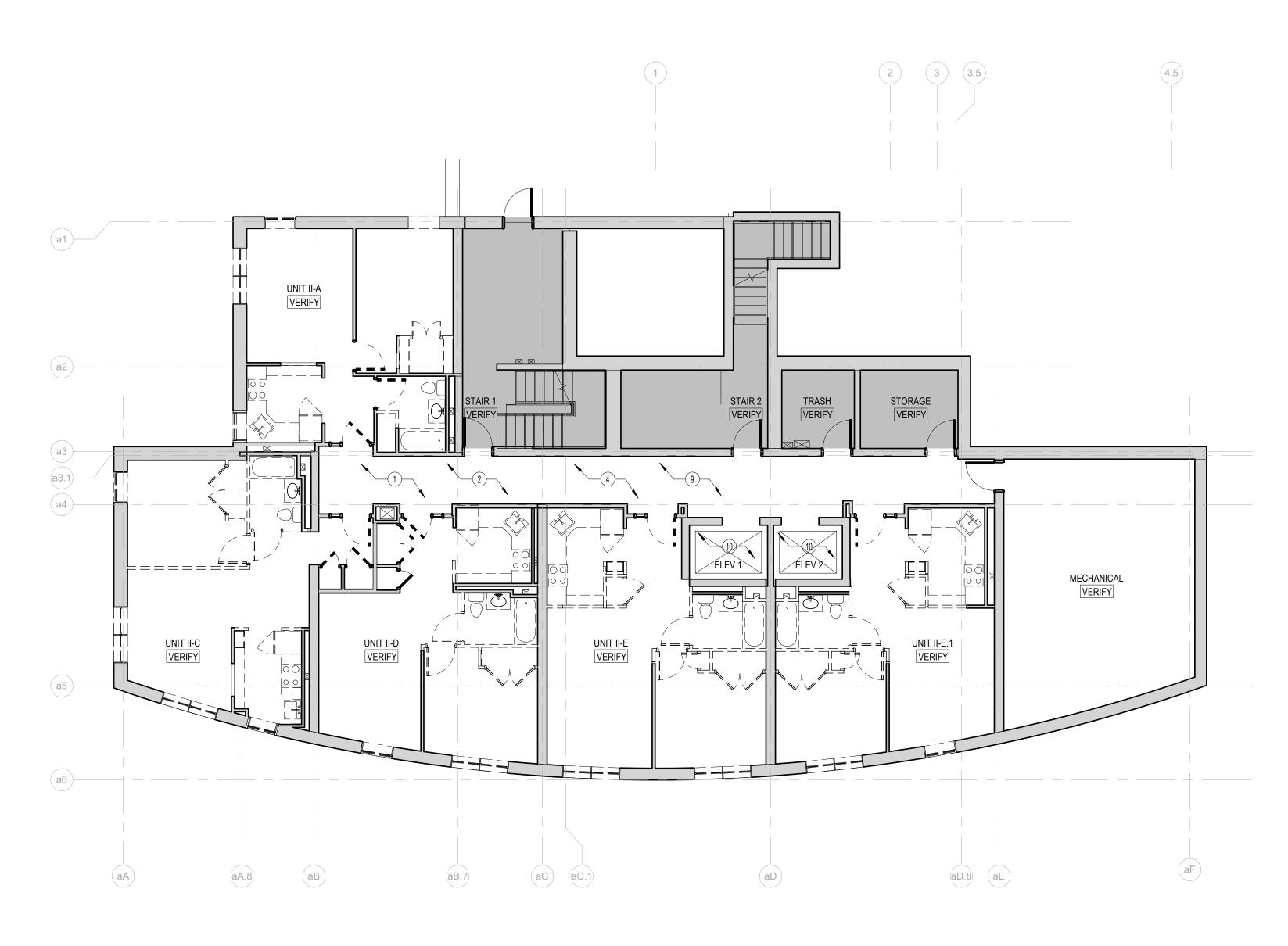
Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

Owner: **2LIFE COMMUNITIES** 30 WALLINGFORD ROAD BRIGHTON, MA 02135

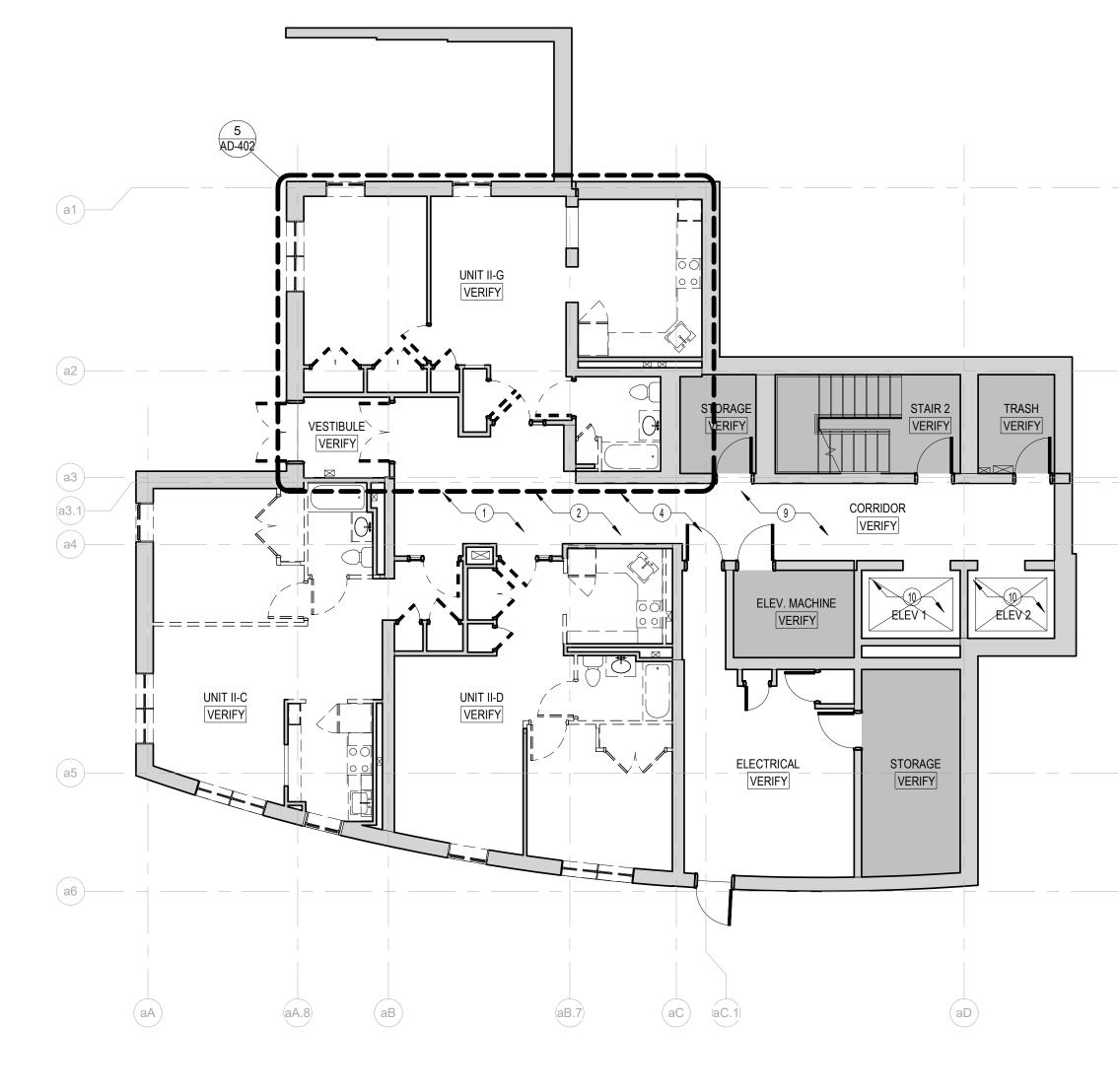


NO. DATE ISSUE









DEMO PLAN - LEVEL C, COLEMAN II 1/8" = 1'-0"

DEMOLITION LEGEND

=====	EXISTING PARTITIONS, EQUIPMENT, ETC. (SHOWN DASHED) TO BE REMOVED
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	AREA TO BE REMOVED - SEE KEY NOTES FOR ITEMS TO BE REMOVED
	EXISTING STRUCTURAL SLAB AND STEEL FRAMING TO BE REMOVED
	NO WORK

KEYNOTES - DEMOLITION PLANS

- (1) IN CORRIDORS AND APARTMENT UNITS, REMOVE FLOORING AND WALL BASE INCLUDING ANY BACKING MATERIALS AND FASTENERS. PREPARE FOR NEW WORK. ANY FLOORING IN BUILDING MECHANICAL, ELECTRICAL, STORAGE OR SIMILAR SPACE TO REMAIN.
- REMOVE SUSPENDED ACOUSTICAL CEILING TILE AND GRID. GYPSUM BOARD OR UNDERSIDE OF PLANK CEILINGS WITH FINISH TREATMENT ARE TO REMAIN. REMOVE ALL CEILING MOUNTED LIGHT FIXTURES. FOR ANY OTHER INTEGRAL CEILING COMPONENTS SUCH AS BUT NOT LIMITED TO GRILLES, DIFFUSERS, SPRINKLER HEADS, OR DATA DROPS REFER TO MEPFP DRAWINGS AND PROJECT MANUAL FOR DEMOLITION SCOPE.
- REMOVE VANITY LIGHT FIXTURE.
- (4) WALL SCONCES, PURSE SHELVES AND HANDRAIL TO REMAIN. PROTECT FROM DUST AND DAMAGE DURING CONSTRUCTION.
- (5) REMOVE CABINETS, COUNTERTOPS AND PLUMBING FIXTURES. CUT AND CAP UTILITY LINES FOR FUTURE CONNECTIONS.
- (6) WALL MOUNTED ACCESSORIES INCLUDING, BUT NOT LIMITED TO TOILET ACCESSORIES, GRAB BARS, AND MEDICINE CABINETS.
- (7) REFRIGERATORS TO REMAIN. ALL OTHER APPLIANCES ARE TO BE REMOVED. PROTECT REFRIGERATORS FROM DUST AND DAMAGE DURING CONSTRUCTION. COORDINATE WITH OWNER FOR SALVAGE OR DONATION OF OTHER APPLIANCES.
- (8) REMOVE INTERIOR WINDOW.
- REMOVE DOOR, ANY HARDWARE INCLUDING HINGES AND TRACKS AND DOOR TRIM. FRAME TO REMAIN. SALVAGE DOORS AND HARDWARE FOR DONATION.
- REMOVE ELEVATOR FINISHES INCLUDING FLOORING, WALL PANELS AND CEILING PANELS. PROTECT EXPOSED AREAS DURING CONSTRUCTION FOR ELEVATOR USE.



HAZARDOUS MATERIAL SHALL BE IDENTIFIED AND ABATED - REMOVE INTERIOR PARTITIONS IDENTIFIED FOR REMOVAL PRIOR TO ANY DEMOLITION WORK BY OWNER. ANY HAZARDOUS MATERIAL UNCOVERED DURING DEMOLITION BY GENERAL CONTRACTOR SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY FOR PROPER ABATEMENT DASHED LINES ARE TO BE REMOVED ENTIRELY, INCLUDING AND DISPOSAL PROCESSES.

- THE DEMOLITION PLANS INCLUDE THE SCOPE OF DEMOLITION WORK REQUIRED PRIOR TO STARTING ALL RENOVATION WORK, BUT ARE NOT INTENDED TO INCLUDE ALL OF THE DETAIL REQUIREMENTS. ALL DEMOLITION WORK - ALL EXISTING STAIR STRUCTURE & HANDRAILS TO REMAIN. NOT SHOWN ON DRAWINGS WHICH IS REQUIRED FOR COMPLETION OF WORK INCLUDED IN THE CONTRACT DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

COORDINATE ALL DEMOLITION WORK WITH ALL TRADES. REVIEW FIELD CONDITIONS & DRAWINGS FOR EXACT LOCATIONS OF OPENINGS AND EXTENT OF DEMOLITION WORK PRIOR TO STARTING WORK.

REFER TO STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION REGARDING THE EXTENT OF DEMOLITION REQUIRED AND THE SYSTEMS AFFECTED. - FOR EXTERIOR BRICK DEMOLITION WORK REFER TO A-200

SERIES EXTERIOR ELEVATIONS. - FOR UNIT DEMOLITION REFER TO AD-400 SERIES ENLARGED ARE OCCURRING IN PREPARATION FOR NEW FINISHES. UNIT DEMOLITION PLANS.

- PROVIDE CONTINUOUS PROTECTION TO ALL OCCUPIED SPACES TO PROHIBIT THE PASSAGE OF DUST AND DEBRIS DURING CONSTRUCTION, INCLUDING THE PROTECTION OF

MECHANICAL SYSTEMS BEING DISTURBED. - ALL EXISTING FIRE RESISTANCE RATINGS OF FLOORS, WALLS, SHAFTS, AND CEILINGS ARE TO BE MAINTAINED AND BUILDING LIFE SAFETY & FIRE PROTECTION SHALL REMAIN IN FIELD VERIFIED.

- ALL STRUCTURAL MEMBERS INCLUDING BEARING WALLS AFFECTED BY THIS DEMOLITION ARE TO BE VERIFIED AND ADEQUATELY SHORED BEFORE REMOVAL.

- ALL INTERIOR MASONRY WALL REMOVAL IS TO BE REMOVED BY SAWCUTTING. PATCH AND REPAIR EXPOSED WALLS DAMAGED BY REMOVAL WORK AND LEAVE IN NEAT, CLEAN, FINISHED CONDITION. IN EXPOSED MASONRY WALLS, FRAMING AS REQUIRED. KEY IN MASONRY TO MATCH SURROUNDING WORK. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.

- REFER TO NEW CONSTRUCTION PLANS FOR DIMENSIONS OF FRAMING AS REQUIRED. OPENINGS IN EXISTING WALLS OR PARTIAL DEMOLITION. - ANY CUSTOM SHELVING, LIGHTING OR OTHER BUILT-INS THAT WERE TENANT SPECIFIC UPGRADES SHOULD BE DISCUSSED WITH THE OWNER PRIOR TO DEMOLITION.

- WALLS AND ANY OTHER ITEMS SHOWN TO BE REMOVED BY ANY MOUNTING BRACKETS, PIPING FOR PLUMBING FIXTURES, LIGHT FIXTURES, AND MECHANICAL EQUIPMENT (UNLESS BEING REPLACED BY NEW IN SAME LOCATION - REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION).

ON DRAWINGS.

PROJECT .

- REMOVE ALL EXISTING LIGHT FIXTURES, CEILING FANS, CLOCKS, ETC. IDENTIFIED FOR REMOVAL ON DRAWINGS. REFER TO ELECTRICAL DEMOLITION DRAWINGS.

- REMOVE WINDOW SHADES, BLINDS, CURTAINS, CURTAIN MOUNTING DEVICES, AND MINI BLINDS WHERE INDICATED. - EXISTING DRYWALL FINISHES TO BE REPAIRED IN ALL

LOCATIONS IN PREPARATION FOR NEW PAINT. - UNLESS NOTED OTHERWISE, PATCH ALL ADJACENT

SURFACES AND FINISHES DISTURBED DURING DEMOLITION TO MATCH EXISTING SURFACES AND PROVIDE PROPER SUBSTRATES TO RECEIVE NEW FINSHES. - ALL EXISTING WALL COVERING AND WALL BORDER ARE TO

BE REMOVED WHERE DEMOLITION WORK AND NEW WORK - LAWFULLY DISPOSE OF ALL ITEMS REMOVED UNLESS OTHERWISE NOTED FOR SALVAGE AND REUSE BY OWNER OR

AS INDICATED FOR REUSE IN OTHER AREAS OF THE

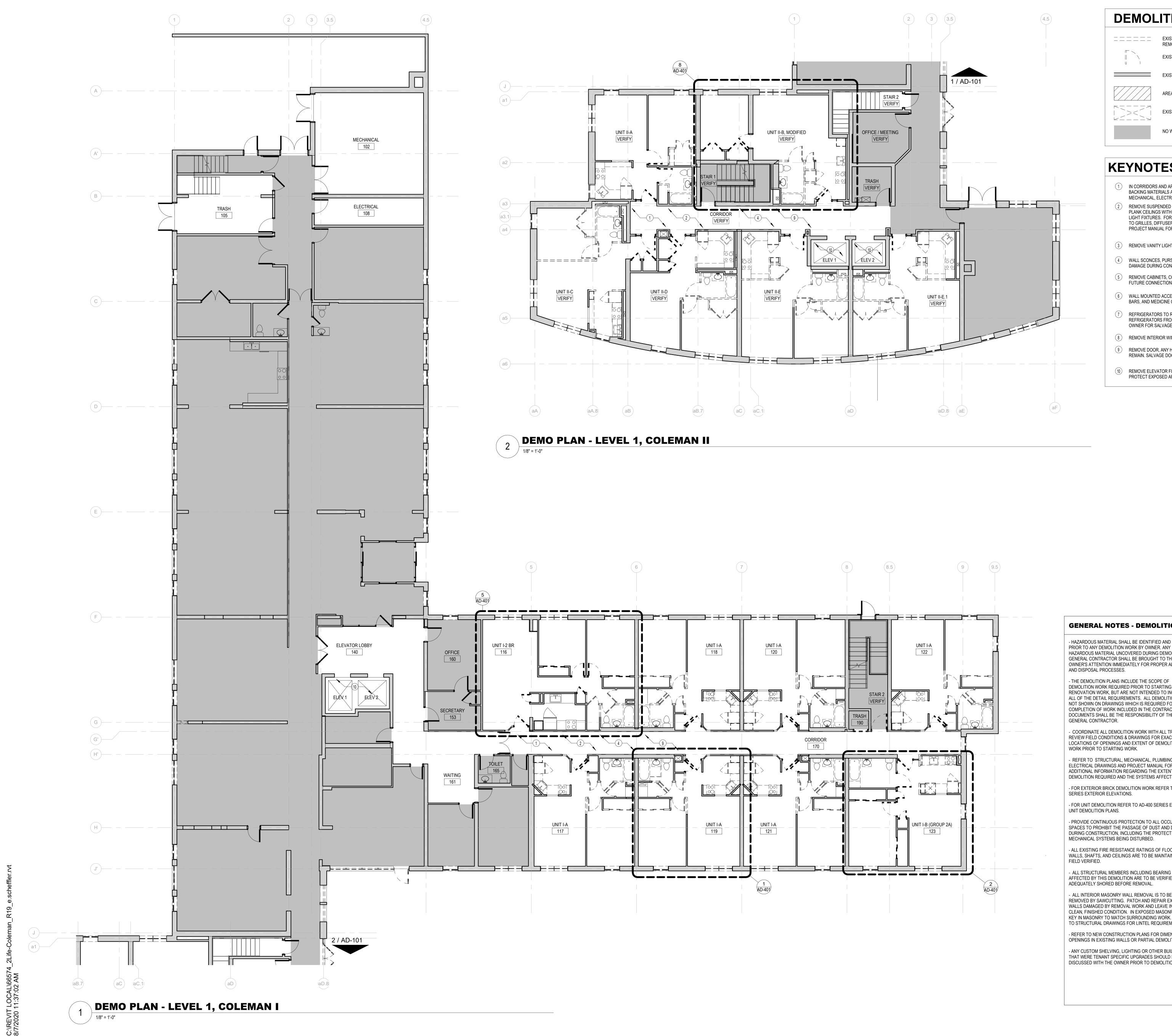
- PORTIONS OF MECHANICAL PLUMBING, ELECTRICAL AND FIRE PROTECTION SYSTEMS REQUIRED TO MAINTAIN MINIMAL PLACE. GENERAL CONTRACTOR TO COORDINATE WITH DEMOLITION SUB CONTRACTOR DURING BID PHASE. - FIRE EXTINGUISHER CABINETS TO REMAIN. PROVIDE

ADDITIONAL TEMPORARY CABINETS IN BUILDING AS NECESSARY FOR ACCESS DURING PHASED CONSTRUCTION. -AT EXTERIOR WALLS, REMOVE INTERIOR GYPSUM WALL

BOARD AND INSULATION. REMOVE ANY DAMAGED EXTERIOR -REMOVE WINDOWS INCLUDING WINDOW STOOL, FLASHING, AND FASTENERS. REMOVE ANY DAMAGED BLOCKING OR

-REMOVE WALL AIR CONDITIONING UNITS AND THROUGH WALL SLEEVES INCLUDING ANY FASTENERS, FLASHING OR BLOCKING.

NO. DATE ISSUE
SEAL
PERKINS —
EASTMAN 1100 Liberty Avenue
Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906
Dwner:
2LIFE COMMUNITIES 30 WALLINGFORD ROAD BRIGHTON, MA 02135
Construction Manager:
DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169
Structural Engineer: VEITAS & VEITAS ENGINEERS, INC
639 GRANITE STREET BRAINTREE, MA 02184
AEPFP Engineer: PETERSEN ENGINEERING, INC. P.O. BOX 4516
PORTSMOUTH, NH 03802
TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4 HUDSON, MA 01749
2LIFE - COLEMAN
HOUSE
RENOVATIONS
677 WINCHESTER STREET NEWTON, MA 02459
PROJECT No: 66574.00
DRAWING TITLE:
DEMOLITION PLANS
SCALE: As indicated
AD-100
SCHEMATIC DESIGN
08/07/2020



DEMOLITION LEGEND

 EXISTING PARTITIONS, EQUIPMENT, ETC. (SHOWN DASHED) TO BE REMOVED
EXISTING DOOR AND FRAME TO BE REMOVED
EXISTING CONSTRUCTION TO REMAIN
AREA TO BE REMOVED - SEE KEY NOTES FOR ITEMS TO BE REMOVED
EXISTING STRUCTURAL SLAB AND STEEL FRAMING TO BE REMOVED
NO WORK

KEYNOTES - DEMOLITION PLANS

- (1) IN CORRIDORS AND APARTMENT UNITS, REMOVE FLOORING AND WALL BASE INCLUDING ANY BACKING MATERIALS AND FASTENERS. PREPARE FOR NEW WORK. ANY FLOORING IN BUILDING MECHANICAL, ELECTRICAL, STORAGE OR SIMILAR SPACE TO REMAIN. REMOVE SUSPENDED ACOUSTICAL CEILING TILE AND GRID. GYPSUM BOARD OR UNDERSIDE OF PLANK CEILINGS WITH FINISH TREATMENT ARE TO REMAIN. REMOVE ALL CEILING MOUNTED
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- REMOVE ELEVATOR FINISHES INCLUDING FLOORING, WALL PANELS AND CEILING PANELS. PROTECT EXPOSED AREAS DURING CONSTRUCTION FOR ELEVATOR USE.

GENERAL NOTES - DEMOLITION

- HAZARDOUS MATERIAL SHALL BE IDENTIFIED AND ABATED - REMOVE INTERIOR PARTITIONS IDENTIFIED FOR REMOVAL PRIOR TO ANY DEMOLITION WORK BY OWNER. ANY HAZARDOUS MATERIAL UNCOVERED DURING DEMOLITION BY GENERAL CONTRACTOR SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY FOR PROPER ABATEMENT DASHED LINES ARE TO BE REMOVED ENTIRELY, INCLUDING AND DISPOSAL PROCESSES.

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 REFER TO STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION REGARDING THE EXTENT OF DEMOLITION REQUIRED AND THE SYSTEMS AFFECTED.

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UNIT DEMOLITION PLANS. - PROVIDE CONTINUOUS PROTECTION TO ALL OCCUPIED SPACES TO PROHIBIT THE PASSAGE OF DUST AND DEBRIS

DURING CONSTRUCTION, INCLUDING THE PROTECTION OF MECHANICAL SYSTEMS BEING DISTURBED. - ALL EXISTING FIRE RESISTANCE RATINGS OF FLOORS,

FIELD VERIFIED. - ALL STRUCTURAL MEMBERS INCLUDING BEARING WALLS AFFECTED BY THIS DEMOLITION ARE TO BE VERIFIED AND

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- REFER TO NEW CONSTRUCTION PLANS FOR DIMENSIONS OF FRAMING AS REQUIRED. OPENINGS IN EXISTING WALLS OR PARTIAL DEMOLITION. - ANY CUSTOM SHELVING, LIGHTING OR OTHER BUILT-INS THAT WERE TENANT SPECIFIC UPGRADES SHOULD BE DISCUSSED WITH THE OWNER PRIOR TO DEMOLITION.

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REFER TO ELECTRICAL DEMOLITION DRAWINGS.

LOCATIONS IN PREPARATION FOR NEW PAINT. - UNLESS NOTED OTHERWISE, PATCH ALL ADJACENT SURFACES AND FINISHES DISTURBED DURING DEMOLITION

TO MATCH EXISTING SURFACES AND PROVIDE PROPER SUBSTRATES TO RECEIVE NEW FINSHES. - ALL EXISTING WALL COVERING AND WALL BORDER ARE TO BE REMOVED WHERE DEMOLITION WORK AND NEW WORK - FOR UNIT DEMOLITION REFER TO AD-400 SERIES ENLARGED ARE OCCURRING IN PREPARATION FOR NEW FINISHES. - LAWFULLY DISPOSE OF ALL ITEMS REMOVED UNLESS OTHERWISE NOTED FOR SALVAGE AND REUSE BY OWNER OR AS INDICATED FOR REUSE IN OTHER AREAS OF THE

- PORTIONS OF MECHANICAL PLUMBING, ELECTRICAL AND FIRE PROTECTION SYSTEMS REQUIRED TO MAINTAIN MINIMAL WALLS, SHAFTS, AND CEILINGS ARE TO BE MAINTAINED AND BUILDING LIFE SAFETY & FIRE PROTECTION SHALL REMAIN IN PLACE. GENERAL CONTRACTOR TO COORDINATE WITH DEMOLITION SUB CONTRACTOR DURING BID PHASE. - FIRE EXTINGUISHER CABINETS TO REMAIN. PROVIDE ADDITIONAL TEMPORARY CABINETS IN BUILDING AS

PROJECT .

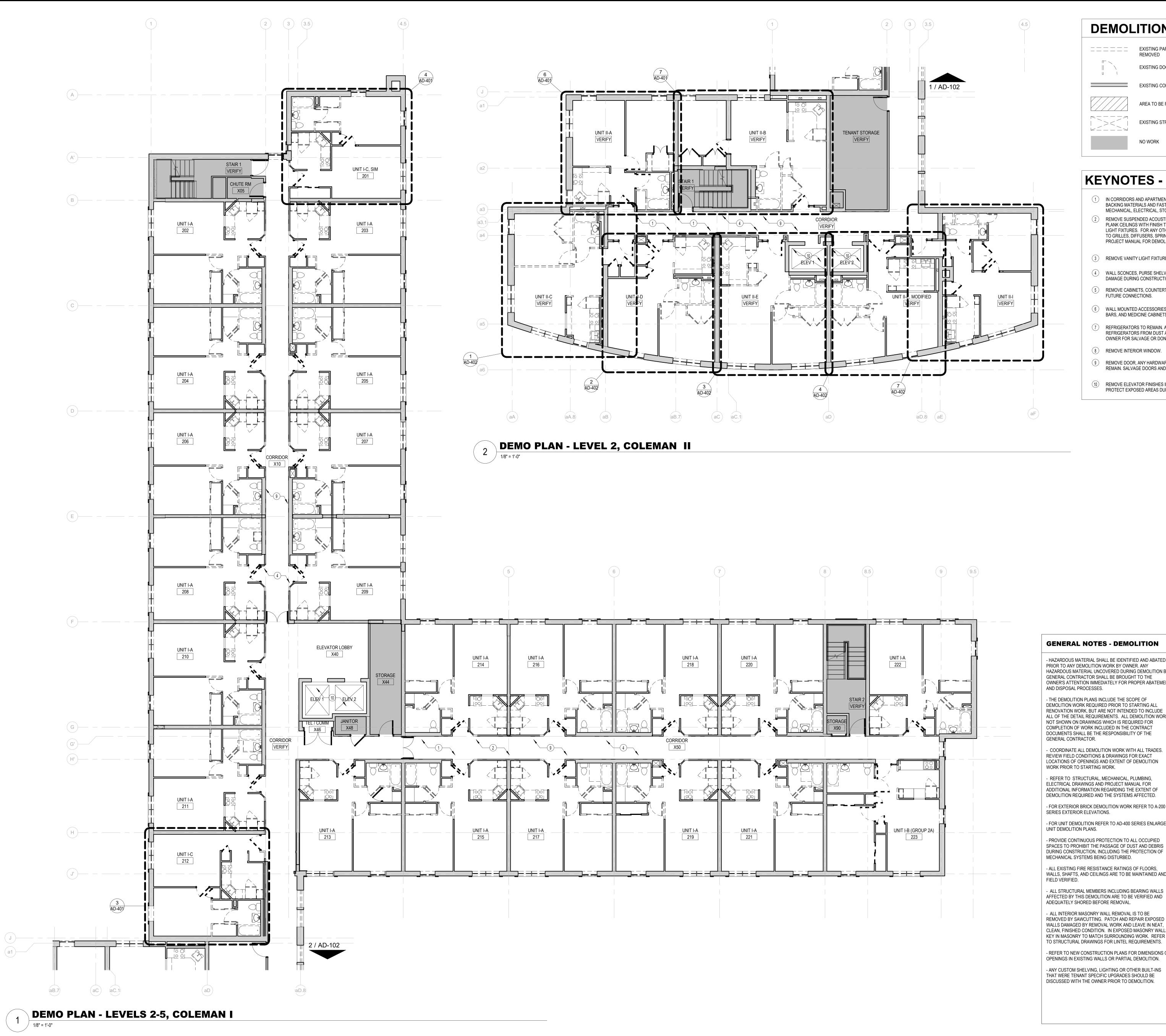
BLOCKING.

NECESSARY FOR ACCESS DURING PHASED CONSTRUCTION.

-REMOVE WINDOWS INCLUDING WINDOW STOOL, FLASHING, AND FASTENERS. REMOVE ANY DAMAGED BLOCKING OR -REMOVE WALL AIR CONDITIONING UNITS AND THROUGH

WALL SLEEVES INCLUDING ANY FASTENERS, FLASHING OR

NO. DATE ISSUE
SEAL
KEY PLAN
PERKINS —
EASTMAN 1100 Liberty Avenue Pittsburgh, PA 15222
T. +1 412 456 0900 F. +1 412 456 0906
Dwner:
2LIFE COMMUNITIES 30 WALLINGFORD ROAD BRIGHTON, MA 02135
Construction Manager:
DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169
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PORTSMOUTH, NH 03802
Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4
HUDSON, MA 01749
PROJECT TITLE:
2LIFE - COLEMAN
HOUSE
RENOVATIONS
677 WINCHESTER STREET NEWTON, MA 02459
PROJECT No: 66574.00
DRAWING TITLE: DEMOLITION PLAN ·
LEVEL 1
SCALE: As indicated
AD-101
SCHEMATIC DESIGN
08/07/2020



AL/(-LOC/ 11:37: REVIT /2020

DEMOLITION LEGEND

====	EXISTING PARTITIONS, EQUIPMENT, ETC. (SHOWN DASHED) TO BE REMOVED
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	AREA TO BE REMOVED - SEE KEY NOTES FOR ITEMS TO BE REMOVED
	EXISTING STRUCTURAL SLAB AND STEEL FRAMING TO BE REMOVED

NO WORK

KEYNOTES - DEMOLITION PLANS

- (1) IN CORRIDORS AND APARTMENT UNITS, REMOVE FLOORING AND WALL BASE INCLUDING ANY BACKING MATERIALS AND FASTENERS. PREPARE FOR NEW WORK. ANY FLOORING IN BUILDING MECHANICAL, ELECTRICAL, STORAGE OR SIMILAR SPACE TO REMAIN.
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- (3) REMOVE VANITY LIGHT FIXTURE.

FUTURE CONNECTIONS.

BARS, AND MEDICINE CABINETS.

- (4) WALL SCONCES, PURSE SHELVES AND HANDRAIL TO REMAIN. PROTECT FROM DUST AND DAMAGE DURING CONSTRUCTION.
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- (6) WALL MOUNTED ACCESSORIES INCLUDING, BUT NOT LIMITED TO TOILET ACCESSORIES, GRAB
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- (9) REMOVE DOOR, ANY HARDWARE INCLUDING HINGES AND TRACKS AND DOOR TRIM. FRAME TO REMAIN. SALVAGE DOORS AND HARDWARE FOR DONATION.
- (10) REMOVE ELEVATOR FINISHES INCLUDING FLOORING, WALL PANELS AND CEILING PANELS. PROTECT EXPOSED AREAS DURING CONSTRUCTION FOR ELEVATOR USE.

GENERAL NOTES - DEMOLITION

- HAZARDOUS MATERIAL SHALL BE IDENTIFIED AND ABATED - REMOVE INTERIOR PARTITIONS IDENTIFIED FOR REMOVAL PRIOR TO ANY DEMOLITION WORK BY OWNER. ANY HAZARDOUS MATERIAL UNCOVERED DURING DEMOLITION BY GENERAL CONTRACTOR SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY FOR PROPER ABATEMENT DASHED LINES ARE TO BE REMOVED ENTIRELY, INCLUDING AND DISPOSAL PROCESSES.

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 REFER TO STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION REGARDING THE EXTENT OF DEMOLITION REQUIRED AND THE SYSTEMS AFFECTED.

- FOR EXTERIOR BRICK DEMOLITION WORK REFER TO A-200 SERIES EXTERIOR ELEVATIONS.

UNIT DEMOLITION PLANS.

SPACES TO PROHIBIT THE PASSAGE OF DUST AND DEBRIS DURING CONSTRUCTION, INCLUDING THE PROTECTION OF MECHANICAL SYSTEMS BEING DISTURBED.

- ALL EXISTING FIRE RESISTANCE RATINGS OF FLOORS, WALLS, SHAFTS, AND CEILINGS ARE TO BE MAINTAINED AND BUILDING LIFE SAFETY & FIRE PROTECTION SHALL REMAIN IN FIELD VERIFIED.

 ALL STRUCTURAL MEMBERS INCLUDING BEARING WALLS AFFECTED BY THIS DEMOLITION ARE TO BE VERIFIED AND - FIRE EXTINGUISHER CABINETS TO REMAIN. PROVIDE ADEQUATELY SHORED BEFORE REMOVAL.

- ALL INTERIOR MASONRY WALL REMOVAL IS TO BE REMOVED BY SAWCUTTING. PATCH AND REPAIR EXPOSED -AT EXTERIOR WALLS, REMOVE INTERIOR GYPSUM WALL WALLS DAMAGED BY REMOVAL WORK AND LEAVE IN NEAT, CLEAN, FINISHED CONDITION. IN EXPOSED MASONRY WALLS, FRAMING AS REQUIRED. KEY IN MASONRY TO MATCH SURROUNDING WORK. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.

- REFER TO NEW CONSTRUCTION PLANS FOR DIMENSIONS OF FRAMING AS REQUIRED. OPENINGS IN EXISTING WALLS OR PARTIAL DEMOLITION.

THAT WERE TENANT SPECIFIC UPGRADES SHOULD BE DISCUSSED WITH THE OWNER PRIOR TO DEMOLITION.

ON DRAWINGS.

- WALLS AND ANY OTHER ITEMS SHOWN TO BE REMOVED BY ANY MOUNTING BRACKETS, PIPING FOR PLUMBING FIXTURES, LIGHT FIXTURES, AND MECHANICAL EQUIPMENT (UNLESS BEING REPLACED BY NEW IN SAME LOCATION - REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION).

- REMOVE ALL EXISTING LIGHT FIXTURES, CEILING FANS, CLOCKS, ETC. IDENTIFIED FOR REMOVAL ON DRAWINGS.

REFER TO ELECTRICAL DEMOLITION DRAWINGS. - REMOVE WINDOW SHADES, BLINDS, CURTAINS, CURTAIN MOUNTING DEVICES, AND MINI BLINDS WHERE INDICATED.

- EXISTING DRYWALL FINISHES TO BE REPAIRED IN ALL LOCATIONS IN PREPARATION FOR NEW PAINT.

- UNLESS NOTED OTHERWISE, PATCH ALL ADJACENT SURFACES AND FINISHES DISTURBED DURING DEMOLITION TO MATCH EXISTING SURFACES AND PROVIDE PROPER SUBSTRATES TO RECEIVE NEW FINSHES.

- ALL EXISTING WALL COVERING AND WALL BORDER ARE TO BE REMOVED WHERE DEMOLITION WORK AND NEW WORK - FOR UNIT DEMOLITION REFER TO AD-400 SERIES ENLARGED ARE OCCURRING IN PREPARATION FOR NEW FINISHES.

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ADDITIONAL TEMPORARY CABINETS IN BUILDING AS NECESSARY FOR ACCESS DURING PHASED CONSTRUCTION.

BOARD AND INSULATION. REMOVE ANY DAMAGED EXTERIOR

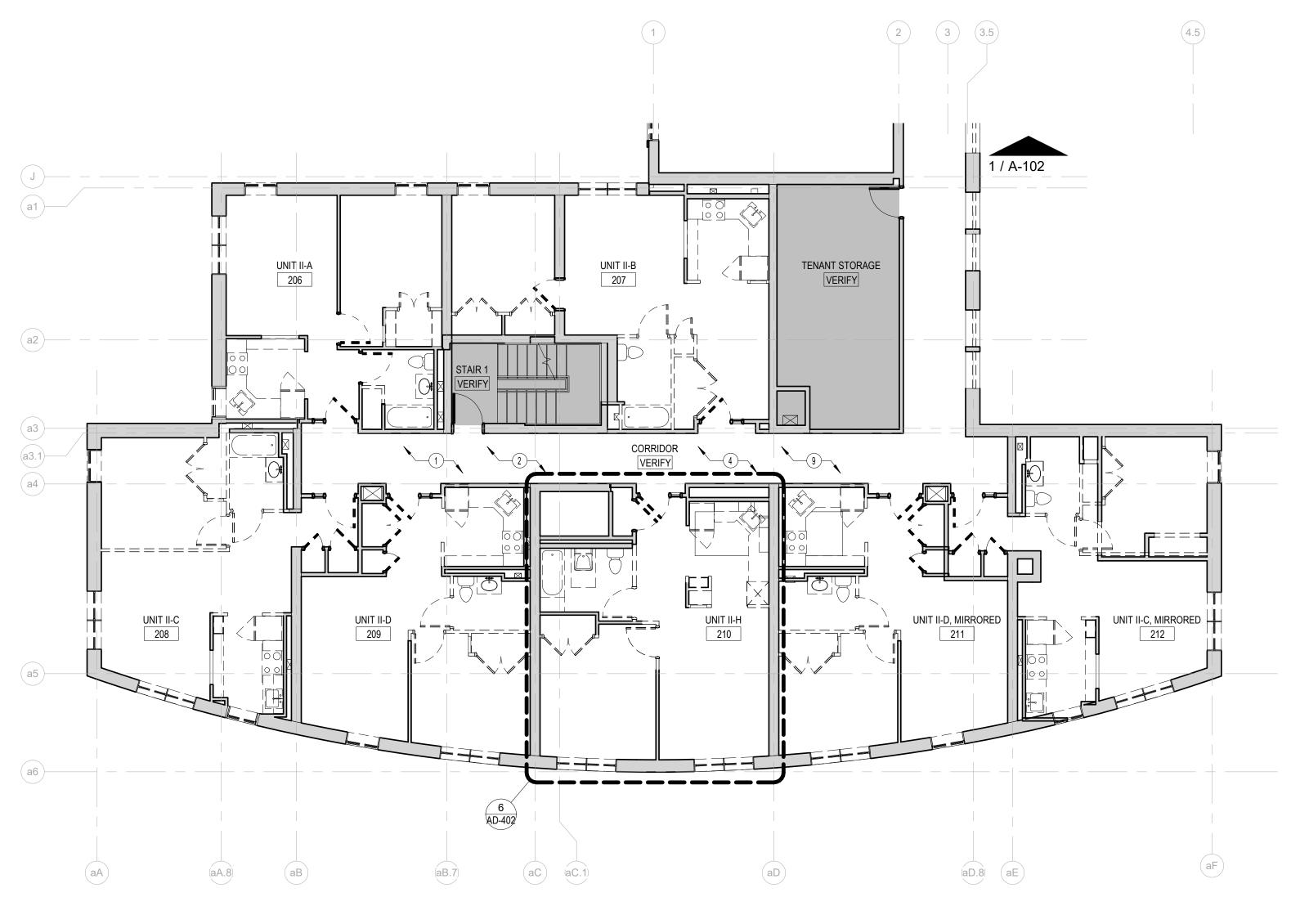
-REMOVE WINDOWS INCLUDING WINDOW STOOL, FLASHING, AND FASTENERS. REMOVE ANY DAMAGED BLOCKING OR

-REMOVE WALL AIR CONDITIONING UNITS AND THROUGH WALL SLEEVES INCLUDING ANY FASTENERS, FLASHING OR BLOCKING.

SEAL
KEY PLAN
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Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906
Owner: 2LIFE COMMUNITIES
30 WALLINGFORD ROAD BRIGHTON, MA 02135
Construction Manager:
DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169
Structural Engineer:
VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184
MEPFP Engineer:
PETERSEN ENGINEERING, INC. P.O. BOX 4516 PORTSMOUTH, NH 03802
Envelope Consultant:
TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4
HUDSON, MA 01749
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NEWTON, MA 02459
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DEMOLITION LEGEND

=====	EXISTING PARTITIONS, EQUIPMENT, ETC. (SHOWN DASHED) TO BE REMOVED
	EXISTING DOOR AND FRAME TO BE REMOVED
	EXISTING CONSTRUCTION TO REMAIN
	AREA TO BE REMOVED - SEE KEY NOTES FOR ITEMS TO BE REMOVED
	EXISTING STRUCTURAL SLAB AND STEEL FRAMING TO BE REMOVED

NO WORK

PROJECT MANUAL FOR DEMOLITION SCOPE.

KEYNOTES - DEMOLITION PLANS

(1) IN CORRIDORS AND APARTMENT UNITS, REMOVE FLOORING AND WALL BASE INCLUDING ANY BACKING MATERIALS AND FASTENERS. PREPARE FOR NEW WORK. ANY FLOORING IN BUILDING MECHANICAL, ELECTRICAL, STORAGE OR SIMILAR SPACE TO REMAIN. REMOVE SUSPENDED ACOUSTICAL CEILING TILE AND GRID. GYPSUM BOARD OR UNDERSIDE OF PLANK CEILINGS WITH FINISH TREATMENT ARE TO REMAIN. REMOVE ALL CEILING MOUNTED LIGHT FIXTURES. FOR ANY OTHER INTEGRAL CEILING COMPONENTS SUCH AS BUT NOT LIMITED

TO GRILLES, DIFFUSERS, SPRINKLER HEADS, OR DATA DROPS REFER TO MEPFP DRAWINGS AND

- (3) REMOVE VANITY LIGHT FIXTURE.
- (4) WALL SCONCES, PURSE SHELVES AND HANDRAIL TO REMAIN. PROTECT FROM DUST AND DAMAGE DURING CONSTRUCTION.
- (5) REMOVE CABINETS, COUNTERTOPS AND PLUMBING FIXTURES. CUT AND CAP UTILITY LINES FOR
- FUTURE CONNECTIONS.
- (6) WALL MOUNTED ACCESSORIES INCLUDING, BUT NOT LIMITED TO TOILET ACCESSORIES, GRAB BARS, AND MEDICINE CABINETS.
- REFRIGERATORS TO REMAIN. ALL OTHER APPLIANCES ARE TO BE REMOVED. PROTECT REFRIGERATORS FROM DUST AND DAMAGE DURING CONSTRUCTION. COORDINATE WITH OWNER FOR SALVAGE OR DONATION OF OTHER APPLIANCES.
- (8) REMOVE INTERIOR WINDOW.
- (9) REMOVE DOOR, ANY HARDWARE INCLUDING HINGES AND TRACKS AND DOOR TRIM. FRAME TO REMAIN. SALVAGE DOORS AND HARDWARE FOR DONATION.
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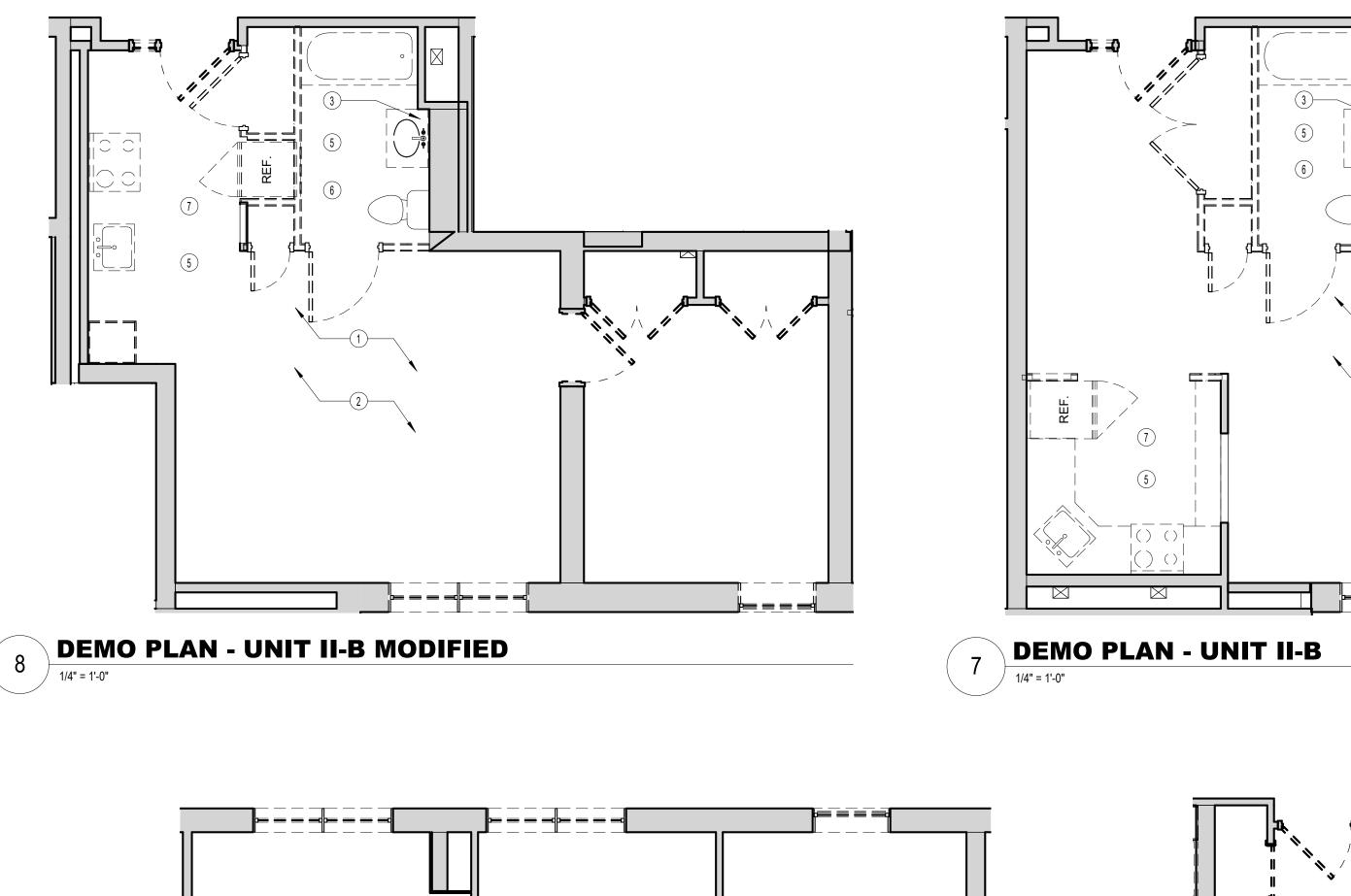
> NECESSARY FOR ACCESS DURING PHASED CONSTRUCTION. -AT EXTERIOR WALLS, REMOVE INTERIOR GYPSUM WALL

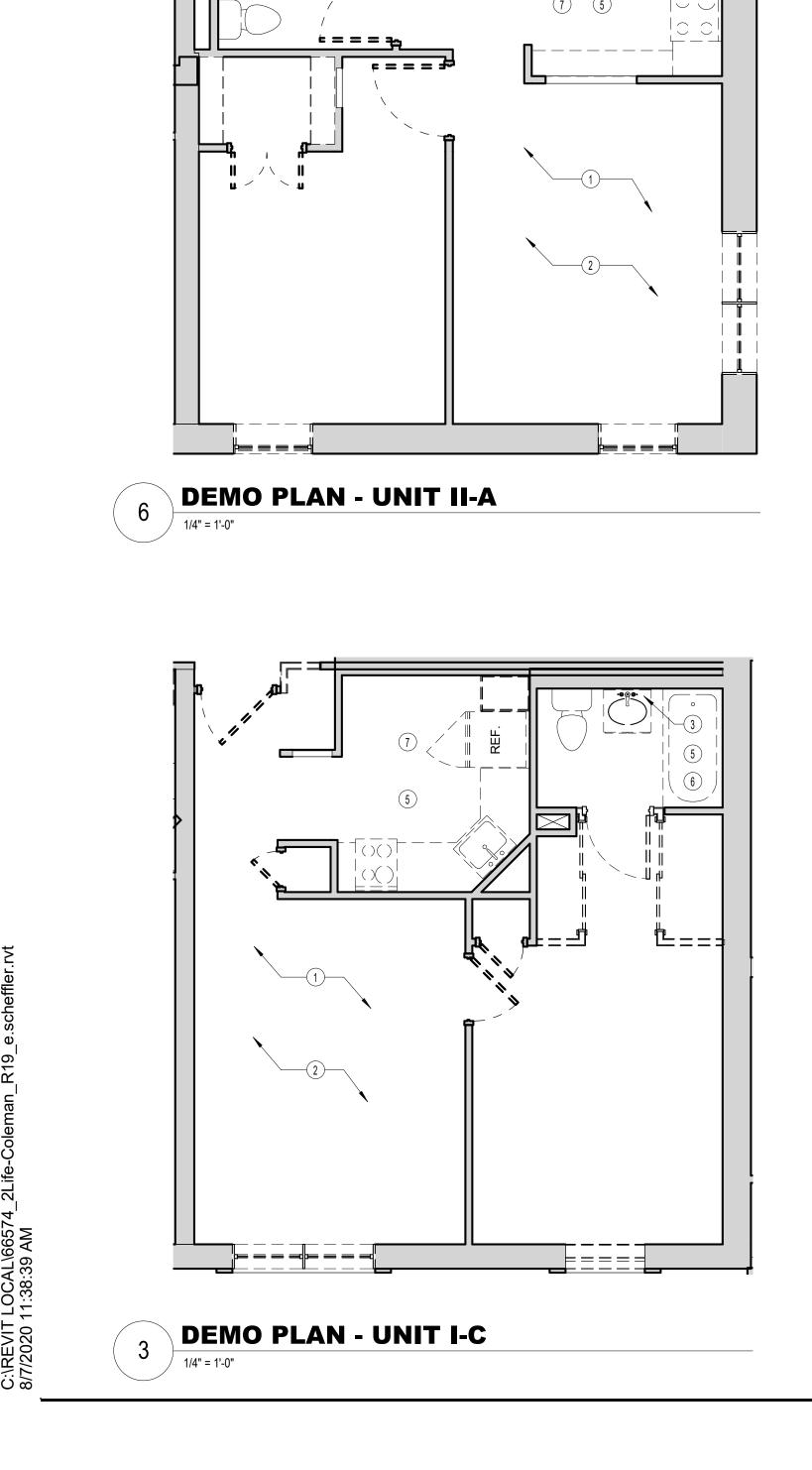
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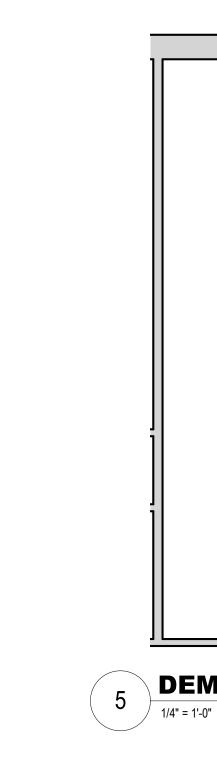
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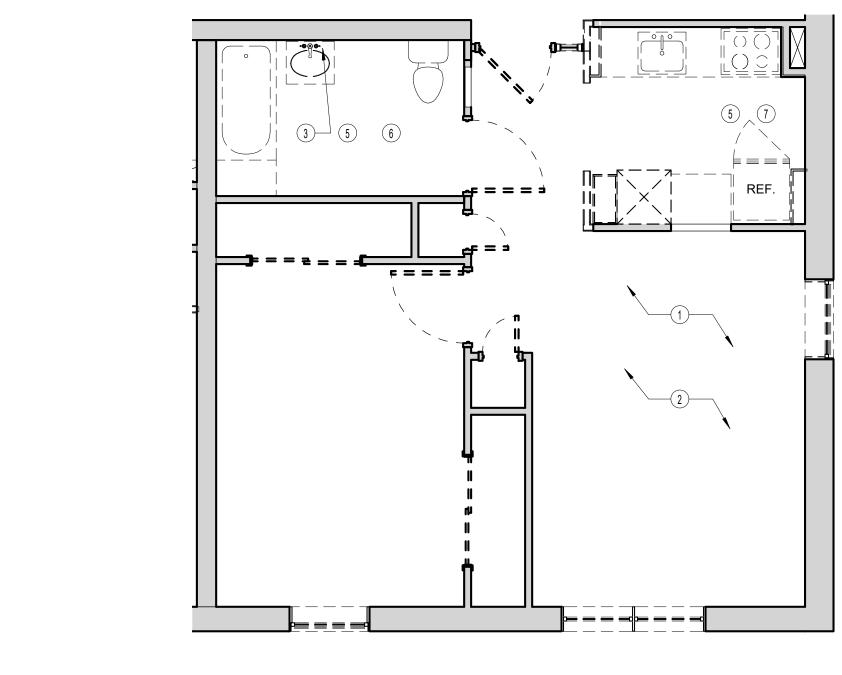
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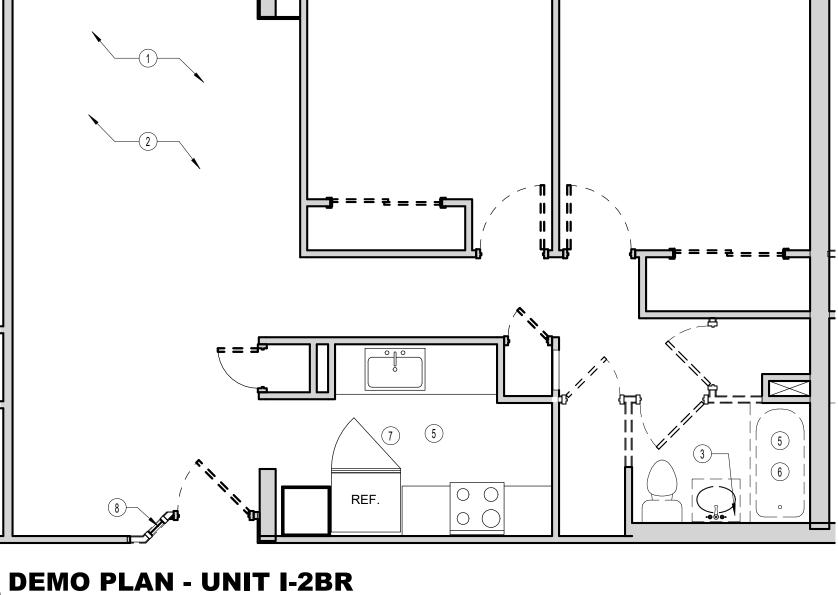


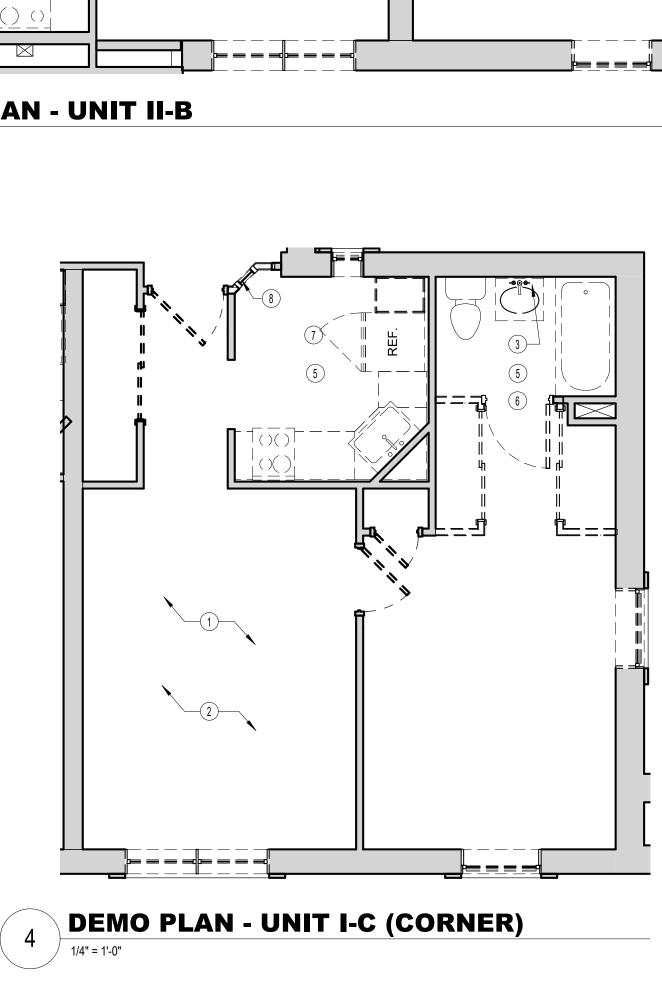


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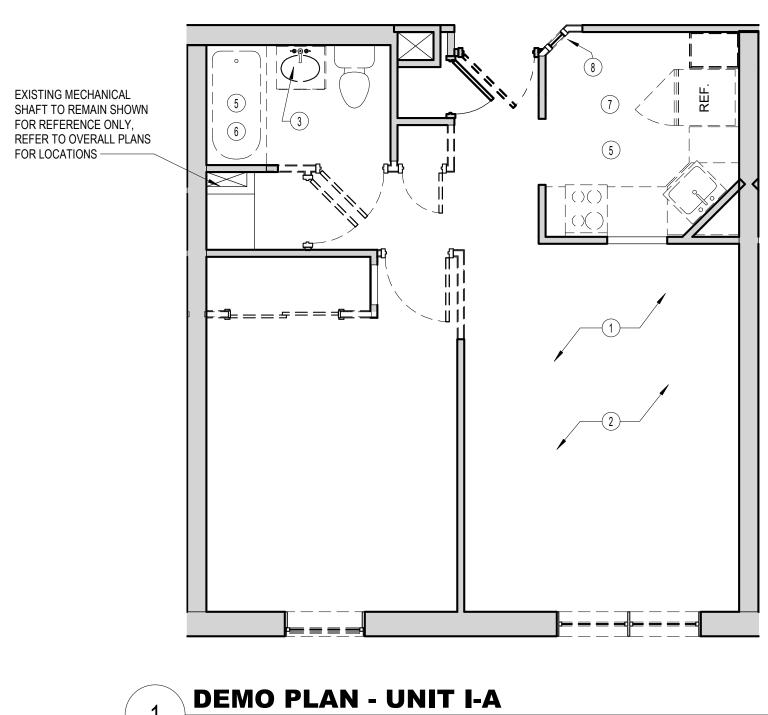


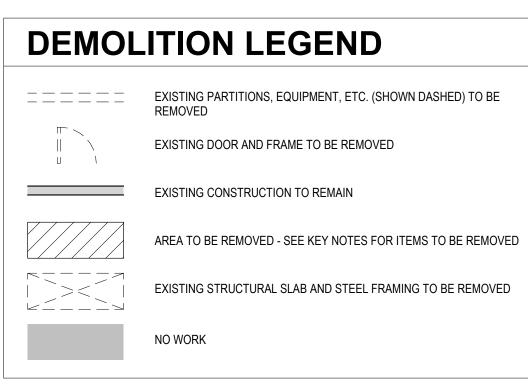












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- COORDINATE ALL DEMOLITION WORK WITH ALL TRADES. REVIEW FIELD CONDITIONS & DRAWINGS FOR EXACT LOCATIONS OF OPENINGS AND EXTENT OF DEMOLITION WORK PRIOR TO STARTING WORK.

- REFER TO STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL DRAWINGS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION REGARDING THE EXTENT OF DEMOLITION REQUIRED AND THE SYSTEMS AFFECTED.

- FOR EXTERIOR BRICK DEMOLITION WORK REFER TO A-200 SERIES EXTERIOR ELEVATIONS.

UNIT DEMOLITION PLANS. - PROVIDE CONTINUOUS PROTECTION TO ALL OCCUPIED SPACES TO PROHIBIT THE PASSAGE OF DUST AND DEBRIS DURING CONSTRUCTION, INCLUDING THE PROTECTION OF

MECHANICAL SYSTEMS BEING DISTURBED. - ALL EXISTING FIRE RESISTANCE RATINGS OF FLOORS, FIELD VERIFIED.

- ALL STRUCTURAL MEMBERS INCLUDING BEARING WALLS AFFECTED BY THIS DEMOLITION ARE TO BE VERIFIED AND - FIRE EXTINGUISHER CABINETS TO REMAIN. PROVIDE ADEQUATELY SHORED BEFORE REMOVAL.

- ALL INTERIOR MASONRY WALL REMOVAL IS TO BE REMOVED BY SAWCUTTING. PATCH AND REPAIR EXPOSED WALLS DAMAGED BY REMOVAL WORK AND LEAVE IN NEAT, BOARD AND INSULATION. REMOVE ANY DAMAGED EXTERIOR CLEAN, FINISHED CONDITION. IN EXPOSED MASONRY WALLS, KEY IN MASONRY TO MATCH SURROUNDING WORK. REFER TO STRUCTURAL DRAWINGS FOR LINTEL REQUIREMENTS.

OPENINGS IN EXISTING WALLS OR PARTIAL DEMOLITION. - ANY CUSTOM SHELVING, LIGHTING OR OTHER BUILT-INS THAT WERE TENANT SPECIFIC UPGRADES SHOULD BE DISCUSSED WITH THE OWNER PRIOR TO DEMOLITION.

- REMOVE INTERIOR PARTITIONS IDENTIFIED FOR REMOVAL ON DRAWINGS.

- WALLS AND ANY OTHER ITEMS SHOWN TO BE REMOVED BY ANY MOUNTING BRACKETS, PIPING FOR PLUMBING FIXTURES LIGHT FIXTURES, AND MECHANICAL EQUIPMENT (UNLESS BEING REPLACED BY NEW IN SAME LOCATION - REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION).

- REMOVE ALL EXISTING LIGHT FIXTURES, CEILING FANS, CLOCKS, ETC. IDENTIFIED FOR REMOVAL ON DRAWINGS.

REFER TO ELECTRICAL DEMOLITION DRAWINGS. - REMOVE WINDOW SHADES, BLINDS, CURTAINS, CURTAIN MOUNTING DEVICES, AND MINI BLINDS WHERE INDICATED.

- EXISTING DRYWALL FINISHES TO BE REPAIRED IN ALL LOCATIONS IN PREPARATION FOR NEW PAINT.

- UNLESS NOTED OTHERWISE, PATCH ALL ADJACENT SURFACES AND FINISHES DISTURBED DURING DEMOLITION TO MATCH EXISTING SURFACES AND PROVIDE PROPER SUBSTRATES TO RECEIVE NEW FINSHES.

- ALL EXISTING WALL COVERING AND WALL BORDER ARE TO BE REMOVED WHERE DEMOLITION WORK AND NEW WORK - FOR UNIT DEMOLITION REFER TO AD-400 SERIES ENLARGED ARE OCCURRING IN PREPARATION FOR NEW FINISHES.

> - LAWFULLY DISPOSE OF ALL ITEMS REMOVED UNLESS OTHERWISE NOTED FOR SALVAGE AND REUSE BY OWNER OR AS INDICATED FOR REUSE IN OTHER AREAS OF THE PROJECT .

PORTIONS OF MECHANICAL PLUMBING, ELECTRICAL AND FIRE PROTECTION SYSTEMS REQUIRED TO MAINTAIN MINIMAL WALLS, SHAFTS, AND CEILINGS ARE TO BE MAINTAINED AND BUILDING LIFE SAFETY & FIRE PROTECTION SHALL REMAIN IN PLACE. GENERAL CONTRACTOR TO COORDINATE WITH DEMOLITION SUB CONTRACTOR DURING BID PHASE.

> ADDITIONAL TEMPORARY CABINETS IN BUILDING AS NECESSARY FOR ACCESS DURING PHASED CONSTRUCTION.

-AT EXTERIOR WALLS, REMOVE INTERIOR GYPSUM WALL FRAMING AS REQUIRED.

-REMOVE WINDOWS INCLUDING WINDOW STOOL, FLASHING AND FASTENERS. REMOVE ANY DAMAGED BLOCKING OR - REFER TO NEW CONSTRUCTION PLANS FOR DIMENSIONS OF FRAMING AS REQUIRED.

> -REMOVE WALL AIR CONDITIONING UNITS AND THROUGH WALL SLEEVES INCLUDING ANY FASTENERS, FLASHING OR BLOCKING.

/ 1/4" = 1'-0"

08/07/2020

SCHEMATIC DESIGN



SCALE: As indicated

PROJECT No: 66574.00 DRAWING TITLE: ENLARGED UNIT DEMO PLANS

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

PETERSEN ENGINEERING, INC. P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer:

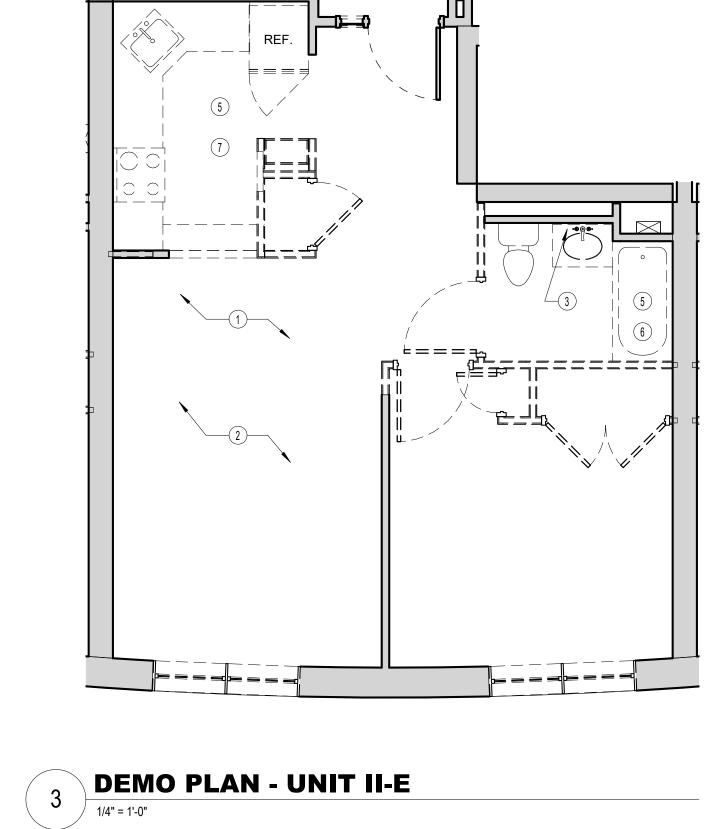
Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

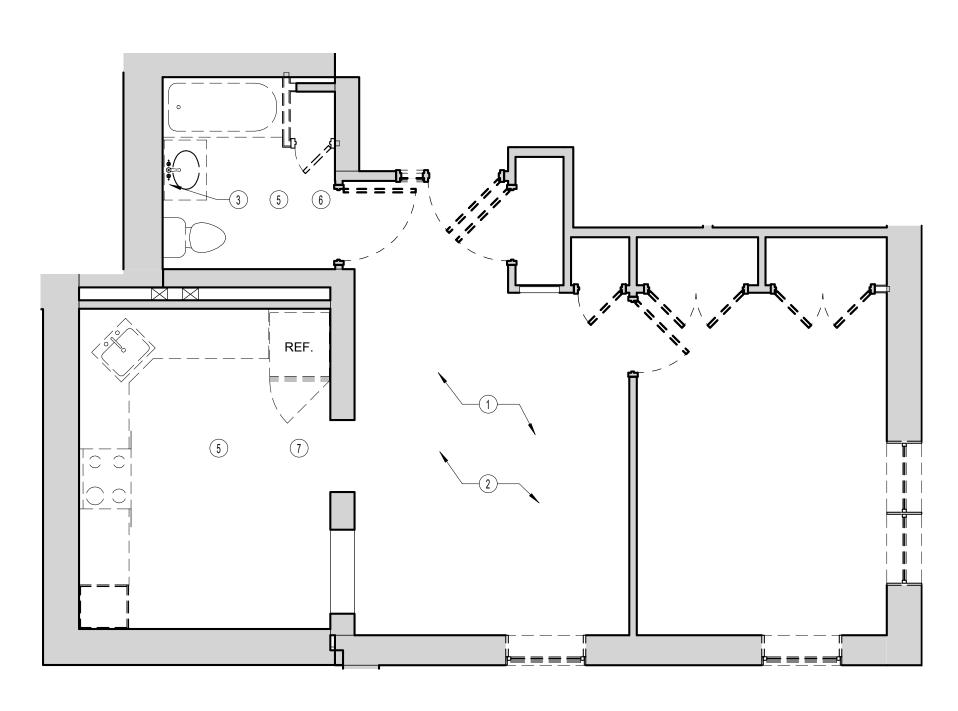


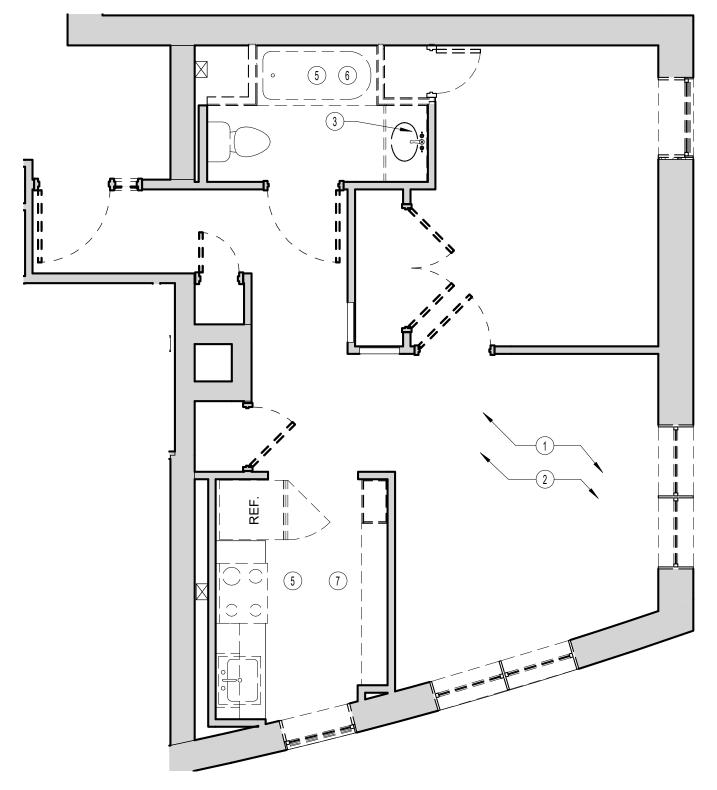
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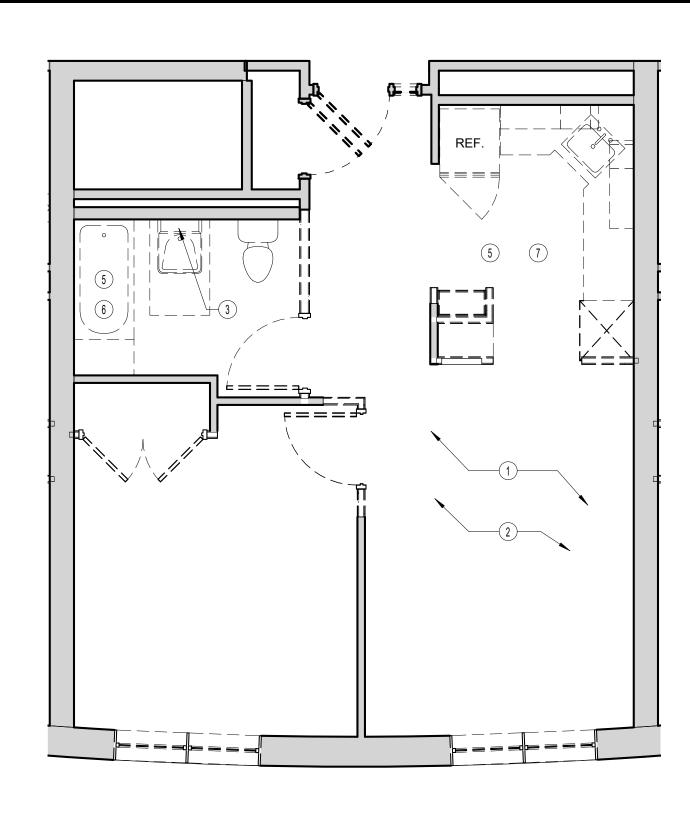


DEMO PLAN - UNIT II-G 5 / 1/4" = 1'-0"

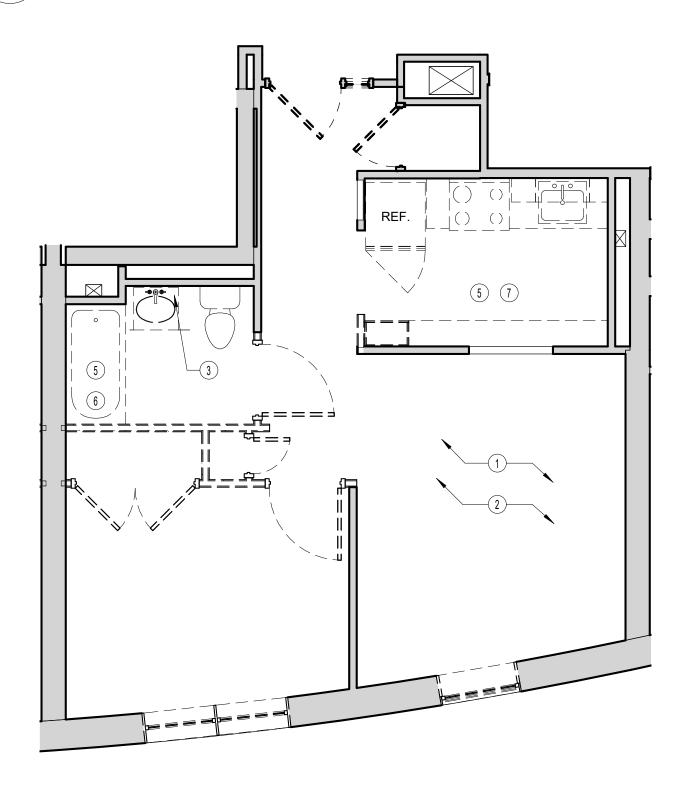


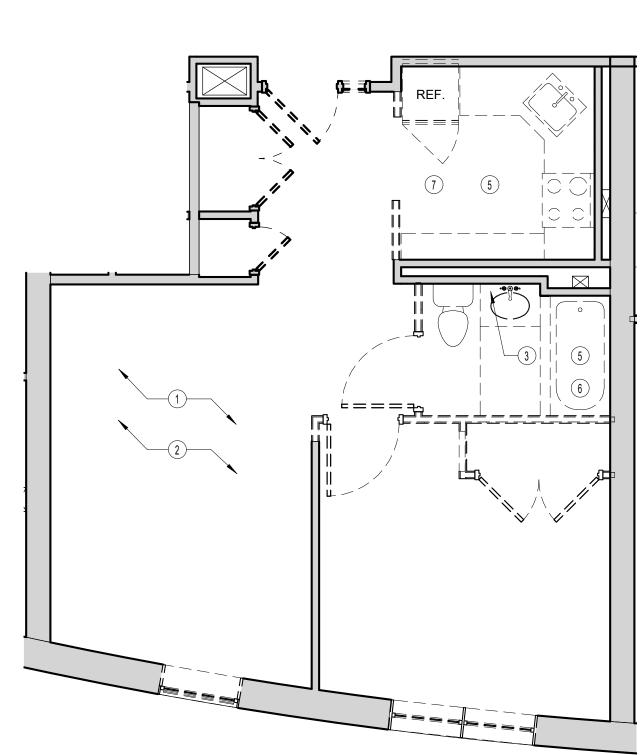


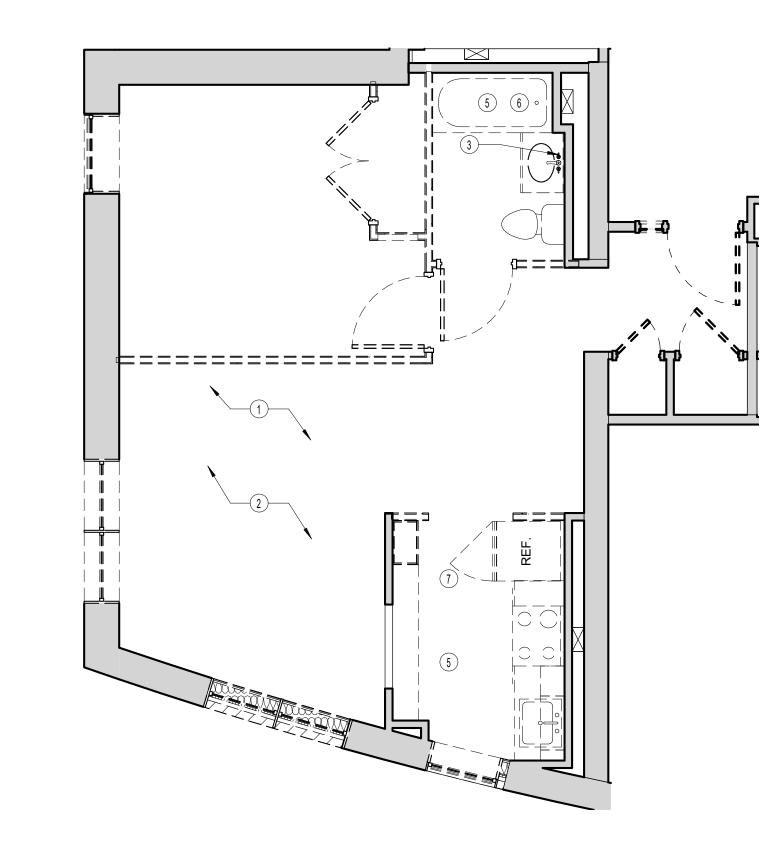




DEMO PLAN - UNIT II-H (GROUP 2A) 6 1/4" = 1'-0"







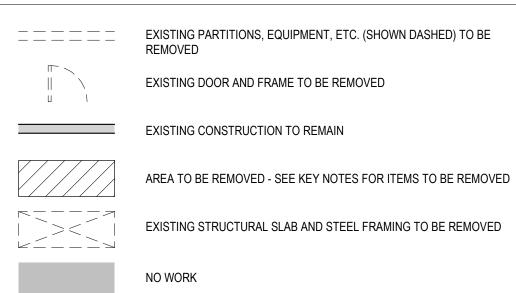
DEMO PLAN - UNIT II-D (2) <u>1/4" = 1'-0"</u>

DEMO PLAN - UNIT II-C 1/4" = 1'-0"

1/4" = 1'-0"

DEMO PLAN - UNIT II-E MODIFIED

DEMOLITION LEGEND



KEYNOTES - DEMOLITION PLANS

- IN CORRIDORS AND APARTMENT UNITS, REMOVE FLOORING AND WALL BASE INCLUDING ANY BACKING MATERIALS AND FASTENERS. PREPARE FOR NEW WORK. ANY FLOORING IN BUILDING MECHANICAL, ELECTRICAL, STORAGE OR SIMILAR SPACE TO REMAIN.
- REMOVE SUSPENDED ACOUSTICAL CEILING TILE AND GRID. GYPSUM BOARD OR UNDERSIDE OF PLANK CEILINGS WITH FINISH TREATMENT ARE TO REMAIN. REMOVE ALL CEILING MOUNTED LIGHT FIXTURES. FOR ANY OTHER INTEGRAL CEILING COMPONENTS SUCH AS BUT NOT LIMITED TO GRILLES, DIFFUSERS, SPRINKLER HEADS, OR DATA DROPS REFER TO MEPFP DRAWINGS AND PROJECT MANUAL FOR DEMOLITION SCOPE.
- REMOVE VANITY LIGHT FIXTURE.
- WALL SCONCES, PURSE SHELVES AND HANDRAIL TO REMAIN. PROTECT FROM DUST AND DAMAGE DURING CONSTRUCTION.
- REMOVE CABINETS, COUNTERTOPS AND PLUMBING FIXTURES. CUT AND CAP UTILITY LINES FOR FUTURE CONNECTIONS.
- WALL MOUNTED ACCESSORIES INCLUDING, BUT NOT LIMITED TO TOILET ACCESSORIES, GRAB BARS, AND MEDICINE CABINETS.
- REFRIGERATORS TO REMAIN. ALL OTHER APPLIANCES ARE TO BE REMOVED. PROTECT REFRIGERATORS FROM DUST AND DAMAGE DURING CONSTRUCTION. COORDINATE WITH OWNER FOR SALVAGE OR DONATION OF OTHER APPLIANCES.
- REMOVE INTERIOR WINDOW.
- REMOVE DOOR, ANY HARDWARE INCLUDING HINGES AND TRACKS AND DOOR TRIM. FRAME TO REMAIN. SALVAGE DOORS AND HARDWARE FOR DONATION.
- REMOVE ELEVATOR FINISHES INCLUDING FLOORING, WALL PANELS AND CEILING PANELS. PROTECT EXPOSED AREAS DURING CONSTRUCTION FOR ELEVATOR USE.

GENERAL NOTES - DEMOLITION

HAZARDOUS MATERIAL SHALL BE IDENTIFIED AND ABATED - REMOVE INTERIOR PARTITIONS IDENTIFIED FOR REMOVAL PRIOR TO ANY DEMOLITION WORK BY OWNER. ANY HAZARDOUS MATERIAL UNCOVERED DURING DEMOLITION BY GENERAL CONTRACTOR SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY FOR PROPER ABATEMENT DASHED LINES ARE TO BE REMOVED ENTIRELY, INCLUDING AND DISPOSAL PROCESSES.

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08/07/2020

SCHEMATIC DESIGN



SCALE: As indicated

PROJECT No: 66574.00 DRAWING TITLE: ENLARGED UNIT DEMO PLANS

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

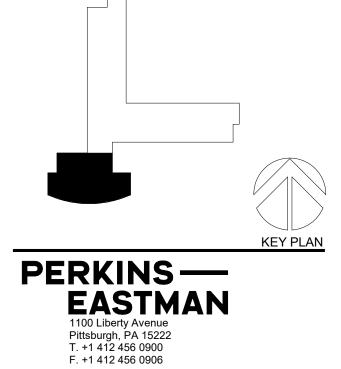
2LIFE - COLEMAN HOUSE RENOVATIONS

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MEPFP Engineer: PETERSEN ENGINEERING, INC.

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Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



NO.	DATE	ISSUE

0	A.T.
@ A/C	AT AIR CONDITIONER / CONDITIONING
ACC	ACCESSIBLE ACCESSORY
ACCSY ACOUS INSUL	ACOUSTICAL INSULATION
ACOUS PNL	
ACP ACS DR	LAY-IN ACOUSTIC PANEL CEILING PADS ACCESS DOOR
ACS FLR	ACCESS FLOOR
ACS PNL ACST	ACCESS PANEL ACOUSTICAL
ACT	ACOUSTICAL CEILING TILE
AD ADA	AREA DRAIN AMERICANS WITH DISABILITIES ACT
ADDL	ADDITIONAL
ADDM ADJ	ADDENDUM ADJUSTABLE / ADJACENT
ADJ	ADMINISTRATION
AFC AFF	ABOVE FINISHED COUNTER ABOVE FINISHED FLOOR
AFF	ABOVE FINISHED FLOOR ABOVE FINISHED GRADE
AFS	ABOVE FINISHED SLAB
AHR AHU	ANCHOR AIR HANDLING UNIT
ALNMT	ALIGNMENT
ALT ALUM	ALTERNATE ALUMINUM
ANOD	ANODIZED
APC APPROX	ACOUSTICAL PANEL CEILING APPROXIMATELY
APPVD	APPROVED
APT ARCH	APARTMENT ARCHITECT(URAL)
ASPH	ASPHALT
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS
ATC	ACOUSTICAL TILE CEILING
AUTO AVG	AUTOMATIC
AWP	WALL-MOUNTED SOUND ABSORPTION
AWT	PANEL ACOUSTIC WALL TREATMENT
BD	BOARD
BITUM BL	BITUMINOUS BASELINE
BL	BLACK
BLDG BM	BUILDING BEAM
BO	BLOWOFF
BOT BR	BOTTOM BEDROOM
BRG	BEARING
BS	BOTH SIDES BASEMENT
BSMT BTWN	BETWEEN
BUR	BUILT UP ROOFING
BW C	BOTH WAYS CELSIUS
C	CHANNEL
C TO C CAB	CENTER TO CENTER CABINET
CB	CATCH BASIN
CEM CEM PLAS	CEMENT CEMENT PLASTER (STUCCO)
CER	CERAMIC
CG CH	CORNER GUARD CHILLER
СН	COAT HOOK
CHBD CHFR	CHALKBOARD CHAMFER
CI	CAST IRON
CIP CJ	CAST IN PLACE CONTROL JOINT
CL	CENTERLINE
CL D CLG	CLOTHES DRYER CEILING
CLG HT	CEILING HEIGHT
CLL	CONTRACT LIMIT LINE
CLO CLR	CLOSET CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR CO	COUNTER CARBON MONOXIDE
CO	CASED OPENING
CO CO	CERTIFICATE OF OCCUPANCY CLEANOUT
CO CO	COMPANY CUTOUT
COL	COLUMN
COMB	COMBINATION
CONC CONC FLR	CONCRETE SEALED CONCRETE FLOOR
CONSTR	
CONT CONT	CONTINUE CONTROLLER
CONV	
CORR CPT	CORRIDOR / CORRUGATED CARPET
CR	CLOSET ROD
CR CR	CONTROL RELAY CONTROL ROOM
CR	CRASH RAIL
CS CS	CAST STONE CONTROL SWITCH
CSWK	CASEWORK
CT CTB	CERAMIC TILE CERAMIC TILE BASE
CTR	CENTER
CU CU FT	COPPER CUBIC FOOT
CU YD	CUBIC YARD
CUB CURT	CUBICLE CURTAIN CURTAIN
CW	CASEMENT WINDOW
CW CW	CHEMICAL WASTE LINE CLOCKWISE
CW	COLD WATER PIPING
D DBL	DEEP DOUBLE

DEG	DEGREE
DEMO DET	DEMOLITION DETAIL
DET	DETAIL DRINKING FOUNTAIN
DH	DOUBLE HUNG
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	DISPENSER
DIV	DIVISION
DMPF DR	DAMPPROOFING DOOR / DRAIN
DS	DOWNSPOUT
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
EF	EACH FACE
EG EHD	VERTICAL END GUAR ELECTRIC HAND DRY
EIFS	EXTERIOR INSULATIO
	SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV EM	ELEVATOR ELECTROMAGNETIC
EM	EXPANDED METAL
EMER	EMERGENCY
ENCL	ENCLOSED / ENCLOS
ENGR	ENGINEER
ENTR	ENTRANCE
EOS	EDGE OF SLAB
EPB	ELECTRIC PANEL BO
eq Equip	EQUAL(LY) EQUIPMENT
EQUIP	POURED EPOXY
ERF	POURED EPOXY FLO
ESCAL	ESCALATOR
EST	ESTIMATE
EW	EACH WAY
EWC	ELECTRIC WATER CO
EXF	EXTERIOR FINISH
EXH EXIST	EXHAUST EXISTING
	EXPANSION
EXT	EXTERIOR
FA	FIRE ALARM
FAB	FABRIC
FAI	FRESH AIR INTAKE
	FIREBRICK
FCU FD	FAN COIL UNIT FLOOR DRAIN
FDTN	FOUNDATION
	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER
FF EL	FINISH FLOOR ELEVA
FGL	FIBERGLASS
FH	FIRE HOSE
FHC FIN	FIRE HOSE CABINET FINISH(ED)
	FINISHED FLOOR
FIN FLR	FINISH FLOOR
FIXT	FIXTURE
FLASH	FLASH(ING)
FLR	FLOOR
FLRSK	FLOOR SINK
fluor Fm	FLUORESCENT FACTORY MUTUAL
FM	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUDS
FOW	FACE OF WALL
FP	FIREPROOF
FPL	FIREPLACE
FR FRG	FRAME FIBER REINFORCED (
FRP	FIBERGLASS REINFO
FRT	FIRE RETARDANT TR
FSP	FIRE STAND PIPE
FSTNR	FASTENER
FTG	FOOTING
FURG FUT	FURRING FUTURE
FUT FWC	FOTORE FABRIC WALL COVER
FWP	NON-ACOUSTIC STRE
-	PANEL WALL INSTAL
G	GROUND
GA	
GALV GB	GALVANIZE(D) GRAB BAR
GC	GENERAL CONTRACT
GDISP	GARBAGE DISPOSAL
GEN	GENERAL
GFP	GFRP OR GFRG FREE
GFRG	GLASS FIBER REINFO
GFRP	GLASS FIBER REINFO
GL	GLASS / GLAZING
GL BLK GLT	GLASS BLOCK GLASS MOSIAC TILE
GLZ	GLASS MOSIAC TILE
GLZ CMU	GLAZED CONCRETE
GPM	GALLONS PER MINUT
GR	GROSS
GR LN	GRADE LINE
GRAN	GRANITE
GT	GREASE TRAP GROSS TON
GT GT	GROSSION
GYP	GYPSUM
GYP BD	GYPSUM BOARD
Н	HIGH
HC	HOLLOW CORE
HCP	
HD HD	HEAVY DUTY HAND DRYER
שה	

⁻LOC/ 11:31: 7/2020

Ν	HDBD HDR
FOUNTAIN	HDW HDWD
JNG	HDWL HM
l	HNDRL HORIZ
2	HP HP
DFING AIN	HP HR
UT ER	HS HT
	HVAC
	HW HWP
E END GUARDS	HYD IC
HAND DRYER INSULATION AND FINISH	ID IN
N JOINT	INCL INSUL
	INT INV
IAGNETIC	ITS J-BOX
METAL	JAN CLC JS
/ ENCLOSURE	KIT L
LAB	L LAB
PANEL BOARD	LAM
T POXY	LB(S) LC
POXY FLOORING R	LF LH
	LIB LINO
WATER COOLER FINISH	LINO LKR LNO
rinish	LPT
Ν	LT LTF
Ν	LTWT LVR
INTAKE	m MACH
CATED FABRIC CEILING PANEL	MAT MATL
INIT AIN	MAX MB
ON GUISHER	MB MB
GUISHER CABINET OR ELEVATION	MBH MC
S	MCP ME
CABINET	MECH MED
'LOOR OR	MEZZ MFR
)	MH MIN
К	MIRR MISC
ENT //UTUAL	MKR BD MLDG
ONCRETE NISH	mm MO
ASONRY TUDS	MR MS
ALL =	MSB MTD
	MTL MTS
IFORCED GYPSUM SS REINFORCED PLASTIC	MULL MVBL
RDANT TREATED D PIPE	MW N
	NA NAT
	NFPA
LL COVER STIC STRETCHED FABRIC	NIC NO
L INSTALATION	NOM NTS
E(D)	OA OC
CONTRACTOR	OD OF
DISPOSAL	OF / CI
FRG FREESTANDING PANEL ER REINFORCED GYPSUM	off oph
ER REINFORCED POLYMER AZING	opng opp
CK SIAC TILE	oz Par
DNCRETE MASONRY UNIT	PAR PART
PER MINUTE	PAT PBD
E	PCC PED
RAP	PERF

PERP

PLAM

PLAS

PLAS

PR

PLYWD

PREFAB

PREFIN

PRE-FINISHED

PL

PERIM

HEADER HARDWARE HARDWOOD HEADWALL HOLLOW METAL HANDRAIL HORIZONTAL HEAT PUMP HIGH PRESSURE HORSEPOWER HAND RAIL HAND SINK HEIGHT HEATING / VENTILATION / AIR CONDITIONING HOT WATER HOT WATER PUMP HYDRANT **IRONING CABINET** INSIDE DIAMETER INCH / INCHES INCLUDE(D) / INCLUDING INSULATE / INSULATION INTERIOR INVERT INTERTEK TESTING SERVICES JUNCTION BOX JANITOR'S CLOSET JANITOR'S SINK KITCHEN ANGLE LITER LABORATORY LAMINATE(D) LAVATORY POUND(S) LINEN CLOSET LINEAR FOOT (FEET LEFT HAND LIBRARY LINOLEUM LOCKER LINOLEUM LOW POINT LIGHT LINOLEUM TILE FLOORING LIGHT WEIGHT LOUVER METER MACHINE WALK-OFF MAT MATERIAL MAXIMUM MACHINE BOLT MAIL BOX MIXING BOX MOP/BROOM HOLDER MEDICINE CABINET ACOUSTIC LAY-IN METAL CEILING PADS MECHANICAL ENGINEER MECHANICAL MEDIUM MEZZANINE MANUFACTURE(R) MANHOLE MINIMUM MIRROR MISCELLANEOUS MARKER BOARD MOULDING MILLIMETER MASONRY OPENING MOISTURE RESISTANT MOP SINK MOP SERVICE BASIN MOUNTED METAL METAL TRANSITION STRIP MULLION MOVABLE MICROWAVE NORTH NOT AVAILABLE / APPLICABLE NATURAL NATIONAL FIRE PROTECTION ASSOCIATION NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVERALL ON CENTER OUTSIDE DIAMETER OUTSIDE FACE OWNER FURNISHED / CONTRACTOR INSTALLED OFFICE OPPOSITE HAND OPENING OPPOSITE OUNCE PARALLEL PARAPET PARTIAL PATTERN PARTICLE BOARD PRECAST CONCRETE PEDESTAL PERFORATED PERIMETER PERPENDICULAR PROPERTY LINE PLASTIC LAMINATE PLASTIC PLASTER PLYWOOD PAIR PREFABRICATED

HARDBOARD

PRF

PROP

PRST

PSF

PSI

PT/E

PT/F

PT/HG

PT/SG

PTD

PTN

QTY

QZF

QZR

RCP

RD

REC

RFF

RFF

REFL

REG

REINF

REQ

RESI

REST

RF

ROW

RTS

RWD

RWI

SAN

SCHED

SCRN

SCT

SECT

SD

SF

SGL

SH

SHR

SHT

SIM

SL

SLDG

SND

SNDU

SPC

SPEC

SPH

SPKR

SPR

SQIN

SSP

SSPR

SSTR

SST

STA

STD

STIF

STON

STOR

SUH

SURF

SUSP

SVP

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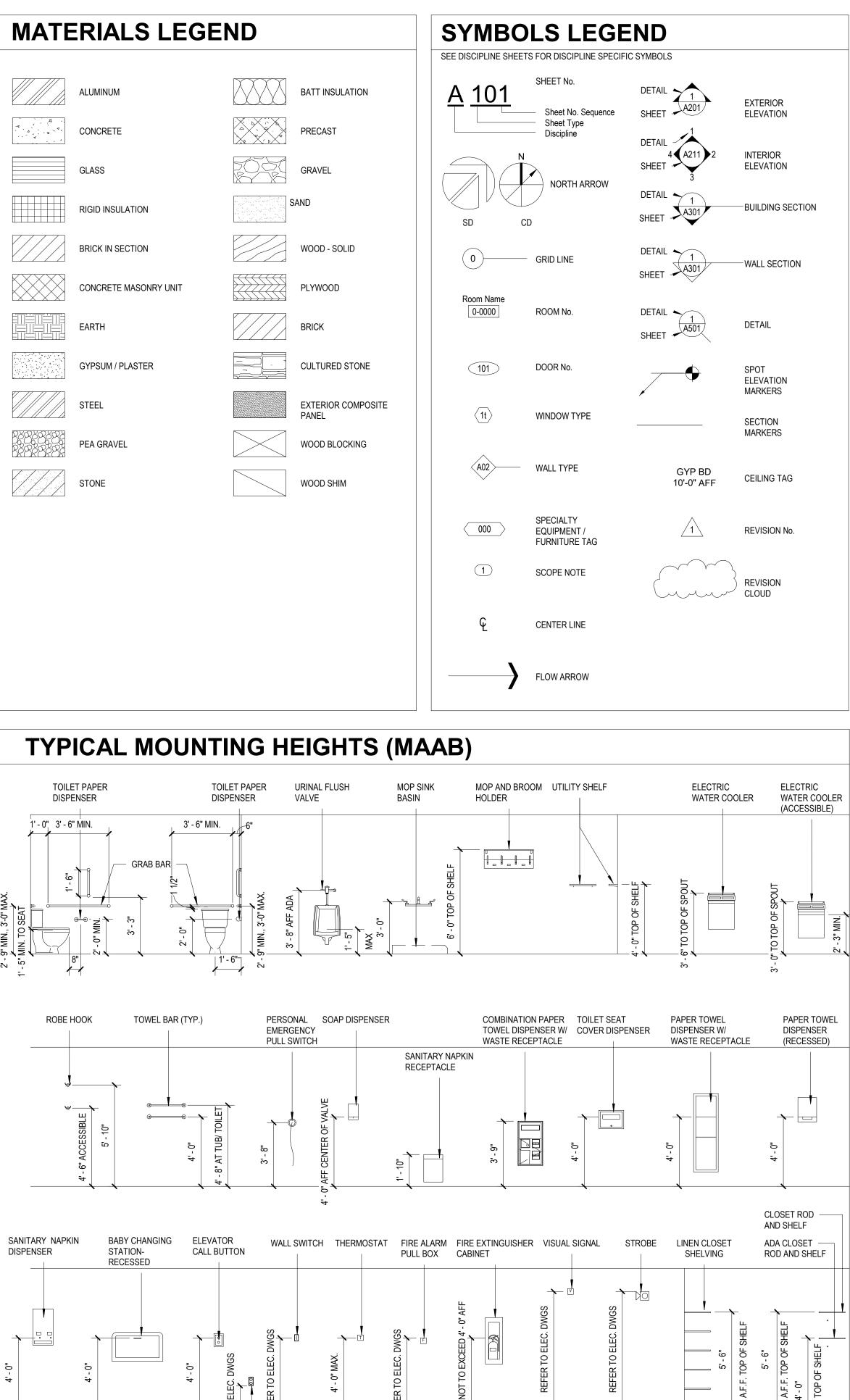
RECPT

POLYURETHANE SPORTS FLOORING
PROPERTY
PRESSURE TREATED
POURED SEALANT
POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH
PAINT(ED)
EPOXY PAINT
FLAT PAINT
HIGH GLOSS PAINT
SEMIGLOSS PAINT PAPER TOWEL DISPENSER
PAPER TOWEL DISPENSER PARTITION
PAVED
POLYVINYL CHLORIDE
PAVING
HEAT TRANSFER
RATE OF FLOW QUARRY TILE
QUANTITY
QUARTZ FLOORING
QUARTZ RESIN
QUARTZ TILE
RISER
RADIUS RETURN AIR
RUBBER BASE
RUBBER BASE
REFLECTED CEILING PLAN
ROOF DRAIN
RECESSED
RECEPTACLE
REFRIGERATOR
REFLECTED
REGISTER
REINFORCE(D)
REQUIRED
RESILIENT RESTROOM
RESTROOM
REVISE / REVISION
RESILIENT FLOORING
ROOFING
RIGHT HAND
ROOM
ROUGH OPENING RIGHT OF WAY
RAILROAD
ROLL ROOFING
RAPID START
ROUGH SAWN
RUBBER SHEET RUBBER SHEET FLOORING
REINFORCING STEEL
RIGHT
RUBBER TILE FLOORING
RUBBER TRANSITION STRIP
REDWOOD
RAIN WATER LEADER SOUTH
SANITARY
SOLID CORE
SCHEDULE
SCREEN
STRUCTURAL CLAY TILE
SOAP DISPENSER SECTION
SQUARE FEET
SINGLE
SINGLE HUNG
SHOWER
SHOWER HEAD
SHEET SHEATHING
SIMILAR
SEALEVEL
SPOT LIGHT
SANITARY NAPKIN DISPENSER
SANITARY NAPKIN DISPOSAL UNIT SUSPENDED PLASTER CEILING
SPECIFY / SPECIFICATION
SOLID PHENOLIC POLYMER (TRESPA)
SPEAKER
SOLID POLYMER RESIN (3FORM)
SQUARE SQUARE INCH(ES)
SOLID SURFACE POLYMER (CORIAN)
SOLID POLYMER (CORIAN) RUB RAIL
STAINLESS STEEL
STAINLESS STEEL RUB RAIL
SINGLE THROW STAIRS
STREET
STAIN
STATION
STANDARD
STIFFENER
STORAGE
STORAGE STRUCTURE / STRUCTURAL
SUSPENDED UNIT HEATER
SURFACE
SUSPENDED
VINYL SOLID PANEL (ACROVYN)
SWITCH SYMMETRICAL
SYMMETRICAL
SYSTEM
TREAD
TOP AND BOTTOM
TONGUE AND GROOVE
TUB / SHOWER TOWEL BAR
TERRA COTTA
CEMENTITIOUS TERRAZZO
TELEPHONE
TEMPERATURE

TEMP	TEMPORARY
THK	THICKNESS
THRES	THRESHOLD
THRU	THROUGH
TK BD	TACK BOARD
TKP	TACKABLE PANELING
TOC	TOP OF CONCRETE
TOS	TOP OF SLAB
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TR	ACCENT RAIL
TRTD	TREATED
TRZ	INTERIOR POURED EPOXY RESIN
IRZ	TERRAZO
TV	TELEVISION
TYP	TYPICAL
UC	UNDERCUT
UGND	UNDERGROUND
UL	UNDERWRITER'S LABORATORY
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
V	VOLT
VAC	VACUUM
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VENT	VENTILATE
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VNR	VENEER
VOL	VOLUME
VOL	
VP	
VP	VAPOR PRESSURE
VP	VENEER PLASTER
VPC	
	VENEER PLASTIC CEILING/SOFFIT VAPOR RETARDER
VR VRR	
	VINYL (ACROVYN) RAIL
VS	
VS	VOLUMETRIC SWITCH
VS	SHEET VINYL
VT	SOLID VINYL TILE
VTR	VENT THRU ROOF
VTS	VINYL TRANSITION STRIP
VWC	VINYL WALLCOVERING
W	WIDE
W	WEST
W/W	WALL TO WALL
W/	WITH
W/D	WASHER / DRYER
W/O	WITHOUT
WB	WOOD BASE
WC	WATER CLOSET
WC	WALLCOVERING
WD	WOOD
WDH	WOOD HAND RAIL
WDM	WOOD WALL MOULDINGS
WDP	WOOD PANELING
WDR	WOOD CHAIR, CRASH, OR HAND RAIL
WDS	ATHLETIC/ACOUSTIC ISOLATED WOOD
1100	FLOORING
WDSHV	WOOD SHELVING
WDT	WOOD TILE OR PARQUET FLOORING
WDV	WOOD VENEER
WDW	WINDOW
WE	WIDE FLANGE
WGL	WIRED GLASS
WH	WALL HUNG
WI WD	
WP	WATERPROOF
WP	WORKING POINT
WPM	
WR	WEATHER RESISTANT
WR	
WRP	WATER REPELLENT
WT	WEIGHT
WWF	WEIGHT WELDED WIRE FABRIC
WWF XPS	WEIGHT WELDED WIRE FABRIC EXTRUDED POLYSTYRENE
WWF	WEIGHT WELDED WIRE FABRIC
WWF XPS	WEIGHT WELDED WIRE FABRIC EXTRUDED POLYSTYRENE

TEMP

TEMPORARY



08/07/2020

SCALE: As indicated

SCHEMATIC DESIGN

PROJECT No: 66574.00 DRAWING TITLE: NOTES,

A-001

ABBREVIATIONS, LEGENDS

2LIFE - COLEMAN

RENOVATIONS

677 WINCHESTER STREET

NEWTON, MA 02459

Owner: **2LIFE COMMUNITIES** 30 WALLINGFORD ROAD BRIGHTON, MA 02135

ONE ADAMS PLACE, 859 WILLARD STREET

VEITAS & VEITAS ENGINEERS, INC

TRIPI ENGINEERING SERVICES, LLC

PETERSEN ENGINEERING, INC.

PORTSMOUTH, NH 03802

433 MAIN STREET, SUITE 4

639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager:

QUINCY, MA 02169

Structural Engineer:

MEPFP Engineer:

P.O. BOX 4516

Envelope Consultant:

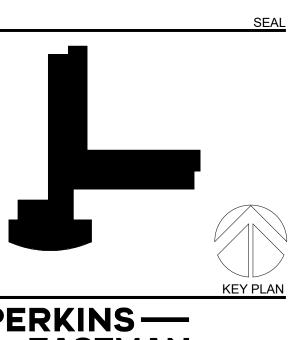
HUDSON, MA 01749

PROJECT TITLE:

HOUSE

DELLBROOK





NO.	DATE	ISSUE	

31 131 LOC/ 11:31:

		L ПІ. Э	INGLE		- D F	ARTITION	TYPI
		HED					
HEAD		ACOU L-BEA STEEI	RSIDE OF STRUCTU STICAL SEALANT BI D IN FINISHED ARE . TRACK, FASTEN 2 D CEILING, REF RCF	OTH SIDES AS -0" OC MAX			HEAD
		SIDE, WET A REF F MTL S	. (1) LAYER 5/8" GYF USE CEMENTITIOUS NREAS IN SCHED FOR FIN TUD FR - REF SCHE NG & WIDTH AS SP	S BD. AT D FOR SIZ	E,		
PLAN							PLAN
BASE		— ACOU — WALL	- TRACK, FASTEN 2' STICAL SEALANT O BASE & FLOOR FIN DULED	N BOTH SI			BASE
	PARTITIC	ON TYPE					
TYPE					070		TYPE
DESIGNATOR N	FRAMING TYPE S1	FIRE RATING 0	TYPE MODIFIER	WIDTH 2 1/4"	STC	COMMENTS	DESIGNATO
N	S2			3 1/8"			A
Ν	S2	0		3 1/8"			A
Ν	S2	0		3 1/8"			A
Ν	S3			4 1/4"			A
Ν	S3	0		4 1/4"			A

PARTITION TYPE KEY LEGEND

GROUPS A-J: FULL HEIGHT PARTITIONS GROUPS K-M: PARTIAL HEIGHT PARTITIONS GROUPS N-Q: SINGLE-SIDED PARTITIONS GROUPS R-S: SHAFT WALL GROUPS T-V: CHASE WALL GROUP W: MASONRY WALLS GROUPS X-Z: RESERVED

S8– 8" METAL STUDS M4 – 4" CMU W1 – ¾" WOOD FURRING M6 – 6" CMU W4 – 2X4 WOOD STUDS M8 – 8" CMU W6 – 2X6 WOOD STUDS M1 – 10" CMU - FRAMING TYPE

S1 – 1 5/8" METAL STUDS F1 – 1/2" METAL FURRING S2 – 2 ¹/₂" METAL STUDS F2 – 7/8" METAL FURRING S3 – 3 5/8" METAL STUDS $H2 - 2 \frac{1}{2}$ " SHAFT (CH) CHANNEL S4 – 4" METAL STUDS H4 – 4" SHAFT (CH) CHANNEL S6 – 6" METAL STUDS H6 – 6" SHAFT (CH) CHANNEL W8 – 2X8 WOOD STUDS M2 – 12" CMU OR CONCRETE M3 – 16" CMU

GROUP DESIGNATOR

FIRE RATING 0 – UNRATED 3P – 30 MINUTE PARTITION 1P – 1 HOUR PARTITION 1B – 1 HOUR BARRIER

2B – 2 HOUR BARRIER

3B – 3 HOUR BARRIER SP – SMOKE PARTITION

1SB – 1 HOUR SMOKE BARRIER 2F – 2 HOUR FIREWALL 3F – 3 HOUR FIREWALL

- TYPE MODIFIER

I1 - 1" SOUND ATTENUATION FIBERGLASS BATT I2 - 3" SOUND ATTENUATION FIBERGLASS BATT 13 - 5" SOUND ATTENUATION FIBERGLASS BATT I4 - FILL STUD CAVITY W/ SOUND ATTENUATION FIBERGLASS BATT I5 - FIBERGLASS BATT INSULATION (R-20 MIN.)W/ VAPOR BARRIER I6 - INJECTED FOAM INSULATION, IN CMU CAVITY

PARTITION TYPE NOTES

1. REFER TO FLOOR PLANS FOR PARTITION TYPE LOCATIONS.

2. IN ALL BATHROOMS PROVIDE, MOISTURE RESISTANT GWB ON ALL WALLS AND CEILINGS. AT TILE LOCATIONS PROVIDE TILE BACKER BOARD. 3. IN ALL ROOMS OTHER THAN BATHROOMS WHICH CONTAIN SINKS OR OTHER PLUMBING FIXTURES

PROVIDE MOISTURE RESISTANT GWB ON THE WET WALL AND RETURN 4'-0" ON THE SIDE WALLS 4. ALL GYPSUM BOARD SHALL BE 5/8" THICK, UNO. AT FIRE RATED ASSEMBLIES, PROVIDE TYPE 'X' GWB MINIMUM, OR AS REQUIRED BY FIRE RATED ASSEMBLY.

5. FOR FIRE RATED ASSEMBLIES, OBTAIN AND FULLY CONFORM TO DESIGN REQUIREMENTS OF UNDERWRITERS LABORATORIES, INC(UL) FOR EACH PARTITION ASSEMBLY, UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR DESIGNATED BY A DETAIL OR NOTE, AS ALLOWED BY UL DESIGN.

6. WHERE REQUIRED, MATERIALS SHALL BEAR THE CLASSIFICATION MARKINGS AND APPROVALS OF THE UNDERWRITERS LABORATORY.

FIRE-RESISTANCE-RATED & STC-RATED PARTITIONS & STC-RATED SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF THE TESTED ASSEMBLY UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR DESIGNATED BY DETAIL OR NOTE.

8. FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE PERMANENTLY MARKED AND IDENTIFIED WITH SIGNS OR STENCILING AS REQUIRED BY LOCAL BUILDING CODE. 9. STC-RATED PARTITION CONSTRUCTION SHALL HAVE ALL PENETRATIONS AND INTERSECTIONS SEALED

AIR TIGHT WITH ACOUSTICAL SEALANT. 10. SEPARATE METALLIC OUTLETS OR SWITCH BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS BY A MINIMUM HORIZONTAL DISTANCE OF 24 INCHES (U.L, INC.). IF STAGGERYING OUTLETS IS NOT FEASIBLE, UTILIZE PUTTY BACKING.

11. REFER TO SPECIFICATIONS FOR VERTICAL PARTITION SPACING CRITERIA AND METAL STUD GAUGES, UNO.

12. REFER TO FINISH SCHEDULE AND REFLECTED CEILING PLANS FOR THE CEILING TYPE AND HEIGHT. COORDINATE HEIGHTS OF GWB WITH CEILING HEIGHTS AND WITH PARTITION DETAILS INDICATED.

13. REFER TO FINISH SCHEDULE, FURNITURE PLANS, INTERIOR ELEVATIONS, INTERIOR DETAILS AND ARCHITECTURAL CASEWORK DETAILS FOR WALL FINISHES AND WALL MOUNTED ACCESSORIES TO COORDINATE BLOCKING REQUIREMENTS.

14. PROVIDE ADEQUATE BACKUP AND BLOCKING FOR ALL WALL OR CEILING MOUNTED EQUIPMENT, ARCHITECTURAL WOODWORK, CASEWORK, LIGHTING, OR OTHER MISCELLANEOUS ITEMS & EQUIPMENT MEPFP TO ASSURE A PROPER INSTALLATION. ALL BLOCKING TO BE NON COMBUSTIBLE.

15. ALL DOOR OPENINGS ARE TO BE 4 INCHES FROM ADJACENT WALL U.N.O. 16. REFER TO LIFE SAFETY PLANS AND CODE ANALYSIS FOR FURTHER WALL AND FLOOR/CEILING RATING

AND ASSEMBLY REQUIREMENTS AND INFORMATION. 17. MAINTAIN CONTINUOUS SMOKE/ FIRE RATED PARTITION AT INTERSECTIONS OF RATED WALLS AND NON-RATED WALLS. WRAP GYPSUM BOARD AT JAMBS AND HEAD OF NON-RATED DOORWAYS AND OPENINGS IN RATED WALLS AS REQUIRED TO MAINTAIN WALL RATING.

18. ALL PARTITIONS ARE DIMENSIONED TO THE FINISH FACE OF GWB.

19. ALL PARTITION THICKNESSES SHOWN ARE ACTUAL DIMENSIONS. FINISHED FACES OF PARTITIONS TO RUN FLUSH, CONTINUOUS AND SMOOTH, UNO.

20. ALL GWB WALL AND CEILING CONTROL JOINTS SHALL BE PROVIDED PER THE PROJECT SPECIFICATIONS AND COORDINATED WITH THE ARCHITECT PRIOR TO INSTALLATION.

21. ALL GWB WALL AND CEILING CONTROL JOINTS AT RATED CONDITIONS SHALL BE INSTALLED PER GYPSUM ASSOCIATION GUIDELINES (GA-234-08). UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED OR DESIGNATED BY DETAIL OR NOTE.

22. REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS & REINFORCEMENT REQUIREMENTS OF MASONRY PARTITIONS. 23. REFER TO WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

24. IN ALL ELECTRICAL ROOMS, INSTALL FRT PLYWOOD FLOOR TO CEILING ON ALL WALLS IN ADDITION TO WALL TYPE REQUIREMENTS. COORDINATE WITH ELECTRICAL CONTRACTOR.

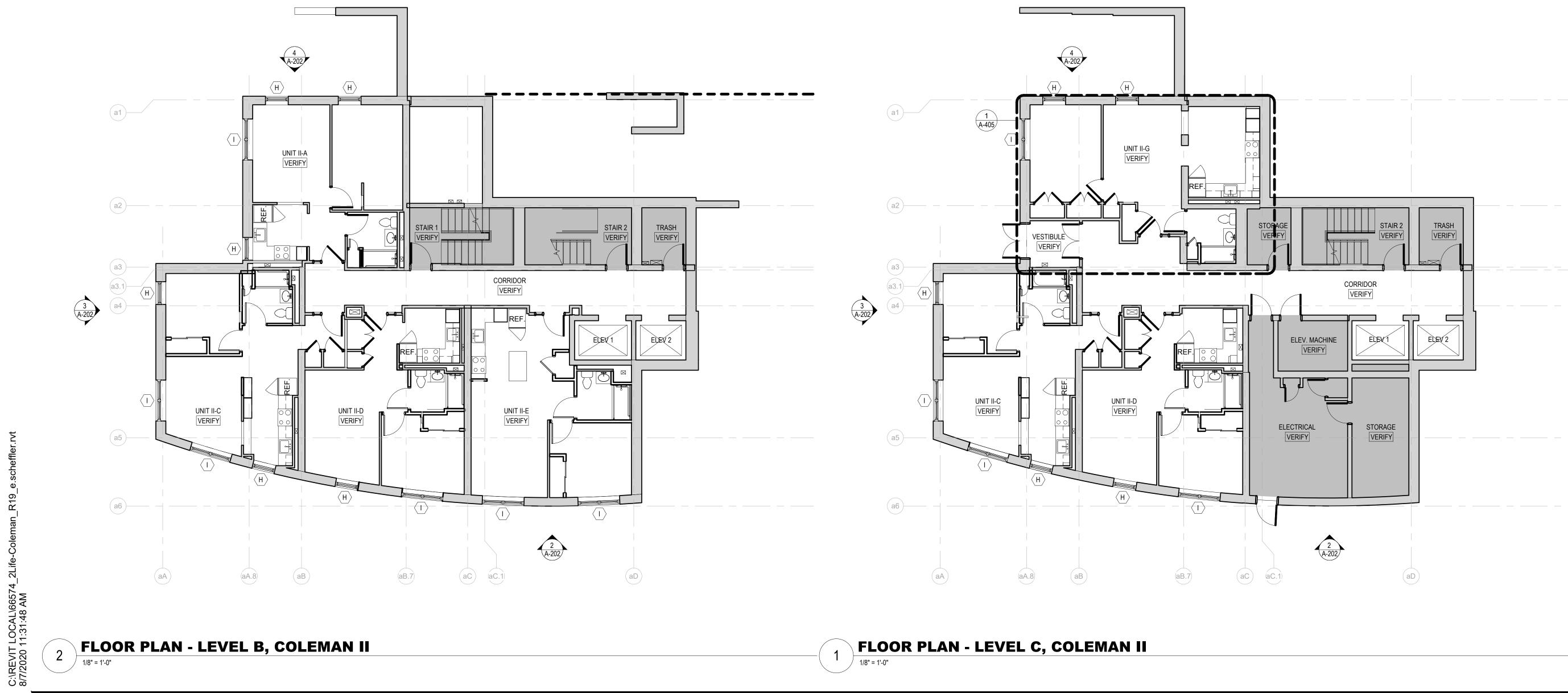
25. PARTITION BRACING REQUIREMENTS FOR LONG SPANS IN EXCESS OF L/360.

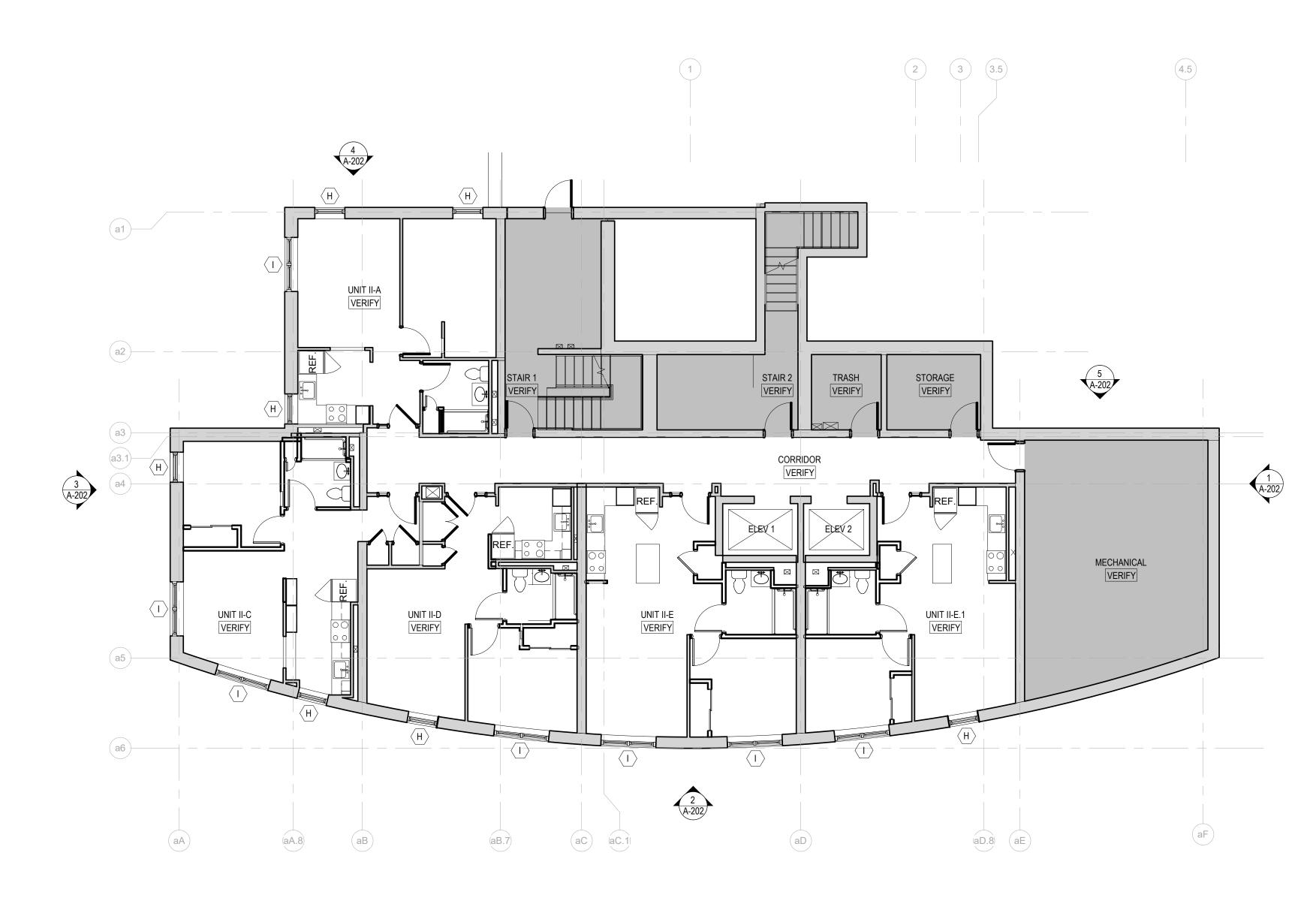
26. IN ALL LOW VOLTAGE & TELE/DATA ROOMS, INSTALL FRT PLYWOOD FLOOR TO CEILING ON ALL WALLS IN ADDITION TO WALL TYPE REQUIREMENTS. COORDINATE WITH LOW VOLTAGE CONTRACTOR.

PE /	A - FUL	L HEIG	HT GW	B PA	R1	ITION
	WIDTH-REF SCHE	Ð				
		ACOUSTI	IDE OF STRUCTURI ICAL SEALANT BOT N FINISHED AREAS RACK, FASTEN 2'-0'	H SIDES		
EAD		SCHED C	EILING, REF RCP			
		SIDE, Ü) LAYER 5/8" GYP B SE CEMENTITIOUS EAS REF FINISH SC	BD. AT		
			D FR - REF SCHED & WIDTH AS SPEC			
.AN		SOUND E	BATT INSULATION			
	^		ICAL SEALANT ON I	BOTH SIDES	S	
		- STEEL TF	RACK, FASTEN 2'-0'	OC MAX		
ASE		WALL BA SCHEDU	SE & FLOOR FIN LED	AS		
PE	FAILTIN					
NATOR	FRAMING TYPE	FIRE RATING	TYPE MODIFIER	WIDTH	STC	COMMENTS
٩	S2			3 3/4"		
۹	S2	0		3 3/4"		
4	S2	0	l1	3 3/4"		
4	S2	0	12	3 3/4"		
4	S3			4 7/8"		
4	S3	0	12	4 7/8"		
4	S6	0	13	7 1/4"		

SEAL
KEY PLAN
PERKINS — EASTMAN
1100 Liberty Avenue Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906
Owner: 2LIFE COMMUNITIES 30 WALLINGFORD ROAD BRIGHTON, MA 02135
Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169
Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184
MEPFP Engineer: PETERSEN ENGINEERING, INC. P.O. BOX 4516 POPTEMOUTUL NUL 02002
PORTSMOUTH, NH 03802 Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC
433 MAIN STREET, SUITE 4 HUDSON, MA 01749
PROJECT TITLE:
2LIFE - COLEMAN
HOUSE RENOVATIONS
677 WINCHESTER STREET NEWTON, MA 02459
PROJECT No: 66574.00
DRAWING TITLE: PARTITION TYPES
SCALE: As indicated
A-002
SCHEMATIC DESIGN
08/07/2020

NO. DATE ISSUE







FLOOR PLAN LEGEND

NO WORK

GENERAL NOTES - FLOOR PLANS

1. ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED. 2. PATCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED ASSEMBLIES.

3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO.

4. UNIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL SHOWERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ATTACHMENT FLANGES.

08/07/2020	

SCALE: As indicated

SCHEMATIC DESIGN

DRAWING TITLE: FLOOR PLANS -LEVELS C-A

A-100

PROJECT No: 66574.00

PROJECT TITLE:

677 WINCHESTER STREET NEWTON, MA 02459

2LIFE - COLEMAN HOUSE RENOVATIONS

Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802

Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

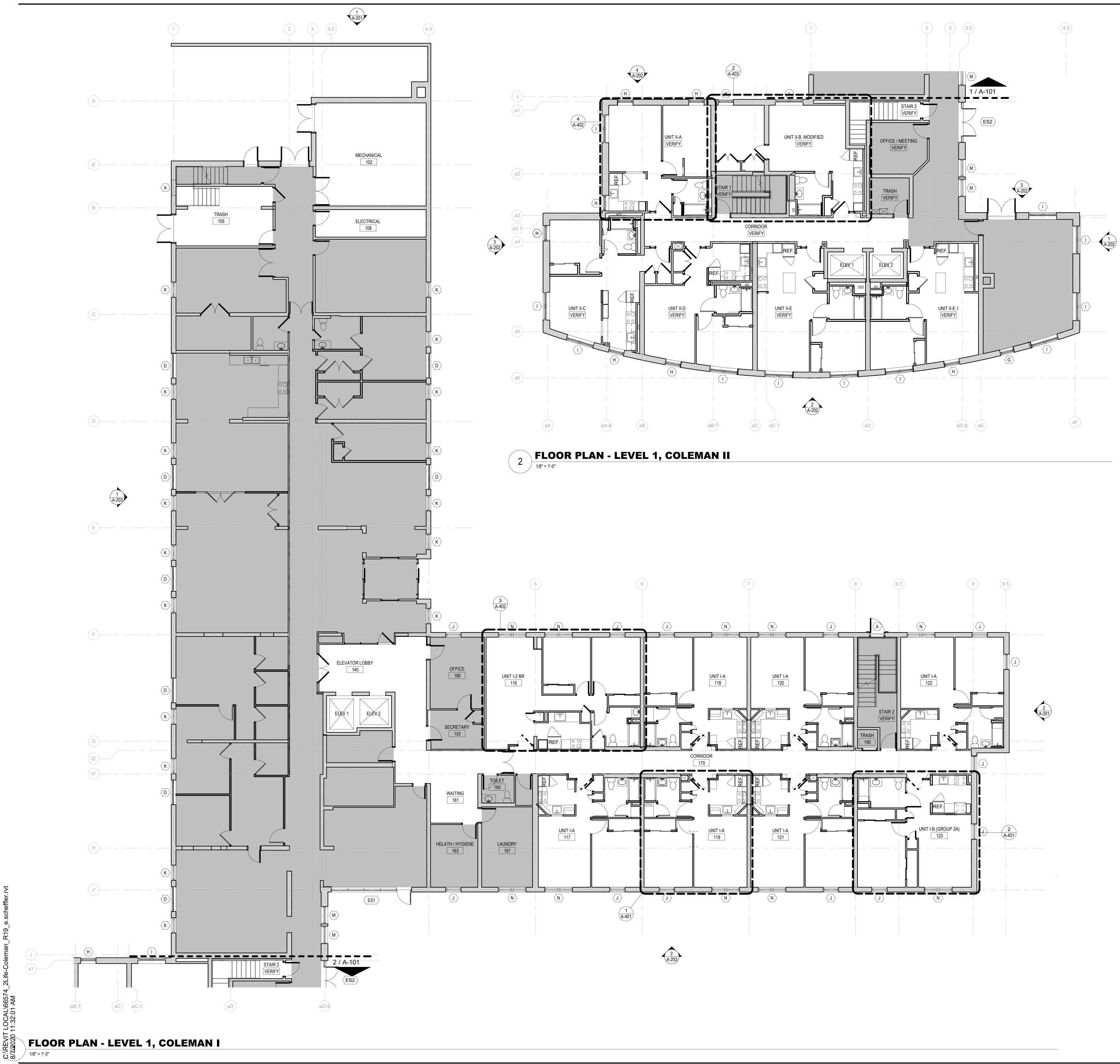
Construction Manager: **DELLBROOK** ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

Owner: 2LIFE COMMUNITIES 30 WALLINGFORD ROAD BRIGHTON, MA 02135

PERKINS-EASTMAN 1100 Liberty Avenue Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906

KEY PLAN

NO. DATE ISSUE _____ -----



FLOOR PLAN LEGEND

NO WORK

GENERAL NOTES - FLOOR PLANS

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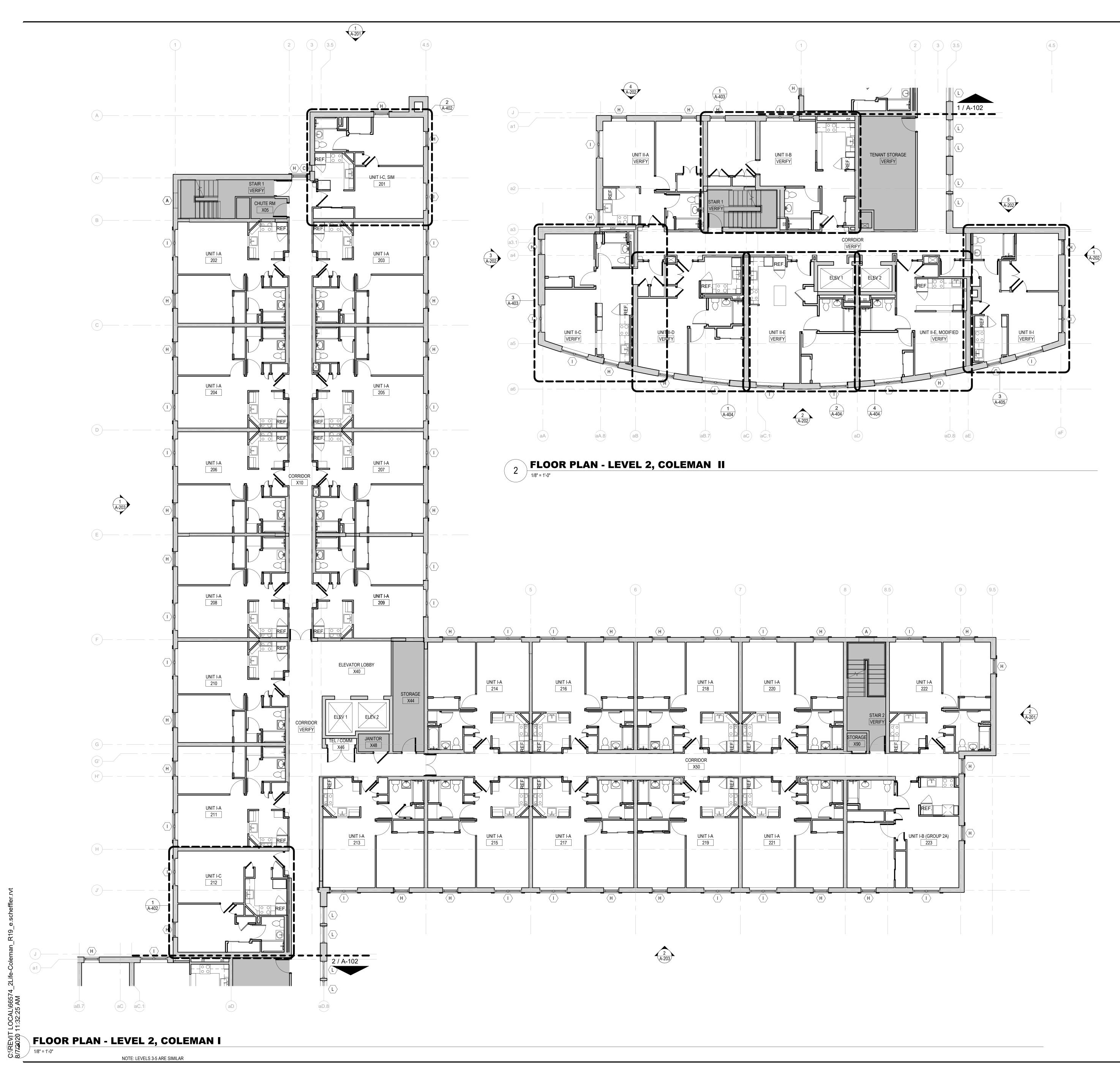
MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



NO. DATE	ISSUE



FLOOR PLAN LEGEND

NO WORK

GENERAL NOTES - FLOOR PLANS

 ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED.
 PATCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED ASSEMBLIES.

3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO.

4. UNIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL SHOWERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ATTACHMENT FLANGES.

PROJECT TITLE:
2LIFE - COLEMAN HOUSE RENOVATIONS
677 WINCHESTER STREET NEWTON, MA 02459
PROJECT No: 66574.00
DRAWING TITLE: FLOOR PLAN - LEVELS 2-5
SCALE: As indicated
A-102
SCHEMATIC DESIGN

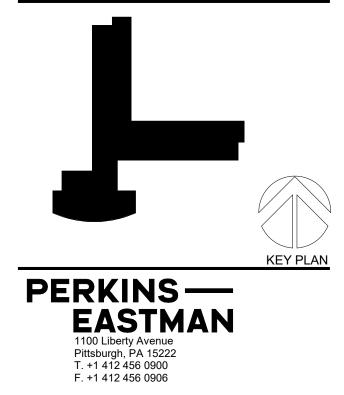
08/07/2020

MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184 MEPFP Engineer:

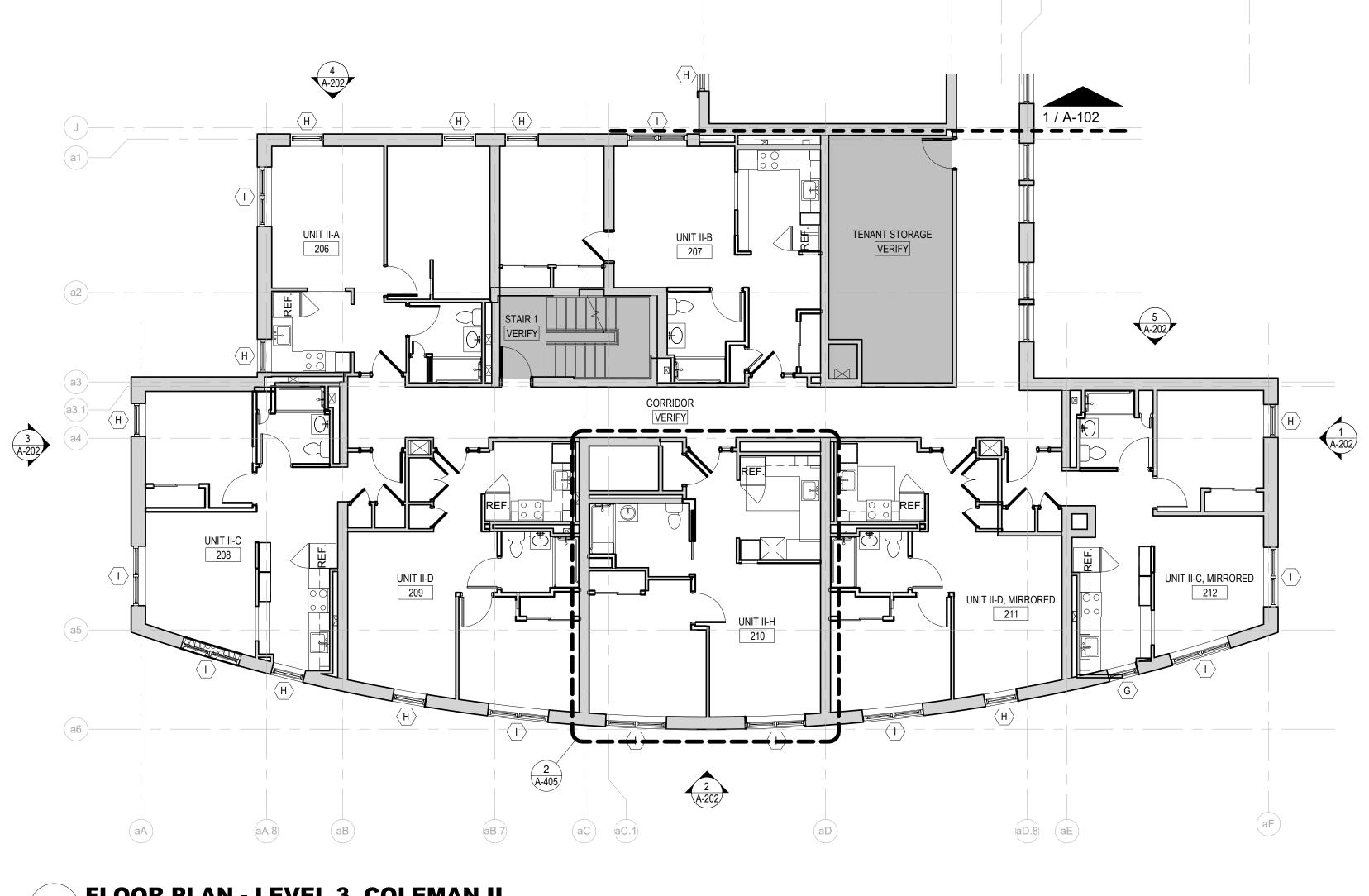
QUINCY, MA 02169 Structural Engineer: VEITAS & VEITAS ENGINEERS, INC

Construction Manager: **DELLBROOK** ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



NO. DATE	ISSUE

C:\REVIT LOCAL\66574_2Life-Coleman_R19_e.scheffler.rvt 8/7/2020 11:32:37 AM



1 FLOOR PLAN - LEVEL 3, COLEMAN II 1/8" = 1'-0" NOTE: LEVELS 4-5 ARE SIMILAR

FLOOR PLAN LEGEND

NO WORK

GENERAL NOTES - FLOOR PLANS

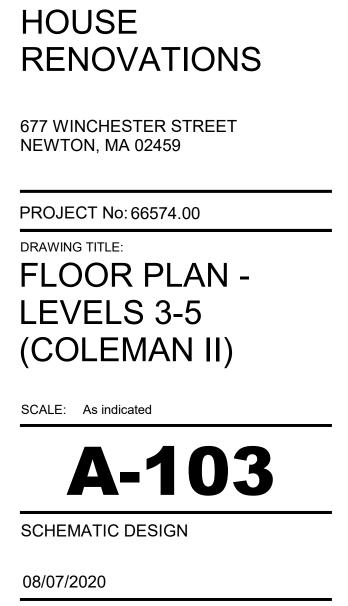
2 3 (3.5)

(4.5)

 ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED.
 PATCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED ASSEMBLIES.

3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO.

4. UNIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL SHOWERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ATTACHMENT FLANGES.



2LIFE - COLEMAN

Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802



Owner:

2LIFE COMMUNITIES 30 WALLINGFORD ROAD BRIGHTON, MA 02135

Construction Manager:

PROJECT TITLE:

NO. DATE	ISSUE	

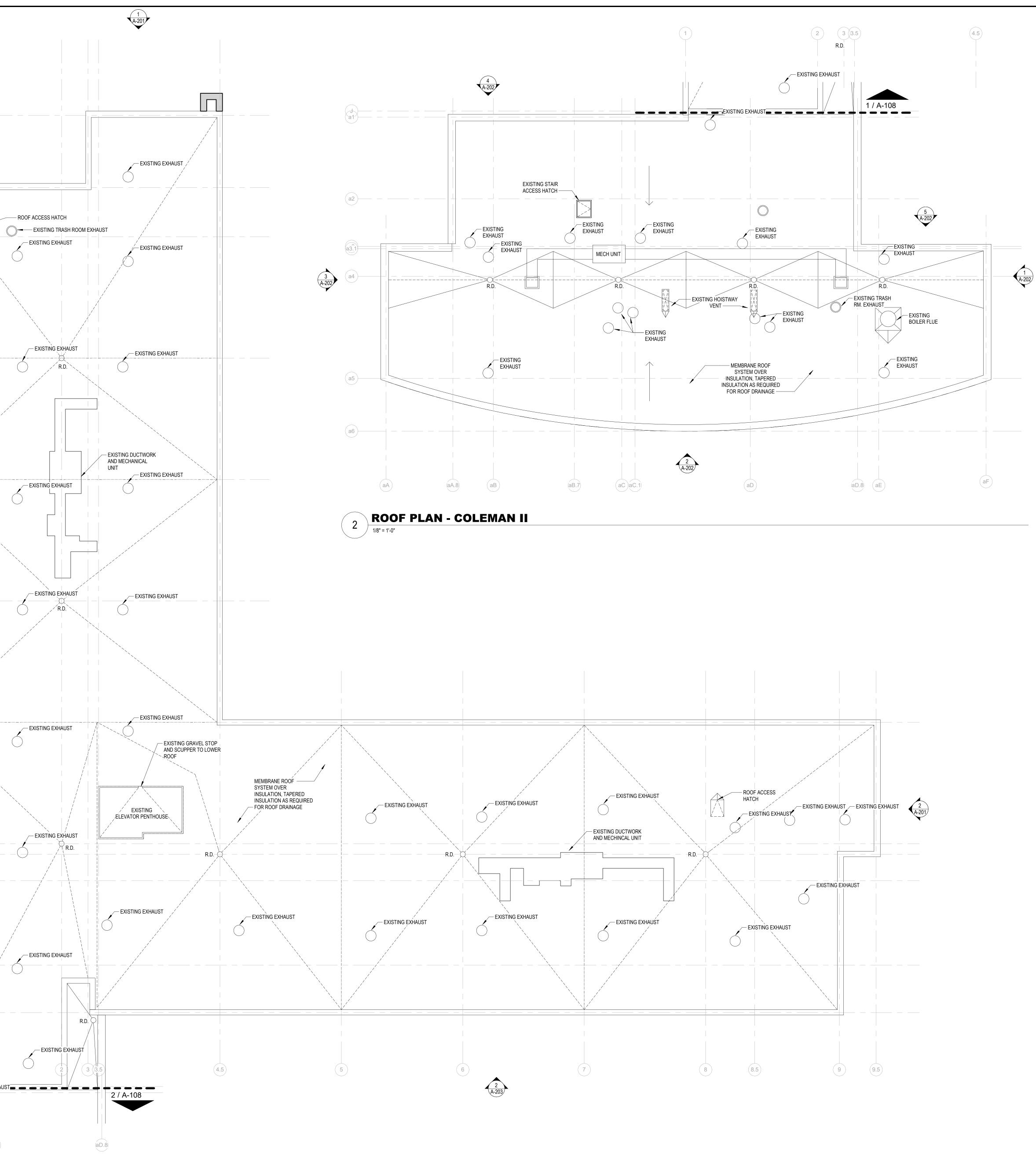
GENERAL NOTES - ROOF PLAN

7. INSULATION MIN. R-38 CONTINUOUS.

 VERIFY FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
 REFER TO MEPFP NARRATIVE FOR DEMOLITION OF SCOPE OF VENTS, EXHAUST, DUCTWORK OR MECHANICAL UNITS. EXISTING ELEMENTS SHOWN FOR REFERENCE ONLY.
 PROVIDE ROOF CURBS FOR ALL NEW MECHANICAL EQUIPMENT AND ROOF HATCHES. PROVIDE CRICKETS AND FLASHING AS REQUIRED FOR DRAINAGE.
 REPLACE ROOF DRAINS AND HATCHES IN EXISTING LOCATIONS. PROVIDE CRICKETS AND FLASHING AS REQUIRED FOR DRAINAGE.
 PROVIDE ROOF WALKWAY MATS FROM ALL ROOF ACCESS HATCHES TO AND AROUND ALL NEW AND EXISTING ROOF PLANK OR TOPPING SLOPES MIN. 1/4" PER 12". (LINEWORK SHOWN DASHED). PROVIDE TAPERED INSULATION AS REQUIRED FOR CRICKETING AT ROOF DRAINS ONLY, 1/2" PER 12" (LINEWORK SHOWN SOLID)

1 A-203 (E)-----(F) — — — — (н)— (J')-----👝 🕳 🕳 🛖 🕳 🛖 🦛 KISTING EXHAUST 👝 🕳 🕳 🕳 aC aC.1 (aB.7) aD





08/07/2020	

SCHEMATIC DESIGN

A-108

SCALE: As indicated



677 WINCHESTER STREET NEWTON, MA 02459



Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802

Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

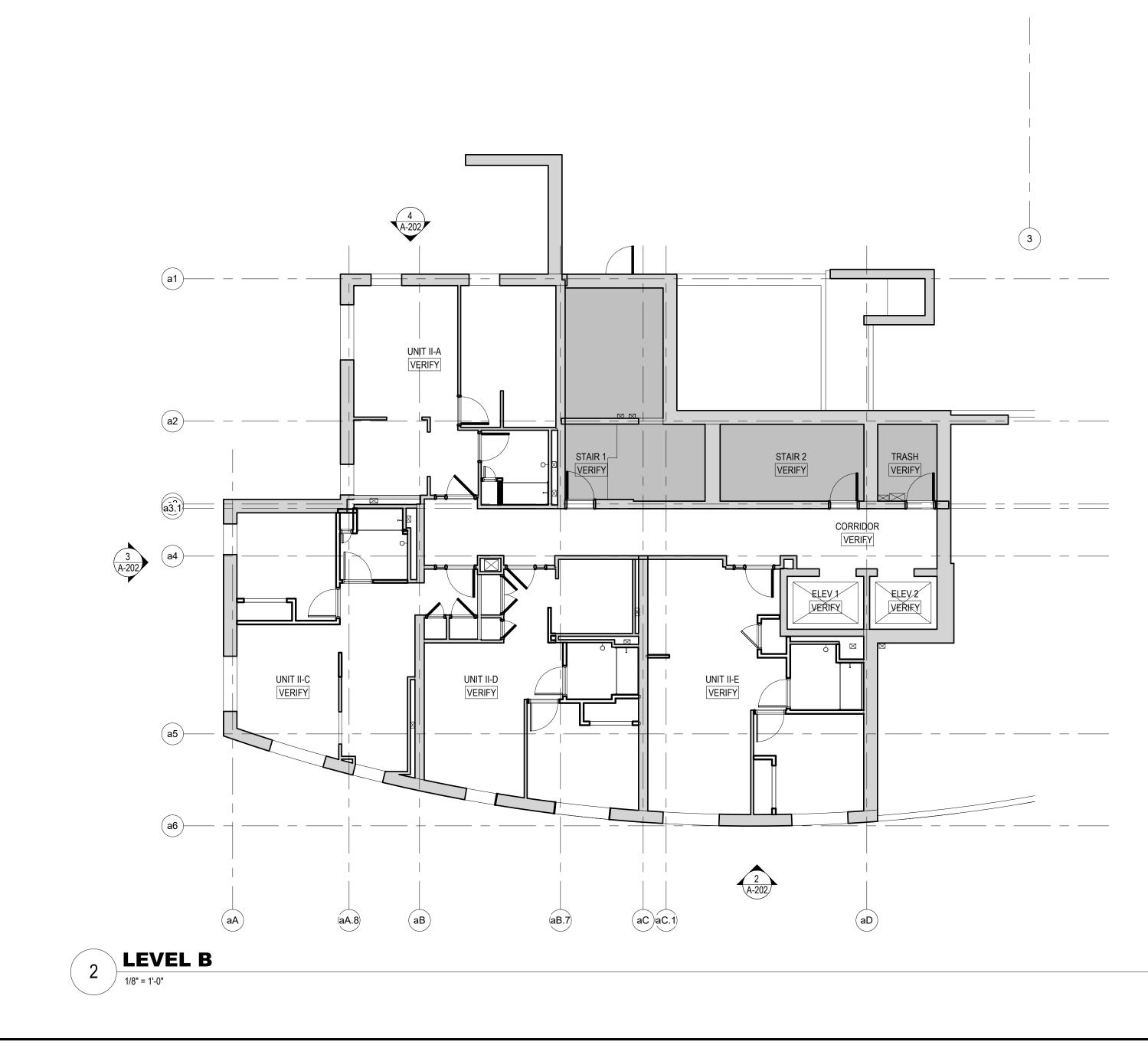
Construction Manager: **DELLBROOK** ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

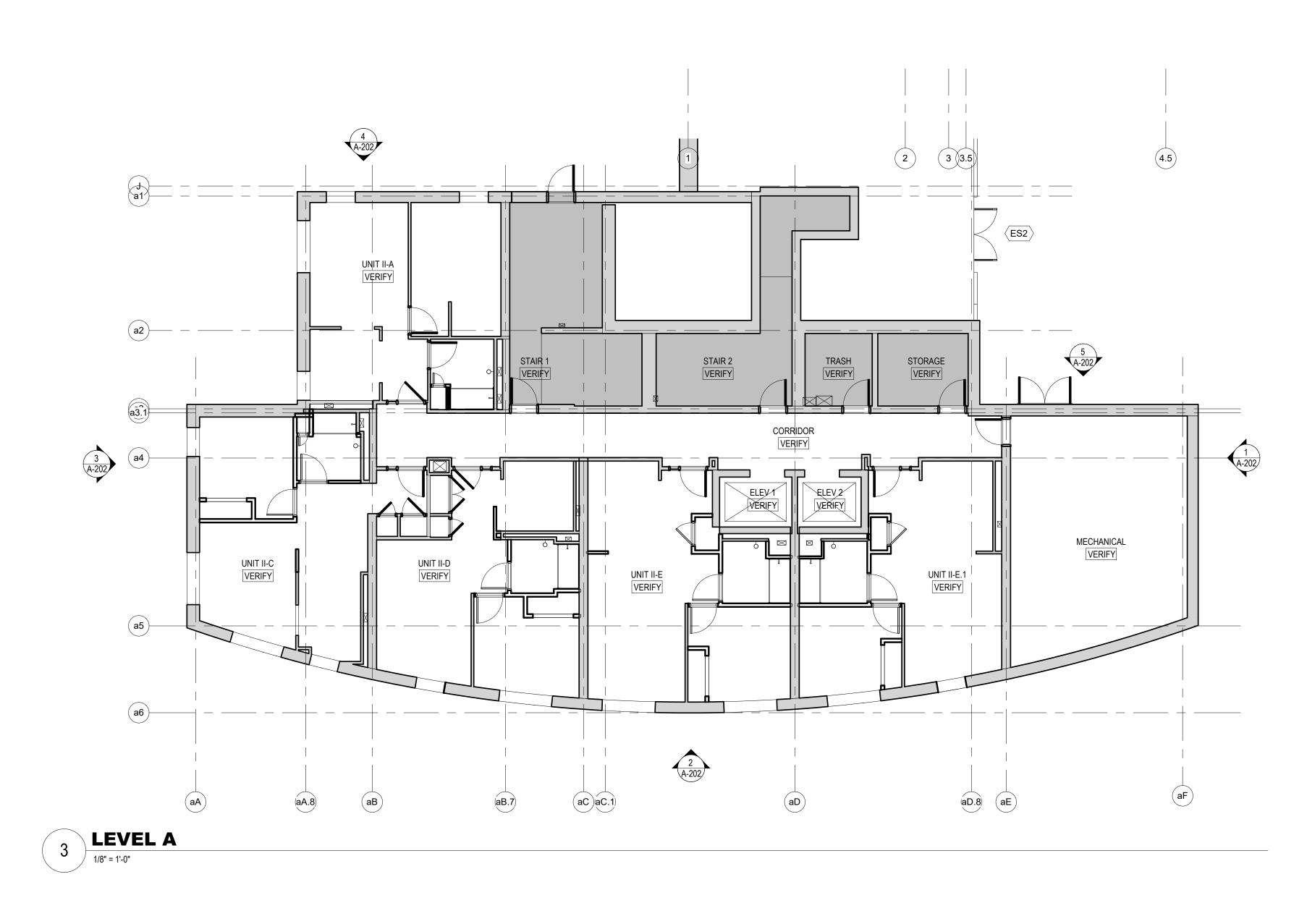
Owner: **2LIFE COMMUNITIES** 30 WALLINGFORD ROAD BRIGHTON, MA 02135

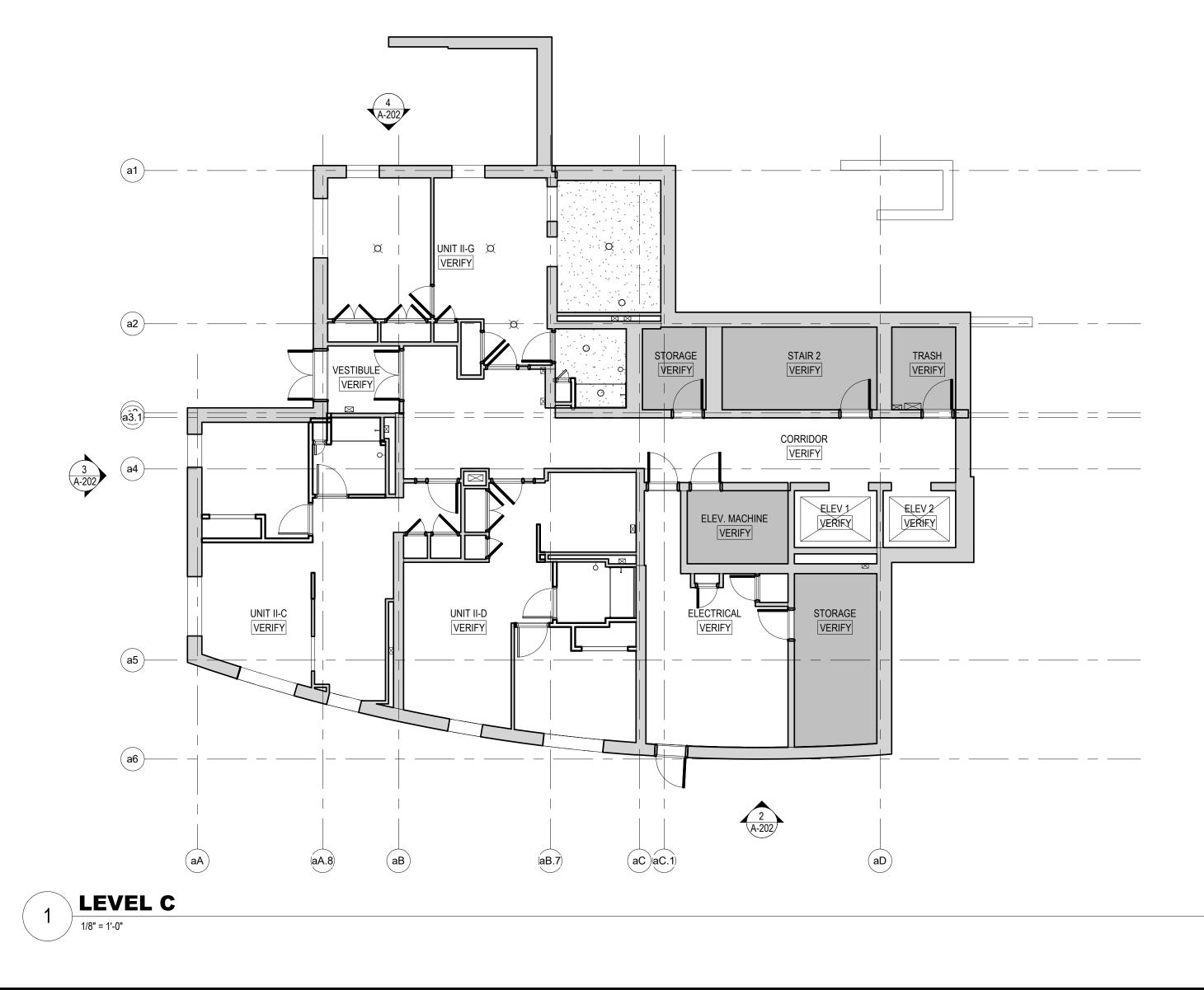


NO. DATE ISSUE









S	CHEMATIC DES
08	8/07/2020

SCALE: 1/8" = 1'-0"

A-111a SIGN

PROJECT No: 66574.00

LEVEL C-A

677 WINCHESTER STREET NEWTON, MA 02459

DRAWING TITLE: RCP FLOOR PLANS -

PROJECT TITLE: 2LIFE - COLEMAN HOUSE RENOVATIONS

Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

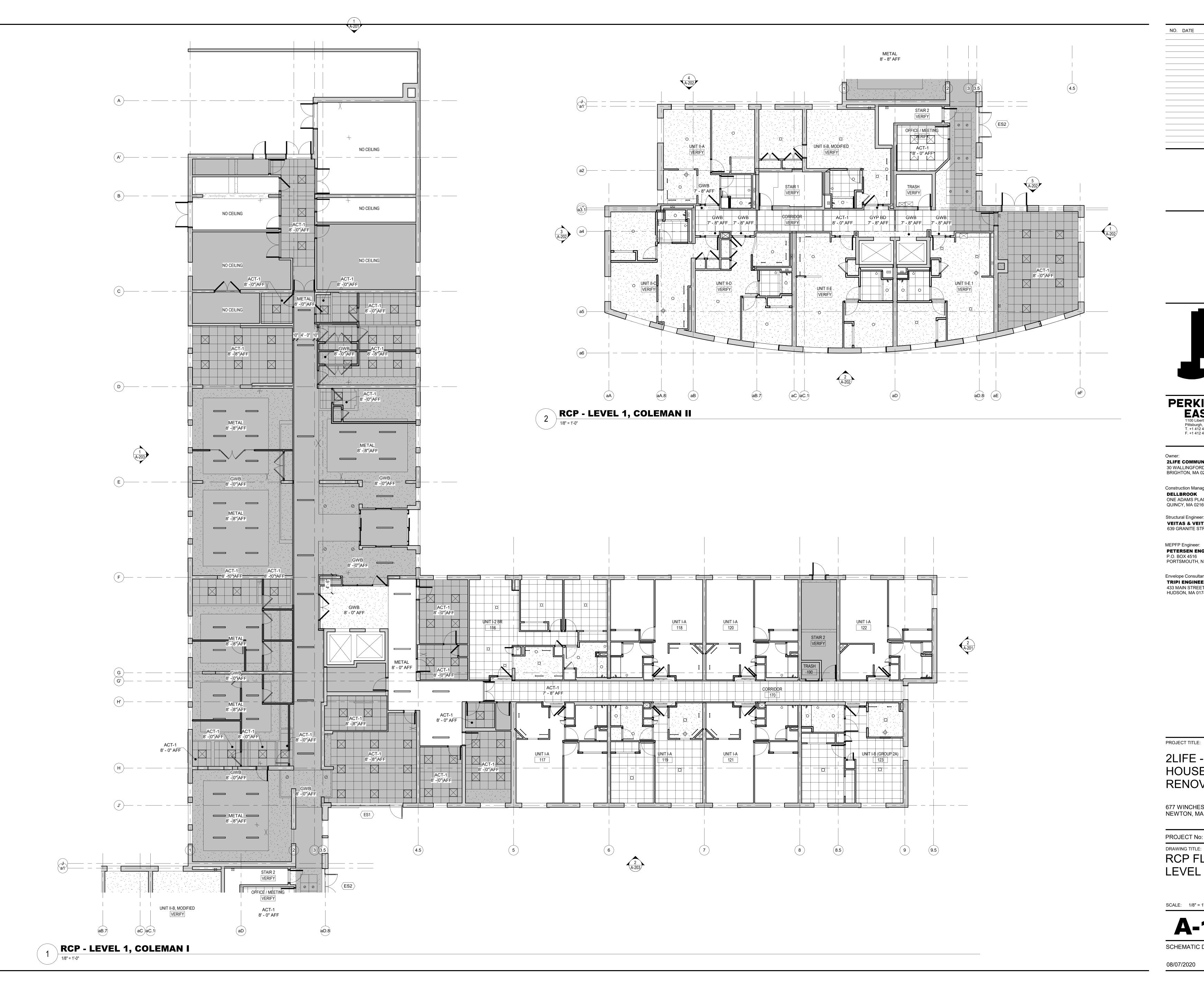
MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802

Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: **DELLBROOK** ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



NO.	DATE	ISSUE





08/07/2020	

SCHEMATIC DESIGN

SCALE: 1/8" = 1'-0" A-111b

PROJECT No: 66574.00 DRAWING TITLE: RCP FLOOR PLANS -LEVEL 1

677 WINCHESTER STREET NEWTON, MA 02459

2LIFE - COLEMAN HOUSE RENOVATIONS

Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

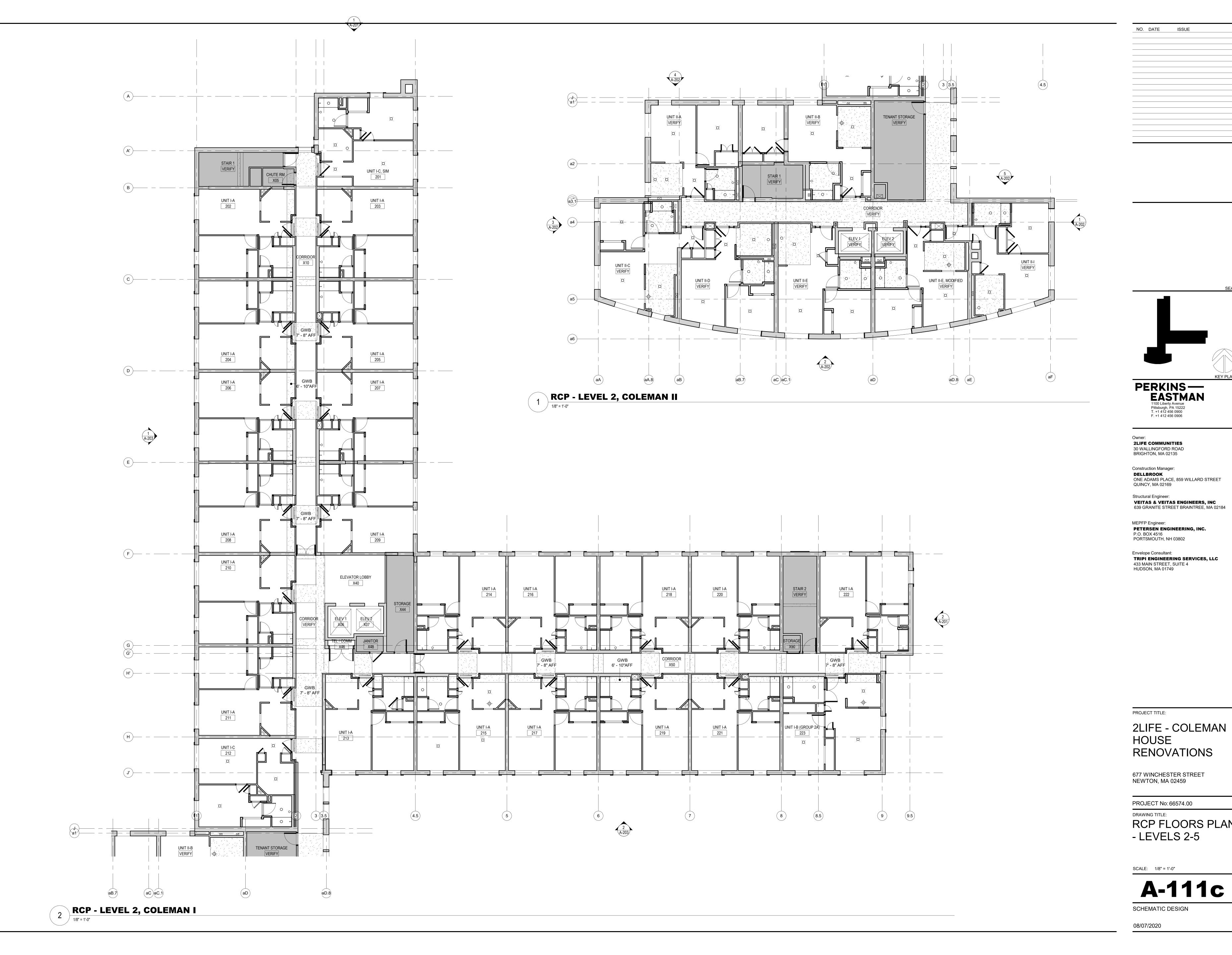
MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802

Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



NO.	DATE	ISSUE

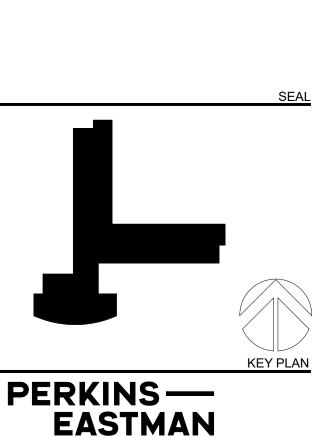


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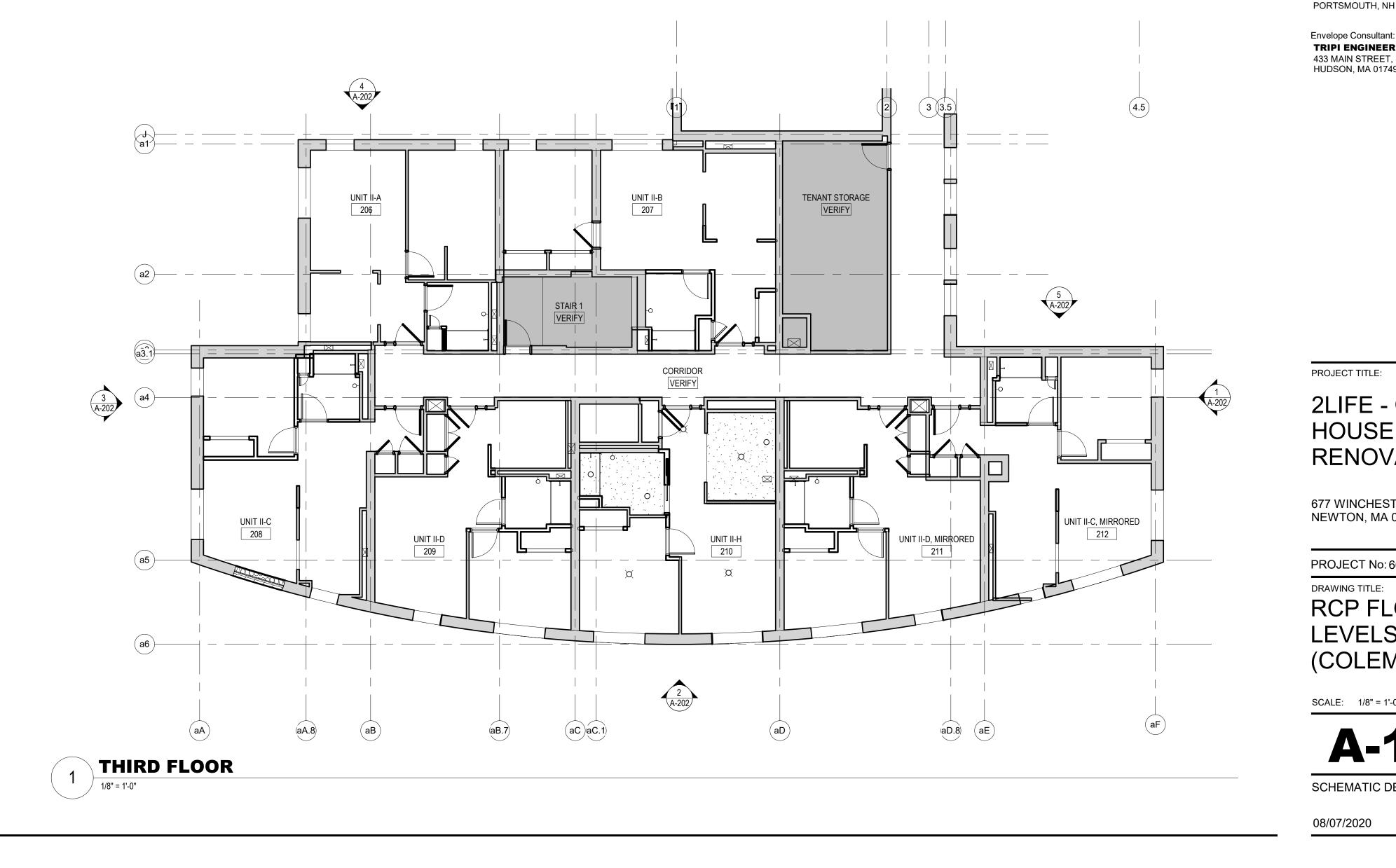
MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

PERKINS-EASTMAN 1100 Liberty Avenue Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906 Owner: 2LIFE COMMUNITIES 30 WALLINGFORD ROAD BRIGHTON, MA 02135 Construction Manager:



NO.	DATE	ISSUE	
			SEAL

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08/07/2020	

SCHEMATIC DESIGN

A-111d

NEWTON, MA 02459
PROJECT No: 66574.00
DRAWING TITLE: RCP FLOOR PLANS - LEVELS 3-5 (COLEMAN II)
SCALE: 1/8" = 1'-0"

677 WINCHESTER STREET

2LIFE - COLEMAN HOUSE RENOVATIONS

MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

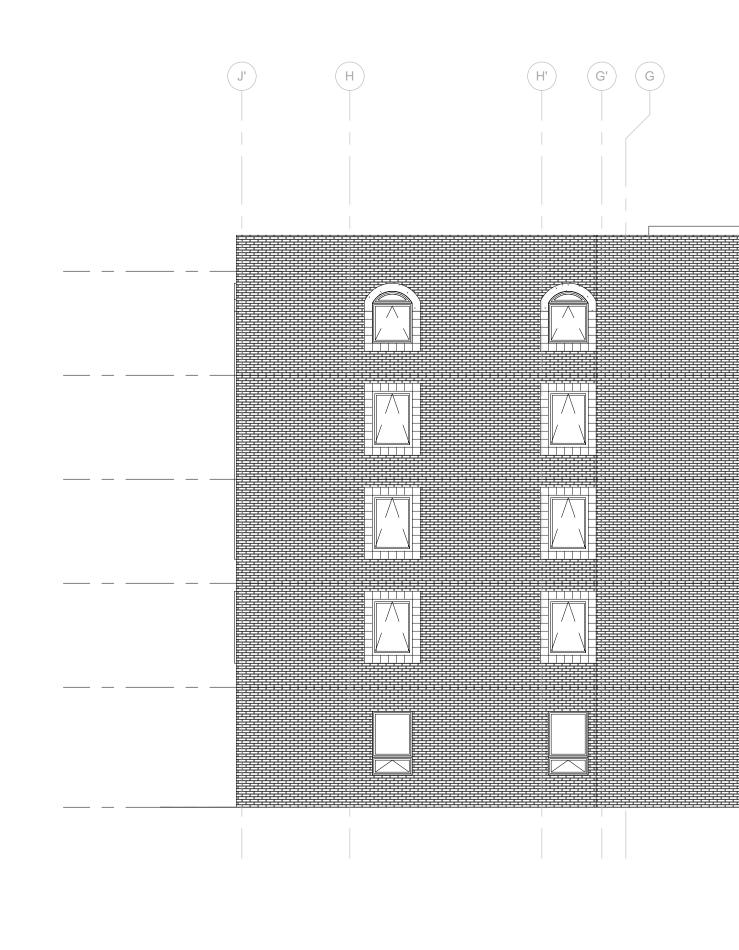
Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: **DELLBROOK** ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



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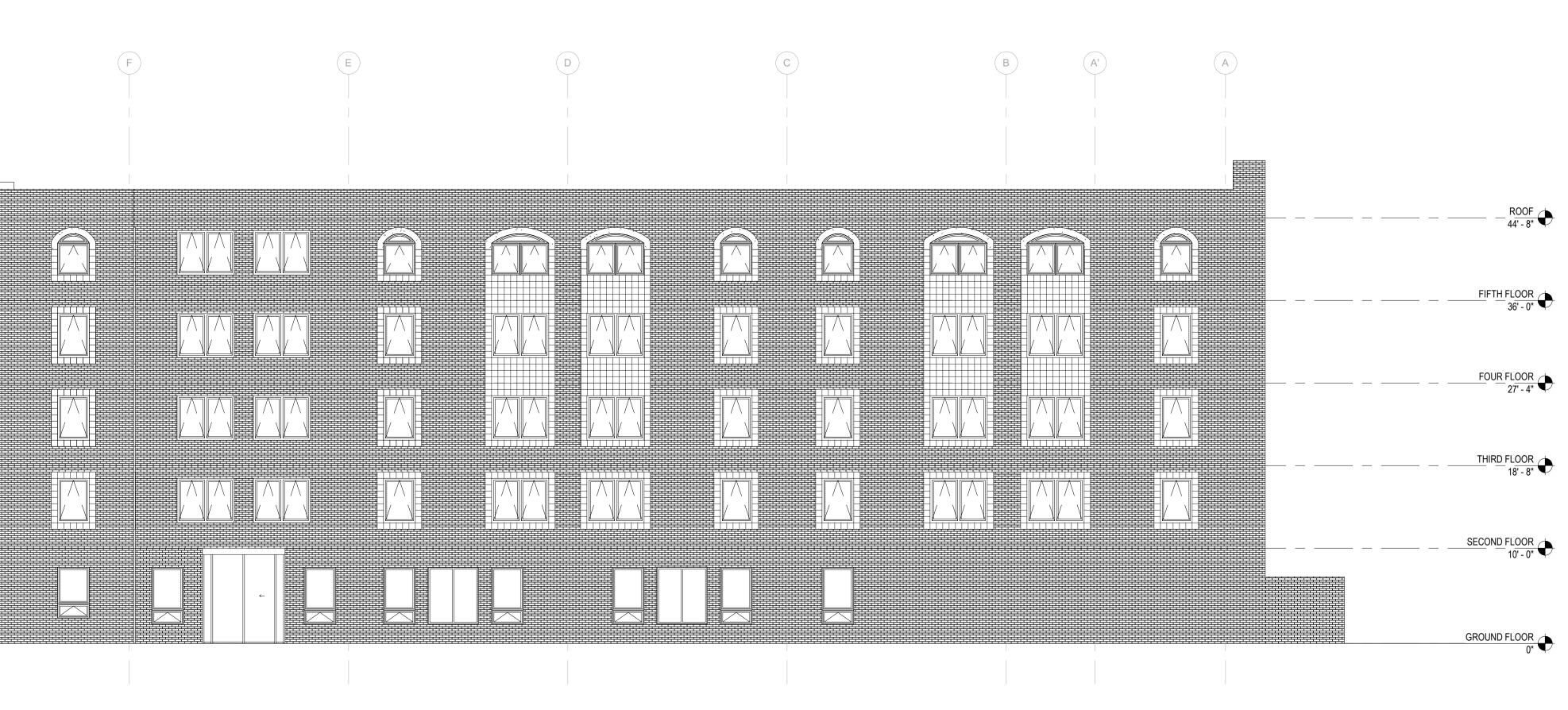
NO.	DATE	ISSUE

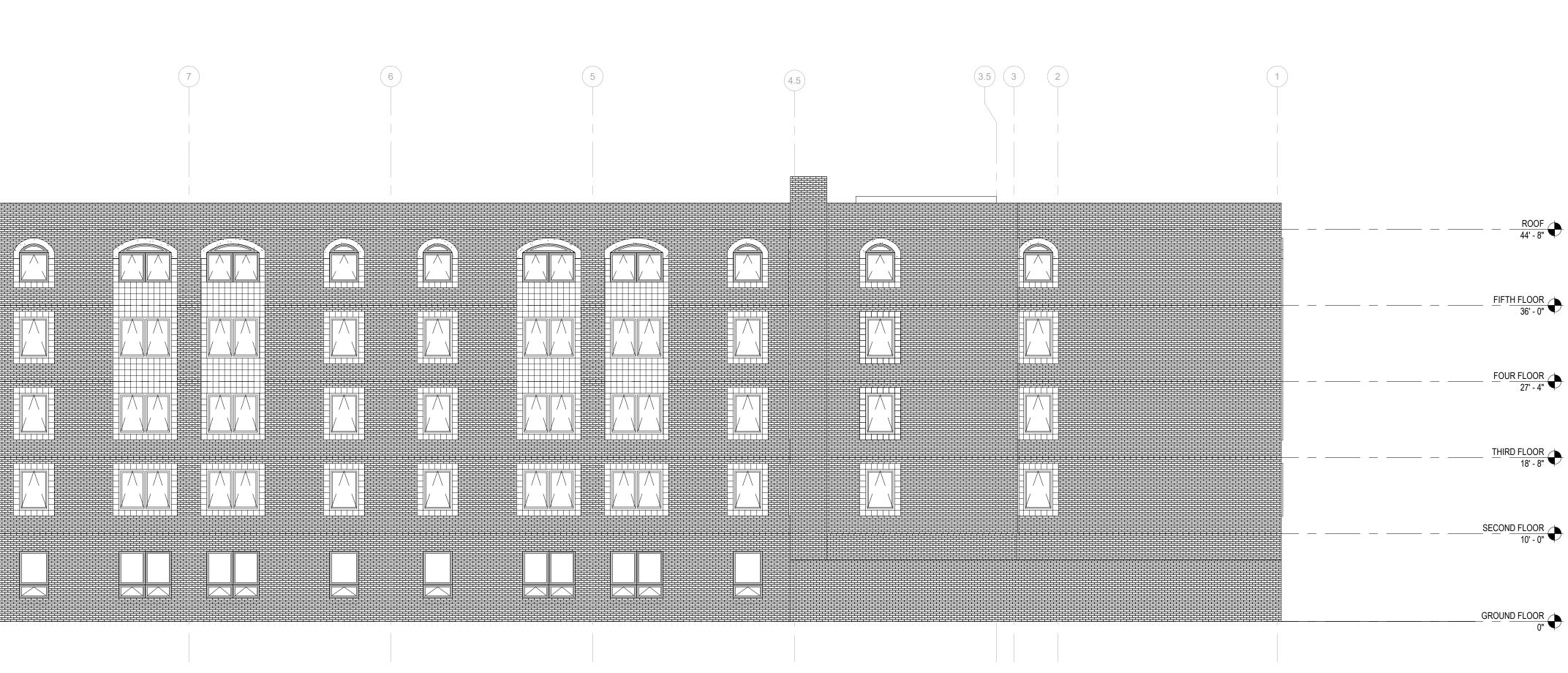






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GENERAL NOTES - EXTERIOR ELEVATIONS

ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED.
 NOT ALL ELEVATIONS SHOWN.

 REFER TO APPENDIX A - TRIPI ENGINEERING SERVICES REPORT FOR EXTERIOR REPAIR.
 THRU-WALL A/C UNITS AND SLEEVES TO BE FILLED IN WITH BRICK, MATCH EXISTING. LOCATIONS NOT YET SHOWN ON ELEVATIONS. REFER TO PHOTOS IN APPENDIX A. 2 OPENINGS PER APARTMENT UNIT.

08/07/2020

SCHEMATIC DESIGN

A-201

SCALE: As indicated

DRAWING TITLE: EXTERIOR ELEVATIONS

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

PETERSEN ENGINEERING, INC. P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: **PETERSEN ENGINEERING, INC.** P.O. BOX 4516

Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: **DELLBROOK** ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

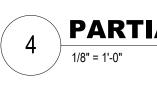
Owner: **2LIFE COMMUNITIES** 30 WALLINGFORD ROAD BRIGHTON, MA 02135

KEY PLAN **PERKINS** LI00 Liberty Avenue Pitsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906

SEAL







SOUTH ELEVATION - COLEMAN II

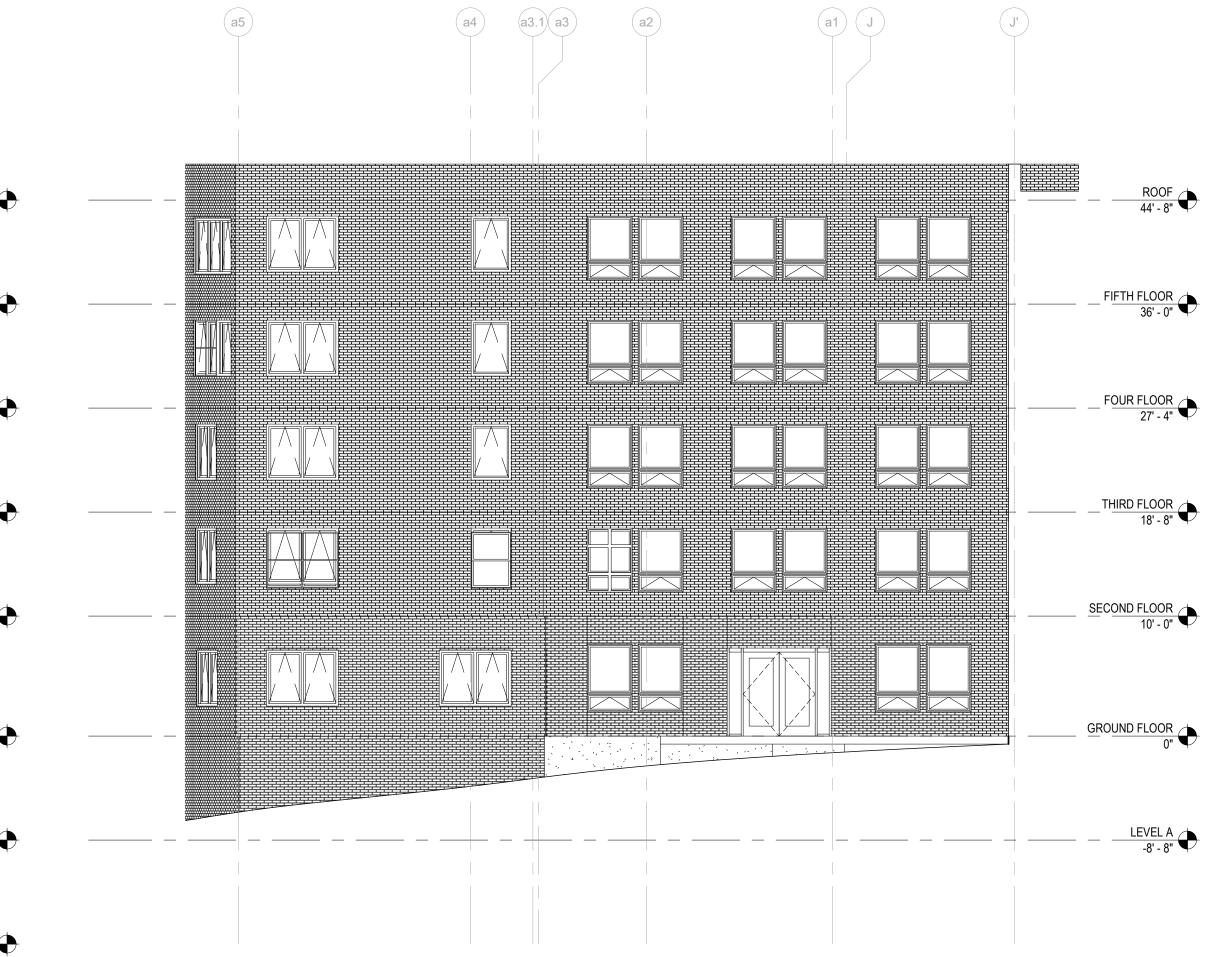
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SE <u>C</u> O						
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LOC/ :\REVIT 7/2020

C ∞

	-26' - 0"
PARTIAL NORTH ELEVATION - COLEMAN II	WEST ELEVATION - COLEMAN II
1/8" = 1'-0"	J 1/8" = 1'-0"



GENERAL NOTES - EXTERIOR ELEVATIONS

1. ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED. 2. NOT ALL ELEVATIONS SHOWN.

3. REFER TO APPENDIX A - TRIPI ENGINEERING SERVICES REPORT FOR EXTERIOR REPAIR. 4. THRU-WALL A/C UNITS AND SLEEVES TO BE FILLED IN WITH BRICK, MATCH EXISTING. LOCATIONS NOT YET SHOWN ON ELEVATIONS. REFER TO PHOTOS IN APPENDIX A. 2 OPENINGS

08/07/2020

SCHEMATIC DESIGN

A-202

SCALE: As indicated

DRAWING TITLE: ELEVATIONS

NEWTON, MA 02459 PROJECT No: 66574.00

677 WINCHESTER STREET

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

PORTSMOUTH, NH 03802 Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: PETERSEN ENGINEERING, INC. P.O. BOX 4516

Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

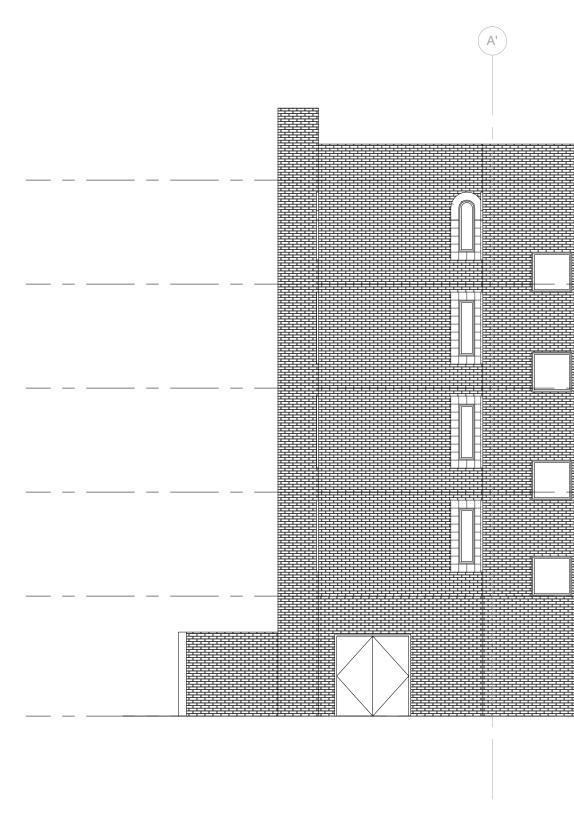
Owner: **2LIFE COMMUNITIES** 30 WALLINGFORD ROAD BRIGHTON, MA 02135



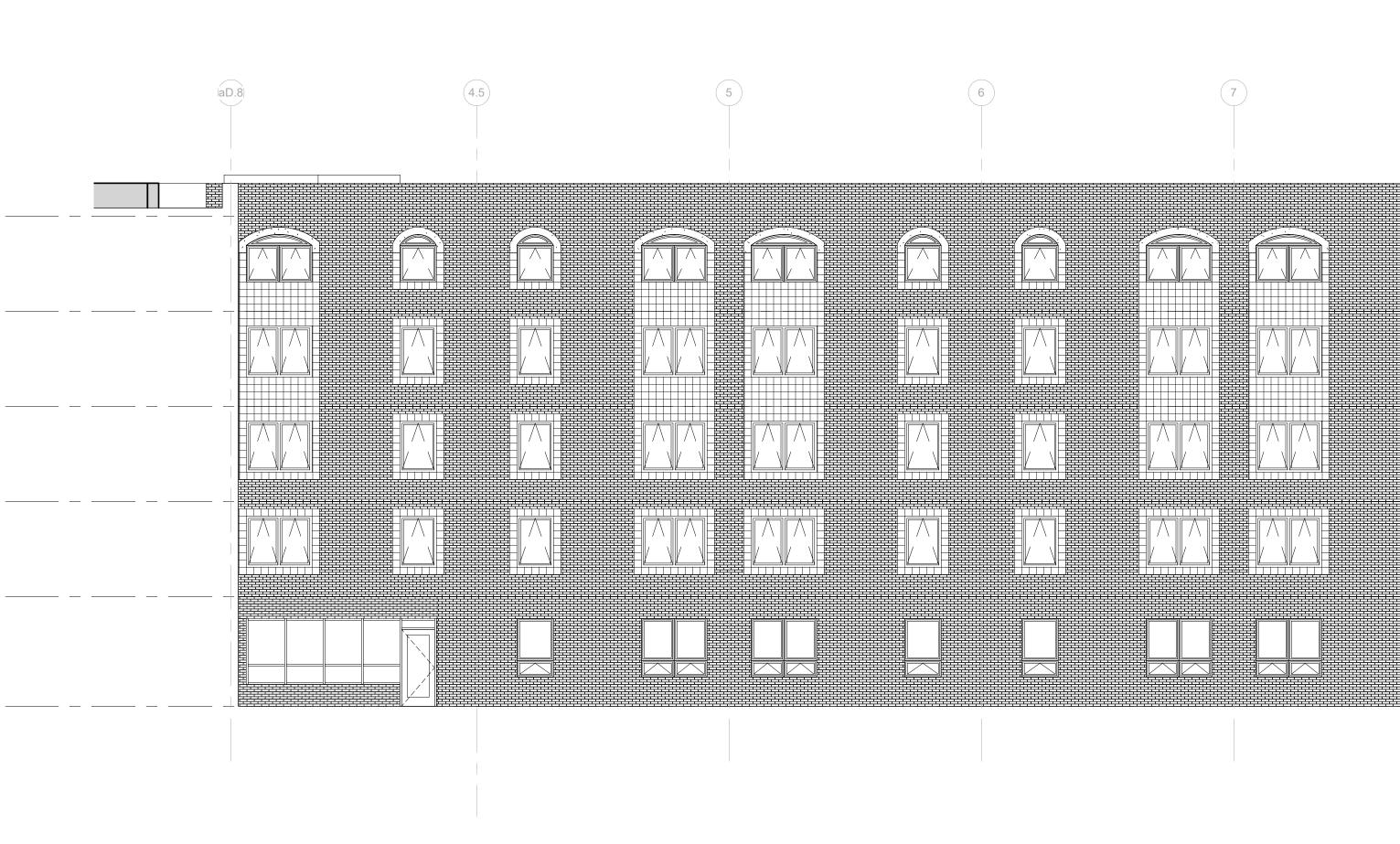
NO. DATE ISSUE



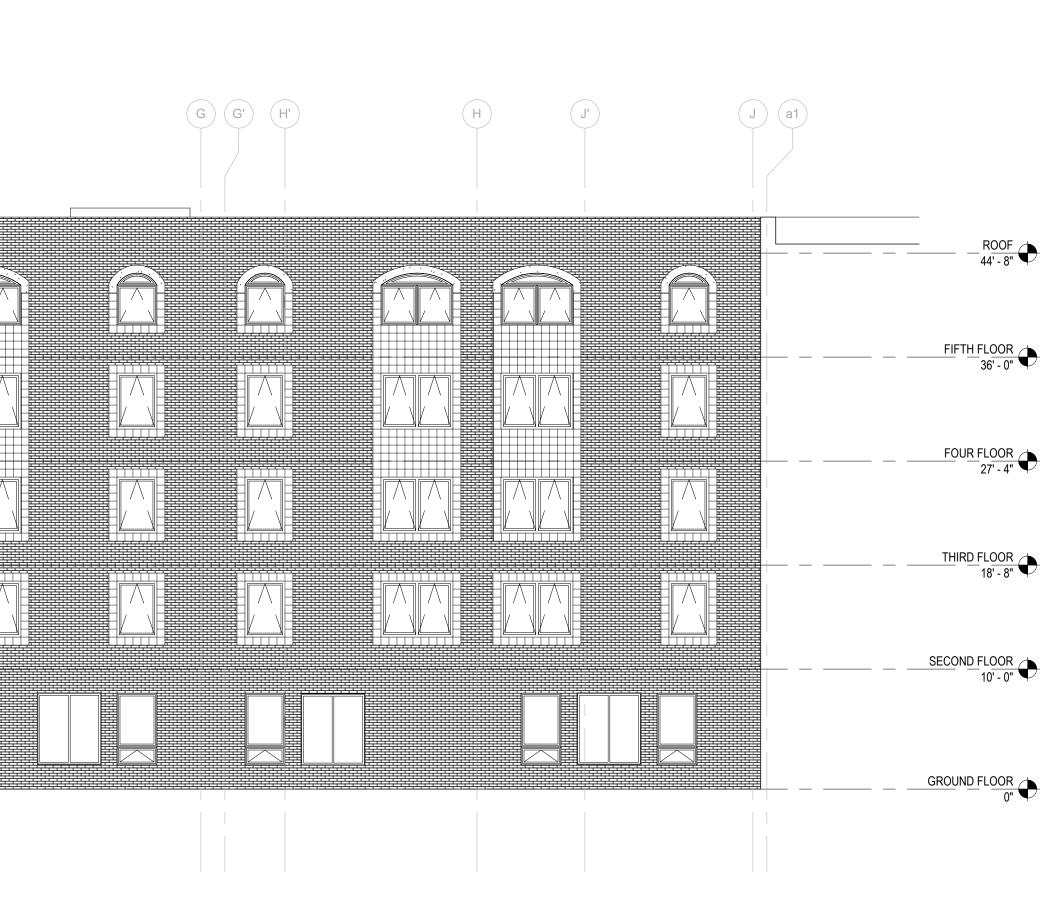


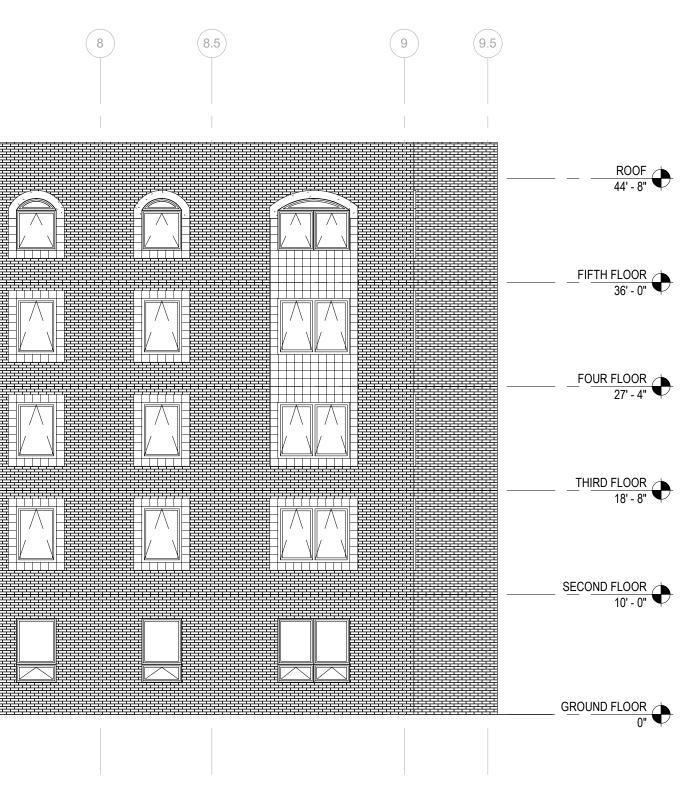






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2. NOT ALL ELEVATIONS SHOWN. 3. REFER TO APPENDIX A - TRIPI ENGINEERING SERVICES REPORT FOR EXTERIOR REPAIR. 4. THRU-WALL A/C UNITS AND SLEEVES TO BE FILLED IN WITH BRICK, MATCH EXISTING. LOCATIONS NOT YET SHOWN ON ELEVATIONS. REFER TO PHOTOS IN APPENDIX A. 2 OPENINGS PER APARTMENT UNIT.

1. ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED.

GENERAL NOTES - EXTERIOR ELEVATIONS

08/07/2020

SCHEMATIC DESIGN

A-203

SCALE: As indicated

DRAWING TITLE: ELEVATIONS

PROJECT No: 66574.00

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: PETERSEN ENGINEERING, INC.

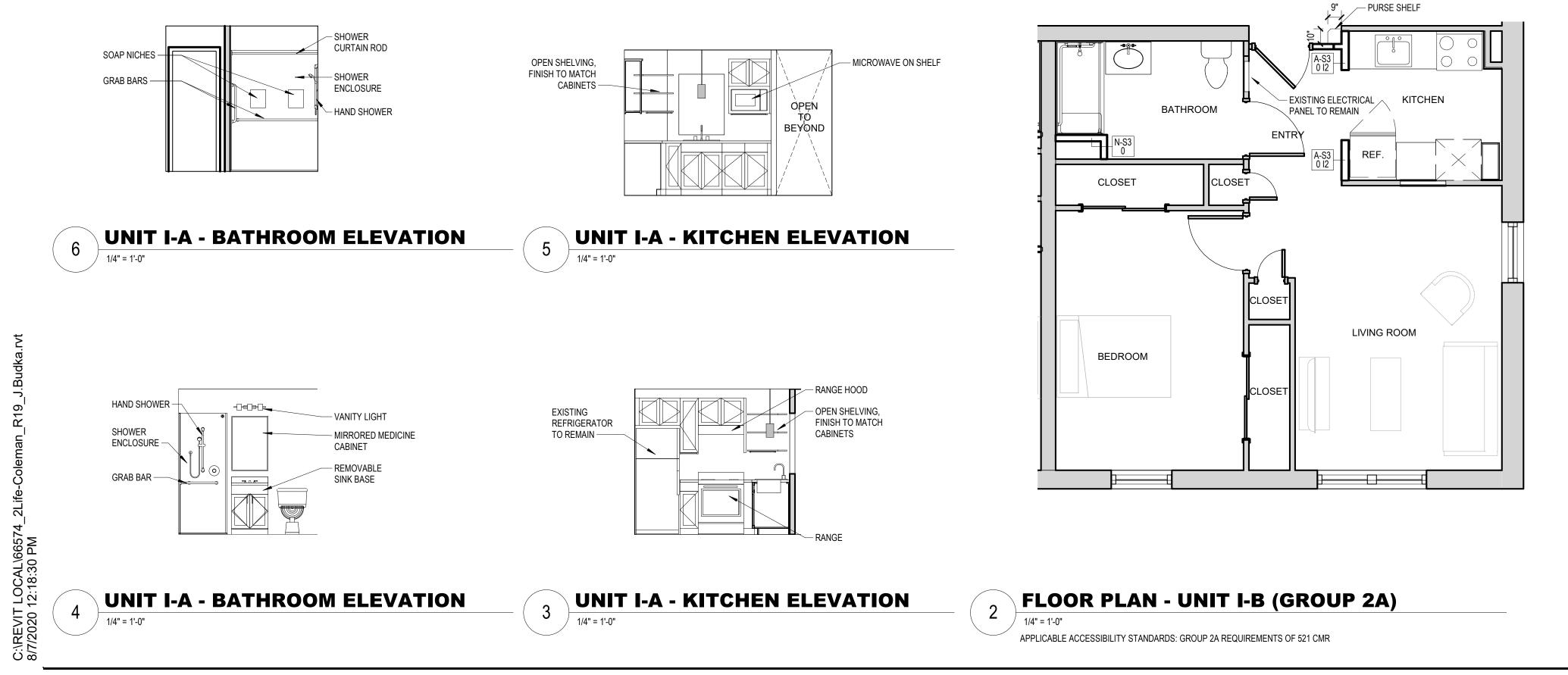
Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184

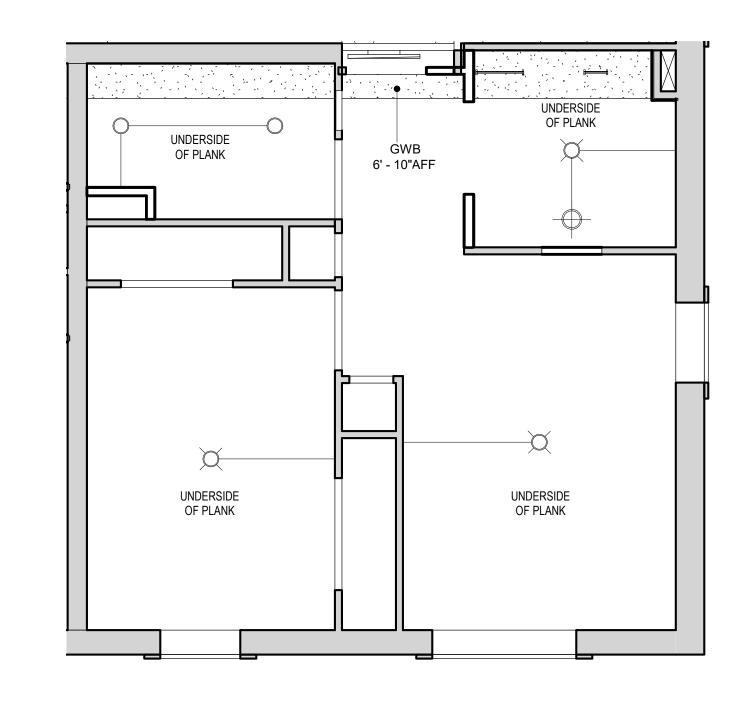
Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

Owner: **2LIFE COMMUNITIES** 30 WALLINGFORD ROAD BRIGHTON, MA 02135

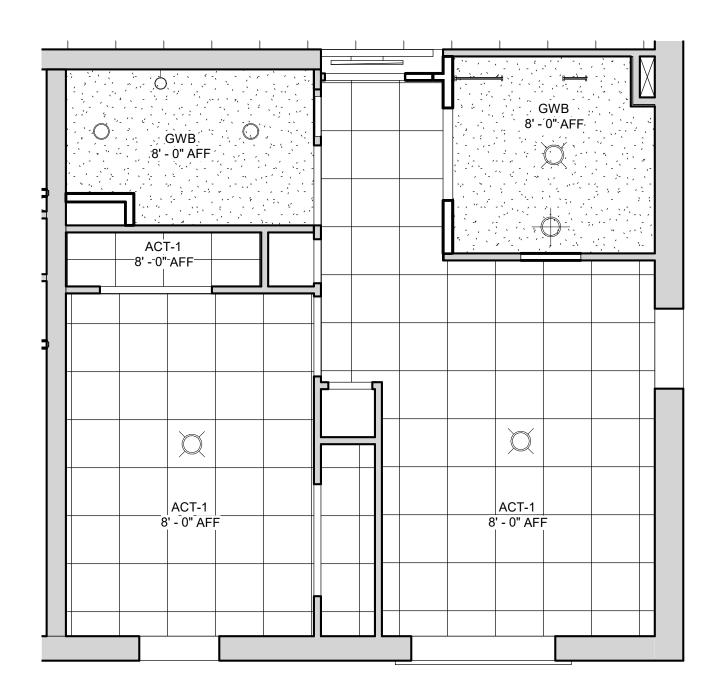
KEY PLAN PERKINS-EASTMAN 1100 Liberty Avenue Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906

NO. DATE ISSUE _____ _____ _____ _____ _____ _____ _____ _____ _____ ------_____

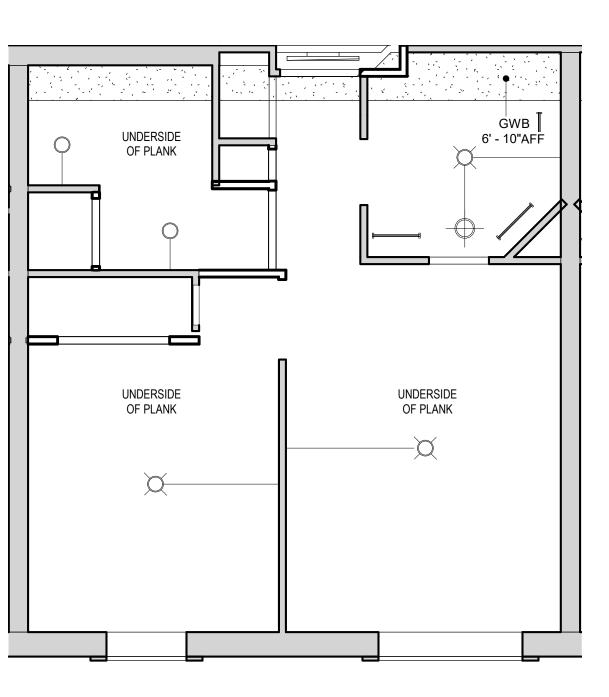




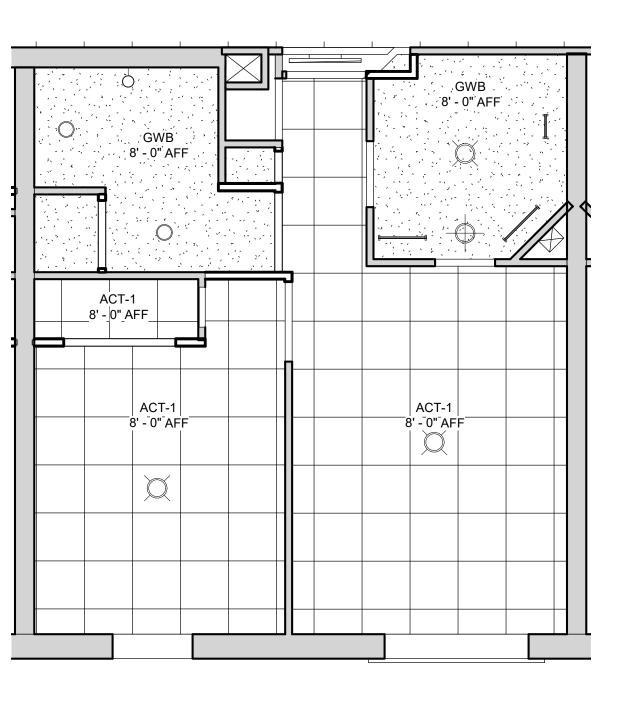








10 **RCP - UNIT I-A, LEVEL 2**



7 **RCP - UNIT I-A, LEVEL 1** 1/4" = 1'-0"

EXISTING MECHANICAL -SHAFT SHOWN FOR

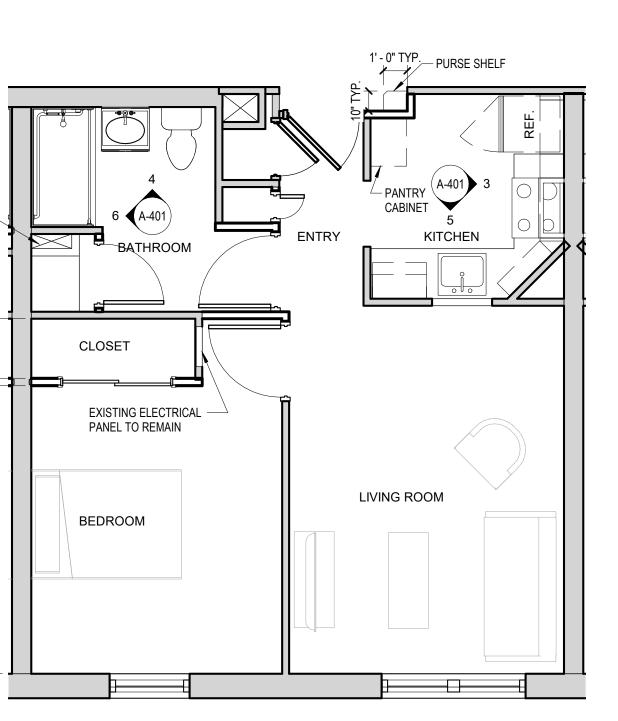
REFER TO OVERALL PLANS FOR LOCATIONS

Ā

5

1

REFERENCE ONLY,



FLOOR PLAN - UNIT I-A 1/4" = 1'-0"

GENERAL NOTES - FLOOR PLANS

1. ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED. 2. PATCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED ASSEMBLIES.

3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO.

4. UNIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL SHOWERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ATTACHMENT FLANGES.

GENERAL NOTES - UNIT REFLECTED CEILING PLANS

1. CEILING HEIGHTS NOTED ARE FROM TOP OF FINISHED FLOOR UNLESS NOTED OTHERWISE. WHEN FLOOR HEIGHT VARIES IN A ROOM, THE CEILING HEIGHT SHOWN IS THE HEIGHT ABOVE THE FLOOR LEVEL DATUM ELEVATION.

2. CENTER LIGHTING FIXTURES IN ROOM U.N.O.

3. DIMENSIONS ARE TO CENTERLINE OF DEVICES U.N.O.

4. REFER TO MEP/FP DRAWINGS FOR MORE INFORMATION.

5. REFER TO ELECTRICAL DRAWINGS FOR ACTUAL FIXTURE TYPES AND OTHER REQUIREMENTS. 6. COORDINATE ALL CEILING FIXTURES WITH EXISTING FIRE SPRINKLERS LOCATIONS, MOVE AS

REQUIRED TO AVOID CONFLICT. 7. ACCESS PANEL LOCATIONS NOT SHOWN. PROVIDE FULLY COORDINATED COMPOSITE DRAWING SUBMITTAL FOR ALL TRADES SHOWING REQUIRED ACCESS PANEL LAYOUT FOR REVIEW BY

OWNER AND ARCHITECT. 8. REFER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR WALL FIXTURE MOUNTING

HEIGHTS. 9. CEILING-MOUNTED DEVICES AND FIXTURES NOT SHOWN MUST BE ALIGNED WITH ADJACENT

DEVICES, EVENLY ARRAYED AND SYMMETRICAL IN SPACE. 10. COORDINATE BULKHEAD HEIGHTS AND UNDERCABINET LIGHTING WITH CASEWORK. ALL UNDERCABINET LIGHTING SHALL BE MOUNTED AT BACK OF WALL CABINET, WHERE CABINET

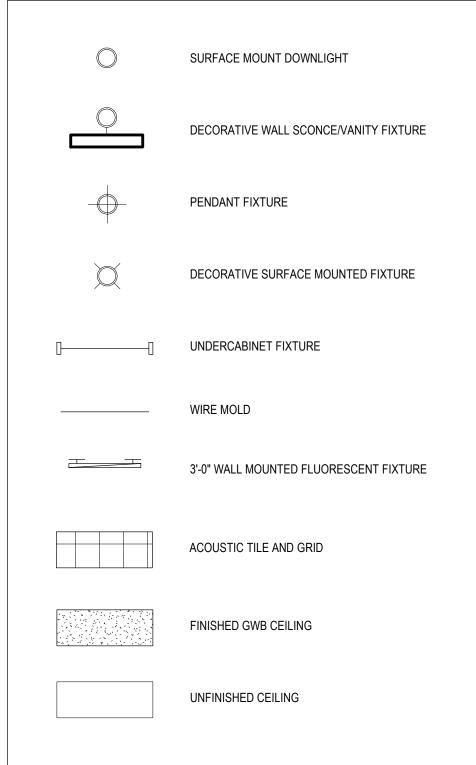
MEETS WALL, UNO. 11. FIRESTOPPING EXPOSED TO VIEW SHALL BE PAINTED TO MATCH ADJACENT WALL/CEILING.

12. CENTER VANITY WALL FIXTURES AT SINK LOCATIONS UNLESS NOTED OTHERWISE.

13. SHOWER OR TUB LIGHT FIXTURES ARE TO BE CENTERED IN SHOWER OR TUB UNIT.

14. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS OR OTHER TRADES PRIOR TO PERFORMING WORK.

CEILING PLAN LEGEND



08/07/2020	

SCHEMATIC DESIGN

A-401

SCALE: As indicated

PROJECT No: 66574.00 DRAWING TITLE: ENLARGED UNIT PLANS

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

PORTSMOUTH, NH 03802 Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: PETERSEN ENGINEERING, INC. P.O. BOX 4516

Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184

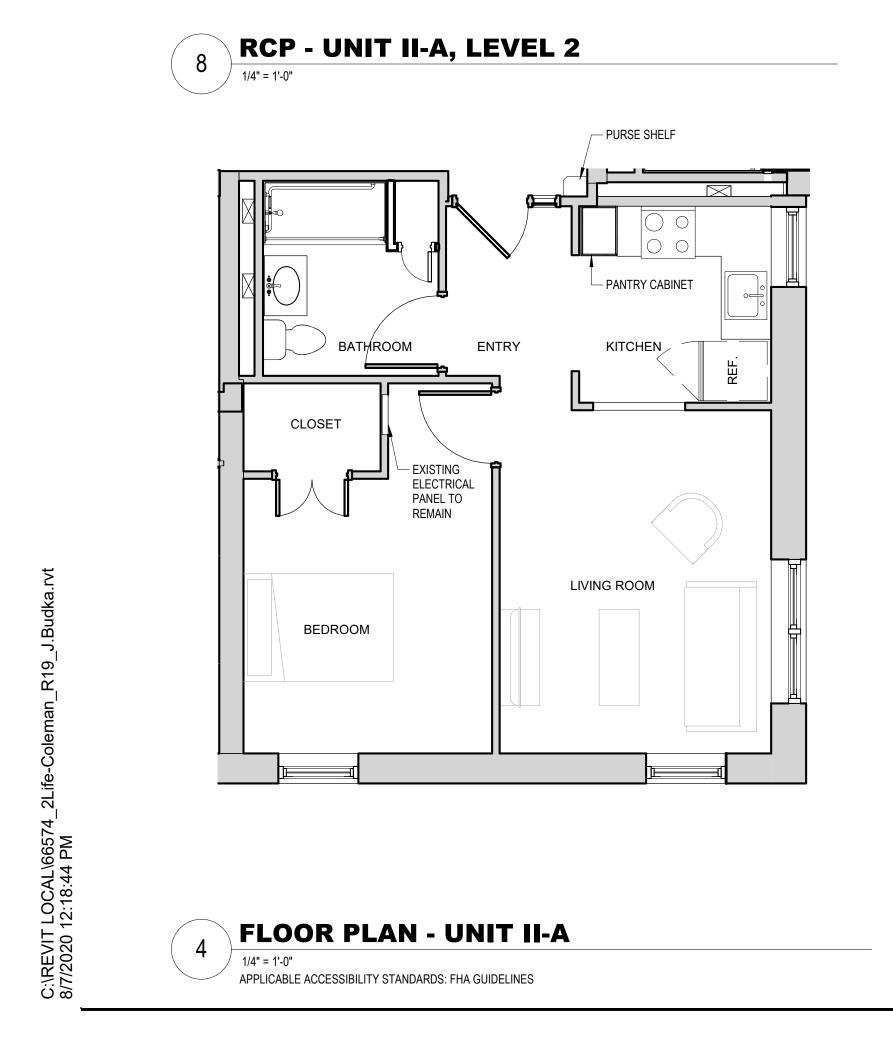
Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

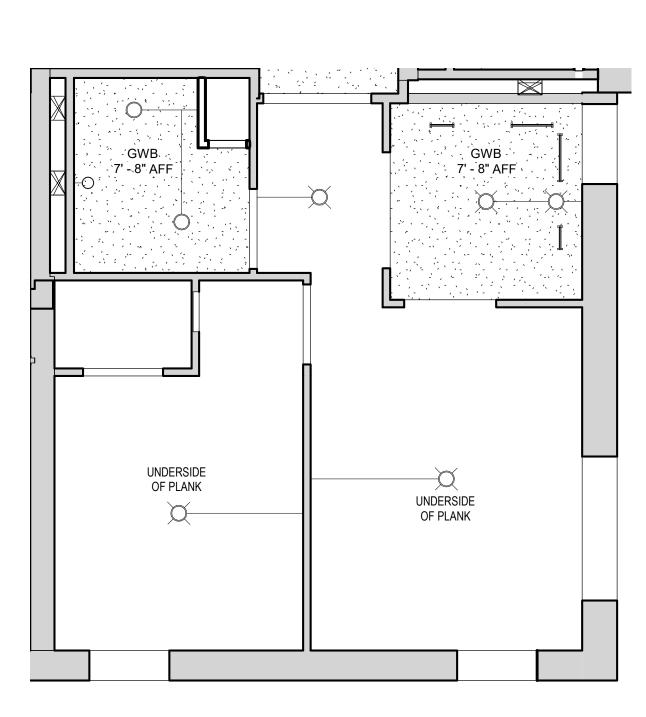
Owner: **2LIFE COMMUNITIES** 30 WALLINGFORD ROAD BRIGHTON, MA 02135

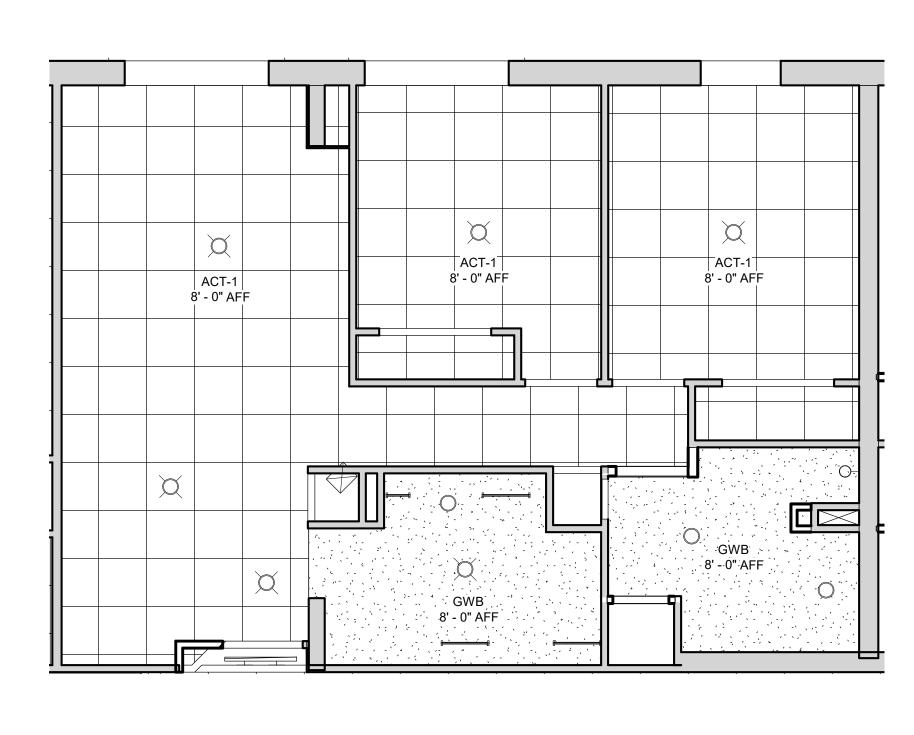
PERKINS — EASTMAN 1100 Liberty Avenue Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906

KEY PLAN

NO. DATE ISSUE _____ _____ _____ _____



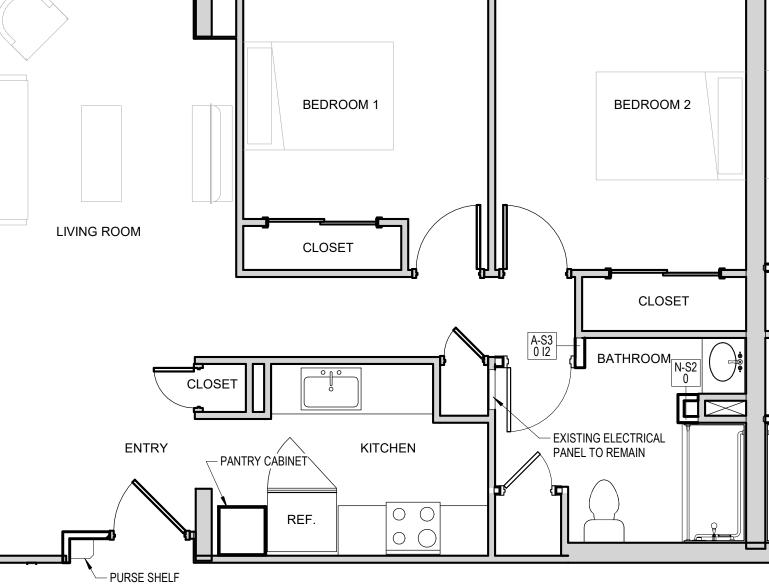




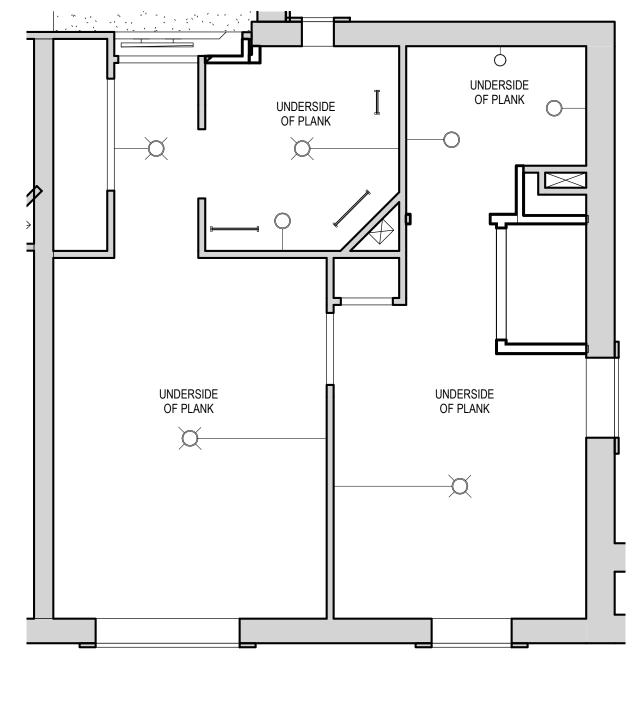


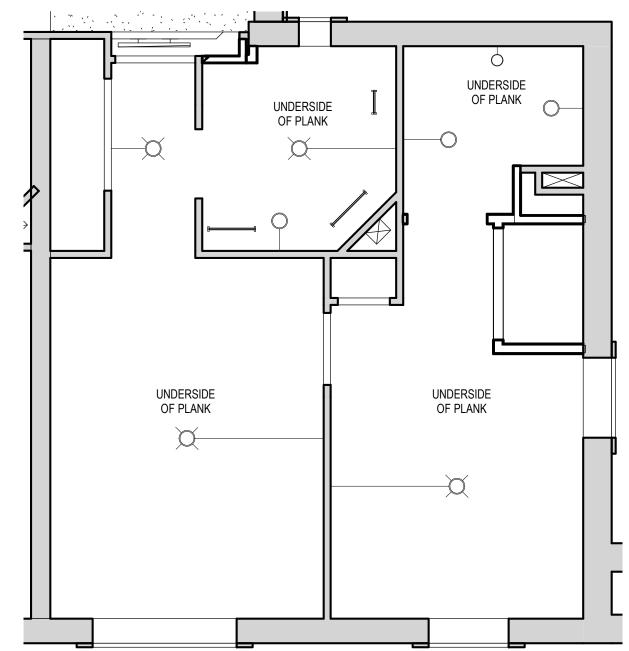


3 FLOOR PLAN - UNIT I-2BR



RCP - UNIT I-2BR 1/4" = 1'-0"





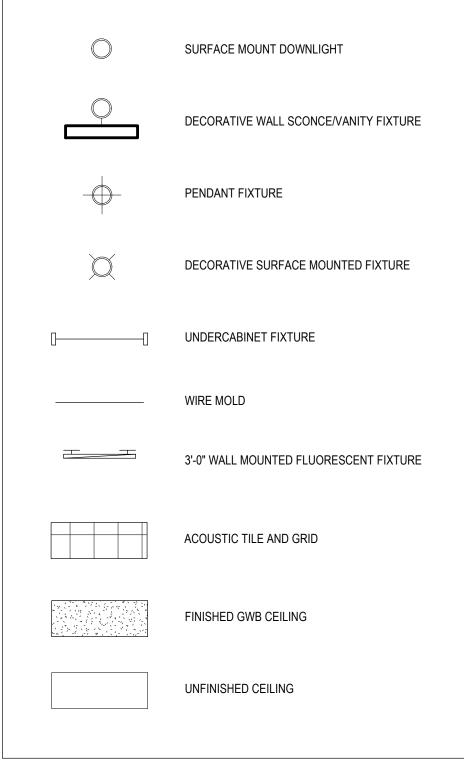


6

CLOSET

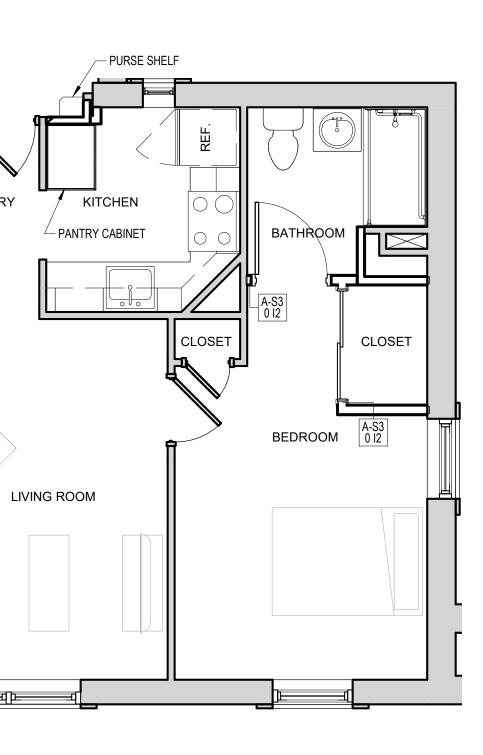
ENTRY

CEILING PLAN LEGEND

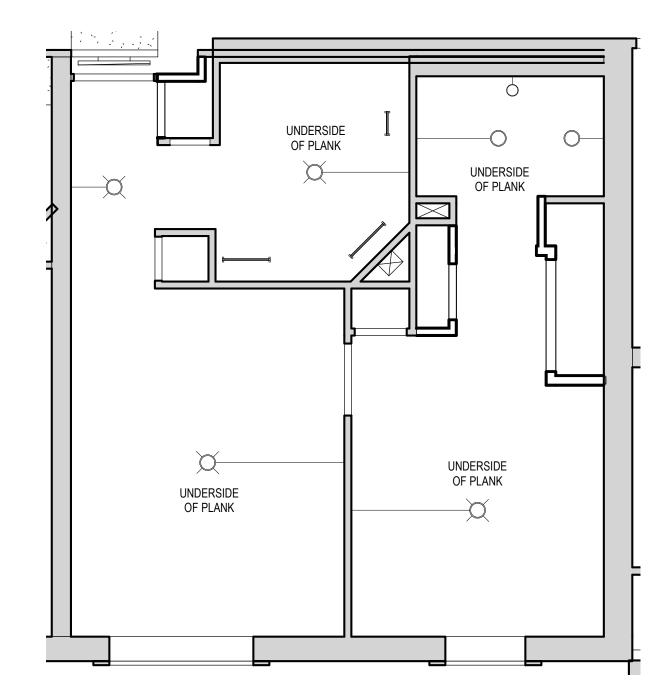


GE	NERAL NOTES - FLOOR PLANS
1. AL	L CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED.
	TCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED EMBLIES.
3. RE	FER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO.
SHO	NIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL WERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ACHMENT FLANGES.
GE	NERAL NOTES - UNIT REFLECTED CEILING PLANS
WHE	EILING HEIGHTS NOTED ARE FROM TOP OF FINISHED FLOOR UNLESS NOTED OTHERWISE. N FLOOR HEIGHT VARIES IN A ROOM, THE CEILING HEIGHT SHOWN IS THE HEIGHT ABOVE FLOOR LEVEL DATUM ELEVATION.
2. CE	ENTER LIGHTING FIXTURES IN ROOM U.N.O.
3. DII	MENSIONS ARE TO CENTERLINE OF DEVICES U.N.O.
4. RE	FER TO MEP/FP DRAWINGS FOR MORE INFORMATION.
5. RE	FER TO ELECTRICAL DRAWINGS FOR ACTUAL FIXTURE TYPES AND OTHER REQUIREMENTS.
	OORDINATE ALL CEILING FIXTURES WITH EXISTING FIRE SPRINKLERS LOCATIONS, MOVE AS UIRED TO AVOID CONFLICT.
SUBN	CCESS PANEL LOCATIONS NOT SHOWN. PROVIDE FULLY COORDINATED COMPOSITE DRAWING MITTAL FOR ALL TRADES SHOWING REQUIRED ACCESS PANEL LAYOUT FOR REVIEW BY IER AND ARCHITECT.
8. RE HEIG	FER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR WALL FIXTURE MOUNTING SHTS.
	EILING-MOUNTED DEVICES AND FIXTURES NOT SHOWN MUST BE ALIGNED WITH ADJACENT CES, EVENLY ARRAYED AND SYMMETRICAL IN SPACE.
UND	CORDINATE BULKHEAD HEIGHTS AND UNDERCABINET LIGHTING WITH CASEWORK. ALL ERCABINET LIGHTING SHALL BE MOUNTED AT BACK OF WALL CABINET, WHERE CABINET TS WALL, UNO.
11. F	IRESTOPPING EXPOSED TO VIEW SHALL BE PAINTED TO MATCH ADJACENT WALL/CEILING.
12. C	ENTER VANITY WALL FIXTURES AT SINK LOCATIONS UNLESS NOTED OTHERWISE.
13. S	HOWER OR TUB LIGHT FIXTURES ARE TO BE CENTERED IN SHOWER OR TUB UNIT.
	IOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS OR OTHER TRADES PRIOR ERFORMING WORK.

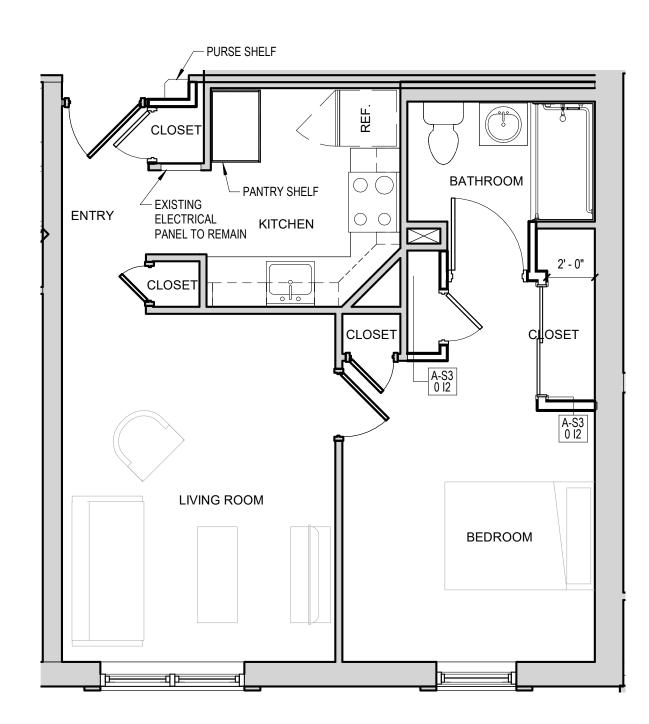
RCP - UNIT I-C CORNER, LEVEL 2



FLOOR PLAN - UNIT I-C CORNER



5 **RCP - UNIT I-C**



1 FLOOR PLAN - UNIT I-C

FIELD VERIFY LOCATION OF EXISTING ELECTRICAL PANEL, LOCATION UNKNOWN FROM AS-BUILT DRAWINGS

08/07/2020	

SCHEMATIC DESIGN

A-402

SCALE: As indicated

PROJECT No: 66574.00 DRAWING TITLE: ENLARGED UNIT PLANS

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: PETERSEN ENGINEERING, INC.

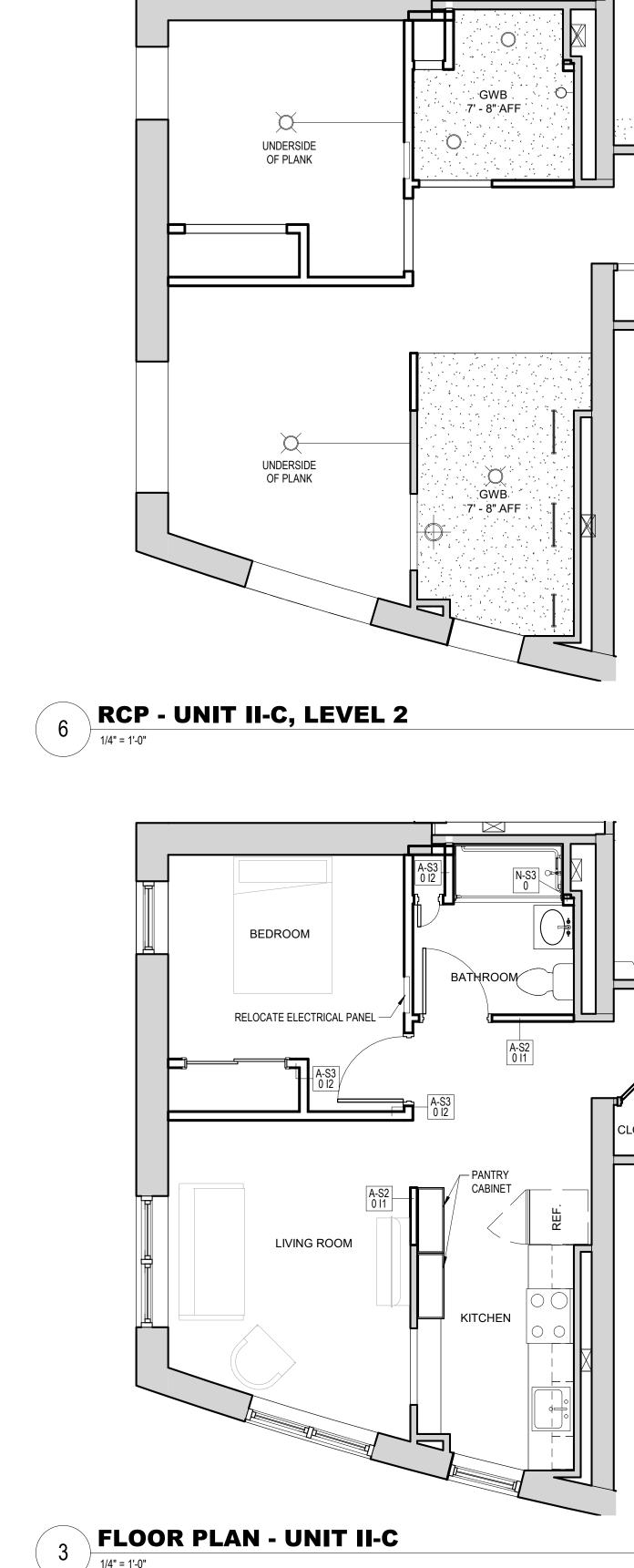
Structural Engineer: VEITAS & VEITAS ENGINEERS, INC 639 GRANITE STREET BRAINTREE, MA 02184

Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



			SEAL
		(

NO.	DATE	ISSUE



APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES

⁻LOCAL\6 12:18:53 REVIT 7/2020

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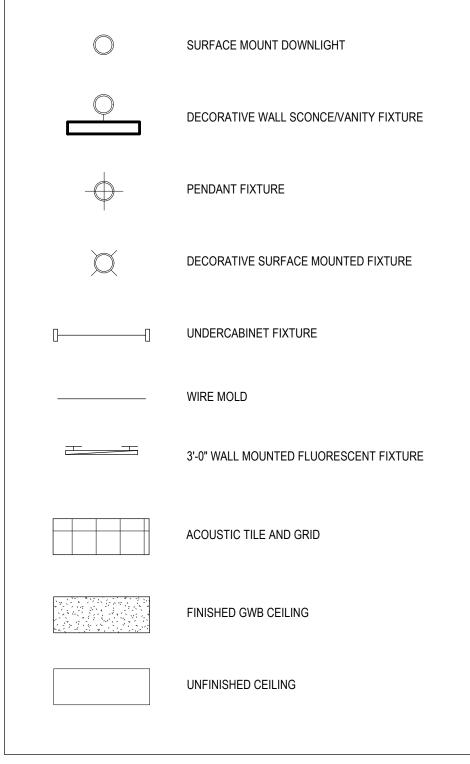


FLOOR PLAN - UNIT II-B MODIFIED

1/4" = 1'-0" APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES

ENTRY CLOSET CLOSET

CEILING PLAN LEGEND



GENERAL NOTES - FLOOR PLANS 1. ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED. 2. PATCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED ASSEMBLIES. 3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO. 4. UNIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL SHOWERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ATTACHMENT FLANGES. GENERAL NOTES - UNIT REFLECTED CEILING PLANS 1. CEILING HEIGHTS NOTED ARE FROM TOP OF FINISHED FLOOR UNLESS NOTED OTHERWISE. WHEN FLOOR HEIGHT VARIES IN A ROOM, THE CEILING HEIGHT SHOWN IS THE HEIGHT ABOVE THE FLOOR LEVEL DATUM ELEVATION. 2. CENTER LIGHTING FIXTURES IN ROOM U.N.O. 3. DIMENSIONS ARE TO CENTERLINE OF DEVICES U.N.O. 4. REFER TO MEP/FP DRAWINGS FOR MORE INFORMATION. 5. REFER TO ELECTRICAL DRAWINGS FOR ACTUAL FIXTURE TYPES AND OTHER REQUIREMENTS. 6. COORDINATE ALL CEILING FIXTURES WITH EXISTING FIRE SPRINKLERS LOCATIONS, MOVE AS REQUIRED TO AVOID CONFLICT. 7. ACCESS PANEL LOCATIONS NOT SHOWN. PROVIDE FULLY COORDINATED COMPOSITE DRAWING SUBMITTAL FOR ALL TRADES SHOWING REQUIRED ACCESS PANEL LAYOUT FOR REVIEW BY OWNER AND ARCHITECT. 8. REFER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR WALL FIXTURE MOUNTING HEIGHTS. 9. CEILING-MOUNTED DEVICES AND FIXTURES NOT SHOWN MUST BE ALIGNED WITH ADJACENT DEVICES, EVENLY ARRAYED AND SYMMETRICAL IN SPACE. 10. COORDINATE BULKHEAD HEIGHTS AND UNDERCABINET LIGHTING WITH CASEWORK. ALL UNDERCABINET LIGHTING SHALL BE MOUNTED AT BACK OF WALL CABINET, WHERE CABINET MEETS WALL, UNO.

11. FIRESTOPPING EXPOSED TO VIEW SHALL BE PAINTED TO MATCH ADJACENT WALL/CEILING.

14. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS OR OTHER TRADES PRIOR

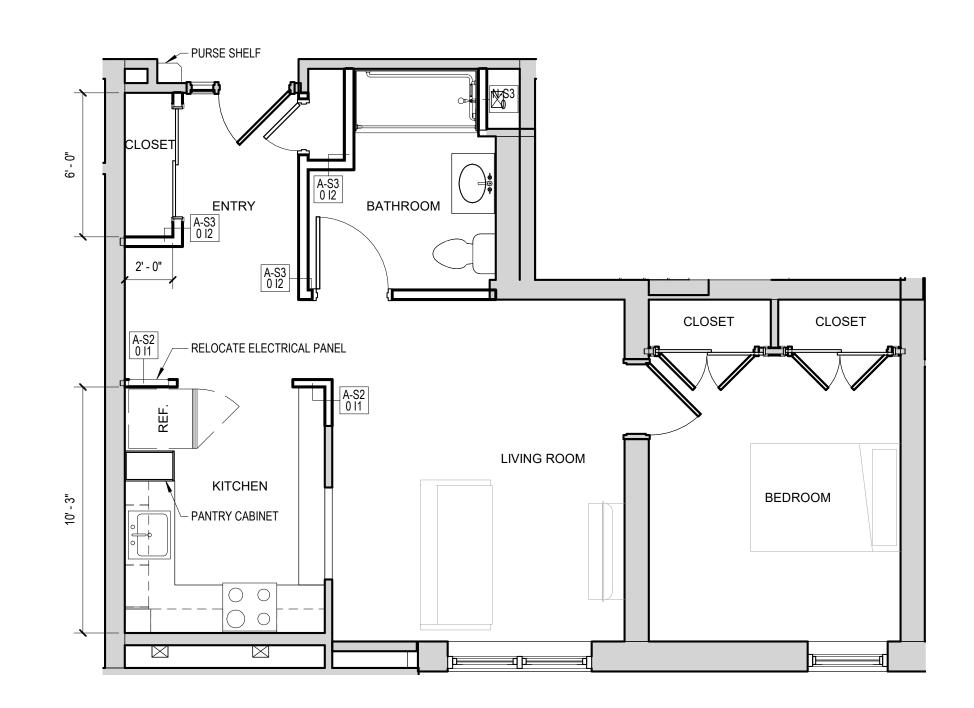
12. CENTER VANITY WALL FIXTURES AT SINK LOCATIONS UNLESS NOTED OTHERWISE.

13. SHOWER OR TUB LIGHT FIXTURES ARE TO BE CENTERED IN SHOWER OR TUB UNIT.

GWB 7' - 8" AFF $-\chi$ UNDERSIDE OF PLANK UNDERSIDE OF PLANK UNDERSIDE OF PLANK GWB , 7' - ,8" AFF Q- $-\Delta$ · · ` \bowtie \bowtie

TO PERFORMING WORK.





08/07/2020

SCHEMATIC DESIGN

A-403

SCALE: As indicated

PROJECT No: 66574.00 DRAWING TITLE: ENLARGED UNIT PLANS

677 WINCHESTER STREET NEWTON, MA 02459

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

P.O. BOX 4516 PORTSMOUTH, NH 03802 Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

MEPFP Engineer: PETERSEN ENGINEERING, INC.

Structural Engineer: **VEITAS & VEITAS ENGINEERS, INC** 639 GRANITE STREET BRAINTREE, MA 02184

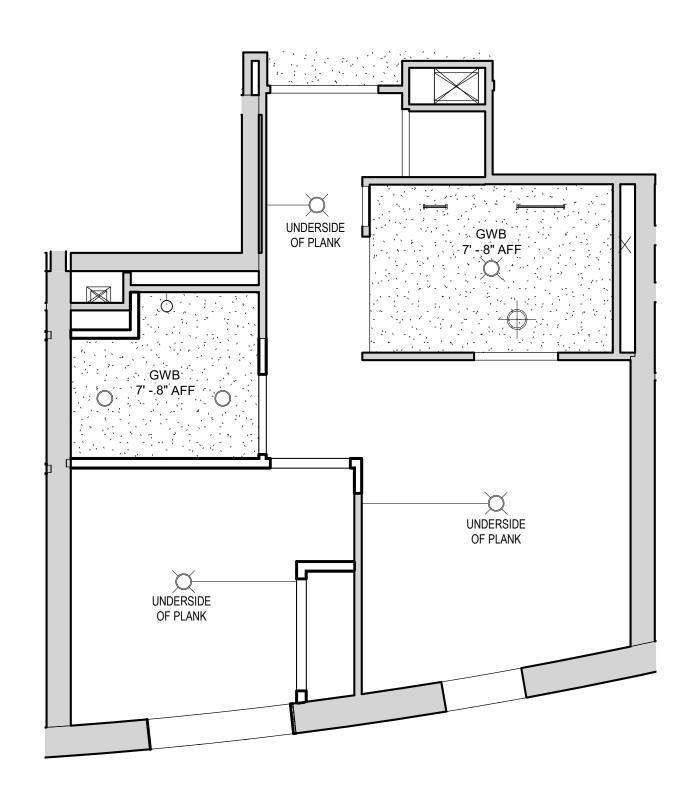
Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

Owner: 2LIFE COMMUNITIES 30 WALLINGFORD ROAD BRIGHTON, MA 02135

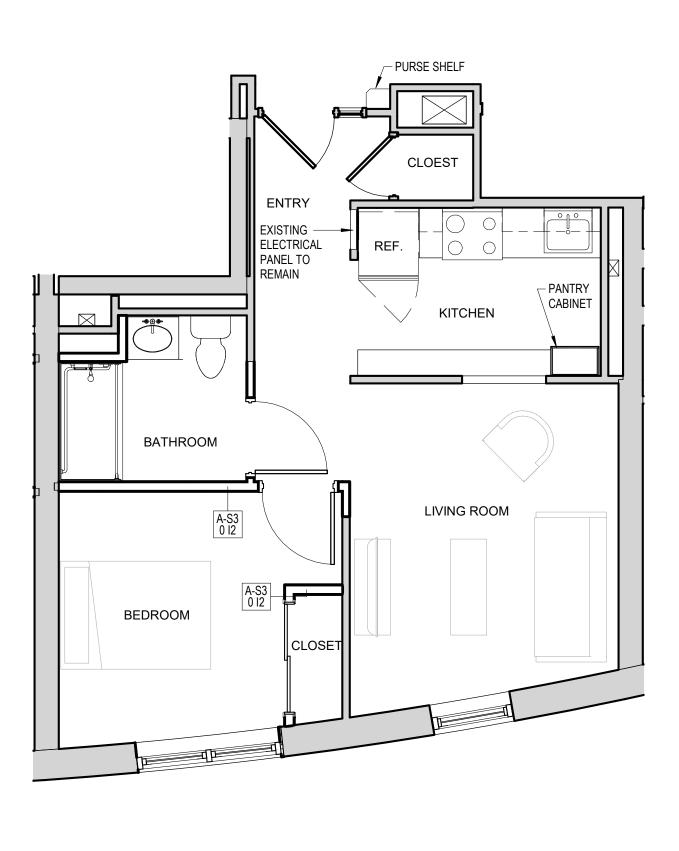
PERKINS — **EASTMAN** 1100 Liberty Avenue Pittsburgh, PA 15222 T. +1 412 456 0900 F. +1 412 456 0906

KEY PLAN

NO. DATE ISSUE _____ -----_____







FLOOR PLAN - UNIT II-E MODIFIED

APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES

1/4" = 1'-0"





1/4" = 1'-0" APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES FIELD VERIFY LOCATION OF EXISTING ELECTRICAL PANEL, LOCATION UNKNOWN FROM AS-BUILT DRAWINGS

3

FLOOR PLAN - UNIT II-E (2) <u>1/4" = 1'-0"</u> APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES

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CEILING PLAN LEGEND

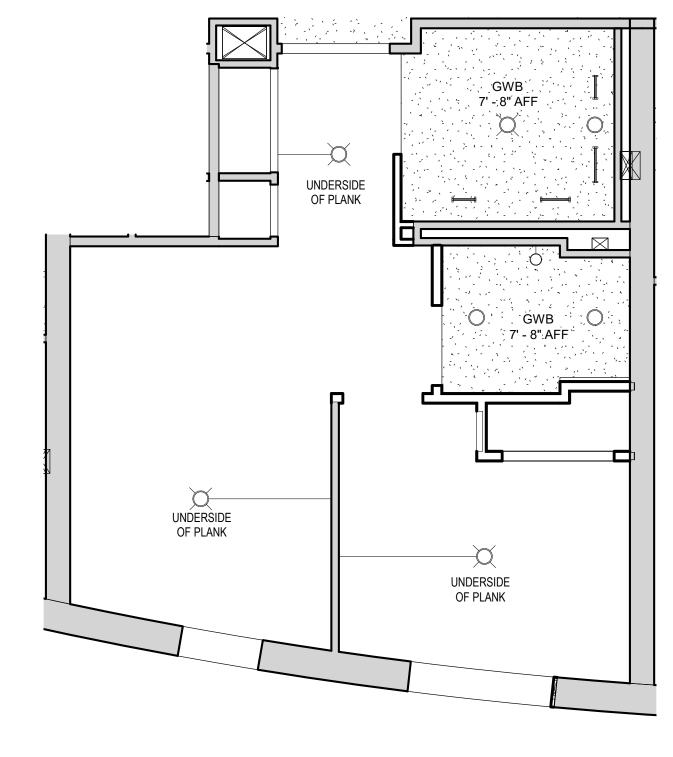
\bigcirc	SURFACE MOUNT DOWNLIGHT
\bigcirc	DECORATIVE WALL SCONCE/VANITY FIXTURE
	PENDANT FIXTURE
X	DECORATIVE SURFACE MOUNTED FIXTURE
[]	UNDERCABINET FIXTURE
	WIRE MOLD
	3'-0" WALL MOUNTED FLUORESCENT FIXTURE
	ACOUSTIC TILE AND GRID
	FINISHED GWB CEILING
	UNFINISHED CEILING

GENERAL NOTES - FLOOR PLANS 1. ALL CONDITIONS SHOULD BE FIELD VERIFIED BEFORE NEW WORK IS TO BE COMMENCED. 2. PATCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED ASSEMBLIES. 3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO. 4. UNIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL SHOWERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ATTACHMENT FLANGES. **GENERAL NOTES - UNIT REFLECTED CEILING PLANS** 1. CEILING HEIGHTS NOTED ARE FROM TOP OF FINISHED FLOOR UNLESS NOTED OTHERWISE. WHEN FLOOR HEIGHT VARIES IN A ROOM, THE CEILING HEIGHT SHOWN IS THE HEIGHT ABOVE THE FLOOR LEVEL DATUM ELEVATION. 2. CENTER LIGHTING FIXTURES IN ROOM U.N.O. 3. DIMENSIONS ARE TO CENTERLINE OF DEVICES U.N.O. 4. REFER TO MEP/FP DRAWINGS FOR MORE INFORMATION. 5. REFER TO ELECTRICAL DRAWINGS FOR ACTUAL FIXTURE TYPES AND OTHER REQUIREMENTS. 6. COORDINATE ALL CEILING FIXTURES WITH EXISTING FIRE SPRINKLERS LOCATIONS, MOVE AS REQUIRED TO AVOID CONFLICT. 7. ACCESS PANEL LOCATIONS NOT SHOWN. PROVIDE FULLY COORDINATED COMPOSITE DRAWING SUBMITTAL FOR ALL TRADES SHOWING REQUIRED ACCESS PANEL LAYOUT FOR REVIEW BY OWNER AND ARCHITECT. 8. REFER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR WALL FIXTURE MOUNTING HEIGHTS. 9. CEILING-MOUNTED DEVICES AND FIXTURES NOT SHOWN MUST BE ALIGNED WITH ADJACENT DEVICES, EVENLY ARRAYED AND SYMMETRICAL IN SPACE. 10. COORDINATE BULKHEAD HEIGHTS AND UNDERCABINET LIGHTING WITH CASEWORK. ALL UNDERCABINET LIGHTING SHALL BE MOUNTED AT BACK OF WALL CABINET, WHERE CABINET MEETS WALL, UNO. 11. FIRESTOPPING EXPOSED TO VIEW SHALL BE PAINTED TO MATCH ADJACENT WALL/CEILING. 12. CENTER VANITY WALL FIXTURES AT SINK LOCATIONS UNLESS NOTED OTHERWISE.

13. SHOWER OR TUB LIGHT FIXTURES ARE TO BE CENTERED IN SHOWER OR TUB UNIT.

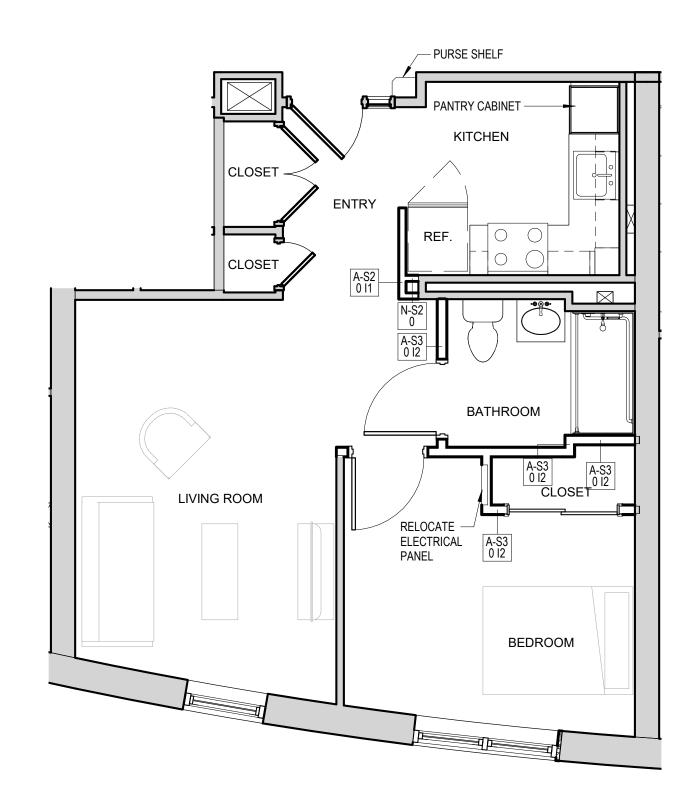
14. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS OR OTHER TRADES PRIOR

Гп GWB 7' - 8" AFF Ó, UNDERSIDE OF PLANK - O



TO PERFORMING WORK.





FLOOR PLAN - UNIT II-D 1/4" = 1'-0"

APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES

CLOSET ENTRY A-S3 0 I2 BEDROOM

08/07/2020	

SCHEMATIC DESIGN



SCALE: As indicated

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677 WINCHESTER STREET NEWTON, MA 02459

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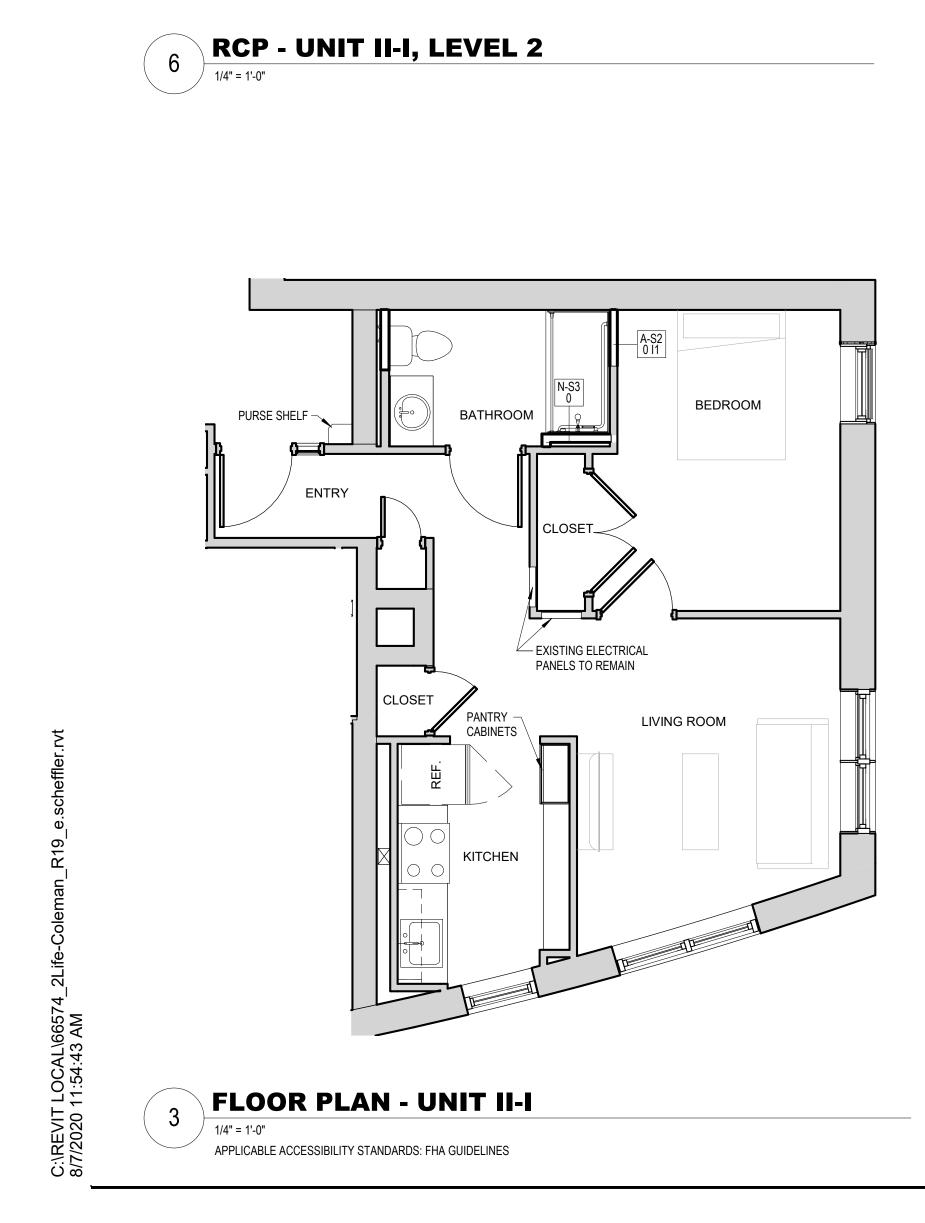
Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169

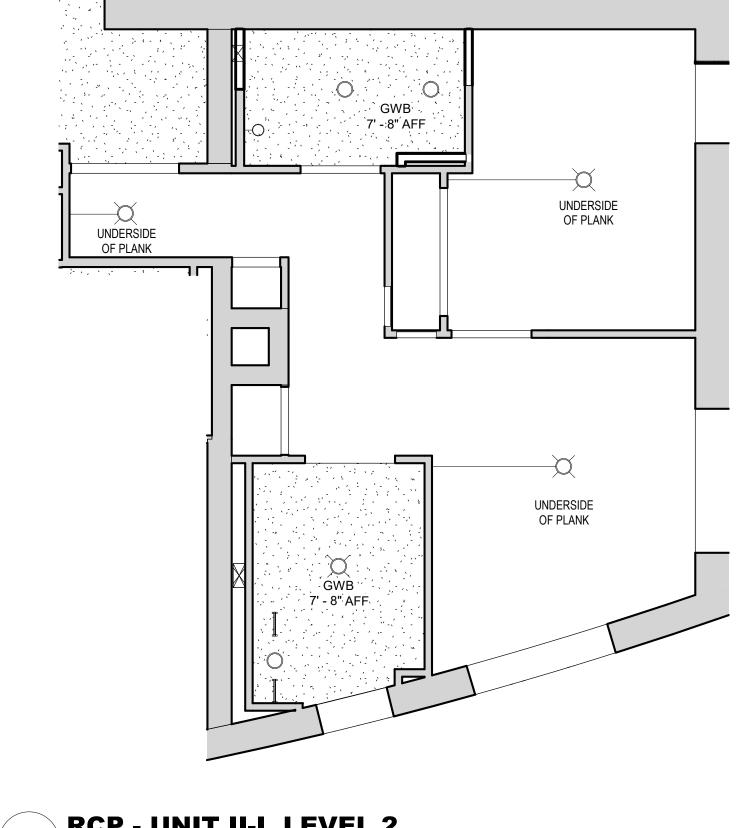
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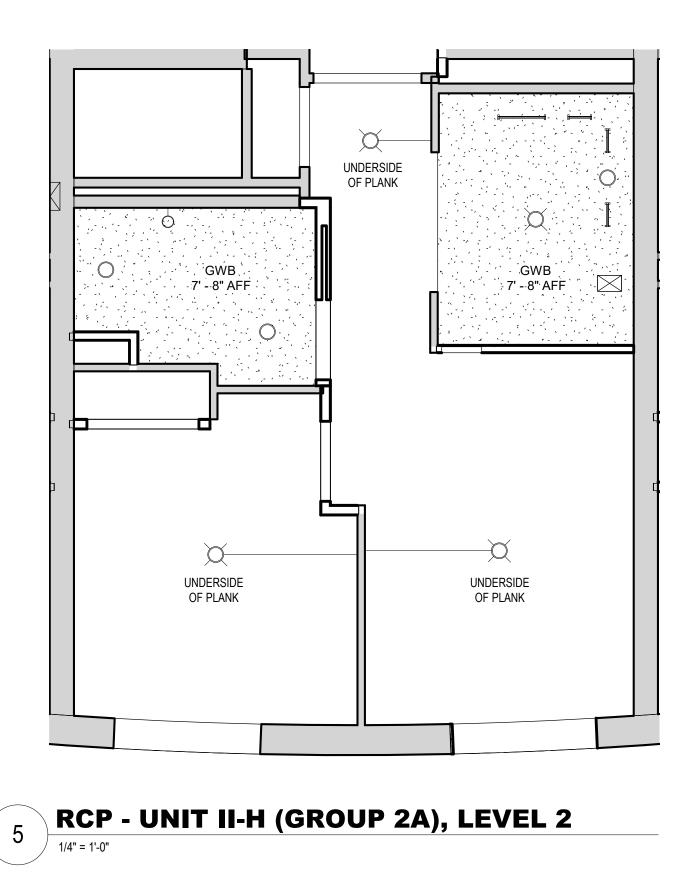


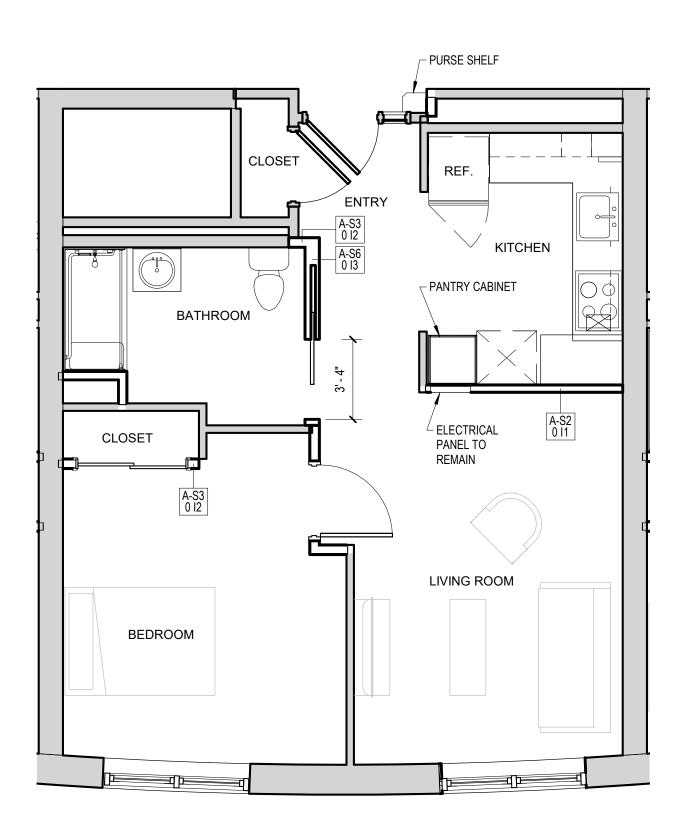
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NO. DATE ISSUE _____ _____ _____ _____ _____ -----



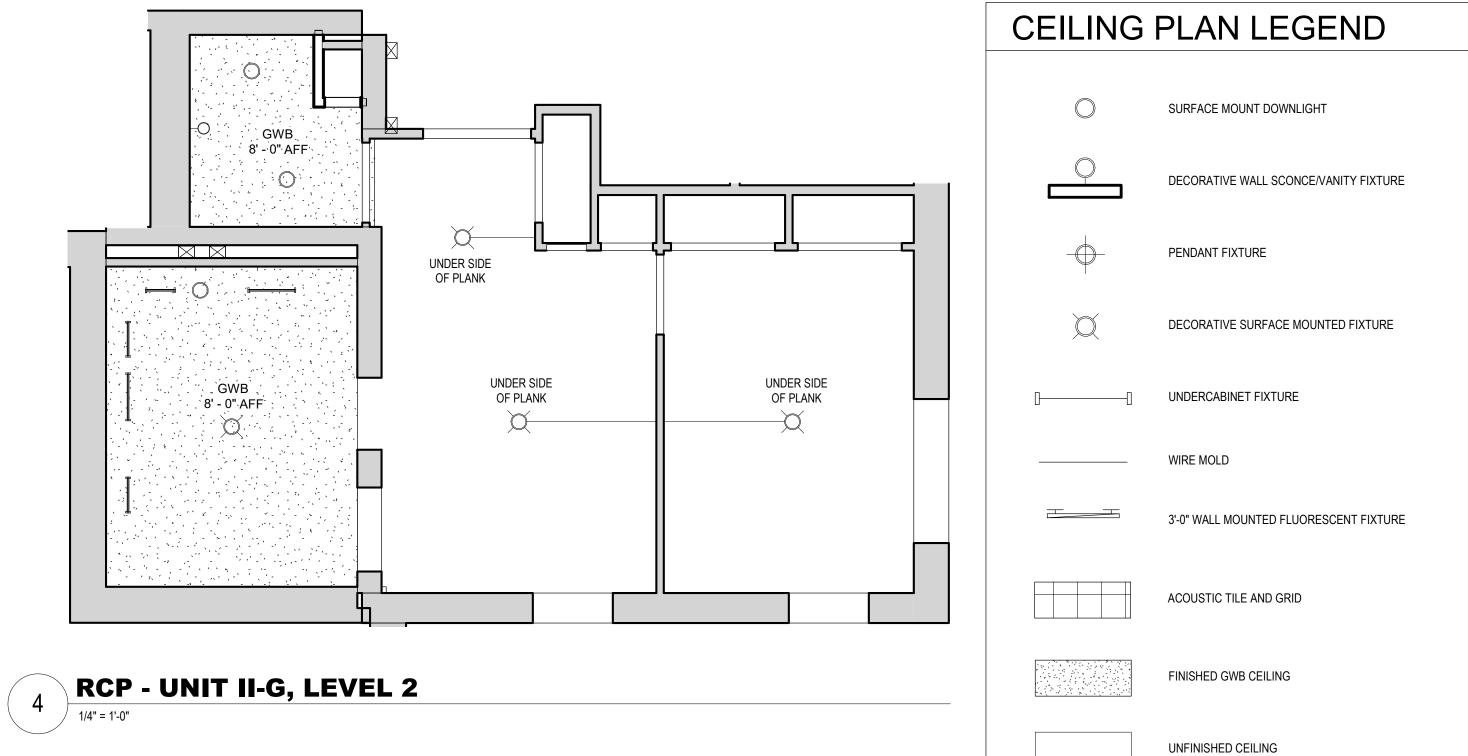




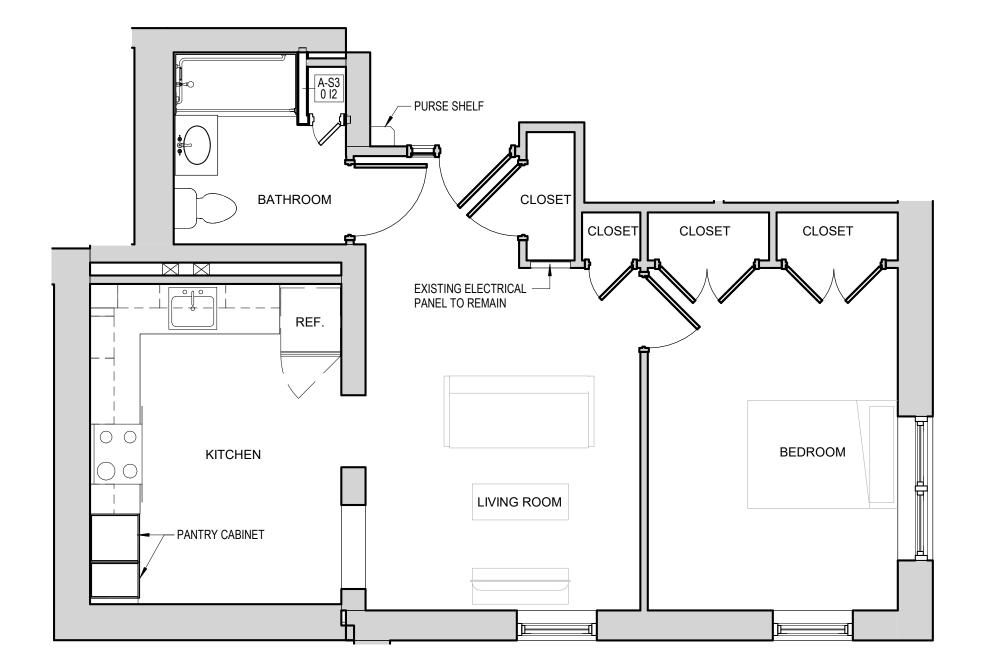


FLOOR PLAN - UNIT II-H (GROUP 2A)

APPLICABLE ACCESSIBILITY STANDARDS: GROUP 2A REQUIREMENTS OF 521 CMR AND FHA GUIDELINES









GENERAL NOTES - FLOOR PLANS

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3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO.

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- THE FLOOR LEVEL DATUM ELEVATION.
- 2. CENTER LIGHTING FIXTURES IN ROOM U.N.O. 3. DIMENSIONS ARE TO CENTERLINE OF DEVICES U.N.O.
- 4. REFER TO MEP/FP DRAWINGS FOR MORE INFORMATION.

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SUBMITTAL FOR ALL TRADES SHOWING REQUIRED ACCESS PANEL LAYOUT FOR REVIEW BY OWNER AND ARCHITECT.

8. REFER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR WALL FIXTURE MOUNTING HEIGHTS.

9. CEILING-MOUNTED DEVICES AND FIXTURES NOT SHOWN MUST BE ALIGNED WITH ADJACENT DEVICES, EVENLY ARRAYED AND SYMMETRICAL IN SPACE. 10. COORDINATE BULKHEAD HEIGHTS AND UNDERCABINET LIGHTING WITH CASEWORK. ALL

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08/07/2020

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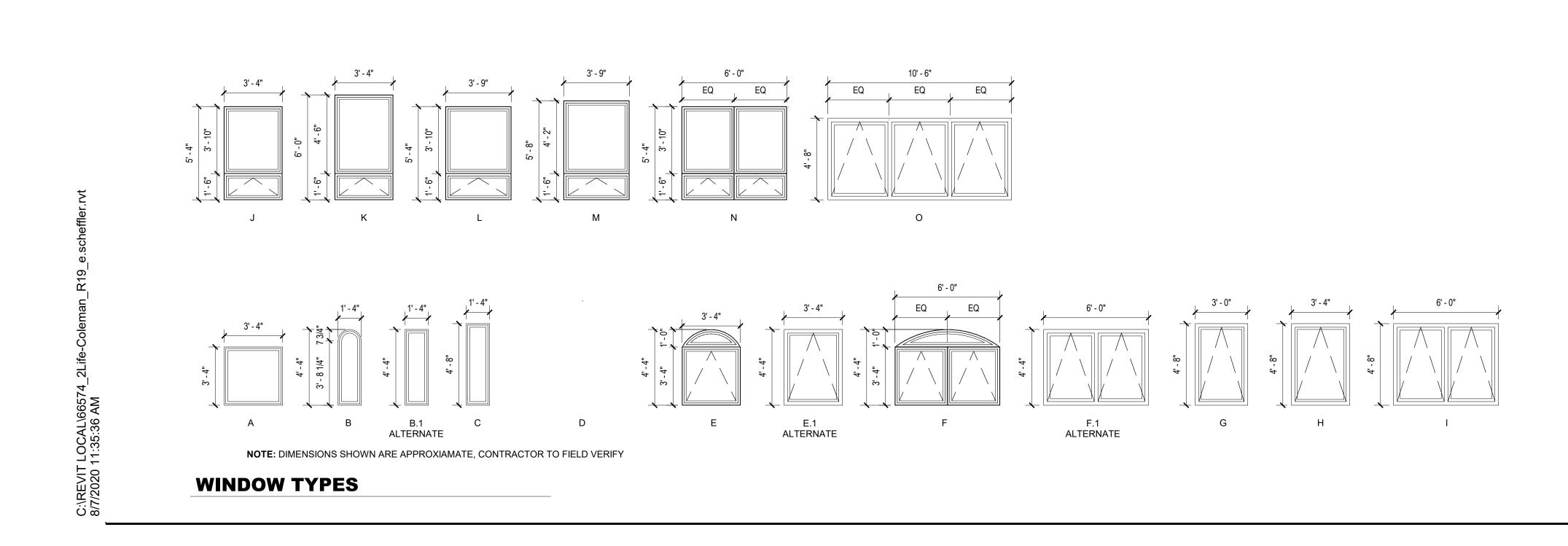
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Construction Manager: DELLBROOK ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169



NO	DATE	ISSUE
<u> </u>	DAIL	1330L



8' - 8"

`_DOOR_

OPENING. REFER TO SCHEDULE.

ES2

2"

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17' - 4"

ES1

EXTERIOR STOREFRONT

* - <mark>- 6"</mark> |

*

6' - 0" 4' - 0"

EQ 2" EQ 2" EQ 2" EQ 2" DOOR 2"

SEE

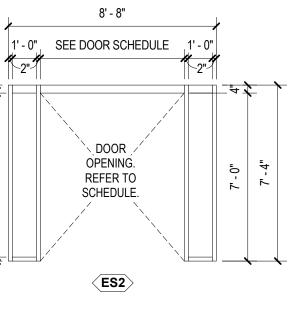
DOOR OPENING. REFER TO SCHEDULE.

SCHEDULE

4

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5 50



08/07/2020

SCHEMATIC DESIGN

A-621

SCALE: 1/4" = 1'-0"

DRAWING TITLE: STOREFRONT & WINDOW TYPES

677 WINCHESTER STREET **NEWTON, MA 02459**

PROJECT No: 66574.00

PROJECT TITLE:

2LIFE - COLEMAN HOUSE RENOVATIONS

Envelope Consultant: **TRIPI ENGINEERING SERVICES, LLC** 433 MAIN STREET, SUITE 4 HUDSON, MA 01749

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