

2LIFE - COLEMAN HOUSE RENOVATIONS

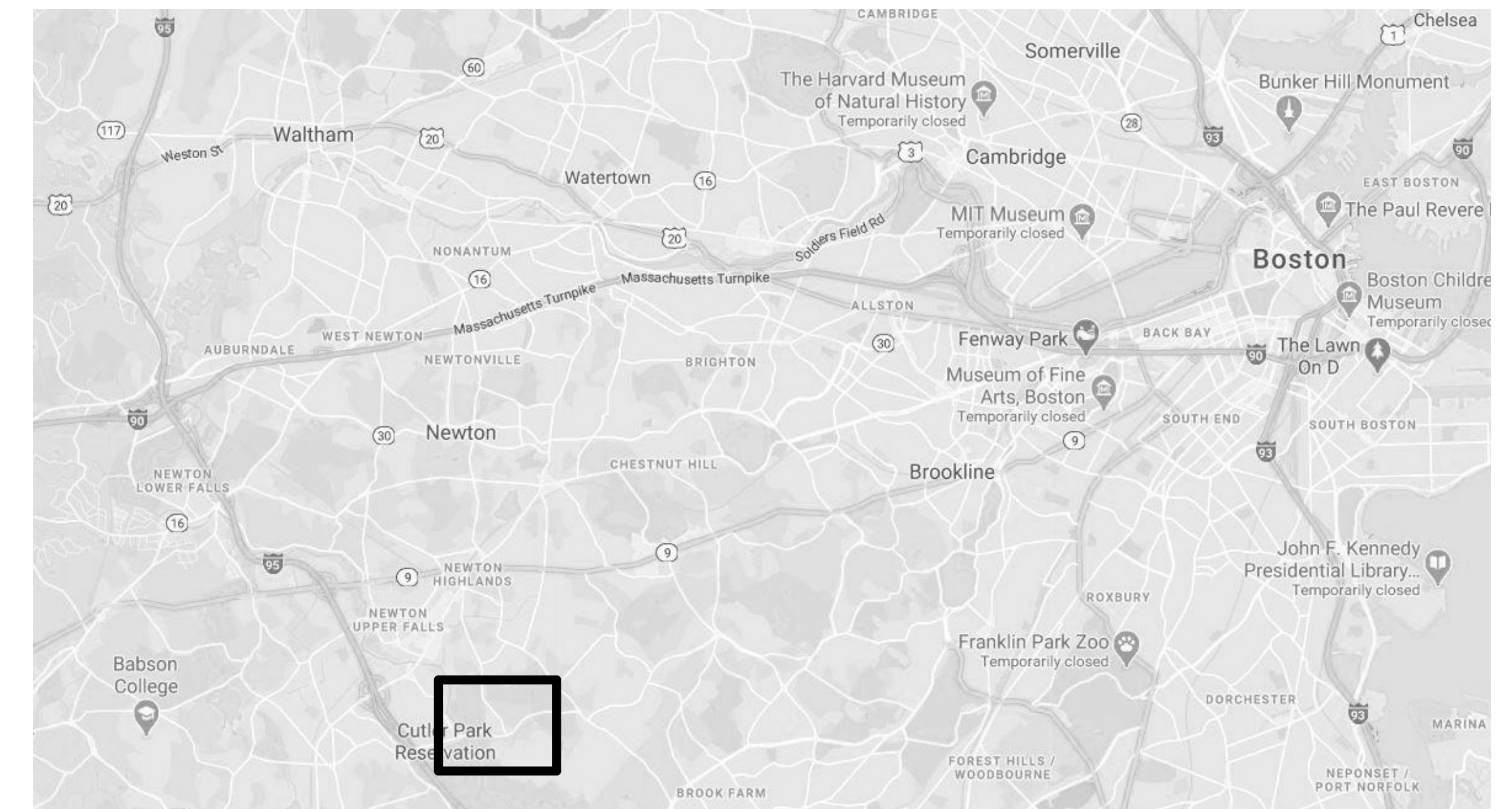
677 WINCHESTER STREET
NEWTON, MA 02459

Owner: 2LIFE COMMUNITIES	Construction Manager: DELLBROOK	Structural: VEITAS & VEITAS ENGINEERS, INC	MEPFP Engineer: PETERSEN ENGINEERING, INC.	Envelope Consultant: TRIPI ENGINEERING SERVICES, LLC
30 WALLINGFORD ROAD BRIGHTON, MA 02135	ONE ADAMS PLACE, 859 WILLARD STREET QUINCY, MA 02169	639 GRANITE STREET BRAintree, MA 02184	P. O. BOX 4516 PORTSMOUTH, NH 03802	433 MAIN STREET, SUITE 4 HUDSON, MA 01749

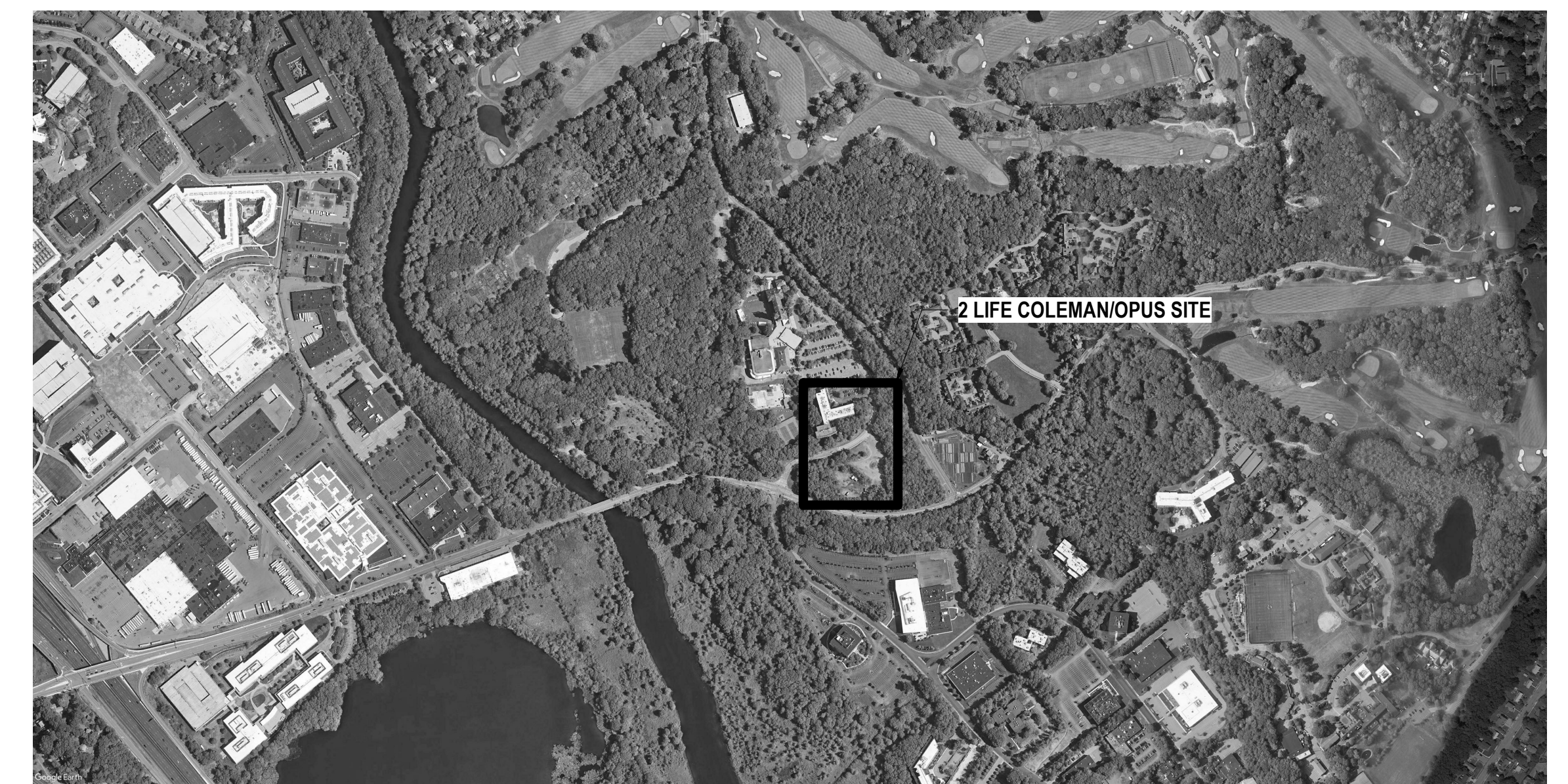
DRAWING SCHEDULE

GENERAL	
G-001	COVER & SHEET INDEX
G-100	CODE ANALYSIS
ARCHITECTURAL DEMOLITION	
AD-100	DEMOLITION PLANS - LEVELS C-A
AD-101	DEMOLITION PLAN - LEVEL 1
AD-102	DEMOLITION PLAN - LEVELS 2-5
AD-103	DEMOLITION PLAN - LEVELS 3-5 (COLEMAN II)
AD-401	ENLARGED UNIT DEMO PLANS
AD-402	ENLARGED UNIT DEMO PLANS
ARCHITECTURAL	
A-001	NOTES, ABBREVIATIONS, LEGENDS
A-002	PARTITION TYPES
A-100	FLOOR PLANS - LEVELS C-A
A-101	FLOOR PLAN - LEVEL 1
A-102	FLOOR PLAN - LEVELS 2-5
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A-111a	RCP FLOOR PLANS - LEVEL C-A
A-111b	RCP FLOOR PLANS - LEVEL 1
A-111c	RCP FLOOR PLANS - LEVELS 2-5
A-111d	RCP FLOOR PLANS - LEVELS 3-5 (COLEMAN II)
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A-202	EXTERIOR ELEVATIONS
A-203	EXTERIOR ELEVATIONS
A-401	ENLARGED UNIT PLANS
A-402	ENLARGED UNIT PLANS
A-403	ENLARGED UNIT PLANS
A-404	ENLARGED UNIT PLANS
A-405	ENLARGED UNIT PLANS
A-621	STOREFRONT & WINDOW TYPES

REGIONAL MAP:



LOCAL MAP:



GENERAL NOTES - FLOOR PLANS

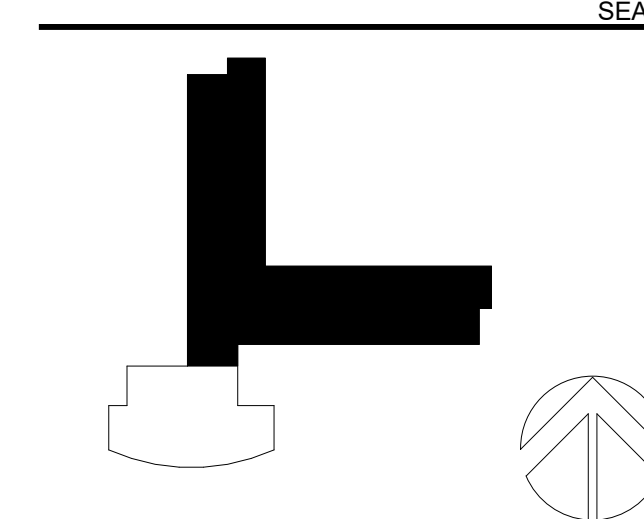
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2. PATCH EXISTING DEMISING AND CORRIDOR WALLS TO RETAIN EXISTING FIRE RATED ASSEMBLIES.
3. REFER TO SHEET A-001 FOR MOUNTING HEIGHTS OF TOILET ACCESSORIES, UNO.
4. UNIT DEMISING AND CORRIDOR WALL CONSTRUCTION SHALL RUN CONTINUOUS BEHIND ALL SHOWERS AND TUBS. PROVIDE ADDITIONAL LAYER OF GYPSUM BOARD ON WALLS ABOVE ATTACHMENT FLANGES.

GENERAL NOTES - UNIT REFLECTED CEILING PLANS

1. CEILING HEIGHTS NOTED ARE FROM TOP OF FINISHED FLOOR UNLESS NOTED OTHERWISE. WHEN FLOOR HEIGHT VARIES IN A ROOM, THE CEILING HEIGHT SHOWN IS THE HEIGHT ABOVE THE FLOOR LEVEL DATUM ELEVATION.
2. CENTER LIGHTING FIXTURES IN ROOM U.N.O.
3. DIMENSIONS ARE TO CENTERLINE OF DEVICES U.N.O.
4. REFER TO MEPFP DRAWINGS FOR MORE INFORMATION.
5. REFER TO ELECTRICAL DRAWINGS FOR ACTUAL FIXTURE TYPES AND OTHER REQUIREMENTS.
6. COORDINATE ALL CEILING FIXTURES WITH EXISTING FIRE SPRINKLERS LOCATIONS, MOVE AS REQUIRED TO AVOID CONFLICT.
7. ACCESS PANEL LOCATIONS NOT SHOWN. PROVIDE FULLY COORDINATED COMPOSITE DRAWING SUBMITTAL FOR ALL TRADES SHOWING REQUIRED ACCESS PANEL LAYOUT FOR REVIEW BY OWNER AND ARCHITECT.
8. REFER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR WALL FIXTURE MOUNTING HEIGHTS.
9. CEILING-MOUNTED DEVICES AND FIXTURES NOT SHOWN MUST BE ALIGNED WITH ADJACENT DEVICES, EVENLY ARRANGED AND SYMMETRICAL IN SPACE.
10. COORDINATE BULKHEAD HEIGHTS AND UNDERCABINET LIGHTING WITH CASEWORK. ALL UNDERCABINET LIGHTING SHALL BE MOUNTED AT BACK OF WALL CABINET, WHERE CABINET MEETS WALL, UNO.
11. FIRESTOPPING EXPOSED TO VIEW SHALL BE PAINTED TO MATCH ADJACENT WALL/CEILING.
12. CENTER VANITY WALL FIXTURES AT SINK LOCATIONS UNLESS NOTED OTHERWISE.
13. SHOWER OR TUB LIGHT FIXTURES ARE TO BE CENTERED IN SHOWER OR TUB UNIT.
14. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS OR OTHER TRADES PRIOR TO PERFORMING WORK.

CEILING PLAN LEGEND

	SURFACE MOUNT DOWNLIGHT
	DECORATIVE WALL SCONCE/VANITY FIXTURE
	PENDANT FIXTURE
	DECORATIVE SURFACE MOUNTED FIXTURE
	UNDERCABINET FIXTURE
	WIRE MOLD
	3'-0" WALL MOUNTED FLUORESCENT FIXTURE
	ACOUSTIC TILE AND GRID
	FINISHED GWB CEILING
	UNFINISHED CEILING



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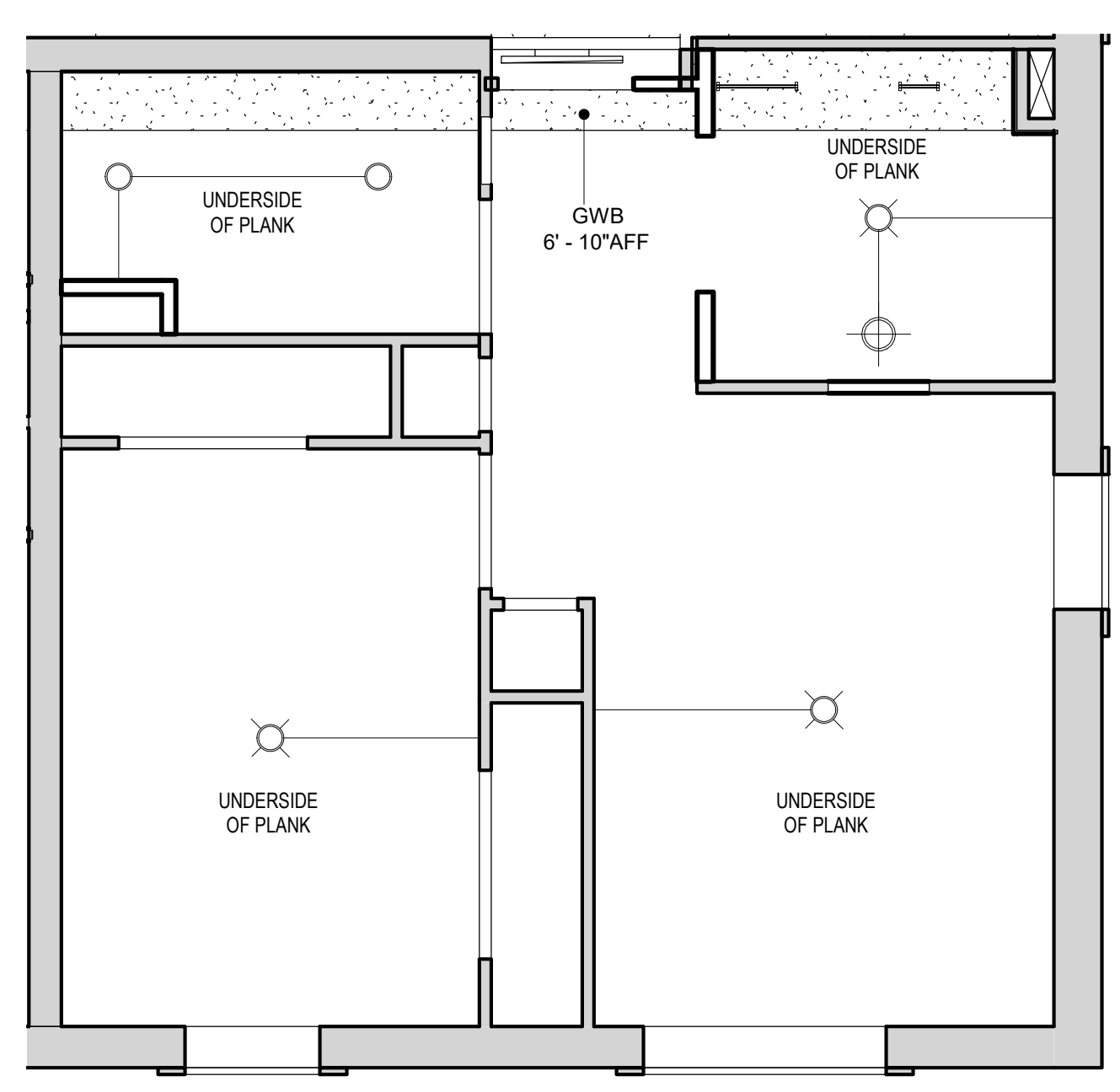
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PROJECT No: 66574.00
 DRAWING TITLE:
ENLARGED UNIT PLANS

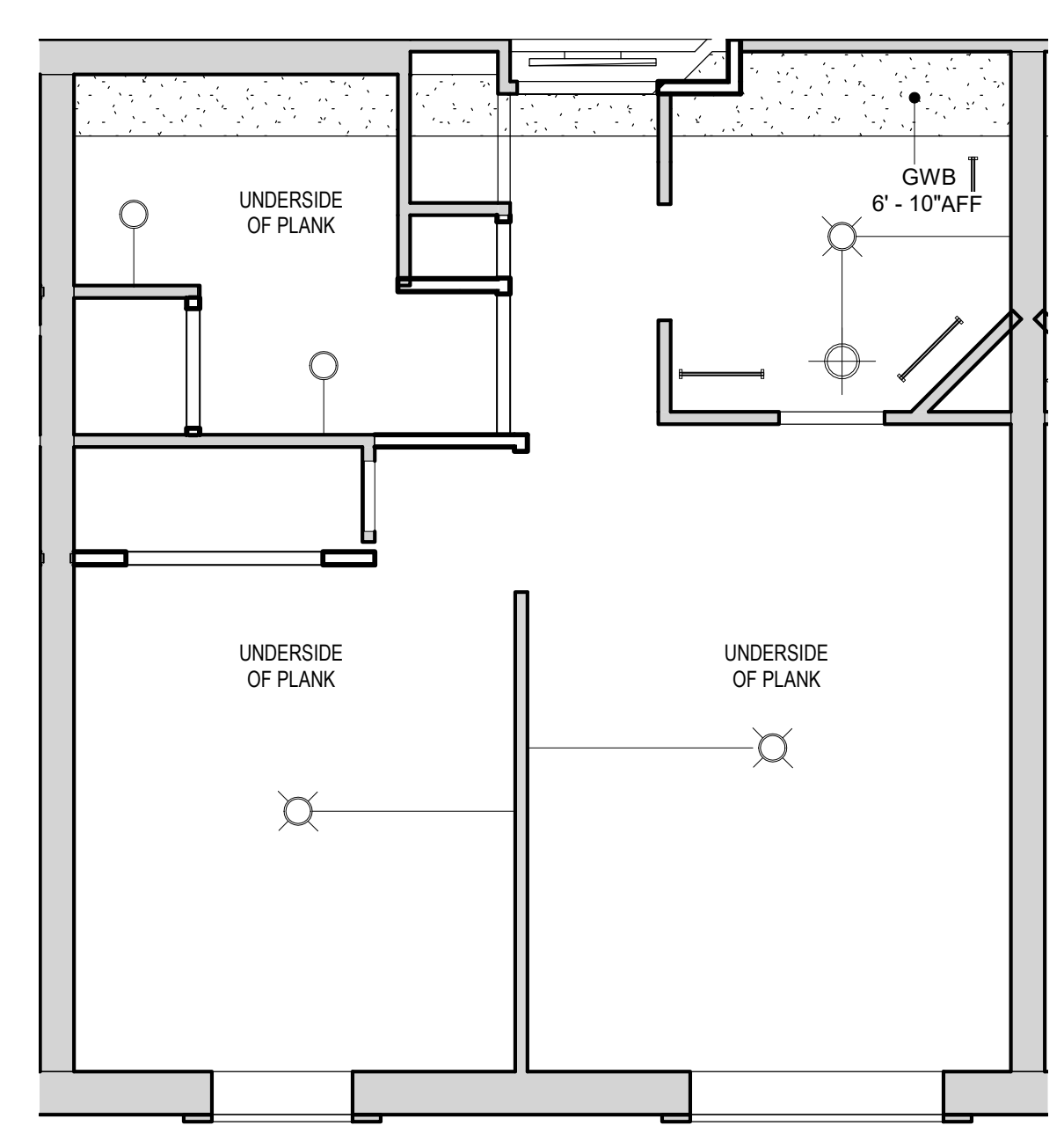
SCALE: As Indicated

A-401
 SCHEMATIC DESIGN

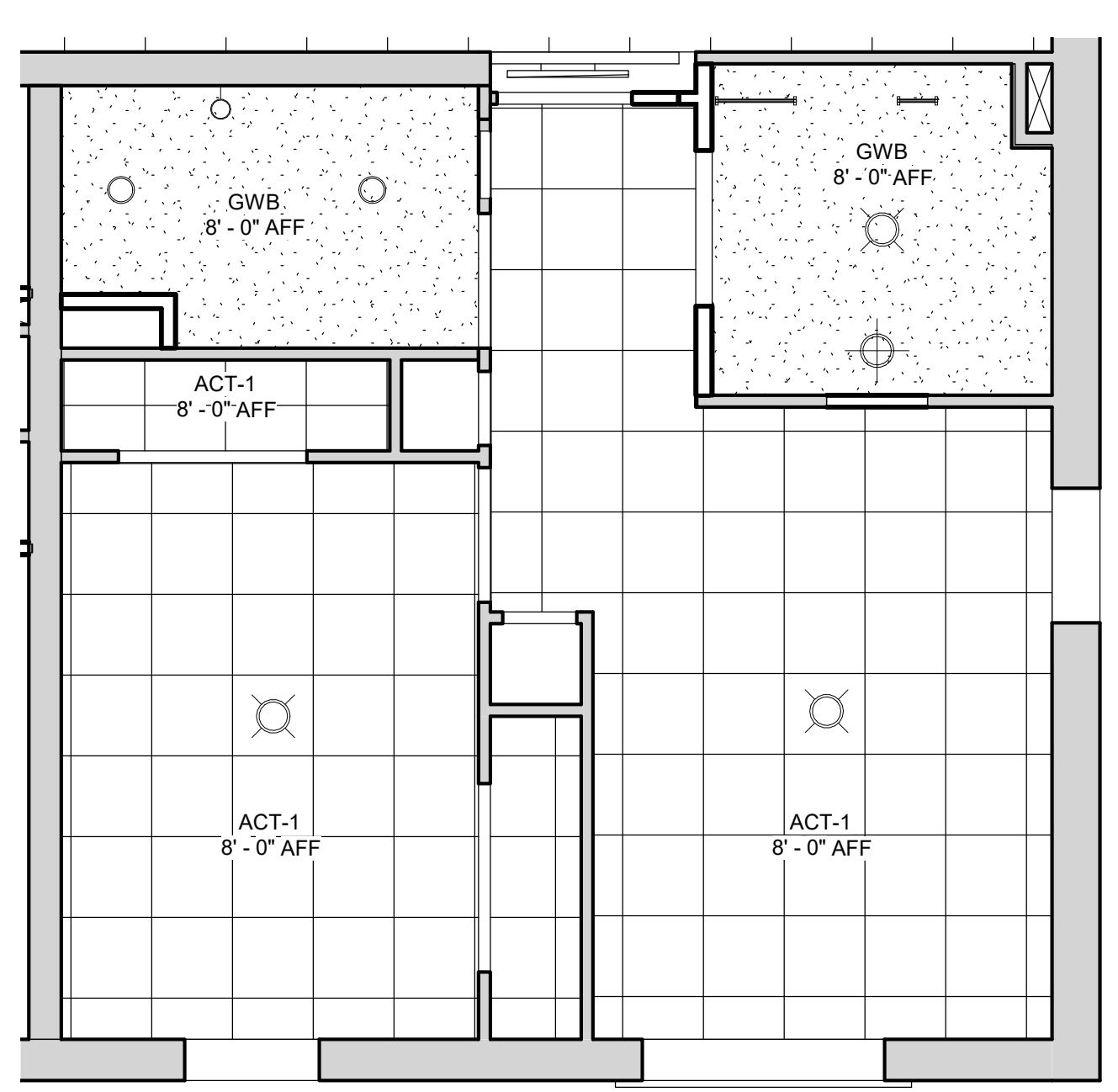
08/07/2020



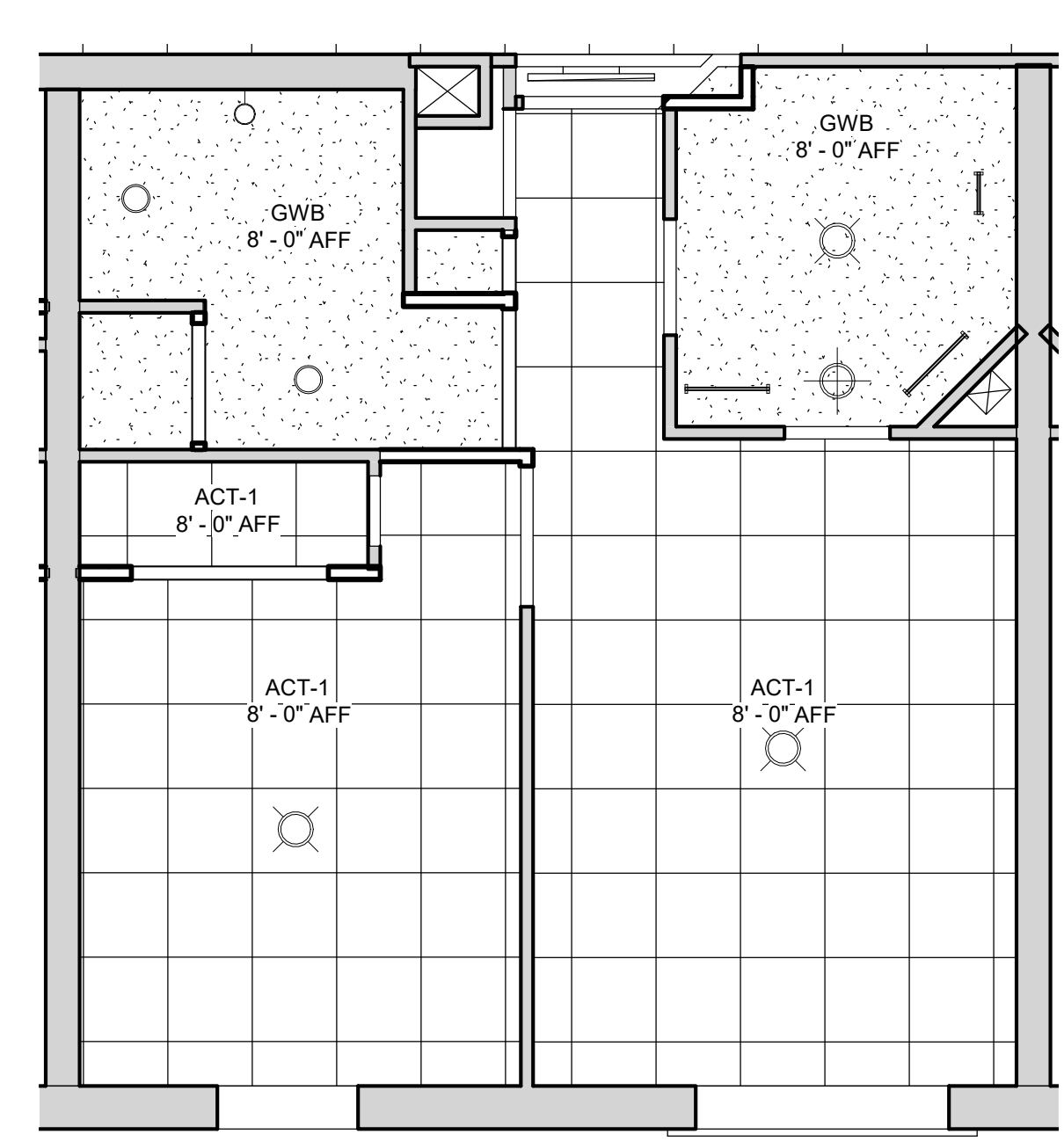
11 RCP - UNIT I-B (GROUP 2A), LEVEL 2
 1/4" = 1'-0"



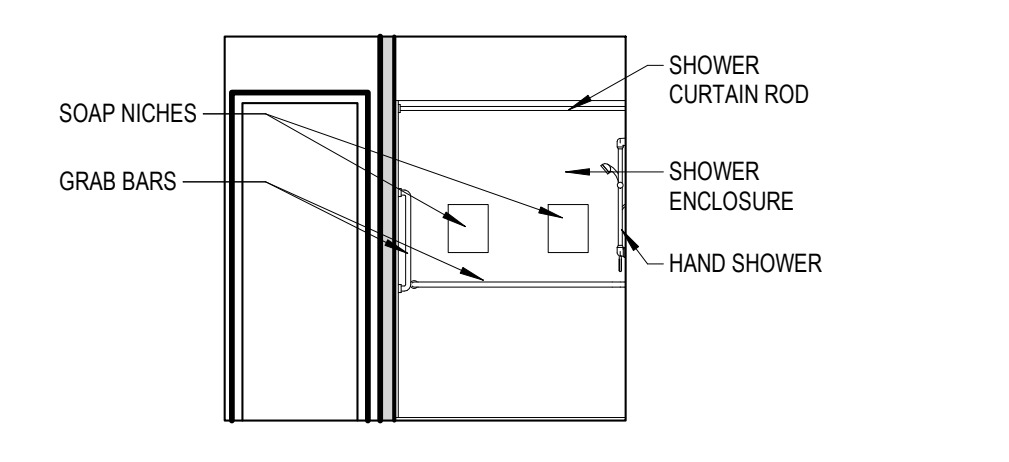
10 RCP - UNIT I-A, LEVEL 2
 1/4" = 1'-0"



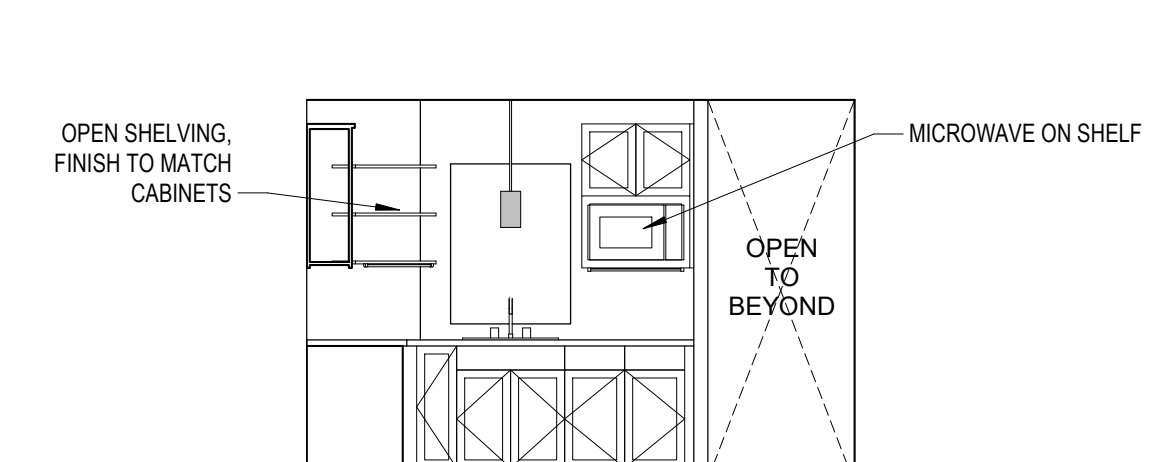
8 RCP - UNIT I-B (GROUP 2A), LEVEL 1
 1/4" = 1'-0"



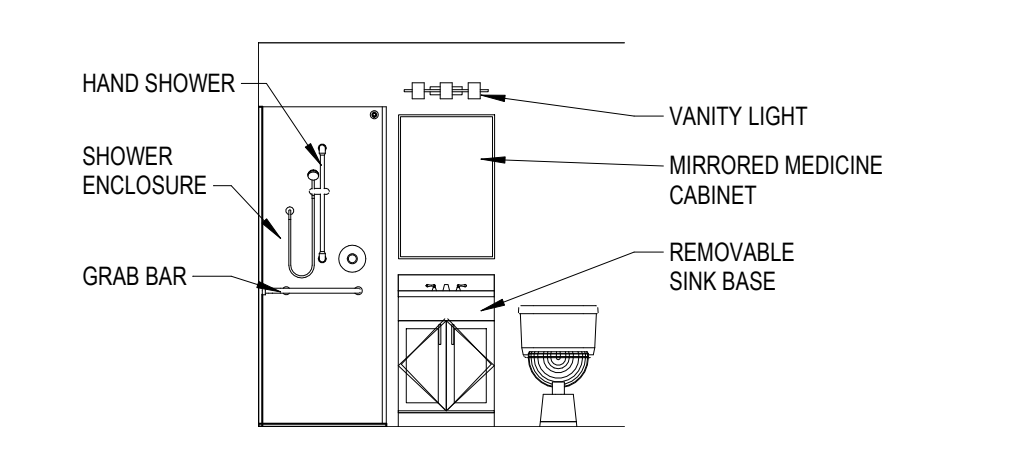
7 RCP - UNIT I-A, LEVEL 1
 1/4" = 1'-0"



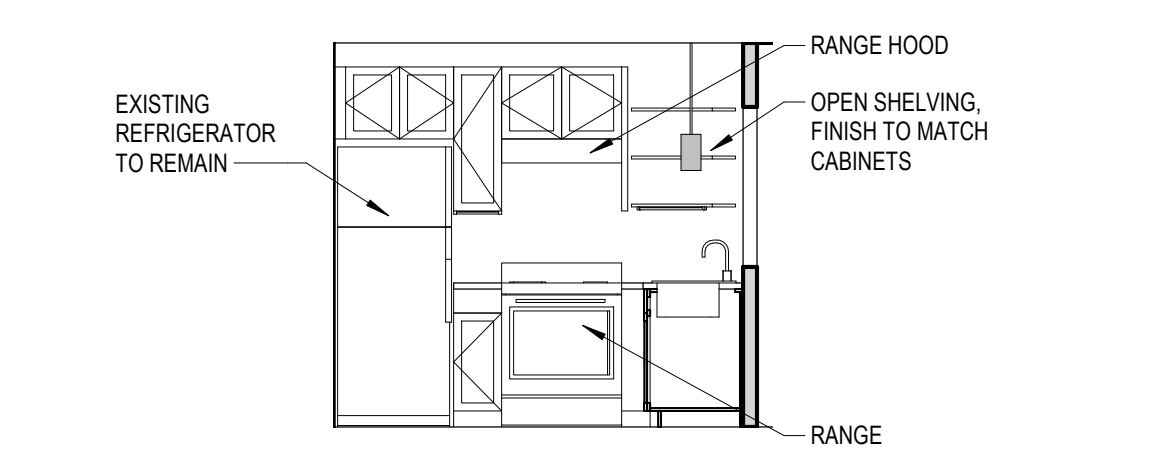
6 UNIT I-A - BATHROOM ELEVATION
 1/4" = 1'-0"



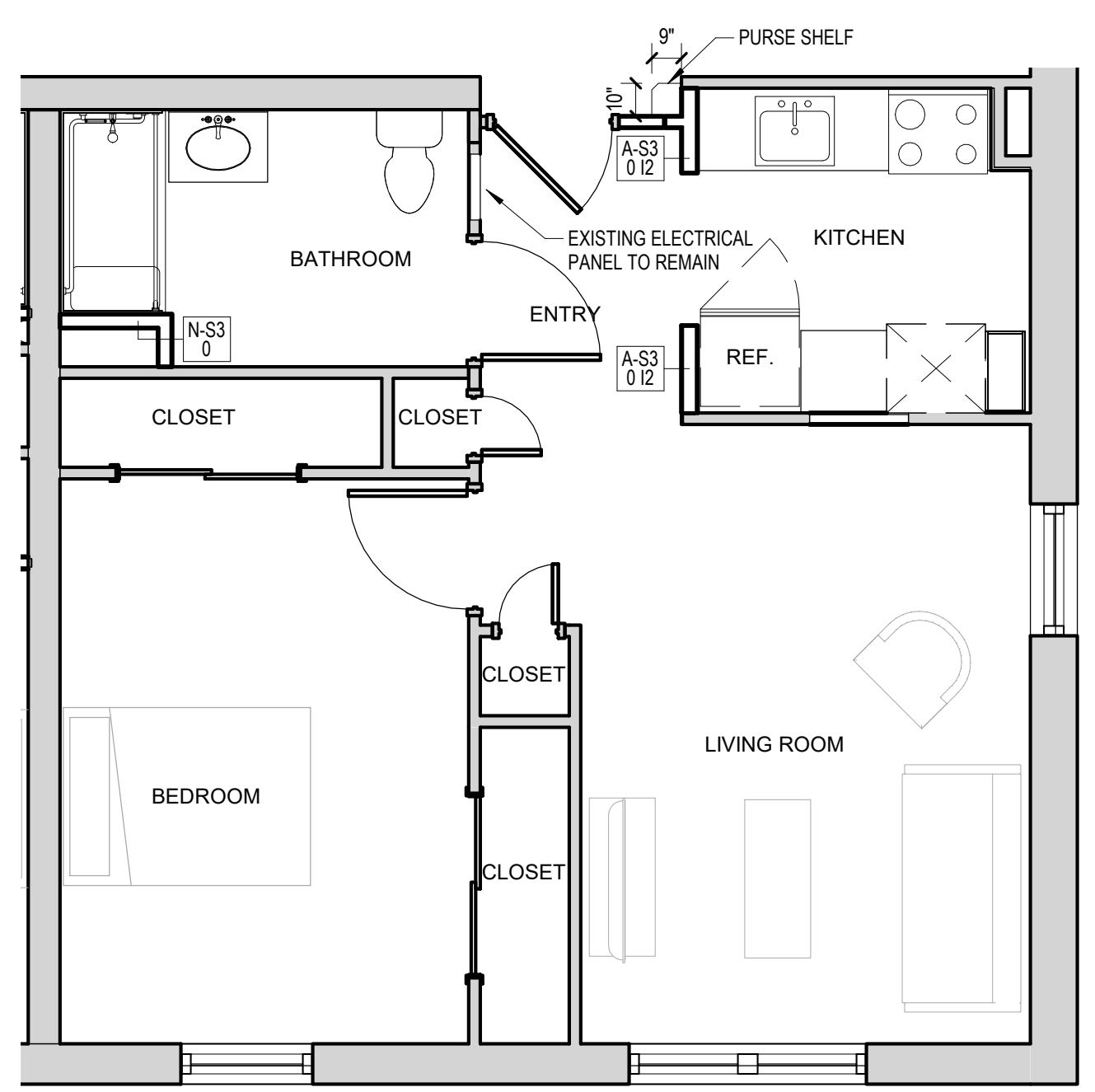
5 UNIT I-A - KITCHEN ELEVATION
 1/4" = 1'-0"



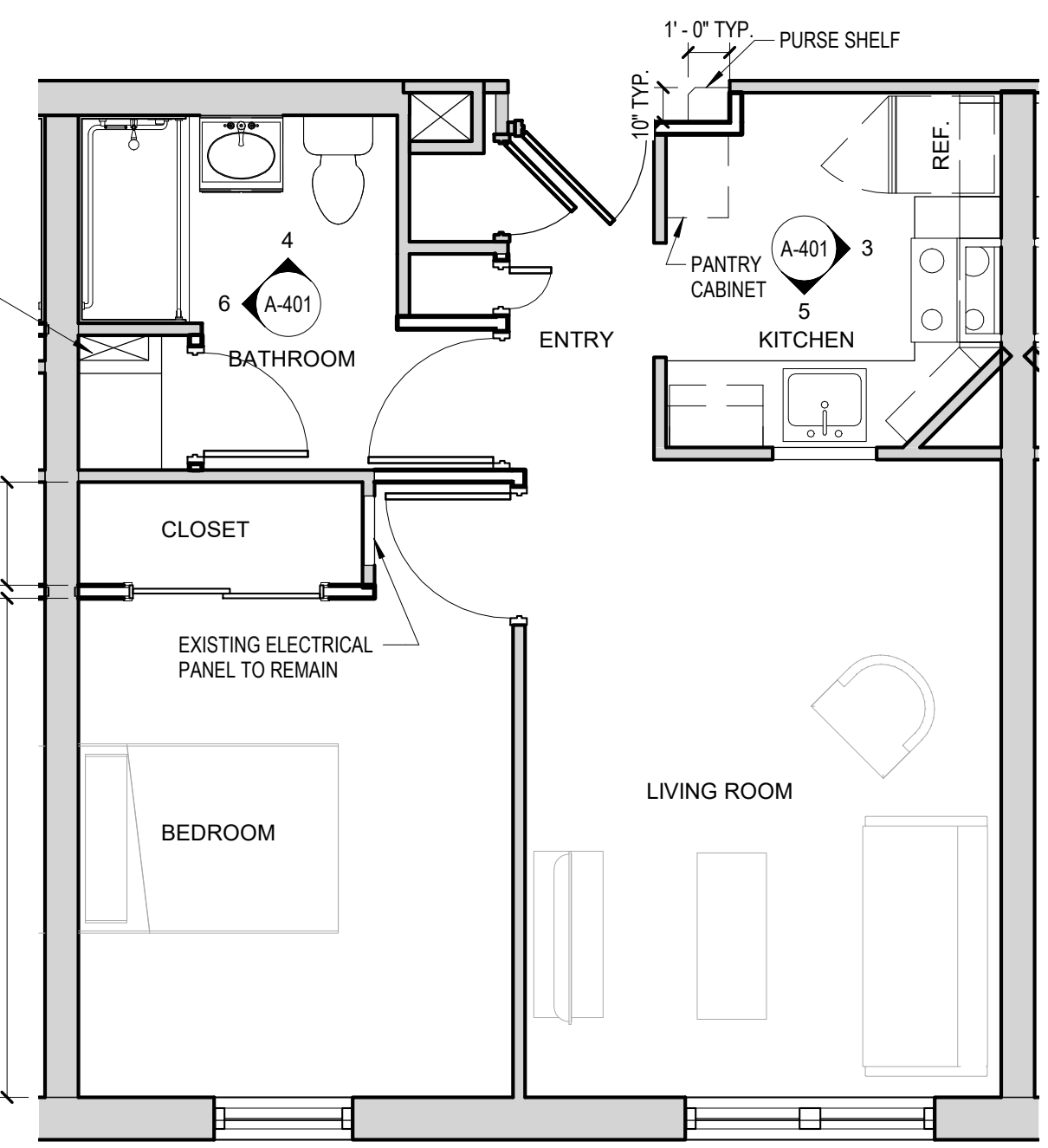
4 UNIT I-A - BATHROOM ELEVATION
 1/4" = 1'-0"



3 UNIT I-A - KITCHEN ELEVATION
 1/4" = 1'-0"



2 FLOOR PLAN - UNIT I-B (GROUP 2A)
 1/4" = 1'-0"
 APPLICABLE ACCESSIBILITY STANDARDS: GROUP 2A REQUIREMENTS OF 521 CMR



1 FLOOR PLAN - UNIT I-A
 1/4" = 1'-0"

CEILING PLAN LEGEND

	SURFACE MOUNT DOWNLIGHT
	DECORATIVE WALL SCONCE/VANITY FIXTURE
	PENDANT FIXTURE
	DECORATIVE SURFACE MOUNTED FIXTURE
	UNDERCABINET FIXTURE
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	UNFINISHED CEILING

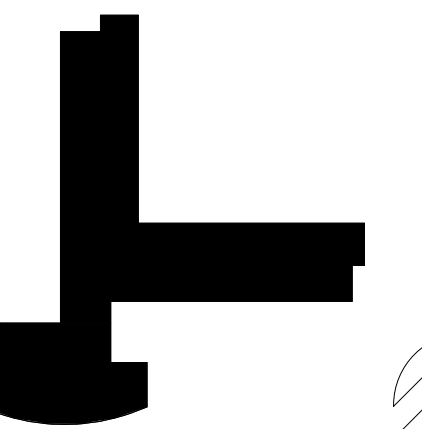
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SEAL



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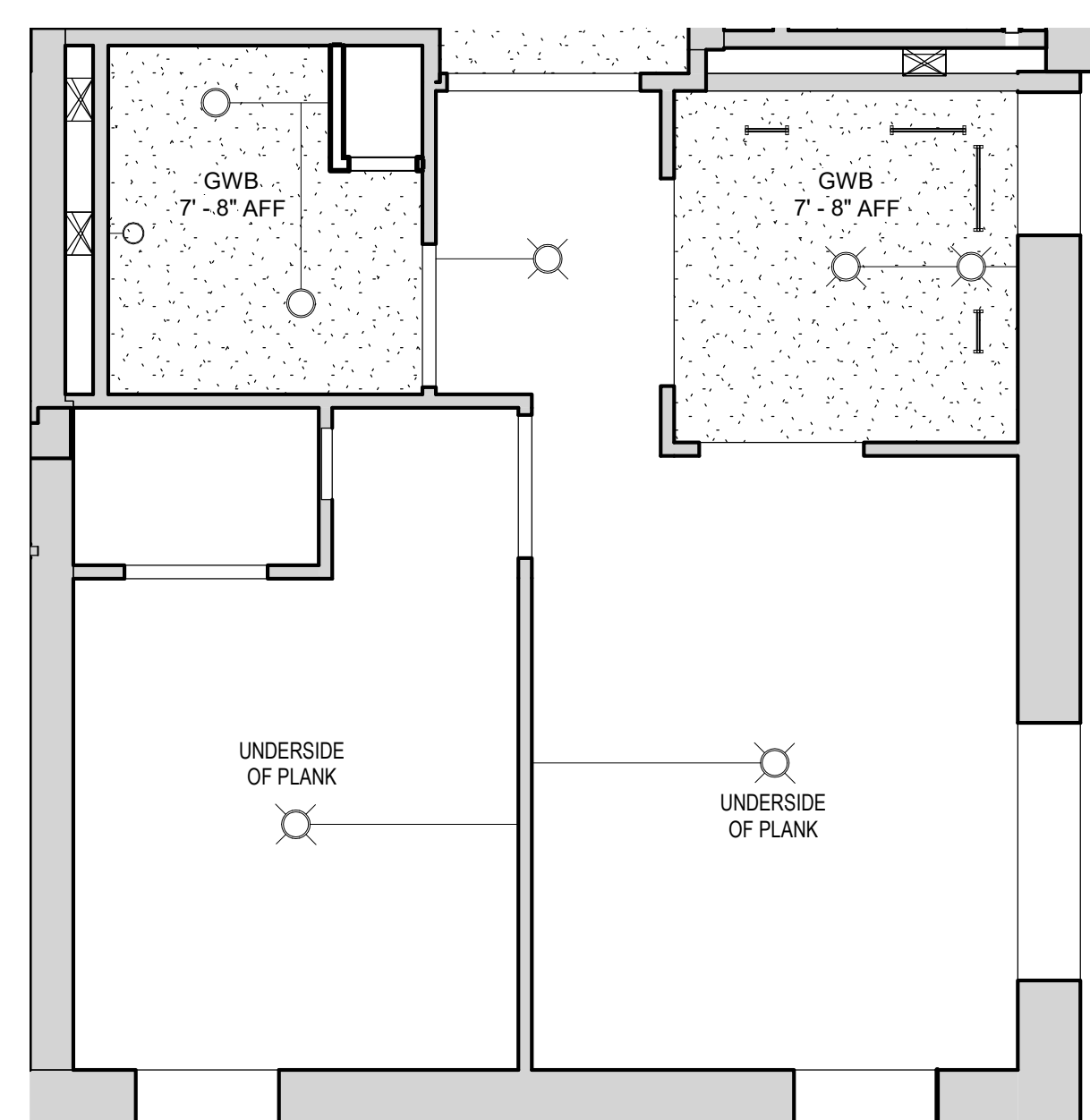
DRAWING TITLE: ENLARGED UNIT PLANS

SCALE: As Indicated

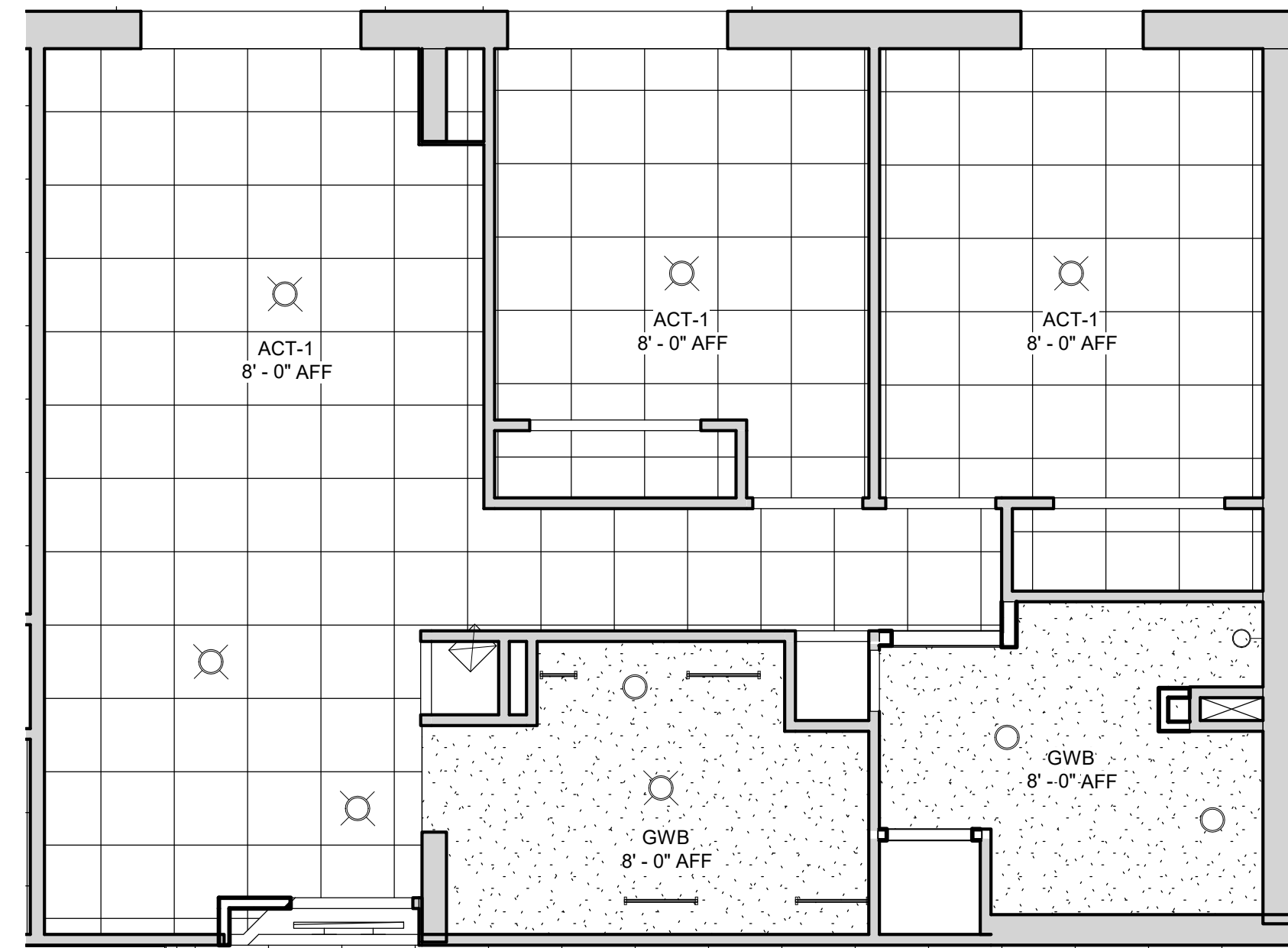
A-402

SCHEMATIC DESIGN

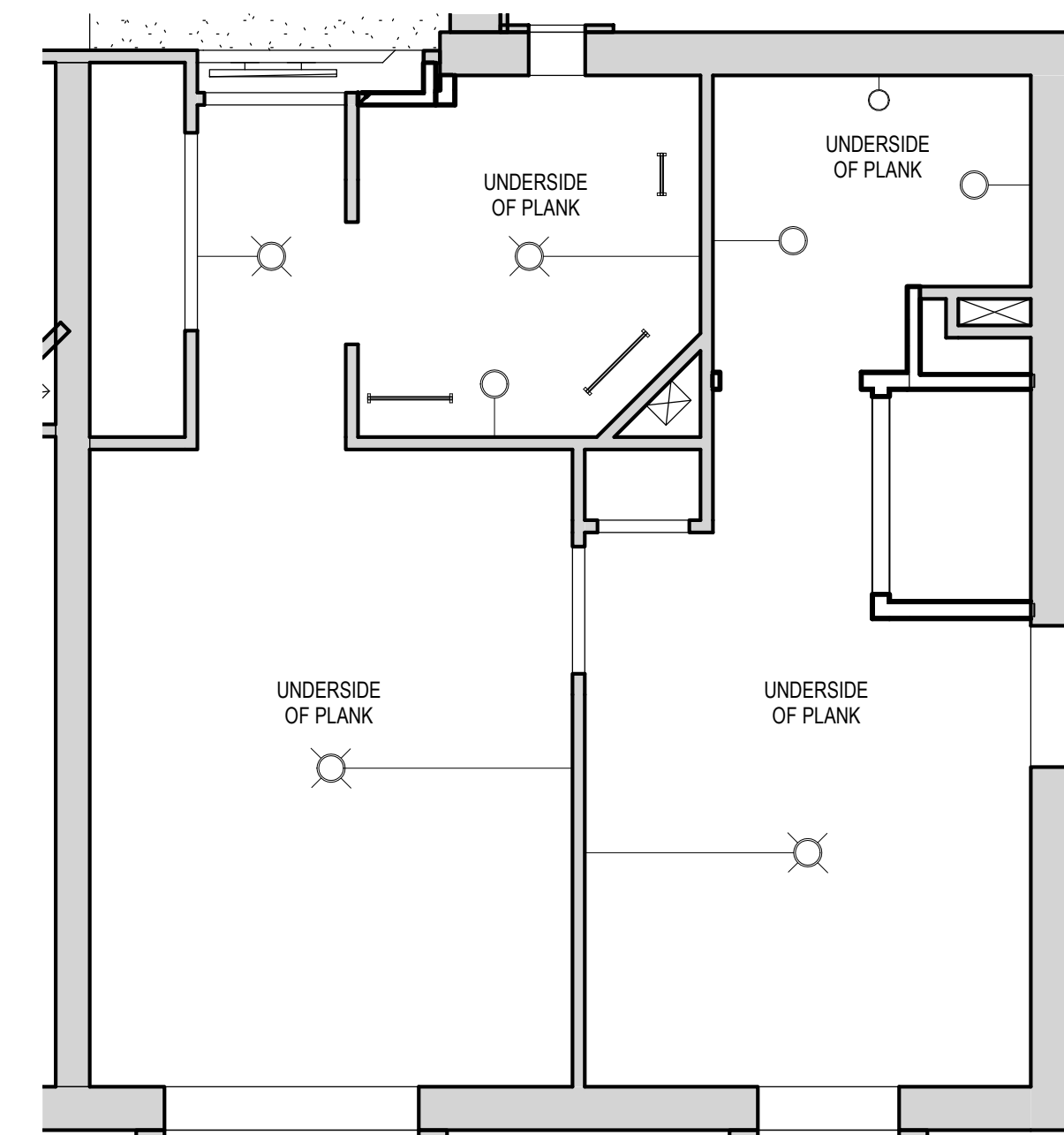
08/07/2020



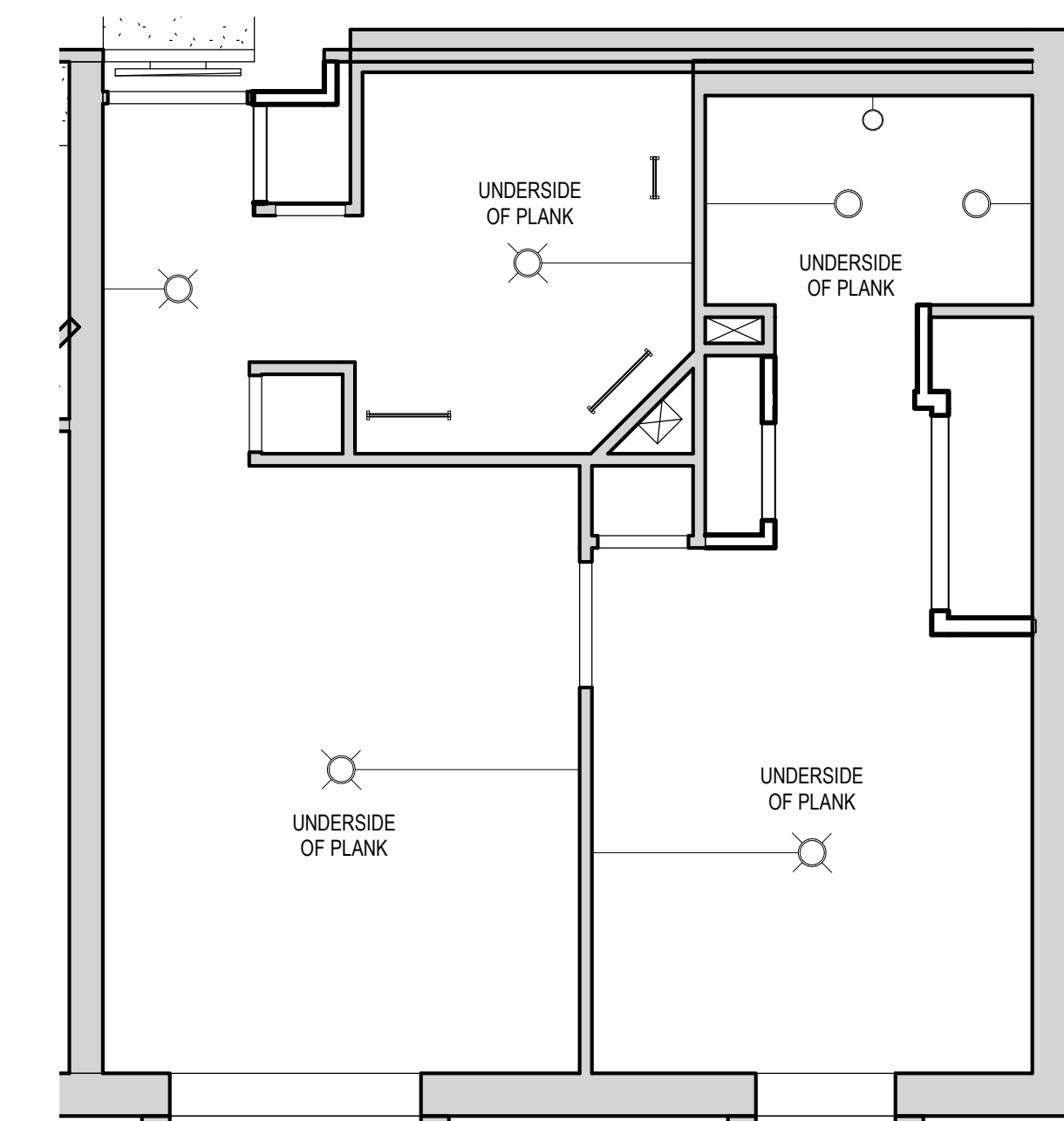
8 **RCP - UNIT II-A, LEVEL 2**
1/4" = 1'-0"



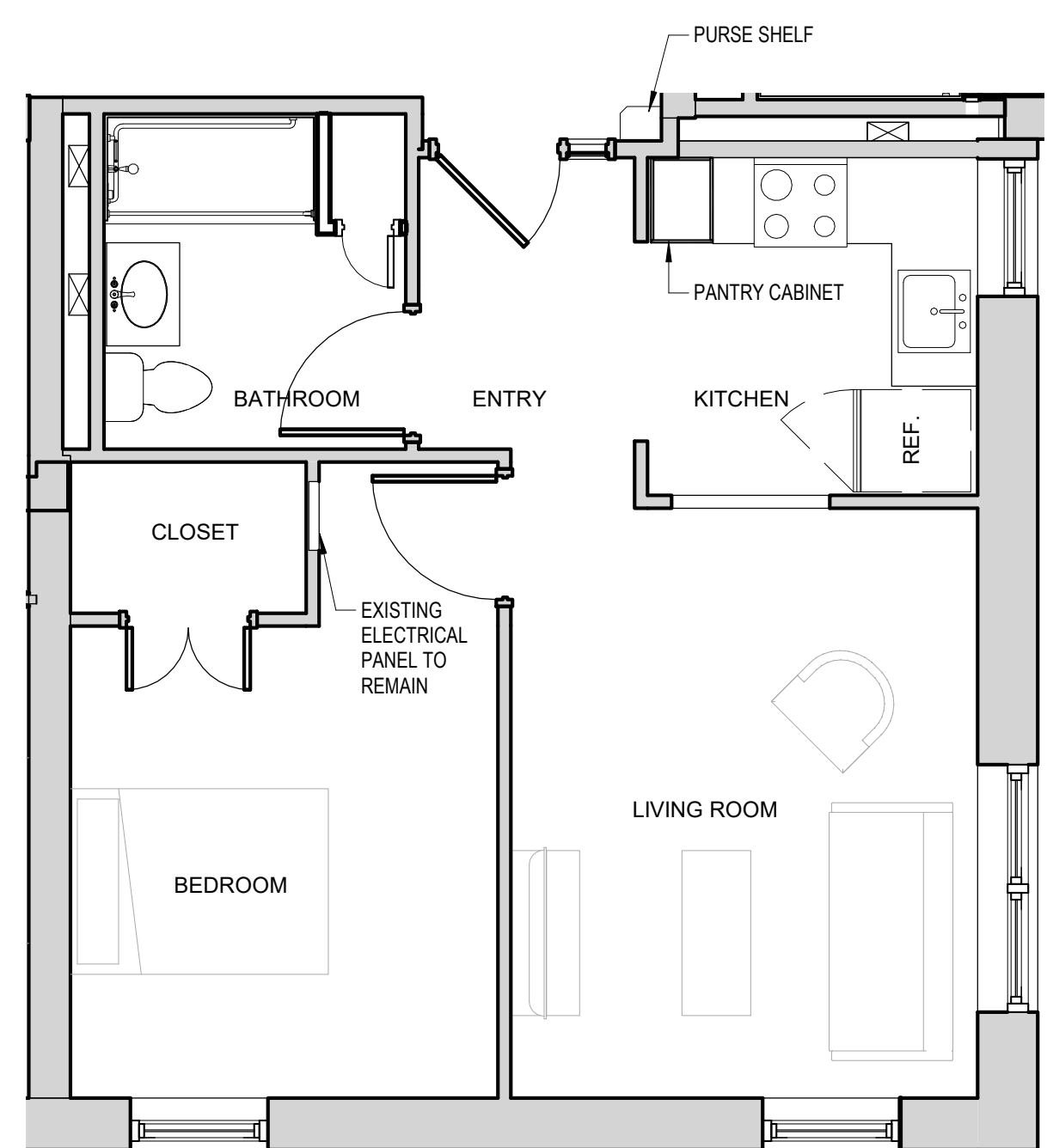
7 **RCP - UNIT I-2BR**
1/4" = 1'-0"



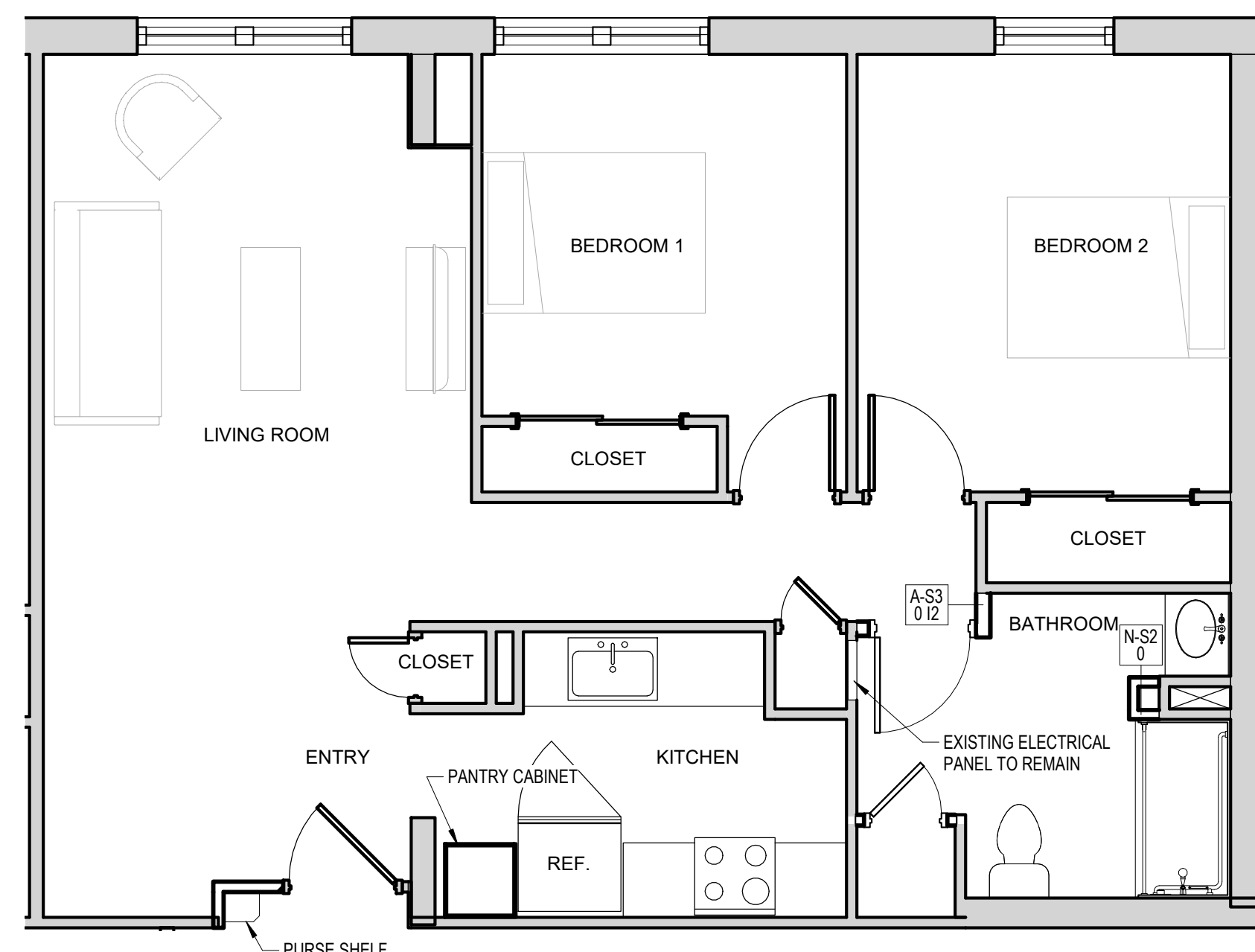
6 **RCP - UNIT I-C CORNER, LEVEL 2**
1/4" = 1'-0"



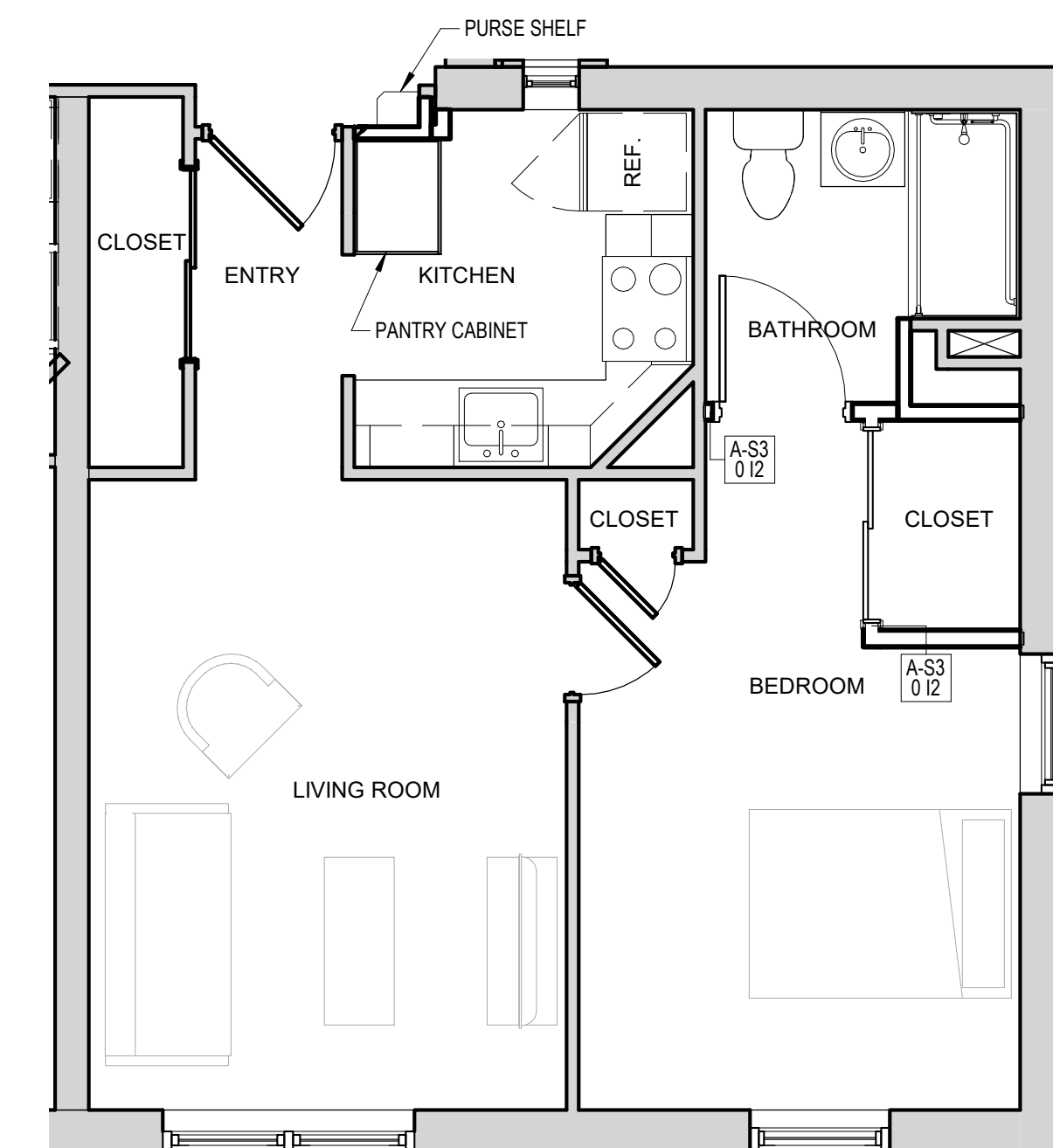
5 **RCP - UNIT I-C**
1/4" = 1'-0"



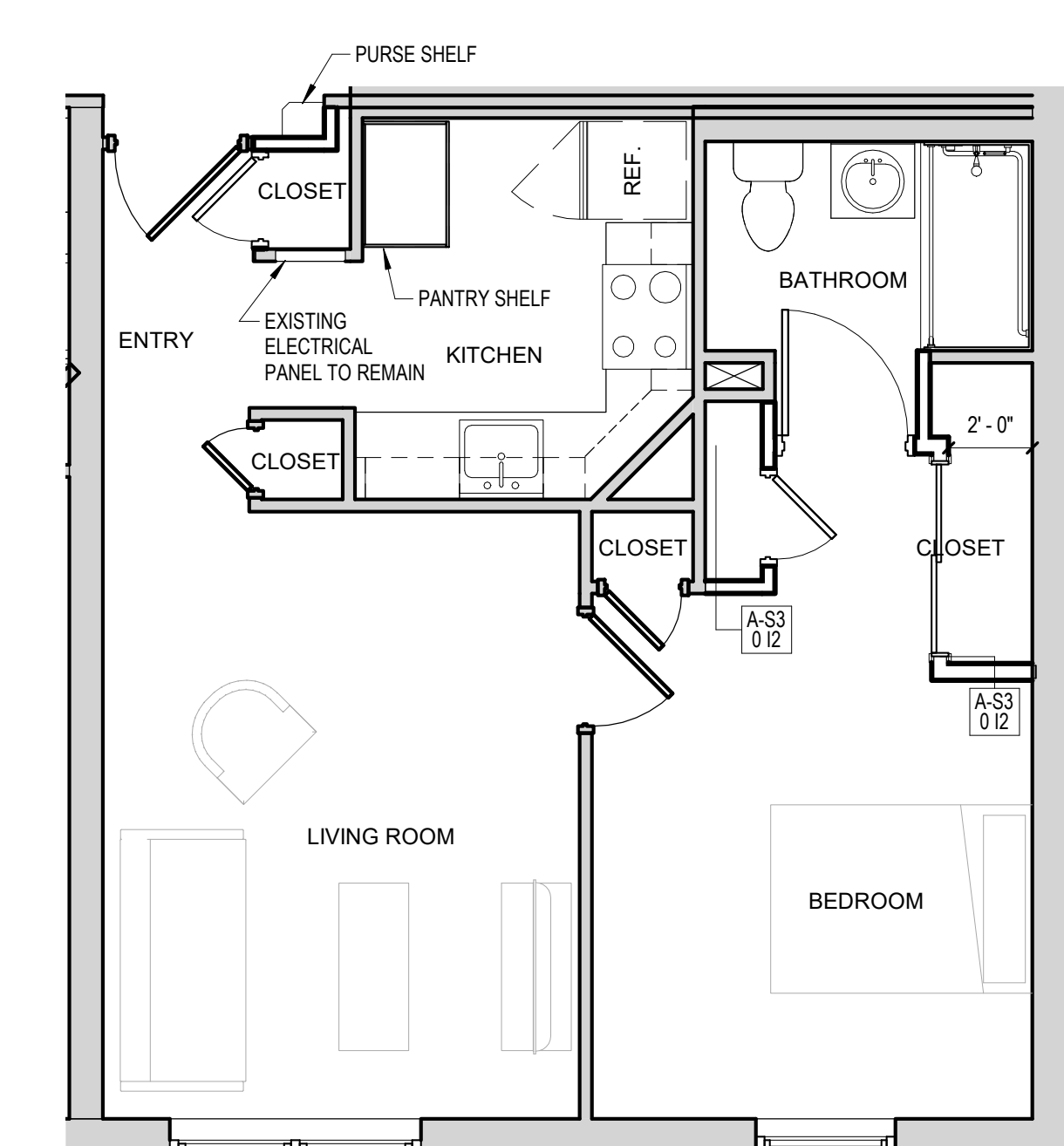
4 **FLOOR PLAN - UNIT II-A**
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES



3 **FLOOR PLAN - UNIT I-2BR**
1/4" = 1'-0"



2 **FLOOR PLAN - UNIT I-C CORNER**
1/4" = 1'-0"
FIELD VERIFY LOCATION OF EXISTING ELECTRICAL PANEL, LOCATION UNKNOWN FROM AS-BUILT DRAWINGS



1 **FLOOR PLAN - UNIT I-C**
1/4" = 1'-0"

CEILING PLAN LEGEND

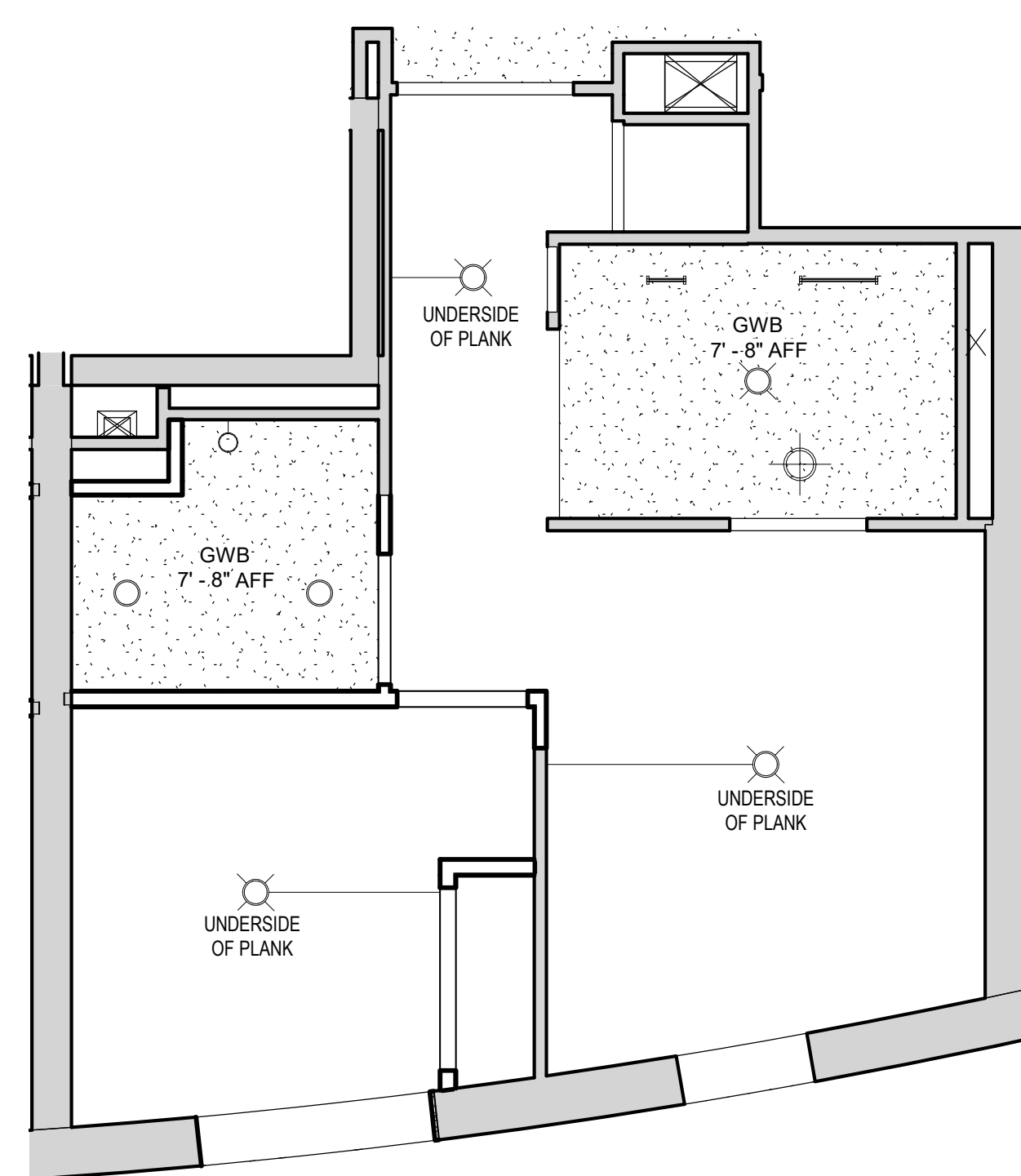
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	3-0" WALL MOUNTED FLUORESCENT FIXTURE
	ACOUSTIC TILE AND GRID
	FINISHED GWB CEILING
	UNFINISHED CEILING

GENERAL NOTES - FLOOR PLANS

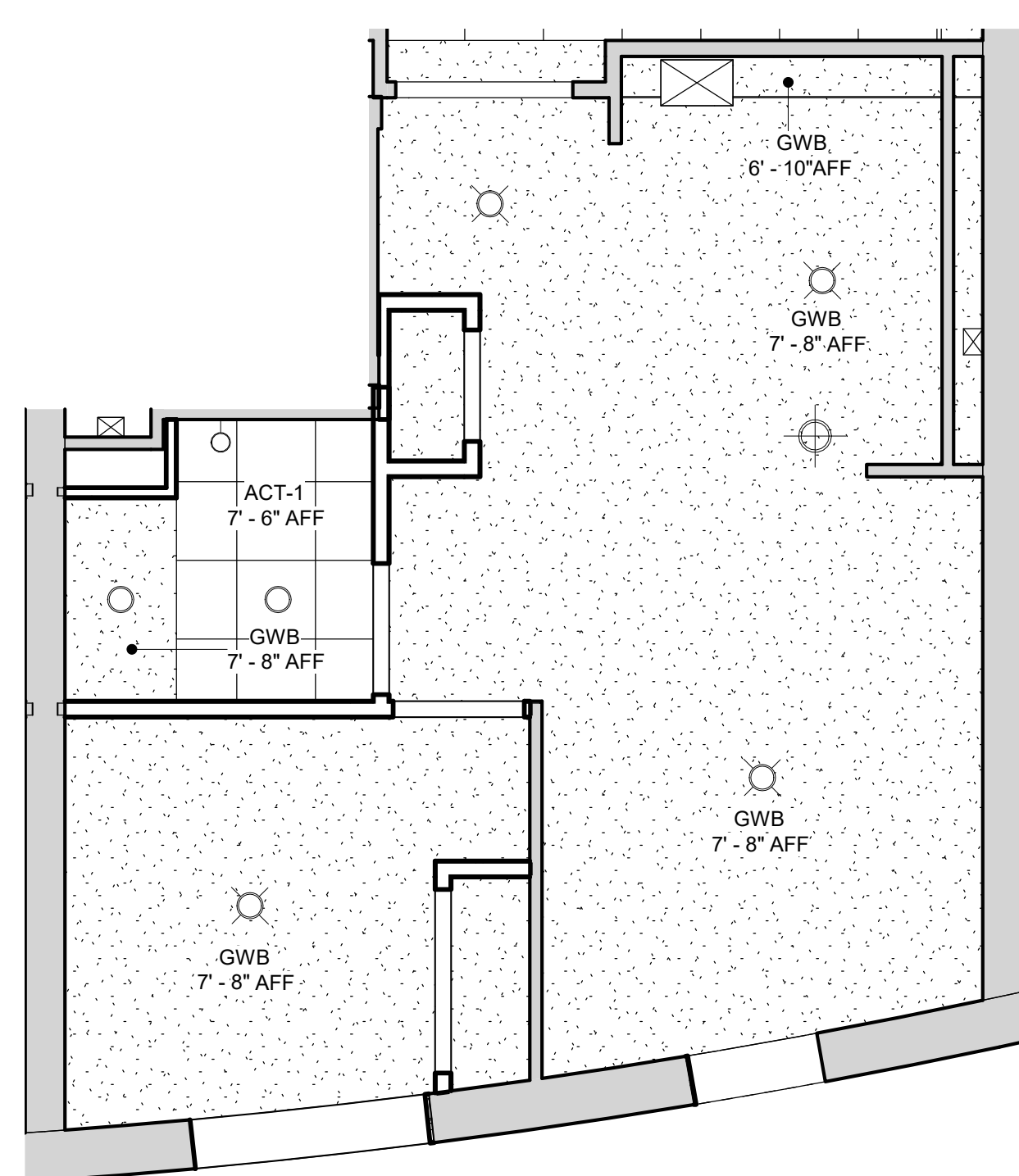
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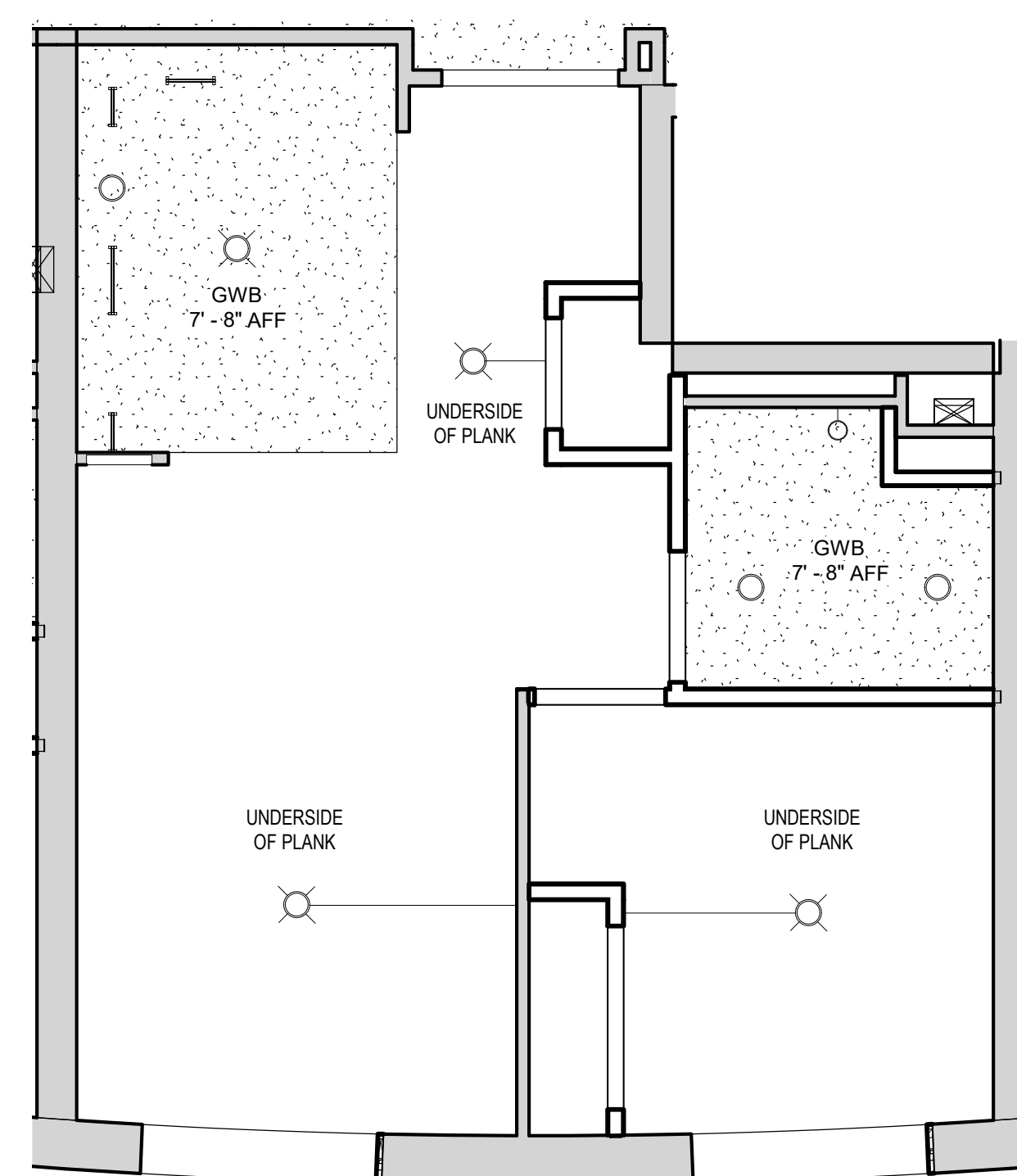
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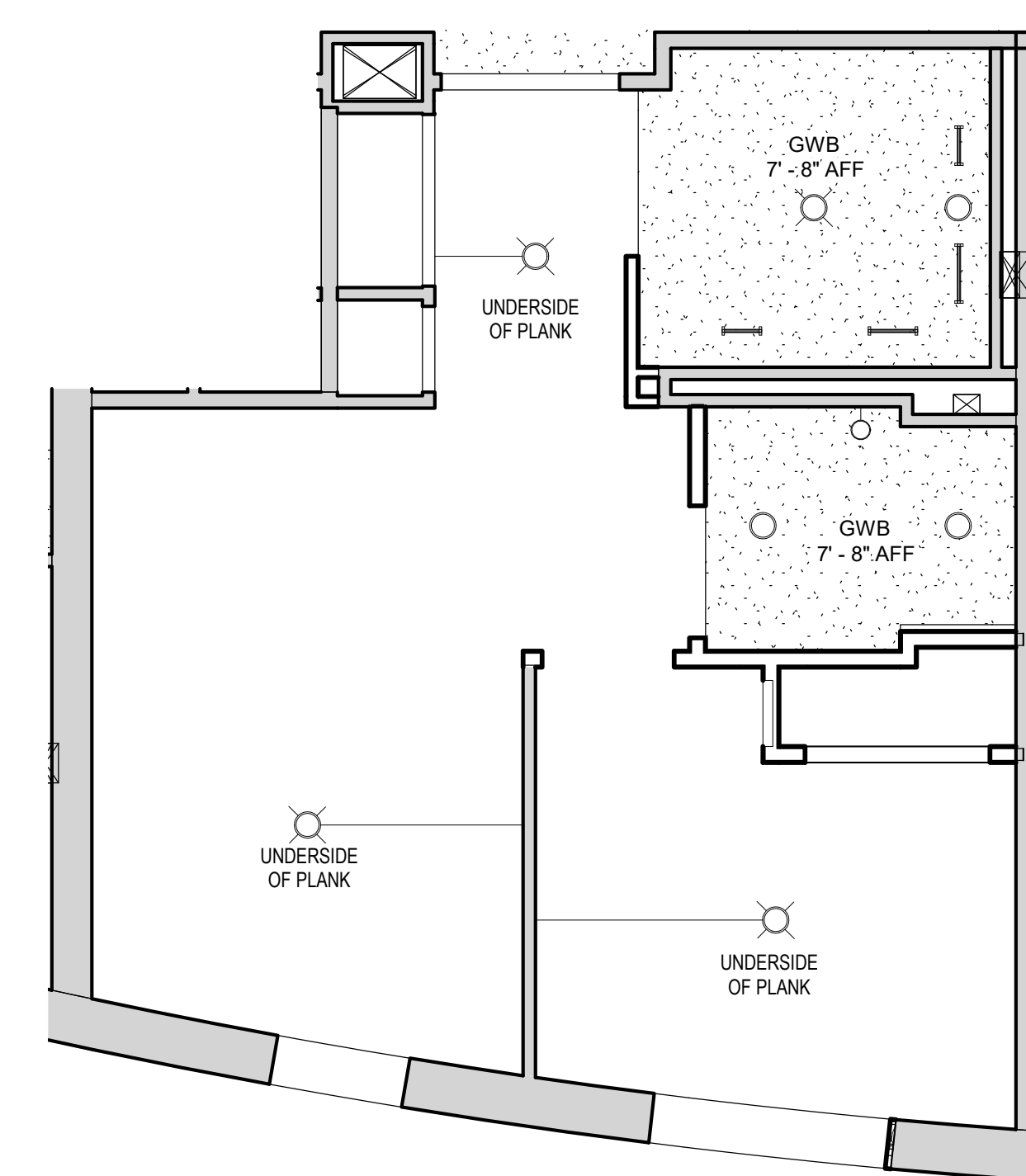
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1/4" = 1'-0"



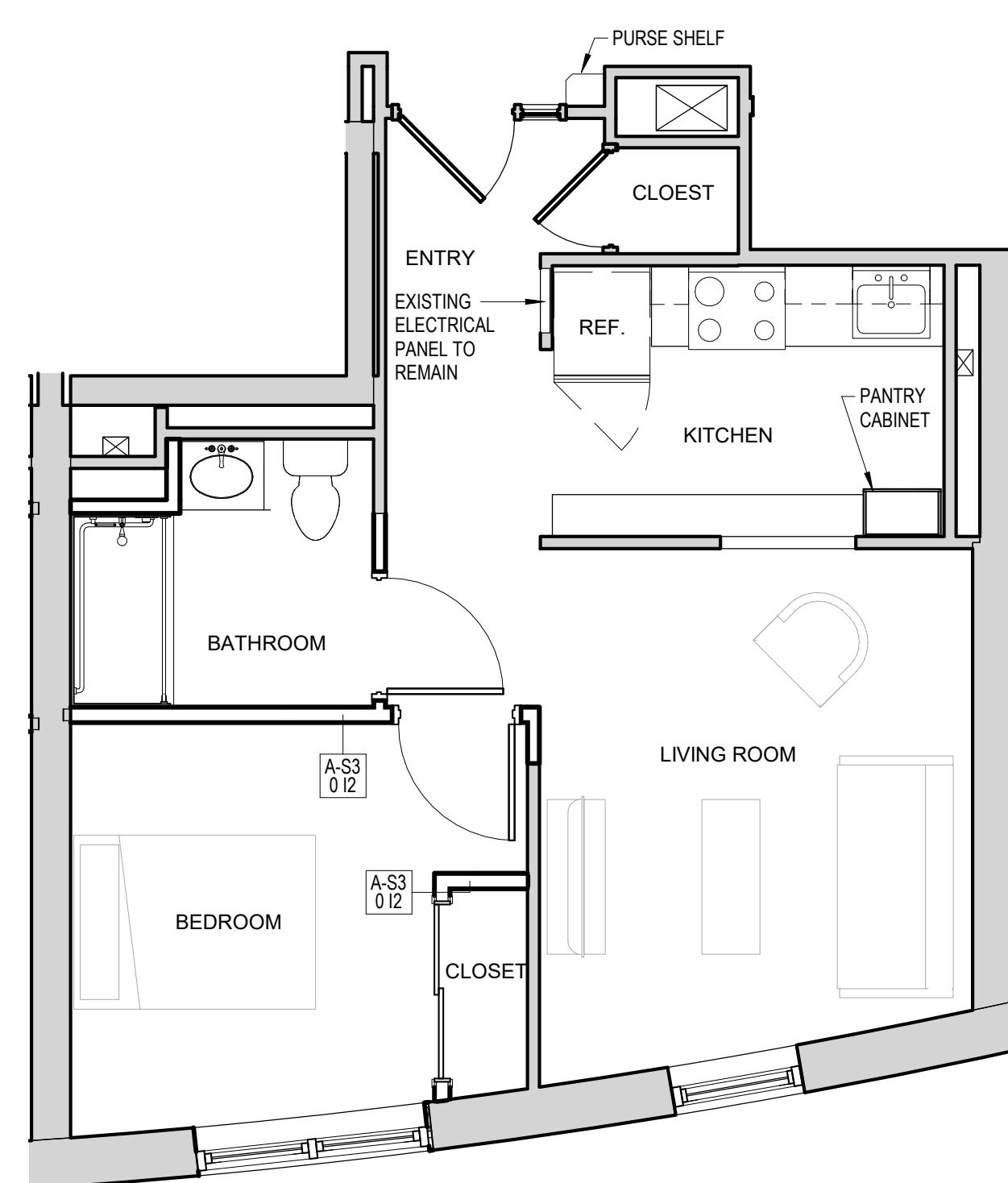
7 RCP - UNIT II-E MIRRORED / MODIFIED, LEVEL 1
1/4" = 1'-0"



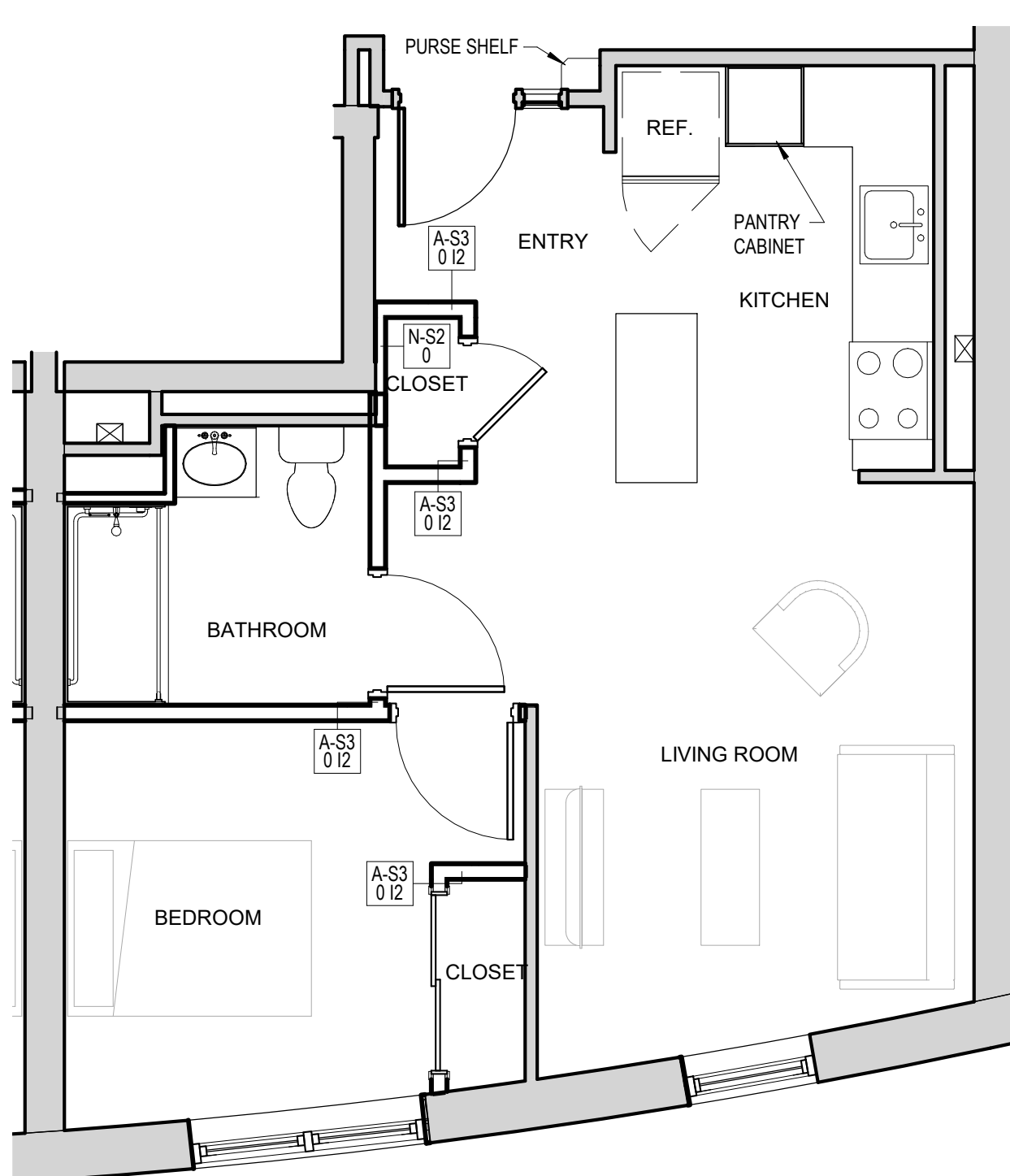
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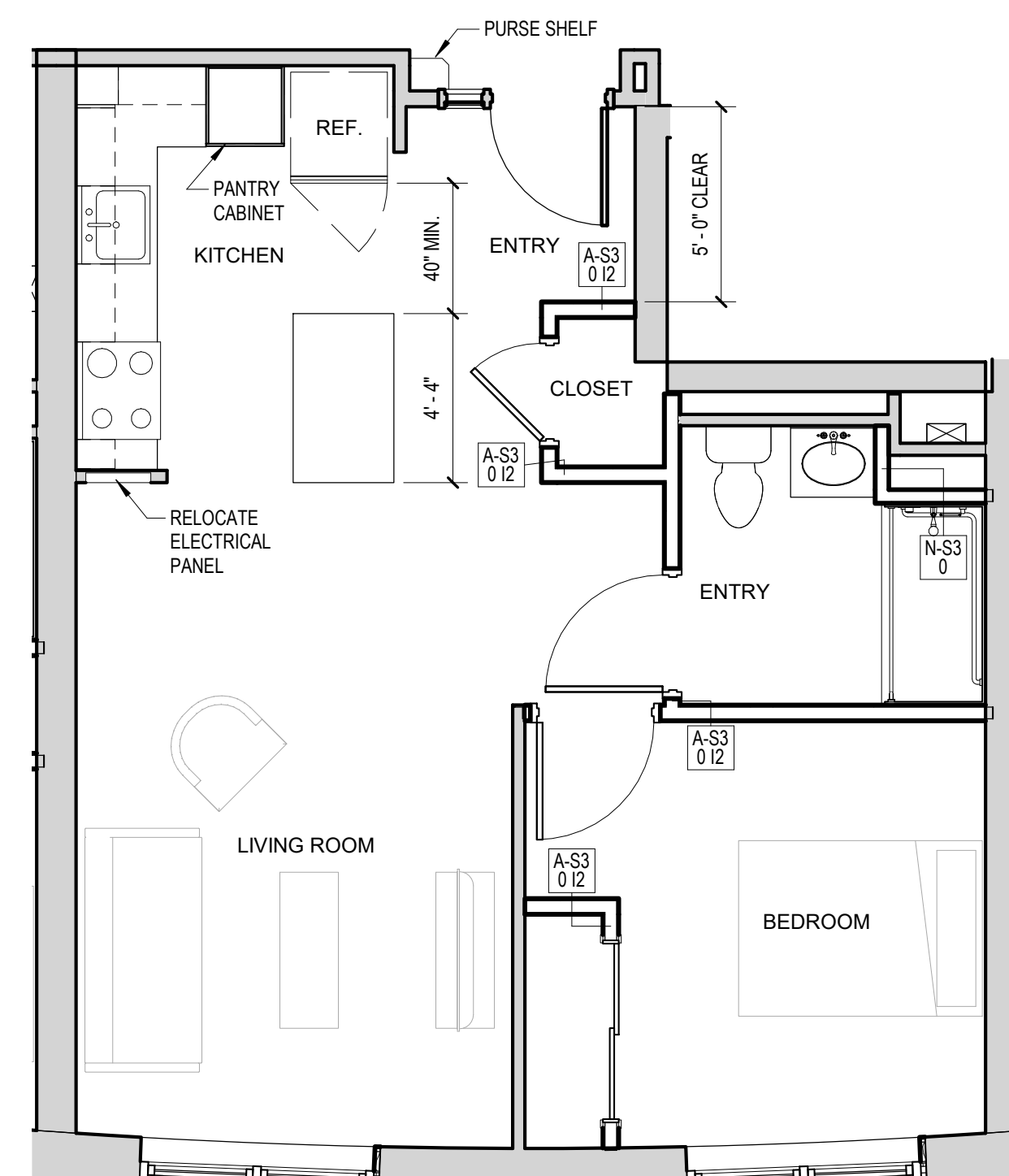
5 RCP - UNIT II-D, LEVEL 2
1/4" = 1'-0"



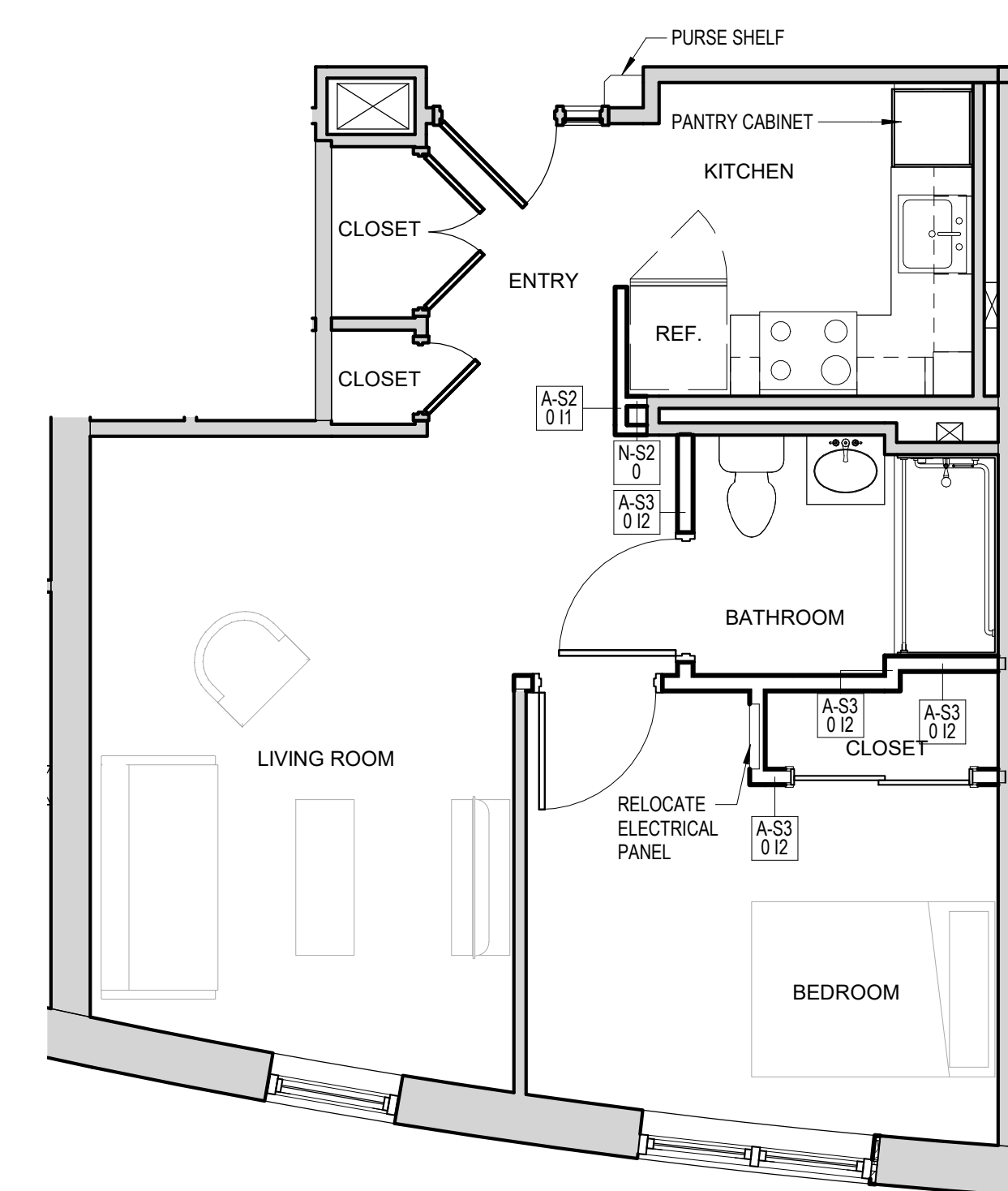
4 FLOOR PLAN - UNIT II-E MODIFIED
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES



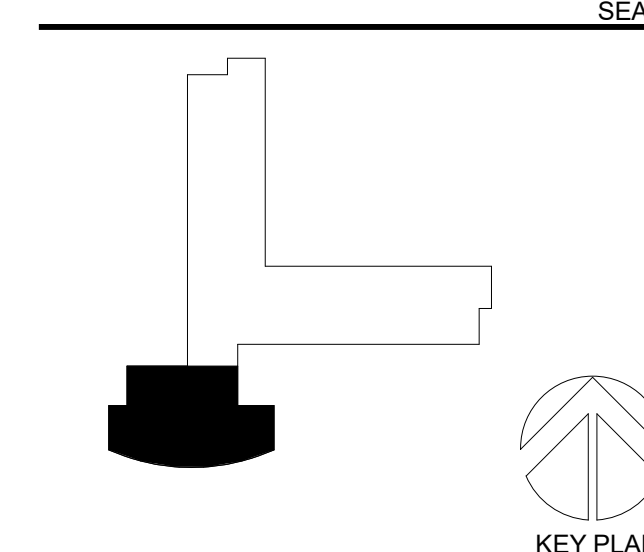
3 FLOOR PLAN - UNIT II-E MIRRORED / MODIFIED
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES
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2 FLOOR PLAN - UNIT II-E
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES



1 FLOOR PLAN - UNIT II-D
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES



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SCALE: As Indicated

A-404

SCHEMATIC DESIGN

08/07/2020

NO.	DATE	ISSUE

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- ACCESS PANEL LOCATIONS NOT SHOWN. PROVIDE FULLY COORDINATED COMPOSITE DRAWING SUBMITTAL FOR ALL TRADES SHOWING REQUIRED ACCESS PANEL LAYOUT FOR REVIEW BY OWNER AND ARCHITECT.
- REFER TO INTERIOR ELEVATIONS AND BUILDING ELEVATIONS FOR WALL FIXTURE MOUNTING HEIGHTS.
- CEILING-MOUNTED DEVICES AND FIXTURES NOT SHOWN MUST BE ALIGNED WITH ADJACENT DEVICES. EVENLY ARRANGED AND SYMMETRICAL IN SPACE.
- COORDINATE BULKHEAD HEIGHTS AND UNDERCABINET LIGHTING WITH CASEWORK. ALL UNDERCABINET LIGHTING SHALL BE MOUNTED AT BACK OF WALL CABINET. WHERE CABINET MEETS WALL, UNO.
- FIRESTOPPING EXPOSED TO VIEW SHALL BE PAINTED TO MATCH ADJACENT WALL/CEILING.
- CENTER VANITY WALL FIXTURES AT SINK LOCATIONS UNLESS NOTED OTHERWISE.
- SHOWER OR TUB LIGHT FIXTURES ARE TO BE CENTERED IN SHOWER OR TUB UNIT.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS OR OTHER TRADES PRIOR TO PERFORMING WORK.

CEILING PLAN LEGEND

	SURFACE MOUNT DOWNLIGHT
	DECORATIVE WALL SCONCE/VANITY FIXTURE
	PENDANT FIXTURE
	DECORATIVE SURFACE MOUNTED FIXTURE
	UNDERCABINET FIXTURE
	WIRE MOLD
	3'-0" WALL MOUNTED FLUORESCENT FIXTURE
	ACOUSTIC TILE AND GRID
	FINISHED GWB CEILING
	UNFINISHED CEILING

PERKINS EASTMAN
1100 Liberty Avenue
Pittsburgh, PA 15222
T: +1 412 456 0900
F: +1 412 456 0906

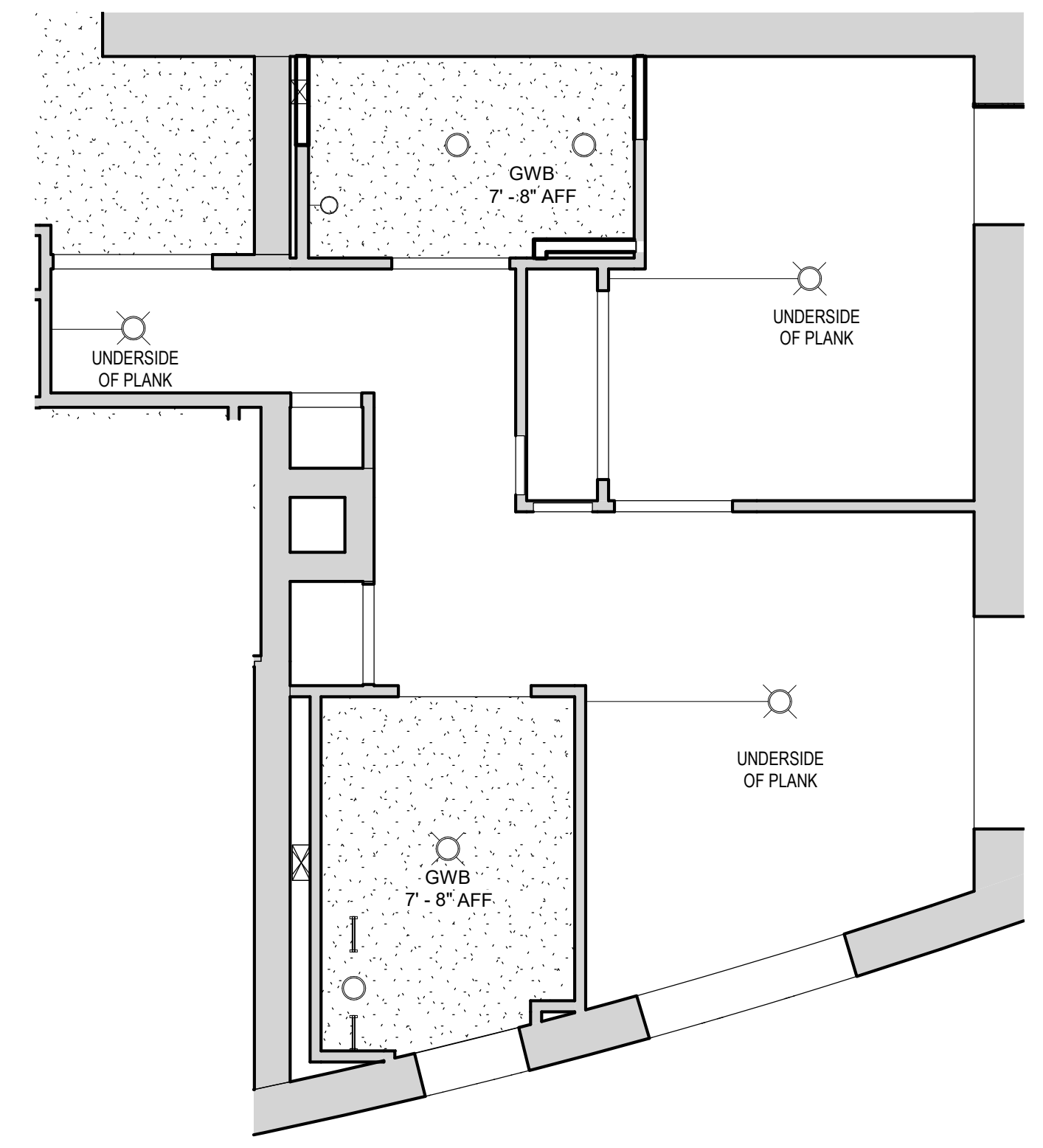
2LIFE COMMUNITIES
30 WALLINGFORD ROAD
BRIGHTON, MA 02135

DELLBROOK
ONE ADAMS PLACE, 859 WILLARD STREET
QUINCY, MA 02169

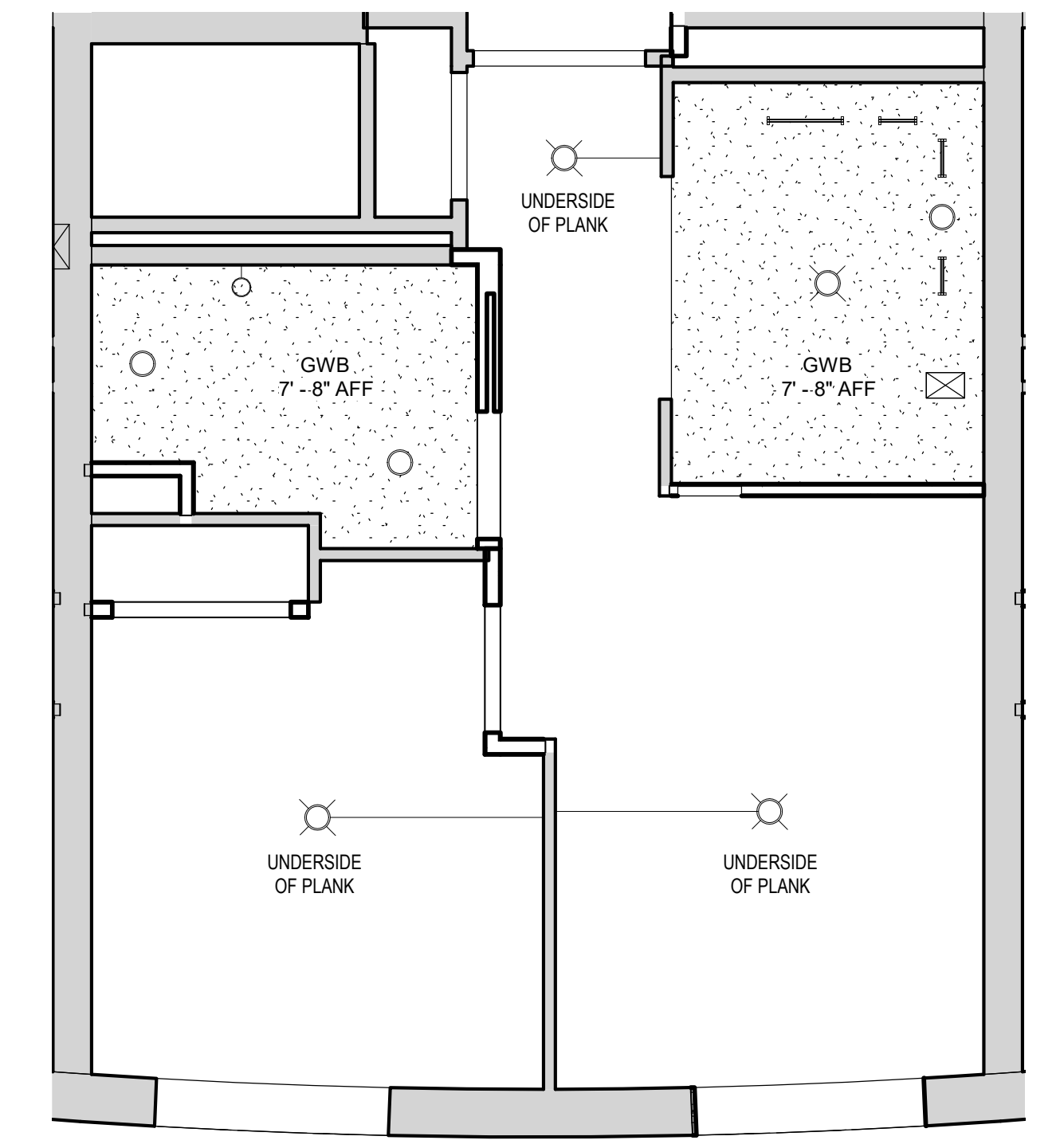
VEITAS & VEITAS ENGINEERS, INC.
639 GRANITE STREET BRAINTREE, MA 02184

MEPFP Engineer:
PETERSEN ENGINEERING, INC.
P.O. BOX 4516
PORTSMOUTH, NH 03802

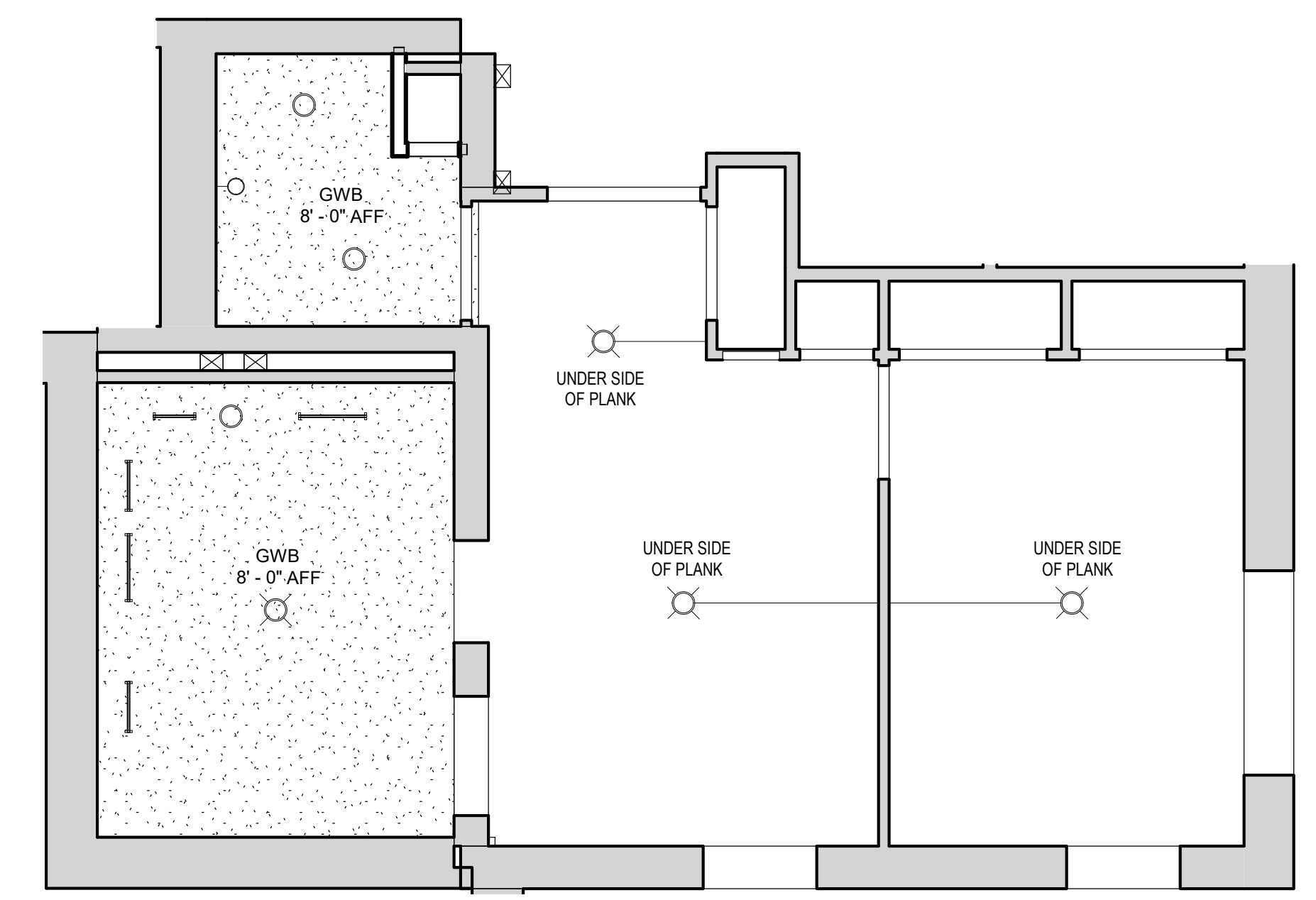
Envelope Consultant:
TRIP ENGINEERING SERVICES, LLC
435 MAIN STREET, SUITE 4
HUDSON, MA 01749



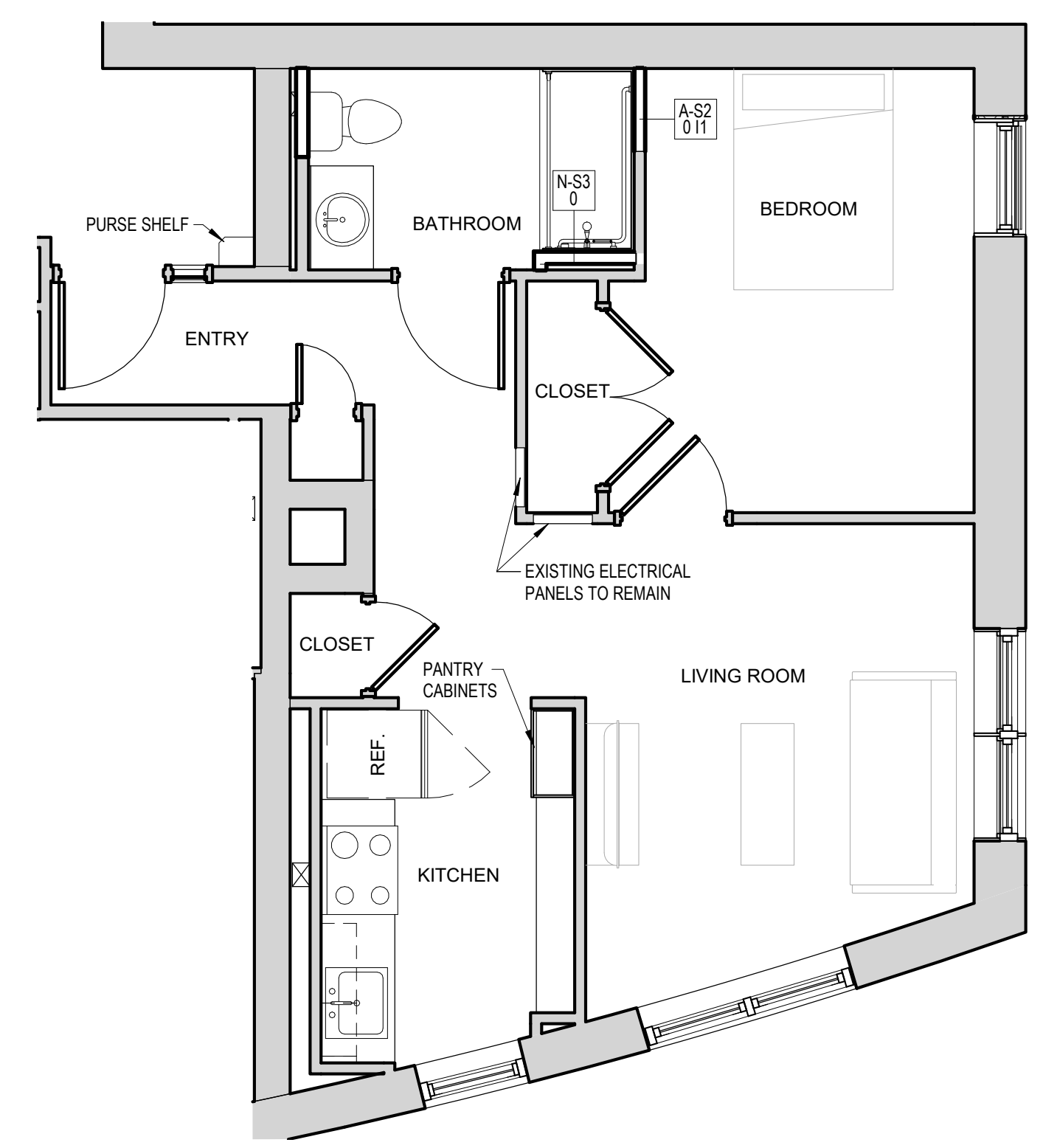
6 RCP - UNIT II-I, LEVEL 2
1/4" = 1'-0"



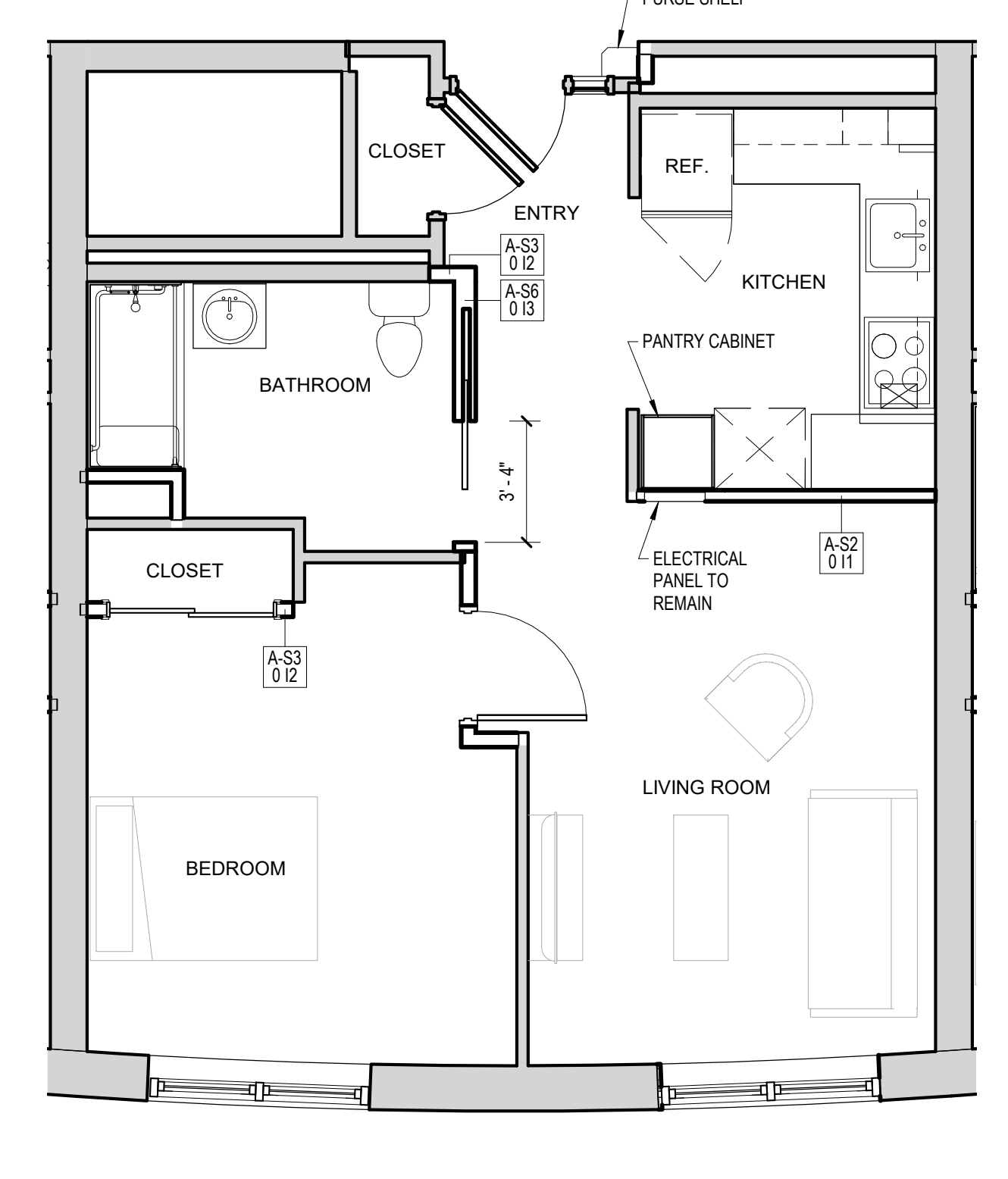
5 RCP - UNIT II-H (GROUP 2A), LEVEL 2
1/4" = 1'-0"



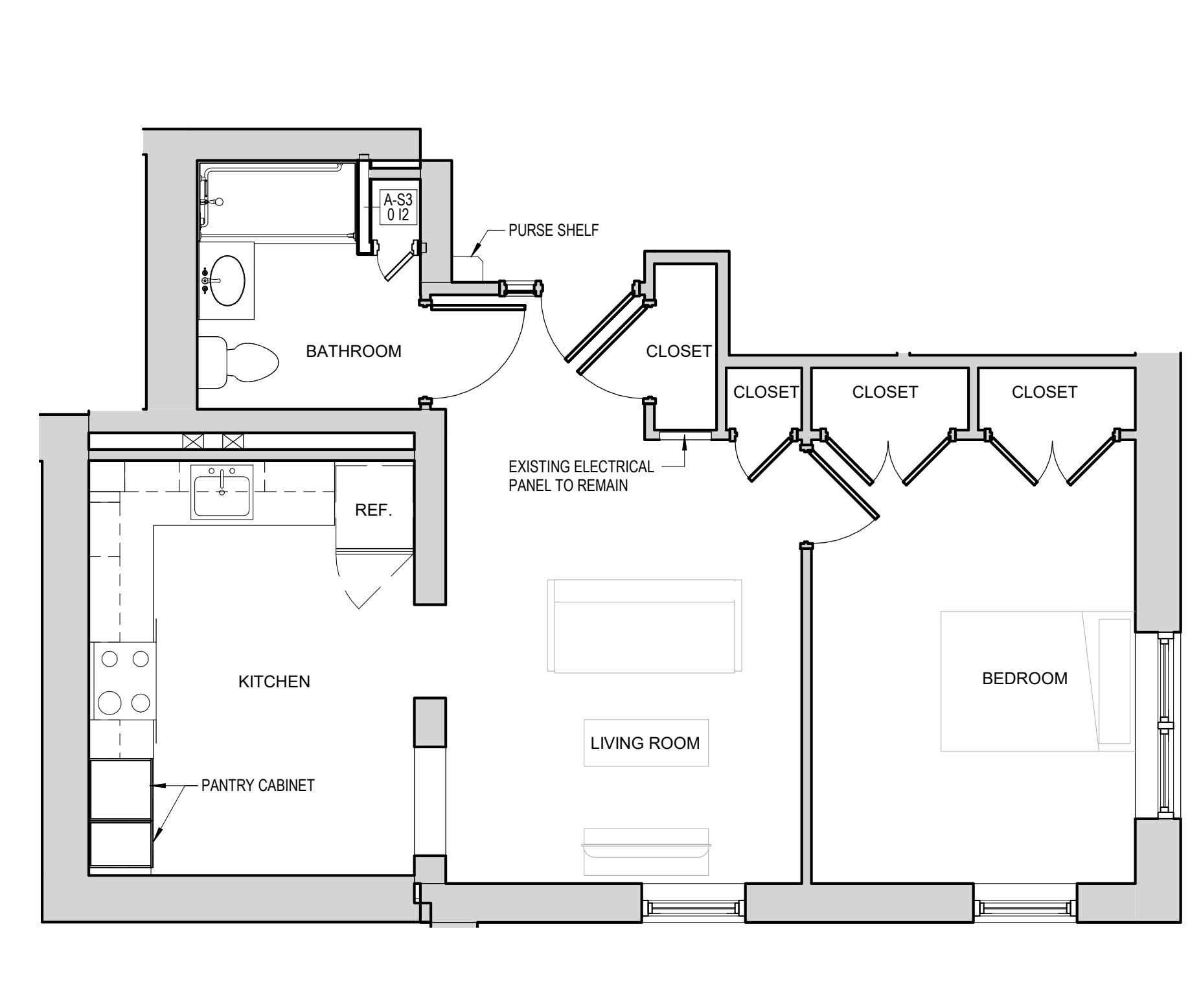
4 RCP - UNIT II-G, LEVEL 2
1/4" = 1'-0"



3 FLOOR PLAN - UNIT II-I
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES



2 FLOOR PLAN - UNIT II-H (GROUP 2A)
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: GROUP 2A REQUIREMENTS OF 521 CMR AND FHA GUIDELINES



1 FLOOR PLAN - UNIT II-G
1/4" = 1'-0"
APPLICABLE ACCESSIBILITY STANDARDS: FHA GUIDELINES

PROJECT TITLE:
2LIFE - COLEMAN HOUSE RENOVATIONS

677 WINCHESTER STREET
NEWTON, MA 02459

PROJECT No: 66574.00

DRAWING TITLE:
ENLARGED UNIT PLANS

SCALE: As Indicated

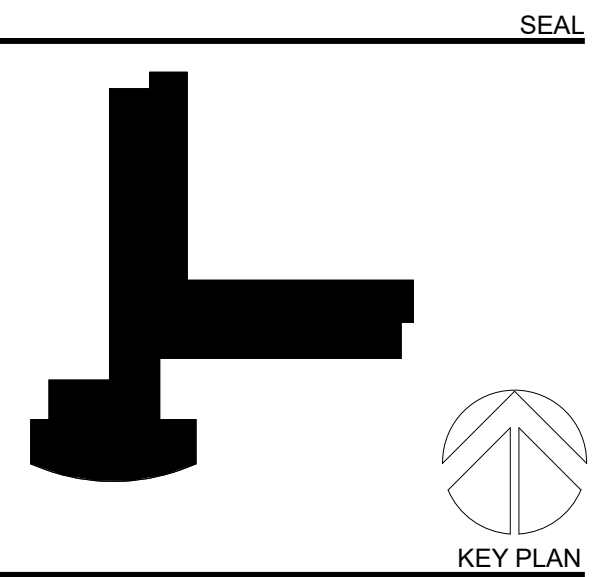
A-405

SCHEMATIC DESIGN

08/07/2020

C:\REVIT_LOCAL\66574_2Life-Coleman_R19_e_scheffler.rvt
8/7/2020 11:54:43 AM

NO.	DATE	ISSUE



PERKINS EASTMAN
 1100 Liberty Avenue
 Pittsburgh, PA 15222
 T: +1 412 458 0900
 F: +1 412 458 0906

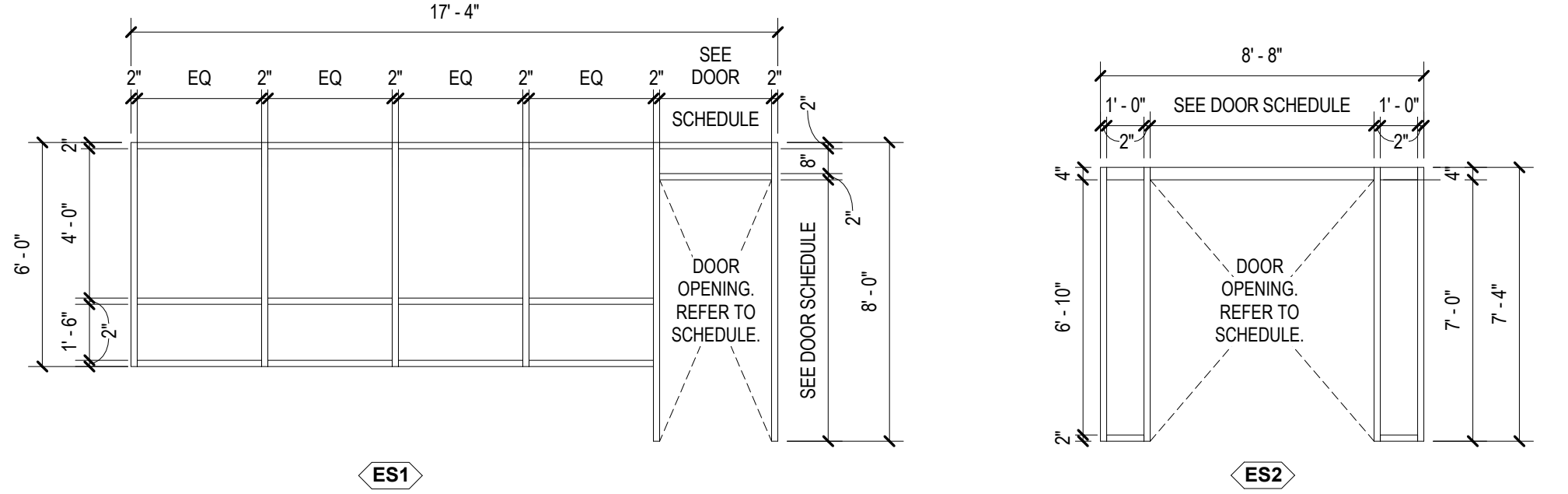
Owner:
2LIFE COMMUNITIES
 30 WALLINGFORD ROAD
 BRIGHTON, MA 02135

Construction Manager:
DELLBROOK
 ONE ADAMS PLACE, 859 WILLARD STREET
 QUINCY, MA 02169

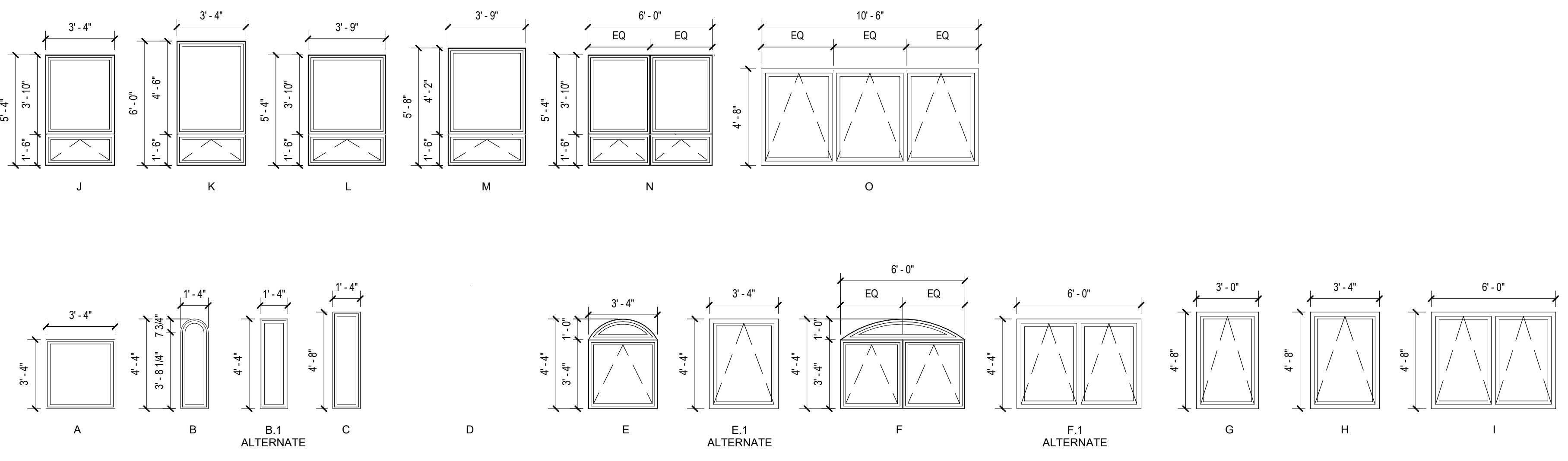
Structural Engineer:
VEITAS & VEITAS ENGINEERS, INC
 639 GRANITE STREET BRAintree, MA 02184

MEPFP Engineer:
PETERSEN ENGINEERING, INC.
 P.O. BOX 4516
 PORTSMOUTH, NH 03802

Envelope Consultant:
TRIP ENGINEERING SERVICES, LLC
 433 MAIN STREET, SUITE 4
 HUDSON, MA 01749



EXTERIOR STOREFRONT



WINDOW TYPES

PROJECT TITLE:
2LIFE - COLEMAN HOUSE RENOVATIONS

677 WINCHESTER STREET
 NEWTON, MA 02459

PROJECT No: 66574.00

DRAWING TITLE:
STOREFRONT & WINDOW TYPES

SCALE: 1/4" = 1'-0"

A-621

SCHEMATIC DESIGN

08/07/2020