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**AMENDED APPLICATION  
For  
SPECIAL PERMIT #25-20  
For a  
MARIJUANA RETAILER**

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**UNION TWIST, INC.  
630 Worcester Road  
Framingham, MA 01702**

**c/o Michael P. Ross, Esq.  
Prince Lobel Tye LLP  
One International Place, Suite 3700  
Boston, MA 02110**

**Applicant**

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**Property Location:**

**1158 Beacon Street  
Newton, MA 02461**

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**Prepared by: Michael P. Ross, Esq.  
Prince Lobel Tye LLP  
One International Place, Suite 3700  
Boston, MA 02110  
Telephone: (617) 456-8000  
Facsimile: (617) 456-8100**

May 19, 2020

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For Special Permit #25-20  
For a  
MARIJUANA RETAILER**

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**1158 Beacon Street  
Newton, MA**

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May 19, 2020

**Via Electronic Mail**

Newton City Council  
Land Use Committee  
City of Newton  
1000 Commonwealth Avenue  
Newton, MA 02459

Re:	Amendment of Special Permit Application
Property Address:	1158 Beacon Street, Newton
Applicant:	Union Twist Inc.

Dear Honorable Chair and Members of the Land Use Committee:

This firm represents Union Twist Inc. (“Union Twist” or the “Applicant”) in connection with its application for a Special Permit (the “Special Permit”) from the City of Newton (the “City”) to permit the operation of its proposed Marijuana Retailer (the “Marijuana Retailer”) at 1158 Beacon Street, Newton, MA 02461 (the “Property”). This submission is an amendment to the application for a Special Permit filed on December 23, 2019, docketed as Petition #25-20. An amended Special Permit Application form is attached hereto as **Tab 2**. The Department of Planning and Development’s revised Zoning Review Memorandum dated May 13, 2020, based on a review of the revised plans for the Property, is attached hereto and incorporated herewith as **Tab 3**.

Since the original filing of the special permit petition, the Applicant reached an agreement with the owner of 1172 Beacon Street, Newton, MA regarding an easement in perpetuity to increase the width of the driveway serving the proposed Marijuana Retailer’s parking facility from 19 feet to 20 feet, which is the required width of two-way drive aisles pursuant to §5.1.8.D.1 of the Newton Zoning Ordinance (the “Ordinance”). Pursuant to §5.1.6.A of the Ordinance, off street parking facilities must be provided on the same lot as the principal use, and when the requirements cannot be met on the same lot as the principal use served, a special permit may be granted to allow those requirements to be met on a lot within 500 feet pursuant to §5.1.6.B. Thus, the Applicant further requests relief pursuant to §5.1.6.A, §5.1.6.B, and §5.1.8.D.1 of the Ordinance to allow the Applicant to use an easement to meet the parking facility requirements of the Ordinance.

Similarly, the easement shall increase the proposed perimeter screening for most of the western boundary to meet the perimeter screening requirements as set forth in §5.1.9.A. Therefore the Applicant further requests relief pursuant to §5.1.6.A and §5.1.6.B, as explained in the previous paragraph, and §5.1.9.A of the Ordinance, to allow the Applicant to use an easement to meet the parking facility requirements of the Ordinance. There is, however, a small area near the rear of the driveway entering the rear parking facility that does not meet the perimeter screening requirements. As such, the Applicant requests a waiver from the perimeter screening requirements pursuant to §5.1.9.A and §5.1.13 of the Ordinance for that small portion of the easement.

Additionally, the Applicant requests relief required under §5.1.8.A.1 and §5.1.13 of the Ordinance to allow for one (1) parking space within the southeast, side setback abutting a residential property in the

MRI zoning district. Please note this was originally overlooked by the original application, and the number and placement of parking spaces have not been changed from the original submission.

The Applicant maintains the following relief previously sought: (i) for the use of the Property for a Marijuana Retailer (§4.1.1 and §6.10.3.D) and (ii) to waive lighting requirements (§5.1.10 and §5.1.13).

The revised plans reflecting the newly delineated easement area are attached hereto and incorporated herewith as **Tab 4**.

Thank you for your attention to this matter, and I look forward to further discussion on this project.

Sincerely,



Michael P. Ross, Esq.

Direct: 617-456-8149

Email: [mross@princelobel.com](mailto:mross@princelobel.com)

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# SPECIAL PERMIT APPLICATION

## TO THE NEWTON CITY COUNCIL

The undersigned hereby makes application for permit to erect and use, to alter and use, or to make such uses as may be hereinafter specified of a building or buildings at the location and for the purpose hereinafter specified under the provisions of Chapter 30 of the Revised Ordinances, 2015, as amended, or any other sections

### PLEASE REFERENCE SECTIONS OF THE ORDINANCES FROM WHICH RELIEF IS REQUESTED:

\_\_\_\_\_

\_\_\_\_\_

**PETITION FOR:**  Special Permit/Site Plan Approval and waive lighting requirements.  
 Extension of Non-conforming Use and/or Structure  
 Site Plan Approval

STREET \_\_\_\_\_ WARD \_\_\_\_\_

SECTION(S) \_\_\_\_\_ BLOCK(S) \_\_\_\_\_ LOT(S) \_\_\_\_\_

APPROXIMATE SQUARE FOOTAGE (of property) \_\_\_\_\_ ZONED \_\_\_\_\_

TO BE USED FOR: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

EXPLANATORY REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

(§5.1.8.A.1, §5.1.13).

The undersigned agree to comply with the requirements of the Zoning Ordinance and rules of the Land Use Committee of the City Council in connection with this application.

**PETITIONER (PRINT)** \_\_\_\_\_

SIGNATURE \_\_\_\_\_

ADDRESS \_\_\_\_\_

TELEPHONE \_\_\_\_\_ Email \_\_\_\_\_

**ATTORNEY** \_\_\_\_\_

ADDRESS \_\_\_\_\_

TELEPHONE \_\_\_\_\_ Email \_\_\_\_\_

**PROPERTY OWNER** \_\_\_\_\_

ADDRESS \_\_\_\_\_

TELEPHONE \_\_\_\_\_ Email \_\_\_\_\_

SIGNATURE OF OWNER \_\_\_\_\_

Planning & Development  
Department Endorsement

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Ruthanne Fuller  
Mayor

City of Newton, Massachusetts  
Department of Planning and Development  
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone  
(617) 796-1120  
Telefax  
(617) 796-1142  
TDD/TTY  
(617) 796-1089  
www.newtonma.gov

Barney S. Heath  
Director

## ZONING REVIEW MEMORANDUM

Date: May 13, 2020

To: John Lojek, Commissioner of Inspectional Services

From: Jane Santosuosso, Chief Zoning Code Official  
Neil Cronin, Chief Planner for Current Planning

Cc: Scott M. Baratz (POA), applicant  
Union Twist, Inc.  
Michael P. Ross, Attorney  
Barney S. Heath, Director of Planning and Development  
Jonah Temple, Assistant City Solicitor

RE: Request to allow a marijuana retail establishment and associated dimensional waivers for the parking facility

Petitioner: Union Twist, Inc.	
Site: 1158 Beacon Street	SBL: 54022 0049A
Zoning: BU2	Lot Area: 20,443 square feet
Current use: Dry cleaner	Proposed use: Marijuana retail establishment

### BACKGROUND:

The property at 1158 Beacon Street consists of a 20,443 square foot lot improved with a one-story commercial building constructed in 1964 currently occupied by a dry cleaner and small take-out restaurant. The petitioner seeks to operate a marijuana retail establishment pursuant to section 6.10.3 in the space occupied by the dry cleaner. The petitioner intends to remove approximately 400 square feet from the rear of the building, and to reconfigure the existing parking areas to increase from 12 to 18 parking stalls.

The following review is based on plans and materials submitted to date as noted below.

- Zoning Review Application, prepared by Michael P. Ross, attorney, dated 10/25/2019
- Existing Conditions Plan, signed and stamped by Gerry L. Holbright, surveyor, dated 4/1/2019
- Site Plan, prepared by Fuss & O'Neill, dated 10/23/2019
- Floor Plans, signed and stamped by Keith Bettencourt, architect, dated 9/9/2019
- Traffic Impact Statement, prepared by Hayes Engineering, Inc, dated 1/7/2019

## **ADMINISTRATIVE DETERMINATIONS:**

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1. The petitioner is proposing to operate a marijuana retail establishment. This use requires a special permit from the City Council per Section 6.10.3.D of the Newton Zoning Ordinance.
2. Section 6.10.3.E.5 states that a marijuana retailer is subject to the parking requirements of 5.1.4.A, which requires one stall for every 300 square feet of gross floor area, and one stall for every three employees at the highest shift for the retail use. The petitioners are proposing to occupy 2,290 square feet for the operation and is contemplated to have 10 employees at the busiest shift. The proposed establishment requires 12 parking stalls.

A take-out only restaurant occupies the second tenant space within the existing commercial building. Per section 5.1.4.A, a restaurant requires one parking stall per every three seats, plus one stall for every three employees at the busiest shift. The existing restaurant requires two parking stalls.

The petitioner is proposing to reconfigure the existing parking area with 18 parking stalls, which satisfies the requirements of section 5.1.4.A.

3. Section 5.1.8.A.1 requires that no parking locate within any required front or side setback. While the majority of the lot abuts other lots also zoned Business 2, the rear abuts properties zoned either Multi-Residence 1 or 2, which requires that the setback be the greater of half the building height or 15 feet. As such, the one-story building creates a 15-foot side setback requirement. The proposed parking facility has one stall in the rear that is abutting the MR1 zoning district within the side setback, requiring a special permit per sections 5.1.8.A.1 and 5.1.13.
4. Section 5.1.8.D.1 requires that two-way entrance and exit drives must be a minimum of 20 feet wide. The driveway to the rear parking area narrows to less than 19 feet wide on the property, however the petitioner has secured an easement with the abutter at 1172 Beacon Street allowing for a 20 foot wide access driveway. Per section 5.1.6.A required off-street parking facilities must be provided on the same lot as the principal use. When a property cannot meet the requirements for off-street parking facilities on the same lot as the principal use served, a special permit may be granted to allow those requirements to be met on a lot within 500 feet per section 5.1.6.B. The petitioners seek a special permit per sections 5.1.6.A, 5.1.6.B and 5.1.8.D.1 to allow the driveway width requirement to be provided in part on the abutting property via an easement.
5. Per section 5.1.9.A, outdoor parking facilities with more than five stalls must be screened from abutting streets and properties with a strip of at least five feet in width of dense shrubs or trees and/or a wall, fence etc. of at least six feet in height. The petitioners propose shrubs along the eastern border, some fencing and shrubs along the rear half of the western border and three trees at the rear.

The petitioners also intend to provide perimeter screening in a landscape easement with the abutting property at 1172 Beacon Street. Per section 5.1.6.B, a special permit is required to provide the perimeter screening off site. A portion of the required screening for 1172 Beacon

Street prohibits a continuous landscape easement for the subject property. The petitioner requires a waiver from the perimeter screening requirements of 5.1.9.A and 5.1.13 for that section.

6. Section 5.1.10.A requires that parking facilities which are used at night have security lighting with a minimum intensity of one-foot candle on the entire surface of the parking facility. To the extent that any proposed lighting in the parking facility does not meet the requirements of section 5.1.10.A, a special permit is required.
  
7. See “Zoning Relief Summary” below:

<b>Zoning Relief Required</b>		
<i>Ordinance</i>	<i>Required Relief</i>	<i>Action Required</i>
§6.10.3.D §4.4.1	To allow a marijuana retailer	S.P. per §7.3.3
§5.1.8.A.1 §5.1.13	To allow parking in the side setback	S.P. per §7.3.3
§5.1.8.D.1 §5.1.6.A §5.1.6.B	To allow the minimum driveway width for two-way traffic to be provided off-site	S.P. per §7.3.3
§5.1.9.A §5.1.13	To waive perimeter screening requirements	S.P. per §7.3.3
§5.1.9.A §5.1.6.A §5.1.6.B	To allow perimeter screening to be provided off-site	S.P. per §7.3.3
§5.1.10 §5.1.13	To waive the lighting requirements	S.P. per §7.3.3

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# UNION TWIST DISPENSARY

1158 BEACON STREET, NEWTON, MA

## PERMITTING PLANS

OCTOBER 23, 2019

REVISED MAY 6, 2020

PREPARED FOR

**UNION TWIST, INC.**

1 INTERNATIONAL PL #3700  
BOSTON, MA 02110

PREPARED BY



**FUSS & O'NEILL**

108 MYRTLE STREET, SUITE 502  
QUINCY, MA 02171  
617.282.4675  
www.fando.com

### SHEET INDEX

<u>SHEET No.</u>	<u>SHEET TITLE</u>
GI-001	COVER SHEET
CN-101	GENERAL NOTES
GI-100	CONTEXT MAP
SHEET 1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY BY CONTROL POINT ASSOCIATES
CP-101	SITE PREPARATION PLAN
CE-101	EROSION AND SEDIMENT CONTROL PLAN
CS-101	SITE LAYOUT PLAN
CG-101	GRADING AND DRAINAGE PLAN
LP-101	SITE LANDSCAPING PLAN
CD-501	EROSION AND SEDIMENT CONTROL DETAILS
CD-502-506	SITE DETAILS
SL-101	SITE PHOTOMETRIC PLAN

### PROJECT TEAM

ARCHITECT

BKA ARCHITECTS INC.  
344 BOYLSTON STREET  
BOSTON, MA 02116  
508-728-3853

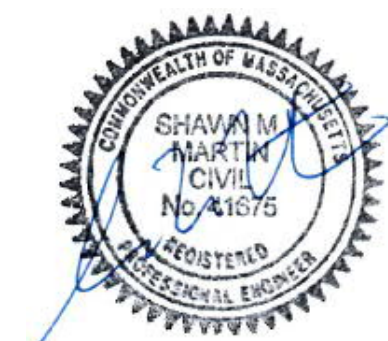
LAND SURVEYOR

CONTROL POINT ASSOCIATES  
45 FRANKLIN STREET 5TH FLOOR  
BOSTON, MA 02110  
857-400-3311



LOCATION MAP

SCALE: 1" = 200'



NOT FOR CONSTRUCTION

PROJ. No.: 20190241.A30  
DATE: 10/23/2019

GI-001

**GENERAL**

- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
- PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDINGS AND ADJACENT SITE ELEMENTS INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- BASE PLAN: OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY", PREPARED BY CONTROL POINT ASSOCIATES INC., DATED 04/01/19.
- TOPOGRAPHIC ELEVATIONS ARE BASED ON NAVD88.
- FLOOD ZONE: THE SUBJECT SITE LIES WITHIN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 25017C0554E, EFFECTIVE DATE JUNE 4, 2010.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE FOR INSPECTION AT THE CONSTRUCTION SITE AT ALL TIMES.

**WORK RESTRICTIONS**

- DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
- WORK IS RESTRICTED TO THE HOURS OF 7 AM TO 5 PM ON MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

**REGULATORY REQUIREMENTS**

- WITHIN RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS.
- AT A MINIMUM, CONSTRUCT ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- SECURE THE PROJECT SITE AND PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

**DEMOLITION**

- THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED. PERFORM A PRE-BID SITE INSPECTION. COORDINATE DEMOLITION OF UNIDENTIFIED UTILITIES OR STRUCTURES WITH OWNER. DEMOLISH STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES.
- TREES, BRUSH AND STUMPS REMOVED BY CLEARING & GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
- ITEMS TO BE STOCKPILED ON-SITE FOR REUSE OR TO BE RELOCATED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED IN-KIND AT NO ADDITIONAL COST TO THE OWNER.
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION AND PROTECTION REQUIREMENTS.

**EARTHWORK**

- NOTIFY THE FOLLOWING AT LEAST 72 HOURS BEFORE STARTING EXCAVATION EXCLUSIVE OF WEEKENDS AND HOLIDAYS.  
 "DIG SAFE" AT 1-888-344-7233.
- WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, PERFORM EARTHWORK OPERATIONS TO SUBGRADE ELEVATIONS. SEE DRAWINGS BY OTHERS FOR WORK ABOVE SUBGRADE.

**CONSTRUCTION LAYOUT**

- PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND DRAINAGE STRUCTURES BEFORE START OF CONSTRUCTION.
- PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
- IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
- DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
- BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

**EROSION AND SEDIMENT CONTROL**

- DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW AND LOCAL ORDINANCE. WORK SHALL COMPLY WITH THE FOLLOWING CRITERIA TO PREVENT OR MINIMIZE SOIL EROSION.
- INSTALL, INSPECT, MAINTAIN, AND REPAIR OR REPLACE TEMPORARY AND PERMANENT EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION IN A TIMELY MANNER THROUGHOUT THE LIFE OF THE PROJECT. MAINTAIN PERMANENT MEASURES UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETED OR UNTIL IT IS ACCEPTED BY THE OWNER. DISPOSE OF SEDIMENT IN AN UPLAND AREA.
- INSPECT EROSION AND SEDIMENT CONTROLS DAILY AND REMOVE ACCUMULATED SEDIMENTS AS NEEDED. REPAIR OR CORRECT ANY ISSUES.
- MAINTAIN A STOCKPILE OF ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES ON SITE AT ALL TIMES. AT A MINIMUM, MAINTAIN A STOCKPILE OF AT LEAST 100 FEET OR 10% OF THE TOTAL AMOUNT OF DEVICES CURRENTLY DEPLOYED AT THE SITE, WHICHEVER IS GREATER.
- CLEAN ROADS, CONTROL DUST, AND TAKE NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ROADS BE MAINTAINED IN A MUD- AND DUST-FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO, WATER AND/OR CRUSHED STONE OR COARSE GRAVEL, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- INSTALL PERIMETER SEDIMENT CONTROL BARRIERS AS SHOWN ON THE SITE PLANS OR AS MAY BE REQUIRED TO PREVENT SEDIMENT FLOW TO STORM DRAINS OR SURFACE WATERS. A ROW OF STAKED HAYBALES OR A SILT FENCE SHALL ALSO BE INSTALLED AROUND ANY SOIL STOCKPILE AREAS. CLEANOUT OF ACCUMULATED SEDIMENT BEHIND PERIMETER SEDIMENT CONTROL BARRIER IS NECESSARY IF ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER BECOMES FILLED WITH SEDIMENT. REPLACE BARRIER IMMEDIATELY IF BARRIER DECOMPOSED OR BECOMES INEFFECTIVE.
- PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED.
- IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN THIRTY (30) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS. OUTSIDE OF THE GROWING SEASON, ONLY WOOD MULCH SHALL BE USED.
- PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO ALL DISTURBED AREAS THAT HAVE REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS PERMANENTLY CEASED. THE RECOMMENDED PERMANENT SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO SEPTEMBER 30.  
  
 LIMESTONE AND FERTILIZER SHALL BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS OFFERED BY THE UNIVERSITY OF MASSACHUSETTS SOIL TESTING LABORATORY. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11.5 POUNDS PER 1,000 SQUARE FEET OF 10-20-20 OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AS FOLLOWS: 4 TONS PER ACRE (OR 180 POUNDS PER 1,000 SQUARE FEET) FOR CLAY, CLAY LOAM AND HIGH ORGANIC SOIL; 3 TONS PER ACRE (OR 135 POUNDS PER 1,000 SQUARE FEET) FOR SANDY LOAM, LOAM, OR SILT LOAM; AND 2 TONS PER ACRE (OR 90 POUNDS PER 1,000 SQUARE FEET) LOAMY SAND OR SAND.
- EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES THAT MAY BE SUBJECT TO SEDIMENTATION SHALL BE PROTECTED WITH STAKED STRAW BALES, WATTLES, SILT FENCE, SILT SACKS, OR OTHER APPROVED MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- WASTE DISPOSAL: MATERIALS WHICH COULD BE A POTENTIAL SOURCE OF STORMWATER POLLUTION SUCH AS GASOLINE, DIESEL FUEL, HYDRAULIC OIL, ETC., SHALL BE STORED AT THE END OF EACH DAY IN A STORAGE TRAILER OR COVERED LOCATION AND TAKEN OFF-SITE AND PROPERLY DISPOSED OF. ALL TYPES OF WASTE GENERATED AT THIS SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS.
- GOOD HOUSEKEEPING: THE PROJECT SITE SHALL PROVIDE FOR THE MINIMIZATION OF EXPOSURE OF CONSTRUCTION DEBRIS (INCLUDING, BUT NOT LIMITED TO, INSULATION, WIRING, PAINTS AND PAINT CANS, SOLVENTS, WALL BOARD, ETC.) TO PRECIPITATION BY MEANS OF DISPOSAL AND/OR PROPER SHELTER OR COVER. CONSTRUCTION WASTE MUST BE PROPERLY DISPOSED OF IN ORDER TO AVOID EXPOSURE TO PRECIPITATION AT THE END OF EACH WORKING DAY.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES. CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.

**SITE RESTORATION**

- PROVIDE 6 INCHES OF TOPSOIL AND SEED IN AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED AS IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED. SUPPLEMENT EXISTING TOPSOIL WITH IMPORTED TOPSOIL AS REQUIRED TO ACHIEVE DEPTH.
- REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
- RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.

**PLANTING**

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS.
- SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT NO EXPENSE TO THE OWNER.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
- ANY DAMAGED VEGETATION SHALL BE REPLACED OR REPAIRED AT NO EXPENSE TO THE OWNER.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" THICK.
- WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
- ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE SOIL MATERIALS, FINE RAKED, SCARIFIED AND STABILIZED WITH VEGETATION, AND/OR EROSION AND SEDIMENTATION CONTROLS.
- ADJUSTMENTS TO THE LOCATION OF THE PROPOSED PLANT MATERIALS AS A RESULT OF CONFLICTS WITH EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MAINTAIN, REPLACE, AND REPAIR PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
- UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
- SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO CLEARING OPERATIONS.
- ALL DISTURBED AREAS ARE TO BE SEEDED WITH LAWN UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN.
- PLANT MATERIAL WITHIN TRAFFIC SIGHT LINES AT INTERSECTIONS TO BE LESS THAN 3 FEET IN HEIGHT AND TREES ARE TO BE LIMBED UP TO A BRANCHING HEIGHT OF AT LEAST 7 FEET.
- TREES ALONG SIDEWALKS TO BE LIMBED TO A HEIGHT OF 7-8 FEET ABOVE GROUND.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	07/27/2020	DRAINAGE REVISION		
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION		

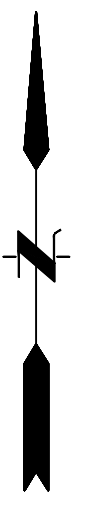


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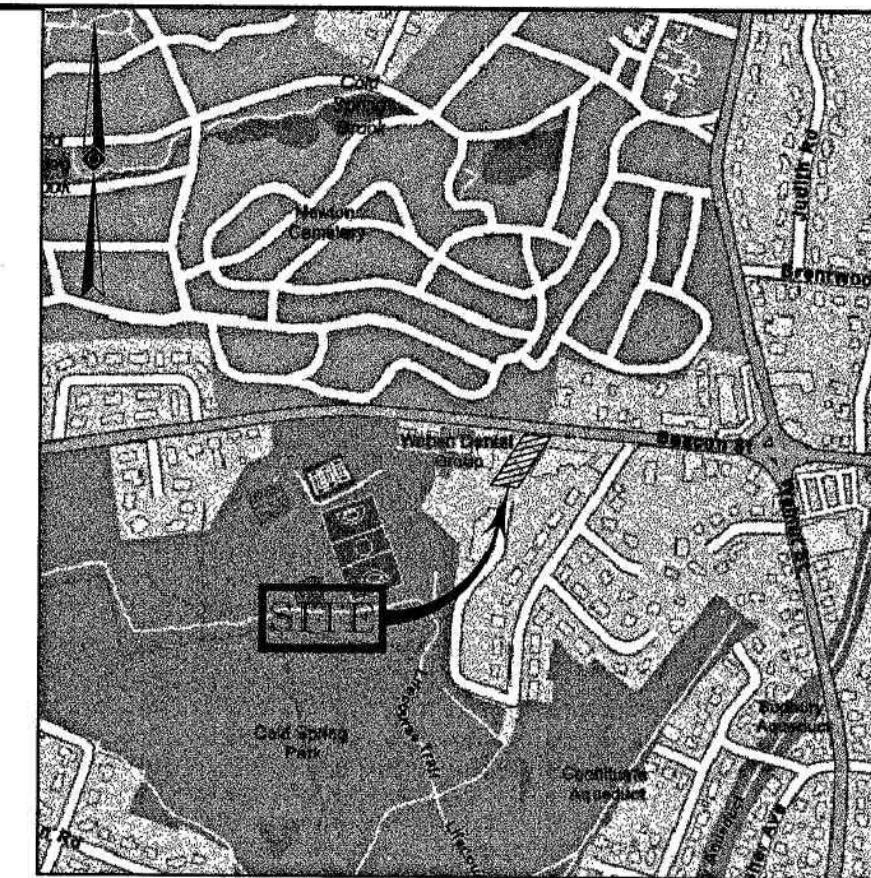
UNION TWIST, INC.  
 GENERAL NOTES  
 1158 BEACON STREET  
 NEWTON, MASSACHUSETTS

PROJ. No.: 20190241.A30  
 DATE: 10/25/2019

**CN-101**



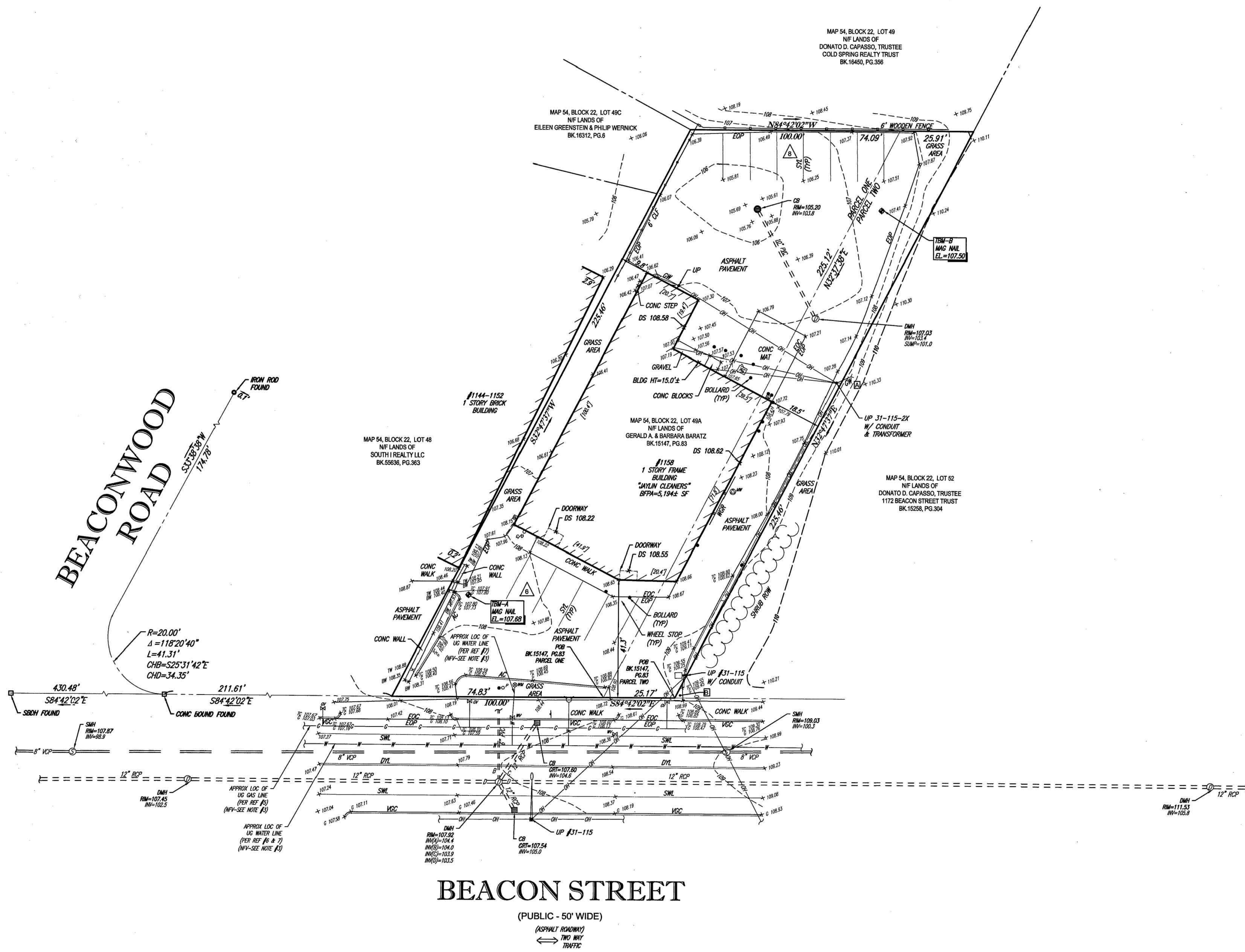
UNION TWIST, INC.		MASSACHUSETTS	
CONTEXT MAP			
1158 BEACON STREET			
NEWTON			
PROJ. No.: 20190241.A30		DATE: 10/25/2019	
GI-100			
SCALE: HORIZ.: 1"= 150'		VERT.: 1"= 150'	
D.A.T.U.M.: 1985 B.M.		HORIZ.: 1"= 150'	
VERT.: 1"= 150'		GRAPHIC SCALE	
150 75 0 150			
FUSS & O'NEILL		SHAWAN MARTIN CIVIL ENGINEERS	
108 MYRTLE STREET, SUITE 502		108 MYRTLE STREET, SUITE 502	
NEWTON, MA 02459		NEWTON, MA 02459	
www.fussandoneill.com			
DESIGNER		REVIEWER	
DATE		DESCRIPTION	
1. 01/27/2020 DRAINAGE REVISION			
2. 5/6/2020 SITE PLAN APPROVAL SUBMISSION			
No.		JEV	
		SM	
		SM	



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE



- LEGEND**
- 12M --- EXISTING CONTOUR
  - x 123.45 EXISTING SPOT ELEVATION
  - x TC 123.45 EXISTING TOP OF CURB ELEVATION
  - x G 122.85 EXISTING GUTTER ELEVATION
  - x TW 123.45 EXISTING TOP OF WALL ELEVATION
  - x BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
  - x DS 123.45 EXISTING DOOR SILL ELEVATION
  - HYDRANT
  - W WATER VALVE
  - WM WATER METER
  - GV GAS VALVE
  - GM GAS METER
  - OW OVERHEAD WIRES
  - G APPROX. LOC. UNDERGROUND GAS LINE
  - W APPROX. LOC. UNDERGROUND WATER LINE
  - UP # UTILITY POLE
  - UPLP # UTILITY POLE/LIGHT POLE
  - GW GUY WIRE
  - C/O CLEAN OUT
  - SIGN
  - AC AIR CONDITIONING UNIT
  - BOLLARD
  - DMH DRAINAGE/STORM MANHOLE
  - SMH SANITARY/SEWER MANHOLE
  - CB CATCH BASIN OR INLET
  - PC PARKING SPACE COUNT
  - UG UNDER GROUND
  - CLF CHAIN LINK FENCE
  - EOP EDGE OF CONCRETE
  - EOP EDGE OF PAVEMENT
  - (TYP) TYPICAL
  - RCP REINFORCED CONCRETE PIPE
  - PVC POLYVINYL CHLORIDE PIPE
  - VCP VITRIFIED CLAY PIPE
  - DYL DOUBLE YELLOW LINE
  - SWL SOLID WHITE LINE
  - SYL SOLID YELLOW LINE
  - HT HEIGHT
  - BLDG BUILDING
  - BFPM BUILDING FOOTPRINT AREA
  - SBPH STONE BOUND w/DRILL HOLE
  - LO' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
  - INV INVERT ELEVATION
  - GRY GRATE ELEVATION
  - AC ASPHALT CURB
  - VGC VERTICAL GRANITE CURB
  - WGR WOODEN GUIDE RAIL



- NOTES:**
- PROPERTY KNOWN AS LOT 48A, BLOCK 22 AS SHOWN ON THE CITY OF CITY OF NEWTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS MAP NO. 54.
  - AREA = 20,000 SQUARE FEET OR 0.459 ACRES.
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS).
- TEMPORARY BENCH MARKS SET:  
TBM-A: MAG NAIL SET IS ASPHALT PAVEMENT AT ELEVATION 107.68.  
TBM-B: MAG NAIL SET IS ASPHALT PAVEMENT AT ELEVATION 107.50.
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF CITY OF NEWTON, MIDDLESEX COUNTY, MASSACHUSETTS, MAP 54.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, MASSACHUSETTS, PANEL 554 OF 656," MAP NUMBER 25017C0554E, EFFECTIVE DATE: JUNE 4, 2010.
  - MAP ENTITLED "PLAN OF LAND IN NEWTON, MASS.," PREPARED BY EVERETT M. BROOKS CO., DATED JUNE 1, 1964, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 999 OF 1964.
  - MAP ENTITLED "PLAN OF LAND IN NEWTON, MASS.," PREPARED BY WILLIAM J. FORD, JR., DATED JUNE 7, 1956, RECORDED IN THE MIDDLESEX COUNTY REGISTRY OF DEEDS AS PLAN 999 OF 1956.
  - UNDERGROUND GAS FACILITY MAPPING PROVIDED BY NATIONAL GRID.
  - UNDERGROUND WATER FACILITY MAPPING PROVIDED BY THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS.
  - WATER TIE CARDS PROVIDED BY THE CITY OF NEWTON DEPARTMENT OF PUBLIC WORKS.
  - MAP ENTITLED "SUBDIVISION PLAN OF LAND IN NEWTON," PREPARED BY APEX ASSOCIATES, DATED DECEMBER 20, 1982, LAND COURT CASE 9256D.

**TABLE OF APPARENT ENCROACHMENTS**

- ☐ GUY WIRE CROSSES ONTO LOT 52 FOR WHICH NO EASEMENT OF RECORD WAS FOUND
- ☐ ASPHALT PAVEMENT CROSSES ONTO LOT 52 FOR WHICH NO EASEMENT OF RECORD WAS FOUND

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

**UTILITIES:**

THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER: 20191307163

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	800-331-0500
VERIZON	800-922-0204
COMCAST - PEMBROKE	800-934-6489
LIGHTOWER	855-923-4237
RCN	800-748-4726
EVSOURCE - ELECTRIC	800-562-2000
NATIONAL GRID GAS - BOSTON	800-233-6325
WELLESLEY MUNICIPAL LIGHTING PLANT	781-235-7600

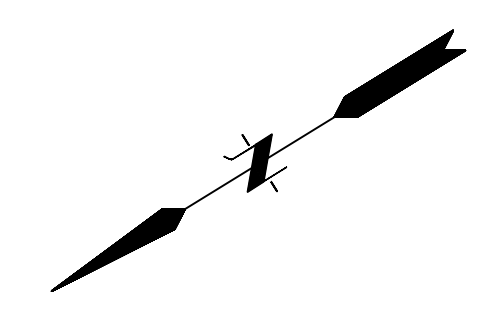
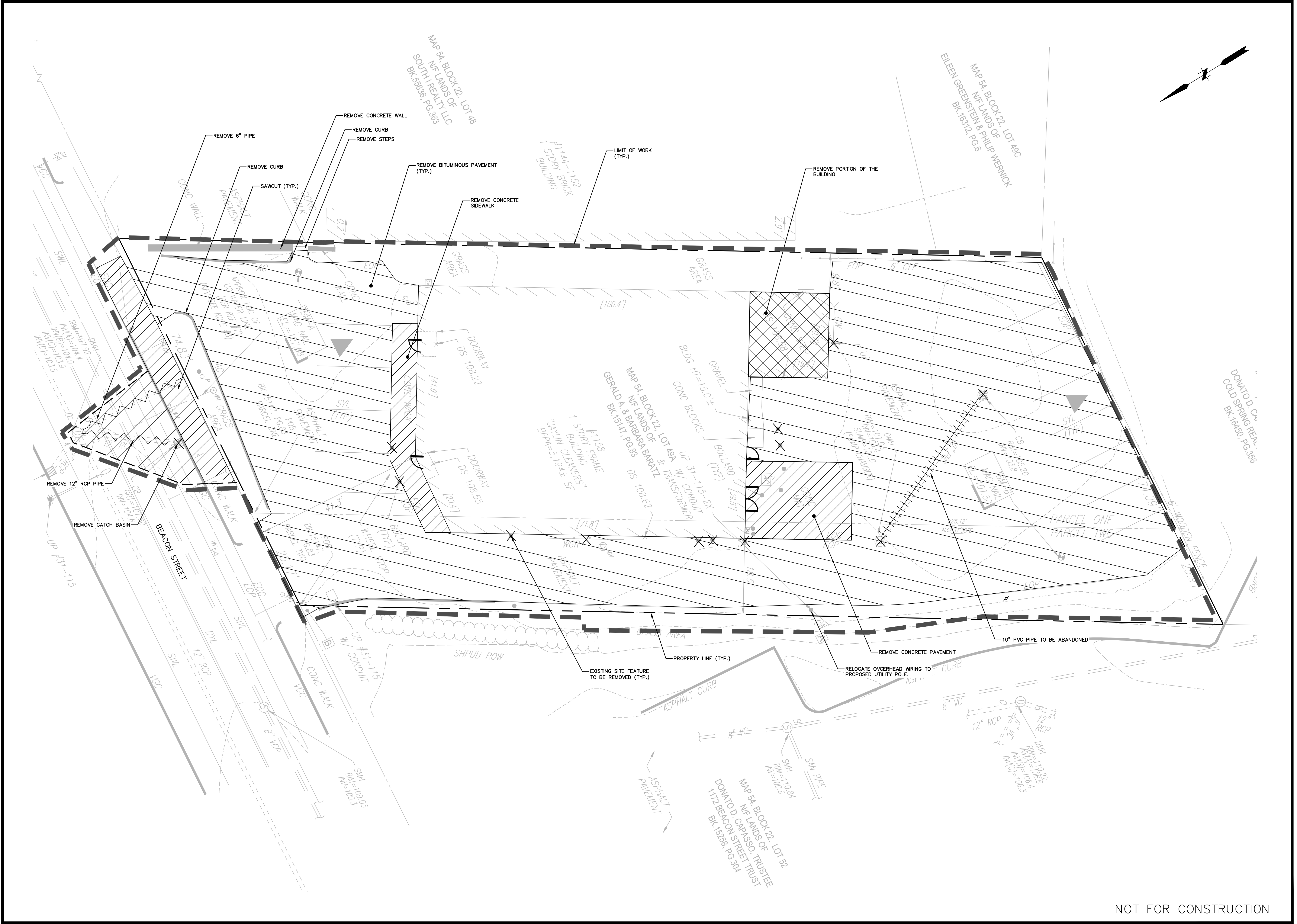
CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. THIS SURVEY IS THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.

THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.

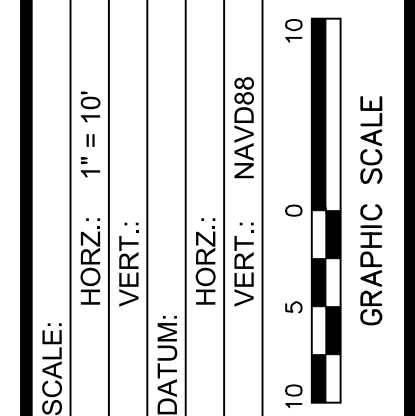
THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.  NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.		FIELD DATE 3-27-19  FIELD BOOK NO. 19-03MA  FIELD BOOK PG. 34-35  FIELD CREW T.M. DRAWN: A.D./A.M.  REVIEWED: S.P.P.	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b> <b>FUSS &amp; O'NEILL, INC.</b> 1158 BEACON STREET LOT 49A, BLOCK 22, MAP 54 CITY OF NEWTON, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS
GERRY L. HOLDRIGHT, PLS MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #48211		DATE 4-1-19	<b>CONTROL POINT ASSOCIATES, INC.</b> 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX  ALBANY, NY 5182175010 CHALFONT, PA 2157128600 MANTHAN, NY 6467084111 MT LAUREL, NJ 6098572099 WARRREN, NJ 9086680099
APPROVED: G.L.H. DATE: 4-1-19 SCALE: 1" = 20' FILE NO.: 06-190021 DWG. NO.: 1 OF 1			



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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	JEV	JEV
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	JEV	JEV



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UNION TWIST, INC.  
SITE PREPARATION PLAN  
1158 BEACON STREET  
NEWTON, MASSACHUSETTS

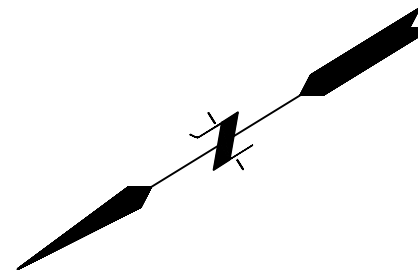
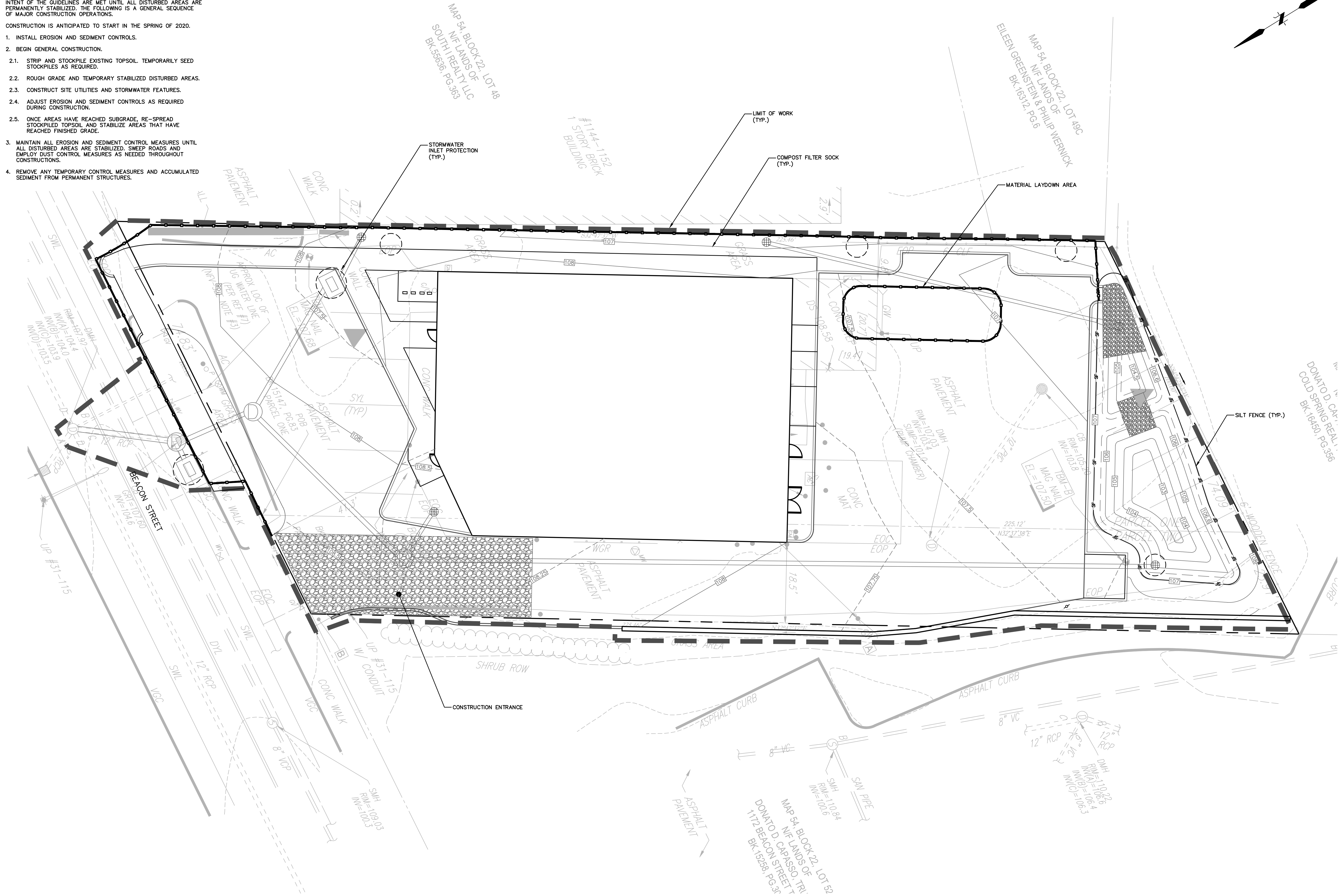
PROJ. No.: 20190241.A30  
DATE: 10/25/2019  
**CP-101**

NOT FOR CONSTRUCTION

**GENERAL CONSTRUCTION SEQUENCE**

CONSTRUCTION IS A DYNAMIC OPERATION THAT IS AFFECTED BY WEATHER AND OTHER UNANTICIPATED CONDITIONS. THEREFORE, THE LAYOUT OF EROSION AND SEDIMENT CONTROLS SHOWN ON THESE PLANS WILL LIKELY BE MODIFIED TO BEST MANAGE CHANGING FIELD CONDITIONS. THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS RECOGNIZE THIS. WORK WITH THE ENGINEER, OWNER, AND REGULATORY AGENCIES SO THAT THE INTENT OF THE GUIDELINES ARE MET UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE FOLLOWING IS A GENERAL SEQUENCE OF MAJOR CONSTRUCTION OPERATIONS.

- CONSTRUCTION IS ANTICIPATED TO START IN THE SPRING OF 2020.
1. INSTALL EROSION AND SEDIMENT CONTROLS.
2. BEGIN GENERAL CONSTRUCTION.
  - 2.1. STRIP AND STOCKPILE EXISTING TOPSOIL TEMPORARILY SEED STOCKPILES AS REQUIRED.
  - 2.2. ROUGH GRADE AND TEMPORARY STABILIZED DISTURBED AREAS.
  - 2.3. CONSTRUCT SITE UTILITIES AND STORMWATER FEATURES.
  - 2.4. ADJUST EROSION AND SEDIMENT CONTROLS AS REQUIRED DURING CONSTRUCTION.
  - 2.5. ONCE AREAS HAVE REACHED SUBGRADE, RE-SPREAD STOCKPILED TOPSOIL AND STABILIZE AREAS THAT HAVE REACHED FINISHED GRADE.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED. SWEEP ROADS AND EMPLOY DUST CONTROL MEASURES AS NEEDED THROUGHOUT CONSTRUCTIONS.
4. REMOVE ANY TEMPORARY CONTROL MEASURES AND ACCUMULATED SEDIMENT FROM PERMANENT STRUCTURES.



No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	JEV	SMM
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	JEV	SMM



SCALE: HORIZ.: 1" = 10'  
 VERT.: 1" = 10'  
 DATUM: NAVD88  
 HORIZ.: NAVD88  
 VERT.: NAVD88

GRAPHIC SCALE

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UNION TWIST, INC.  
**EROSION AND SEDIMENT CONTROL PLAN**  
 1158 BEACON STREET  
 NEWTON, MASSACHUSETTS

PROJ. No.: 20190241.A30  
 DATE: 10/25/2019

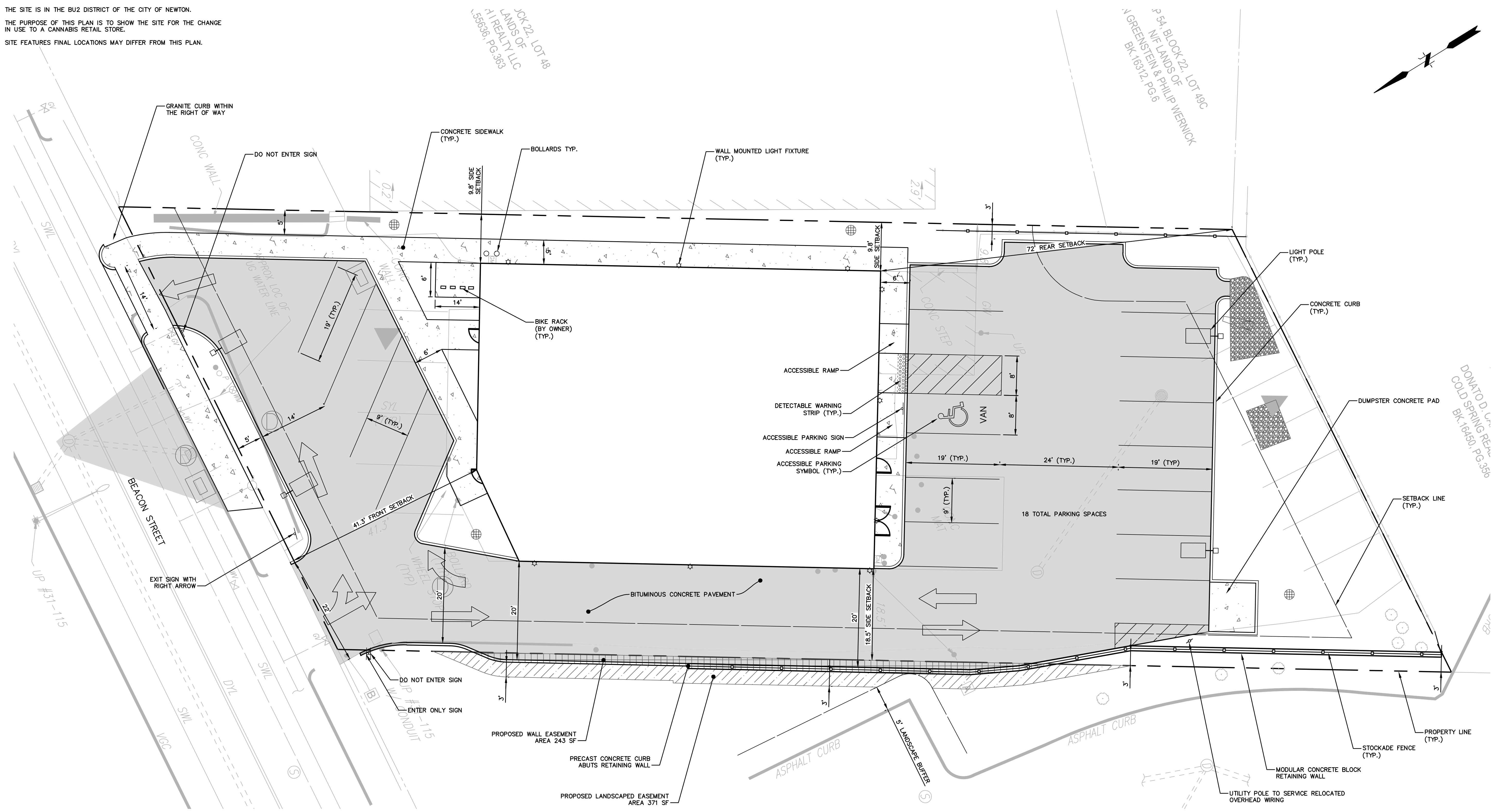
**CE-101**

NOT FOR CONSTRUCTION

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 MS VIEW: LAYER STATE: Plotter: DWG TO PDF.PC3 CTB File: FOSTB

**SITE PLAN NOTES**

1. THE SITE IS IN THE BU2 DISTRICT OF THE CITY OF NEWTON.
2. THE PURPOSE OF THIS PLAN IS TO SHOW THE SITE FOR THE CHANGE IN USE TO A CANNABIS RETAIL STORE.
3. SITE FEATURES FINAL LOCATIONS MAY DIFFER FROM THIS PLAN.



**ZONING TABLE**  
BU2 DISTRICT – 2 STORIES OR LESS

DIMENSIONAL STANDARD	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SF	20,000 SF	20,443 SF
FRONT SETBACK	10 FT <sup>1</sup>	41.3 FT	41.30 FT
SIDE SETBACK	7.6 FT <sup>2</sup>	9.8 FT	9.8 FT
REAR SETBACK	15 FT <sup>3</sup>	52 FT	72 FT
MAX. BUILDING HEIGHT	24 FT	13 FT	13 FT
FLOOR AREA RATIO	1.00	0.26	0.24

**PARKING REQUIREMENTS**

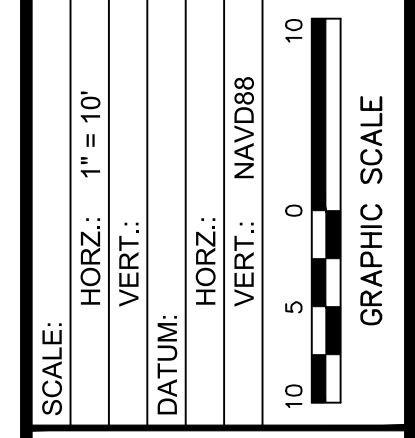
USE	STANDARD	REQUIRED	EXISTING	PROPOSED
RETAIL STORE 1	1 SPACE/300SF + 1 SPACE/3 EMPLOYEES	12	10	16
RETAIL STORE 2	1 SPACE/3 SEATS + 1 SPACE/3 EMPLOYEES	2	2	2
<b>TOTAL PARKING</b>		<b>12</b>	<b>12</b>	<b>18</b>

1. PER SECTION 1.5.3(A) OF THE TOWN OF NEWTON ZONING BYLAWS, NO BUILDING NEEDS TO BE SET BACK MORE THAN THE AVERAGE OF THE SETBACKS OF THE BUILDINGS ON THE NEAREST LOT ON EITHER SIDE. A VACANT LOT OR A LOT WHERE BUILDING IS SET BACK MORE THAN 10 FEET IS COUNTED AS THOUGH OCCUPIED BY A BUILDING SET BACK 10 FEET. ABUTTING PROPERTIES FRONT SETBACKS WERE ESTIMATED TO OBTAIN AVERAGE.  $(12.8+10)/2 = 11.4$  FT
2. 1/2 BUILDING HEIGHT OR ABUTTING SETBACK (BUILDING HEIGHT 13 FT)  $(13/2 = 6.5$  FT). GREATER OF 1/2 A BUILDING HEIGHT OR 15 FT WHEN ABUTTING A RESIDENTIAL DISTRICT.
3. GREATER 1/2 BUILDING HEIGHT (6.5') OR 15 FEET WHEN ABUTTING A RESIDENTIAL LOT OR PUBLIC USE. 0 FT WHEN NOT ABUTTING A RESIDENTIAL OR PUBLIC USE DISTRICT.

1. A MAXIMUM OF 12 EMPLOYEES AT ANY GIVEN TIME HAVE BEEN ASSUMED FOR THE PARKING CALCULATION AND 2,429 SF OF RETAIL SPACE.
2. RESTAURANT GROSS AREA = 2,341. ◊ MAXIMUM OF 3 EMPLOYEES AND 3 SEATS AT ANY GIVEN TIME HAVE BEEN ASSUMED.

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	J.E.V.	S.M.
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	J.E.V.	S.M.



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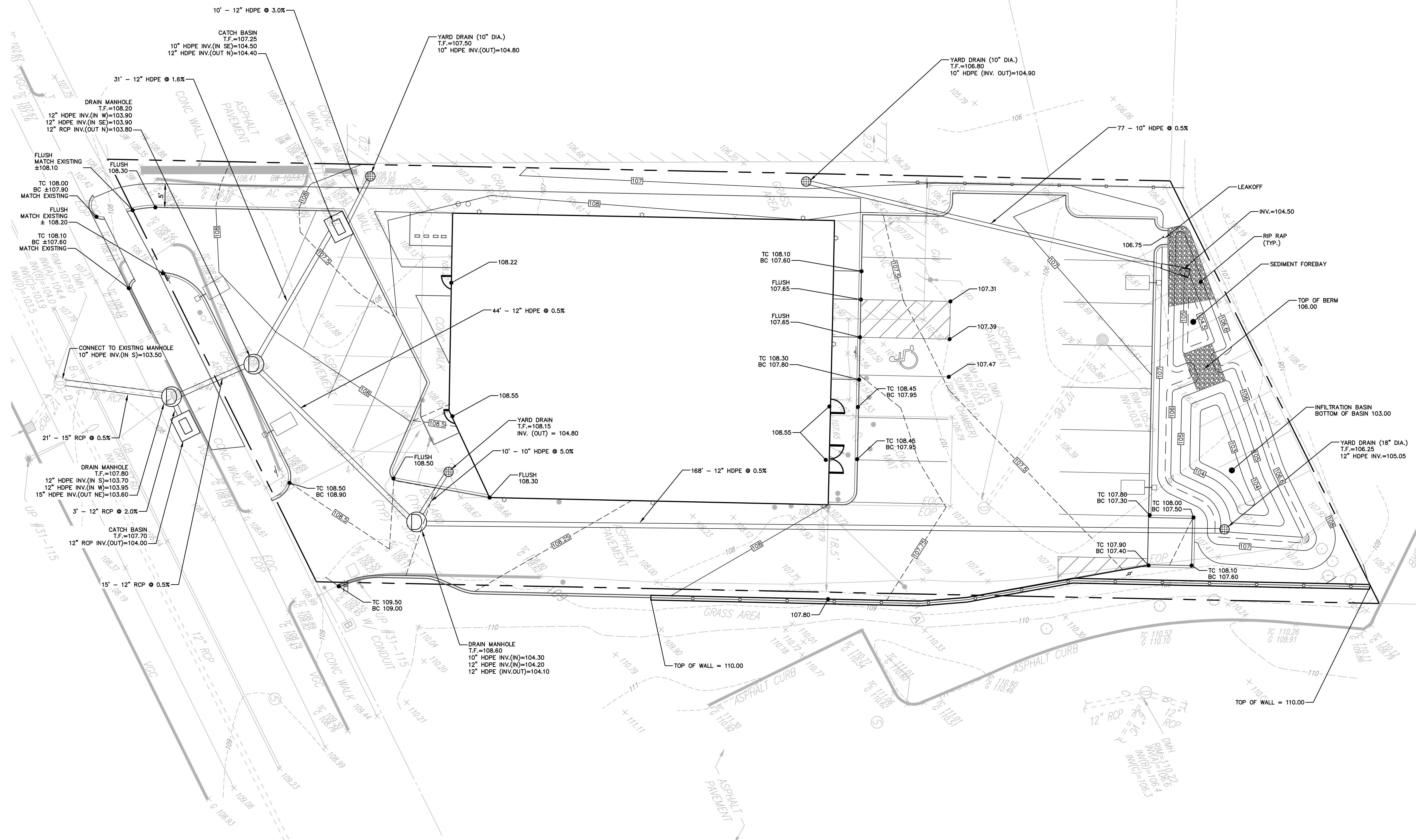
UNION TWIST, INC.  
SITE PLAN  
1158 BEACON STREET  
NEWTON  
MASSACHUSETTS

PROJ. No.: 20190241.A30  
DATE: 10/25/2019

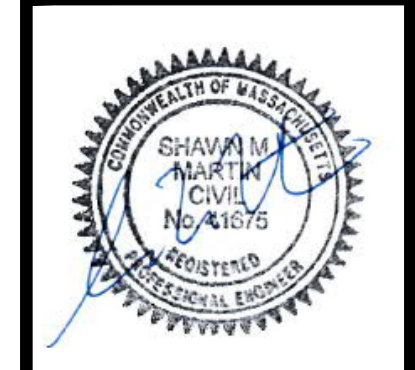
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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	JEV	JEV
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	JEV	JEV



SCALE: HORIZ.: 1" = 10'  
VERT.: 1" = 5'  
DATUM: NAVD83  
GRAPHIC SCALE

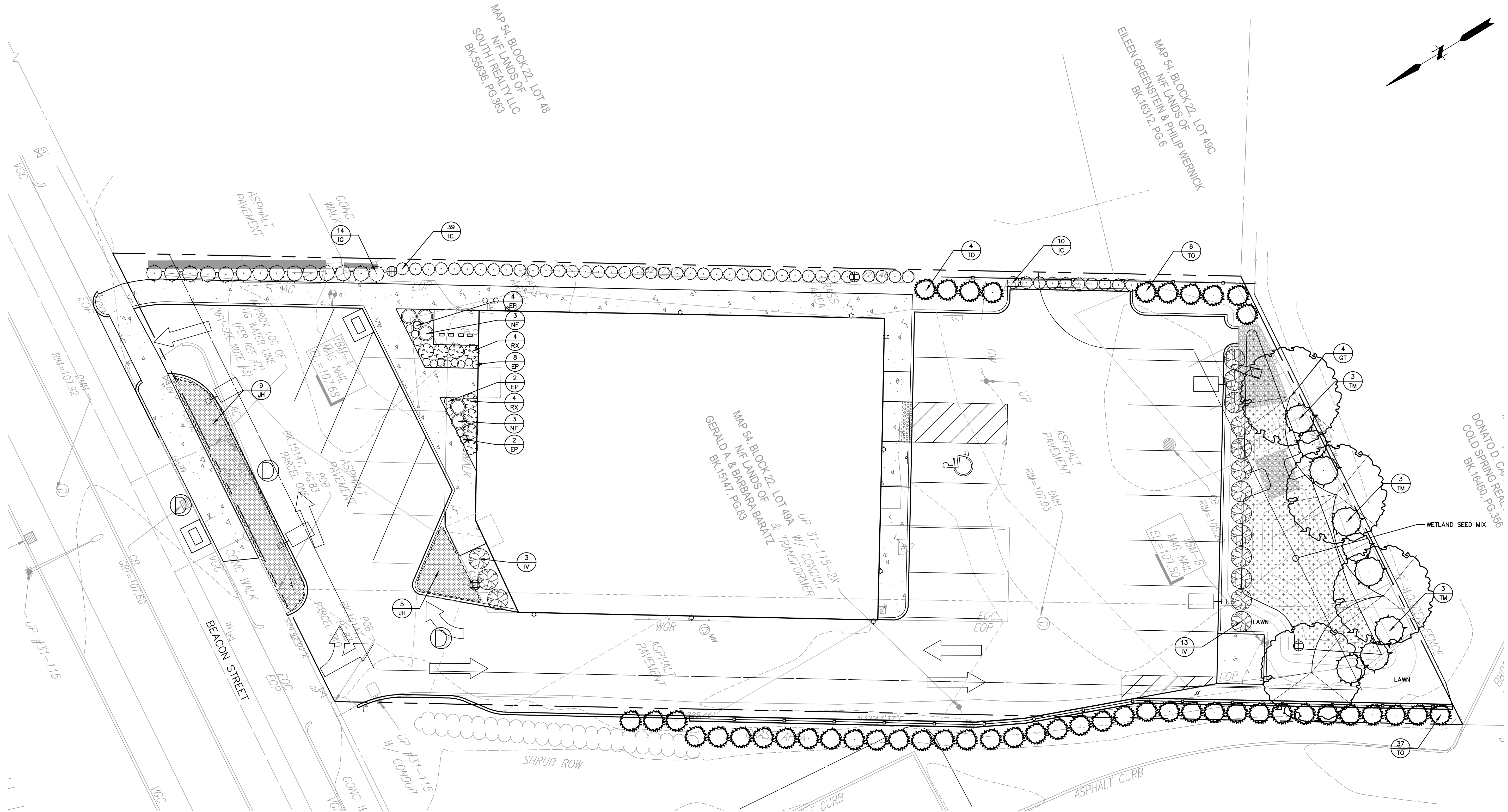
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UNION TWIST, INC.  
GRADING AND DRAINAGE PLAN  
1158 BEACON STREET  
NEWTON, MASSACHUSETTS

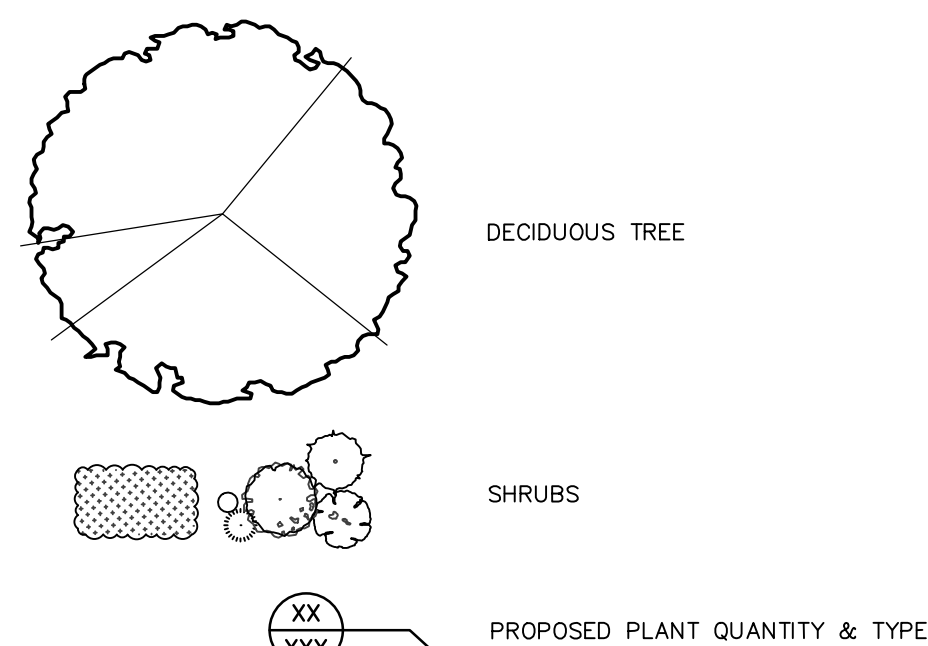
PROJ. No.: 20190241.A30  
DATE: 10/25/2019

CG-101

NOT FOR CONSTRUCTION



**LEGEND**



**PLANT LIST**

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
<b>TREES</b>				
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	'SHADEMASTER' THORNLESS HONEYLOCUST	5	3"-3.5" CAL.
TO	THUJA OCCIDENTALIS 'SMARAGD'	AMERICAN ARBORVITAE	47	3' - 4' HT.
<b>SHRUBS</b>				
IC	ILEX ORENATA 'SKY PENCIL'	'SKY PENCIL' HOLLY	49	3 GAL.
IG	ILEX GLABRA 'OEM BOX'	'OEM BOX' INKBERRY	14	3 GAL.
IV	ILEX VERTICILLATA 'BERRY POPPINS'	'BERRY POPPINS' WINTERBERRY HOLLY	16	5 GAL.
JH	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	'BAR HARBOR' CREEPING JUNIPER	11	3 GAL.
RX	ROSA 'CHEWPAOUT' 'OSO EASY URBAN LEGEND'	'OSO EASY URBAN LEGEND' ROSE	8	3 GAL.
TM	TAXUS X MEDIA 'DENSIFORMIS'	'DENSIFORMIS' YEW	9	5 GAL.
<b>PERENNIALS/GRASSES/GROUNDCOVERS</b>				
EP	ECHINACEA BUTTERFLY 'PURPLE EMPEROR'	BUTTERFLY 'PURPLE EMPEROR' CONEFLOWER	16	1 GAL.
NF	NEPETA 'FAASSENI' 'CAT'S MEOW'	'CAT'S MEOW' CATMINT	5	2 GAL.
<b>SEED MIX</b>				
	NEW ENGLAND WETMIX (WETLAND SEED MIX) NEW ENGLAND WETLAND PLANTS, INC. 413.548.8000 (OR APPROVED EQUAL)		785	S.F.

**PLANTING NOTES:**

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT THE CONTRACTOR'S EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH MULCH.
- TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE. THE CONTRACTOR SHALL "DIG-SAFE" AT 811 PRIOR TO CONSTRUCTION.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD, WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
- ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND / OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
- ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
- CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
- CONTRACTOR TO RESEED ALL DISTURBED AREAS.

UNION TWIST, INC.  
 LANDSCAPE PLAN  
 1158 BEACON STREET  
 NEWTON, MASSACHUSETTS

PROJ. No.: 20190241A30  
 DATE: 10/25/2019

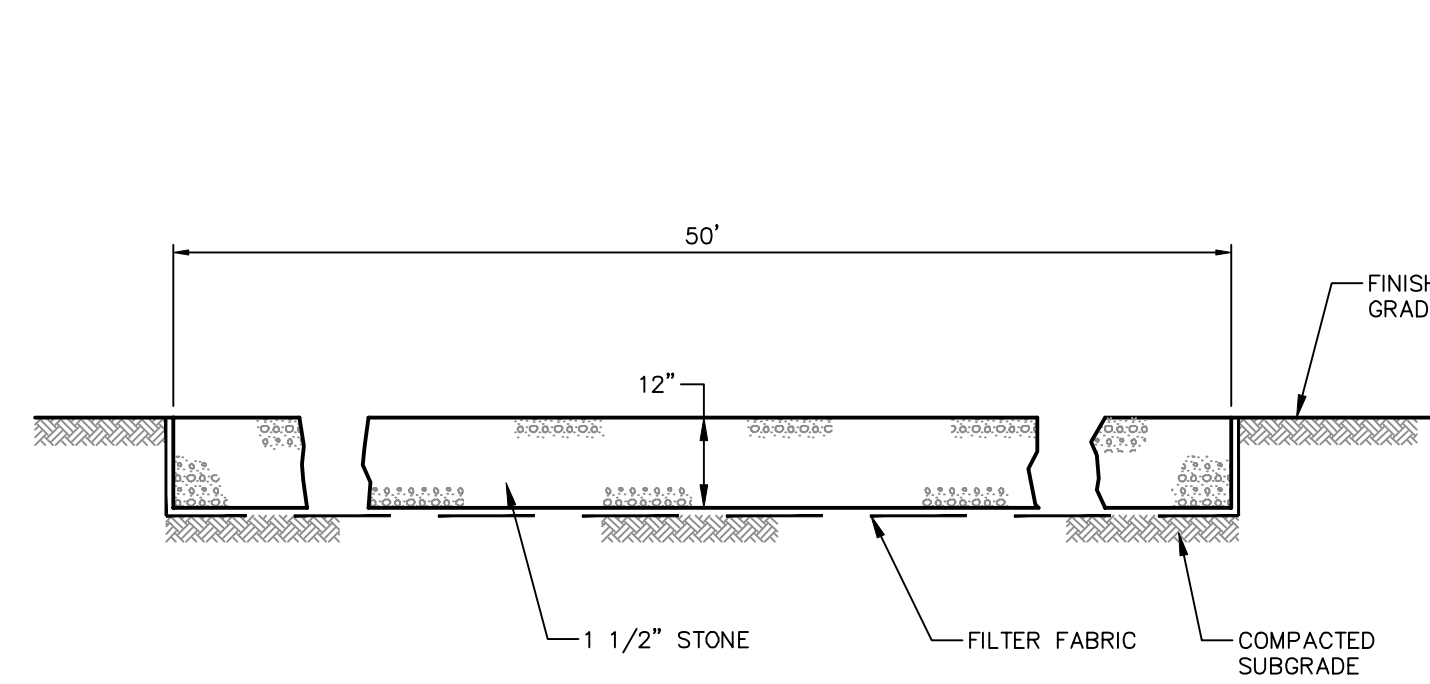
LP-101

SCALE: HORIZ: 1" = 10'  
 VERT: 1" = 4'  
 DATUM: NAD 83  
 HORIZ: 1" = 10'  
 VERT: 1" = 4'  
 GRAPHIC SCALE

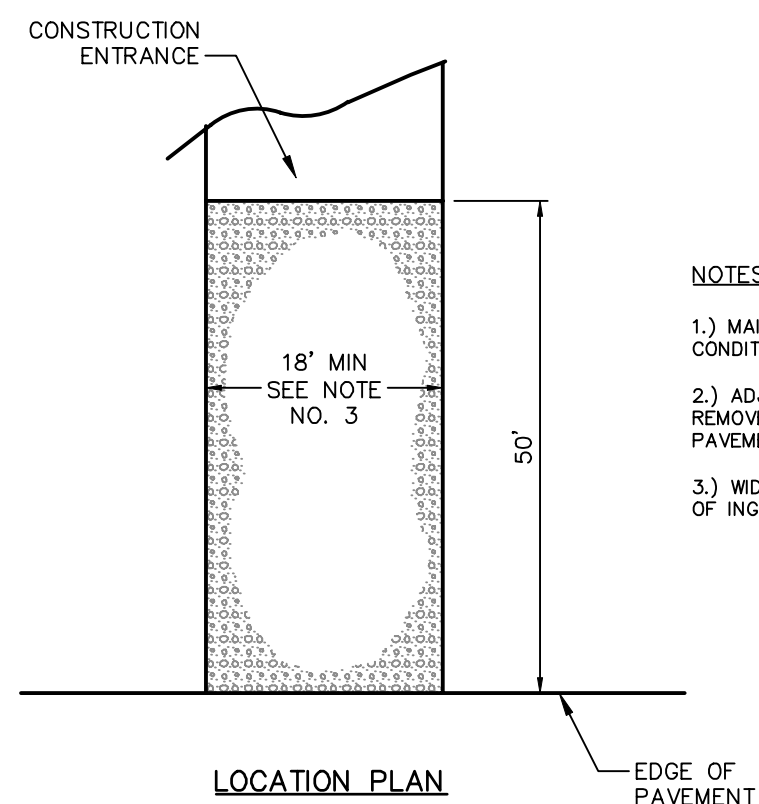
FUSS & O'NEILL  
 108 MYRTLE STREET, SUITE 502  
 GAITHERSBURG, MD 20878  
 www.fussandoneill.com

MASSACHUSETTS REGISTERED PROFESSIONAL CIVIL ENGINEER  
 DANIEL F. DELANEY  
 CIVIL NO. 45477  
 05/15/2020

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	JEV	JEV
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	JEV	JEV



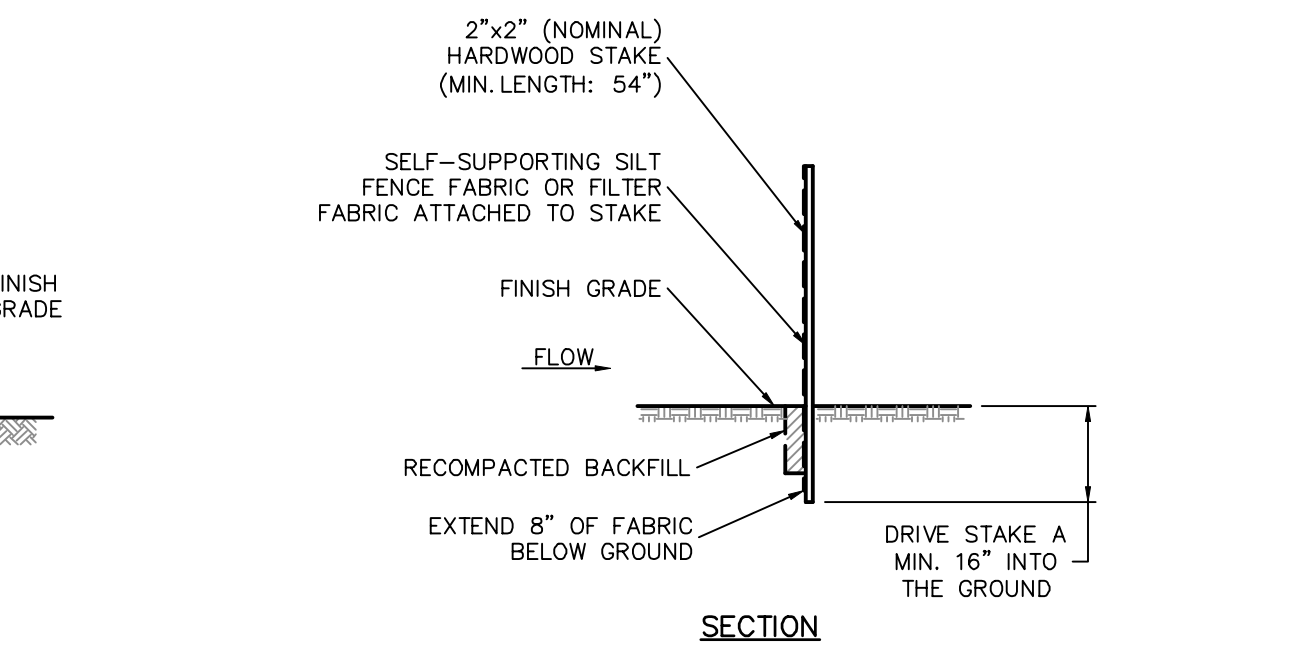
SECTION



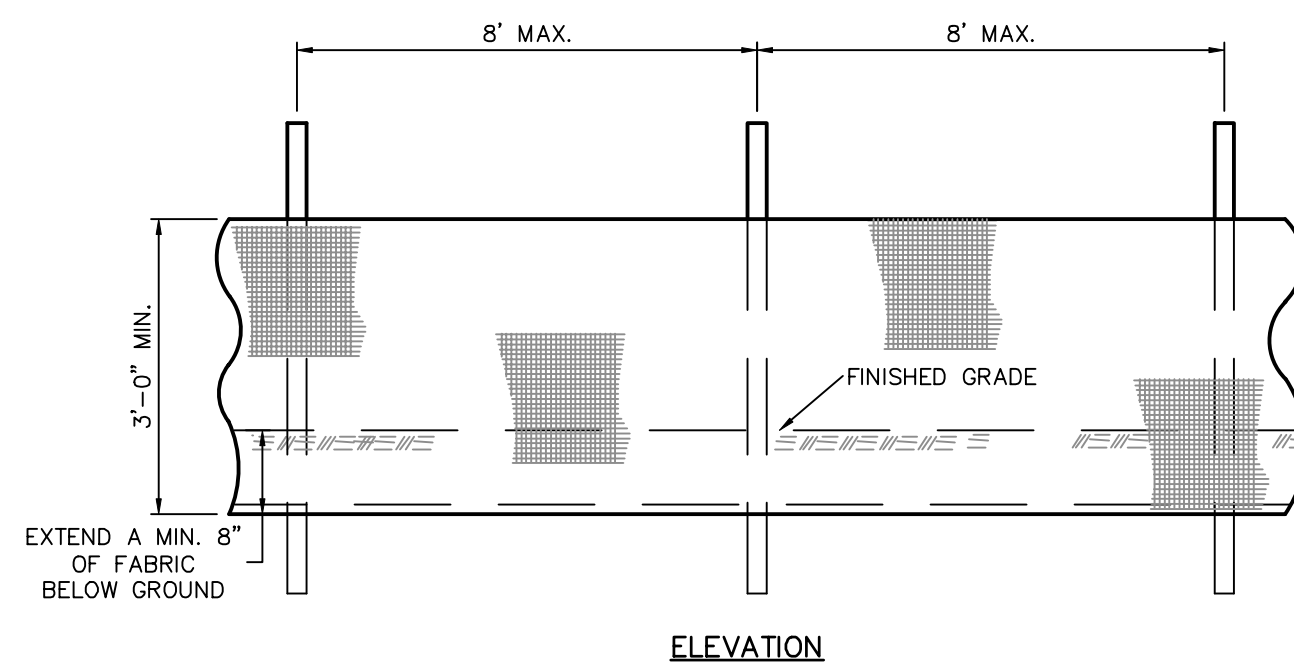
LOCATION PLAN

- NOTES:
- 1.) MAINTAIN ANTI-TRACKING APRON IN GOOD CONDITION THROUGHOUT CONSTRUCTION PERIOD.
  - 2.) ADJACENT ROADWAY SHALL BE SWEEP DAILY TO REMOVE ANY MATERIAL THAT MAY BE TRACKED ONTO PAVEMENT.
  - 3.) WIDTH OF APRON SHALL NOT BE LESS THAN WIDTH OF INGRESS OR EGRESS.

CONSTRUCTION ENTRANCE  
SCALE: N.T.S.



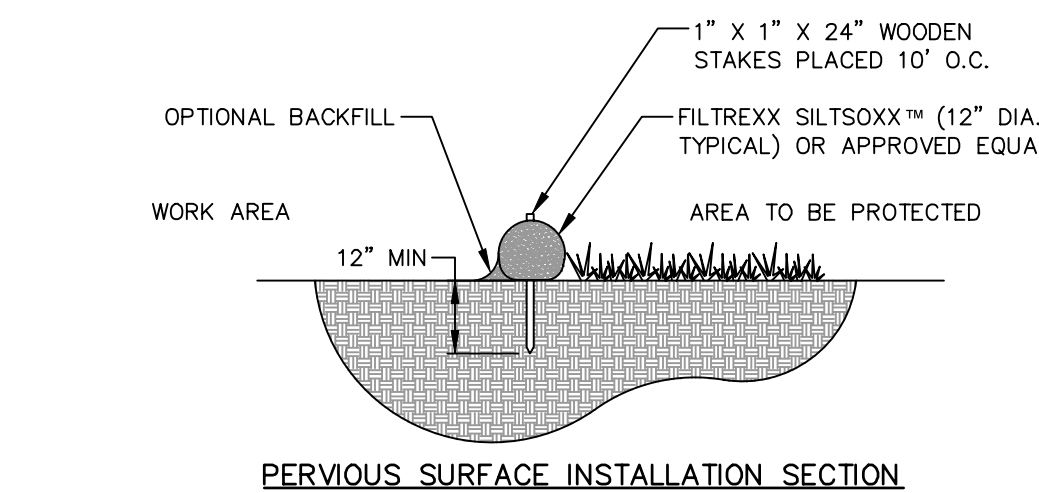
SECTION



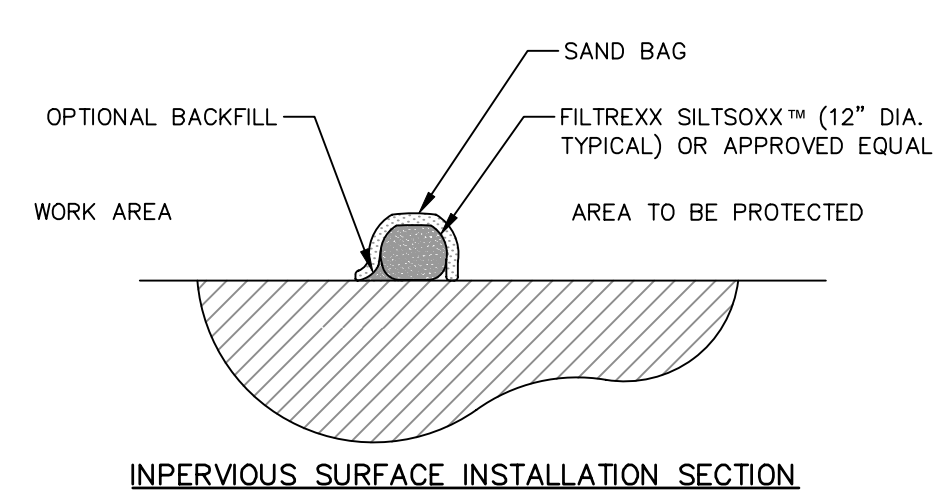
ELEVATION

- SILT FENCE NOTES:
- 1.) INSTALL SILT FENCE & WOOD STAKES AS RECOMMENDED BY MANUFACTURER.
  - 2.) SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER OR ETHYLENE FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE SPECIFICATIONS.

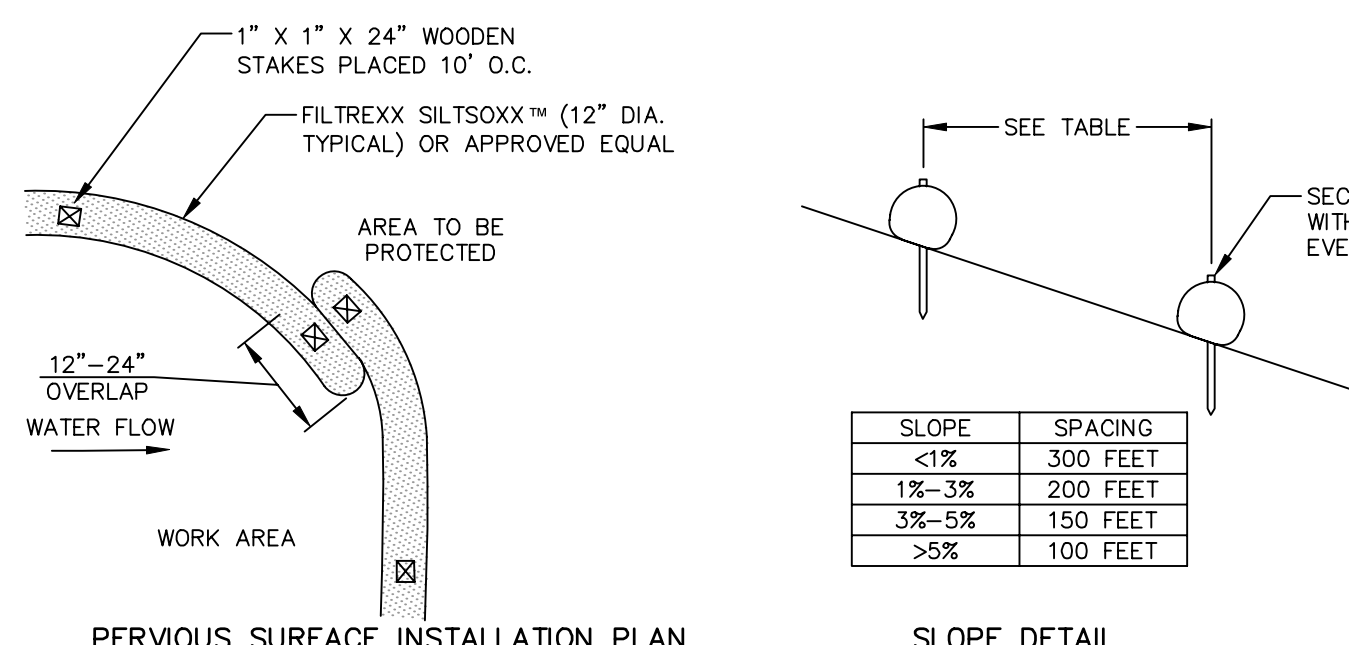
SILT FENCE  
SCALE: N.T.S.



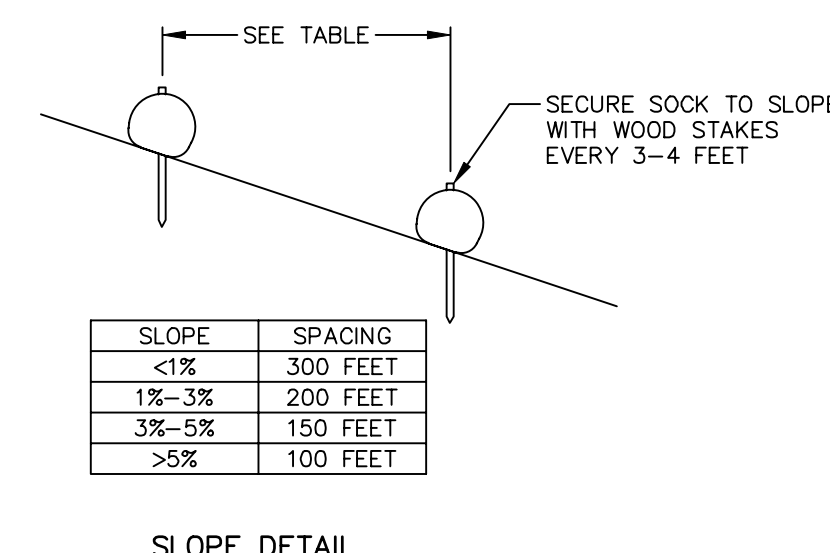
PERVIOUS SURFACE INSTALLATION SECTION



IMPERVIOUS SURFACE INSTALLATION SECTION

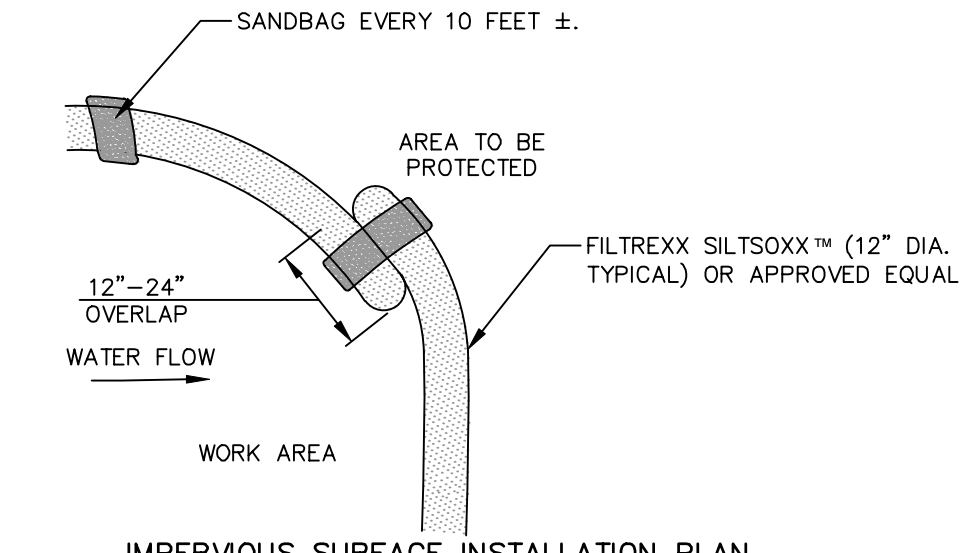


PERVIOUS SURFACE INSTALLATION PLAN



SLOPE	SPACING
<1%	300 FEET
1%-3%	200 FEET
3%-5%	150 FEET
>5%	100 FEET

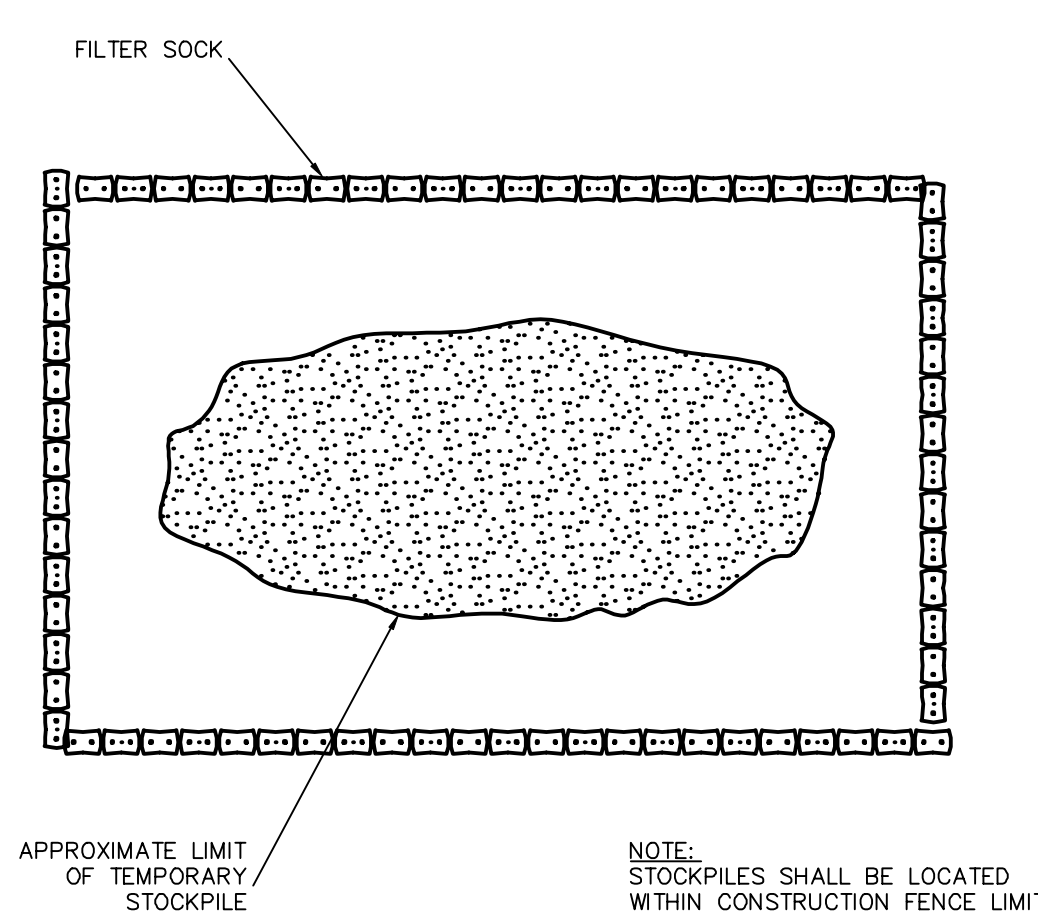
SLOPE DETAIL



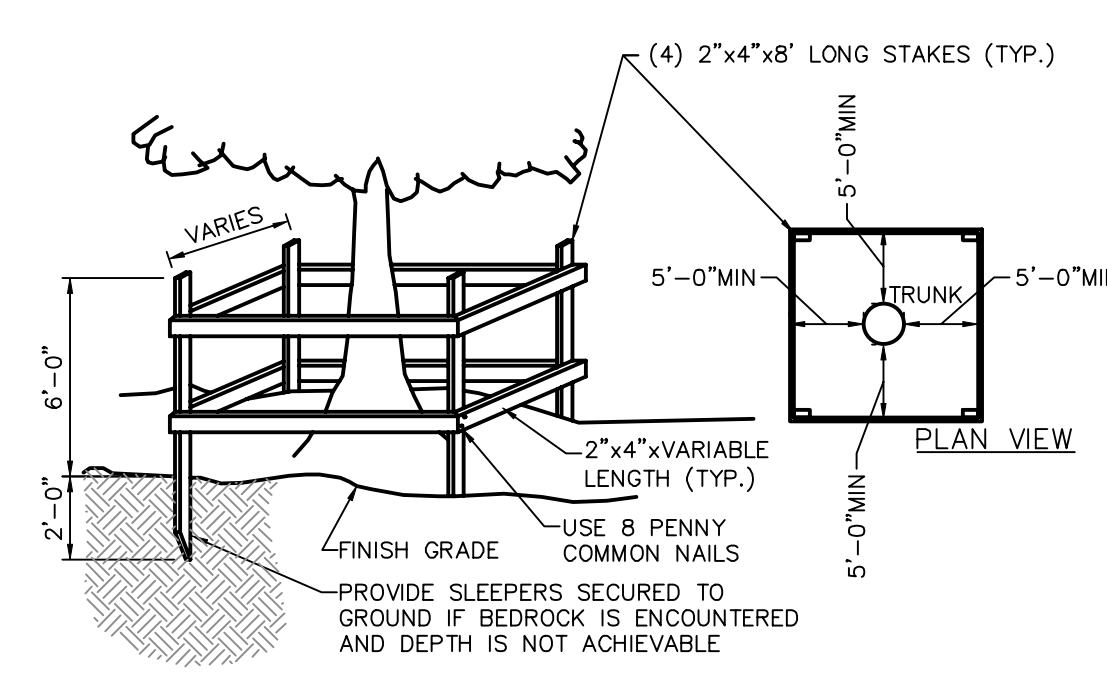
IMPERVIOUS SURFACE INSTALLATION PLAN

- NOTES:
1. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
  2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
  3. SLOPE SPACING BASED ON MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS\* FOR TEMPORARY DIVERSIONS.

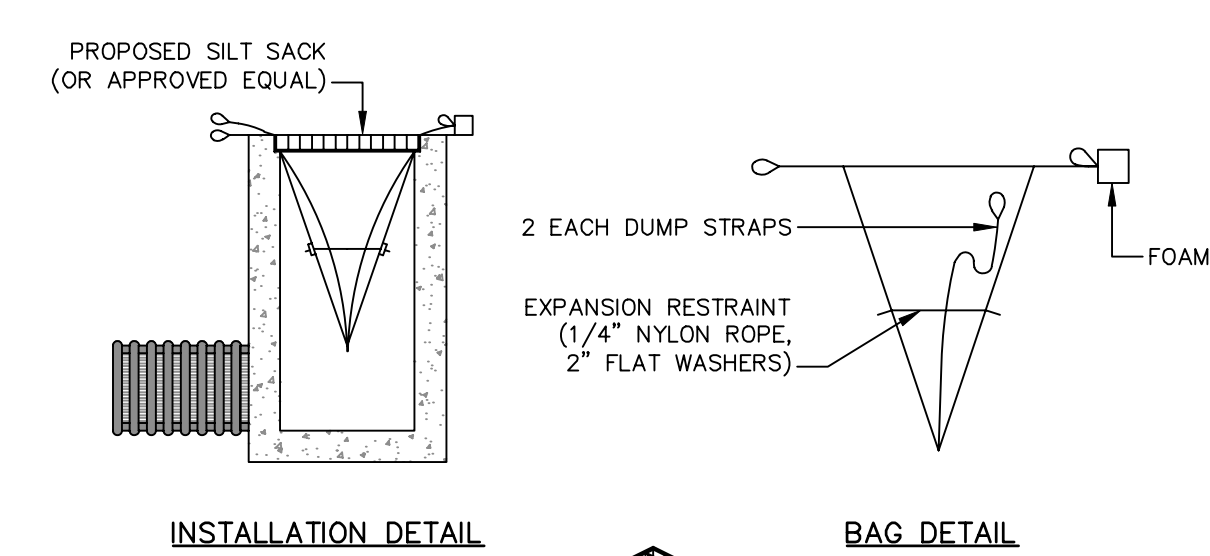
COMPOST FILTER SOCK  
SCALE: N.T.S.



TEMPORARY SOIL STOCKPILE  
SCALE: N.T.S.

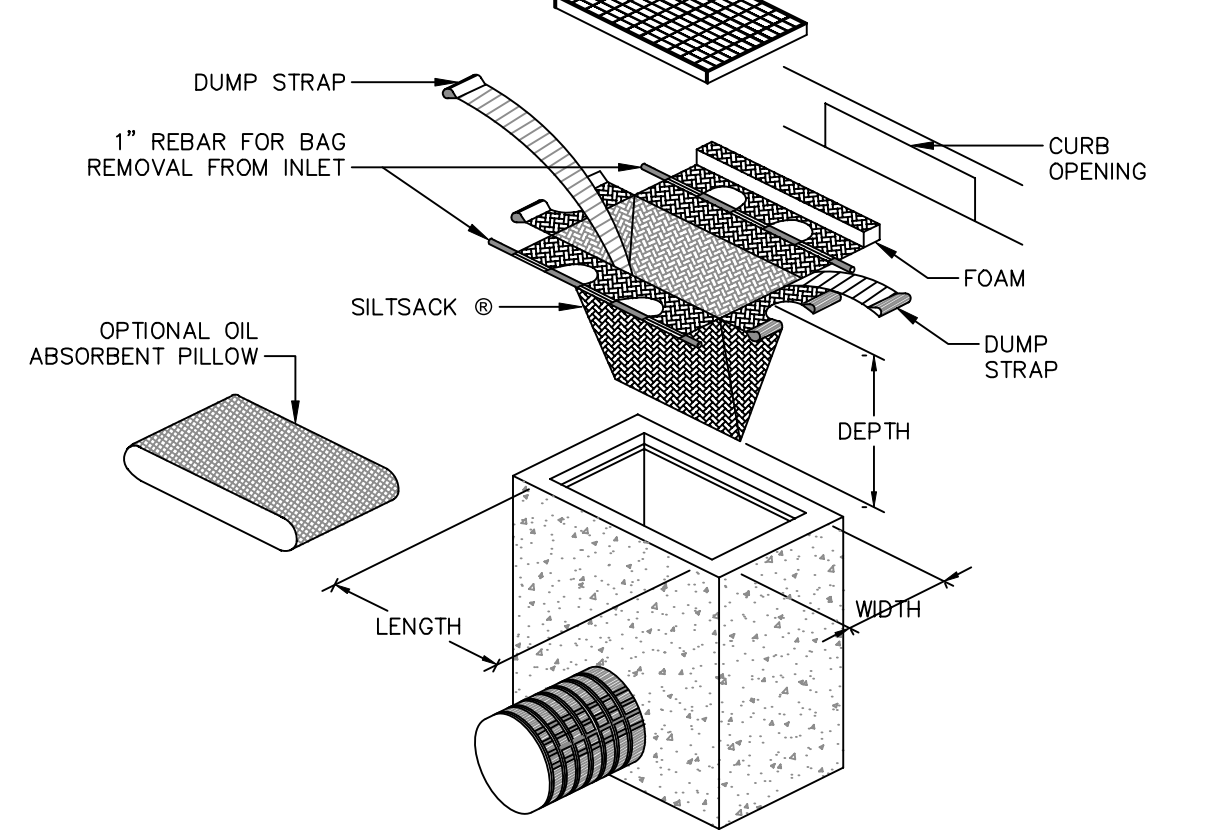


TEMPORARY TREE PROTECTION  
SCALE: N.T.S.



INSTALLATION DETAIL

BAG DETAIL



STORMWATER INLET PROTECTION  
SCALE: NOT TO SCALE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	J.E.V.	S.M.
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	J.E.V.	S.M.



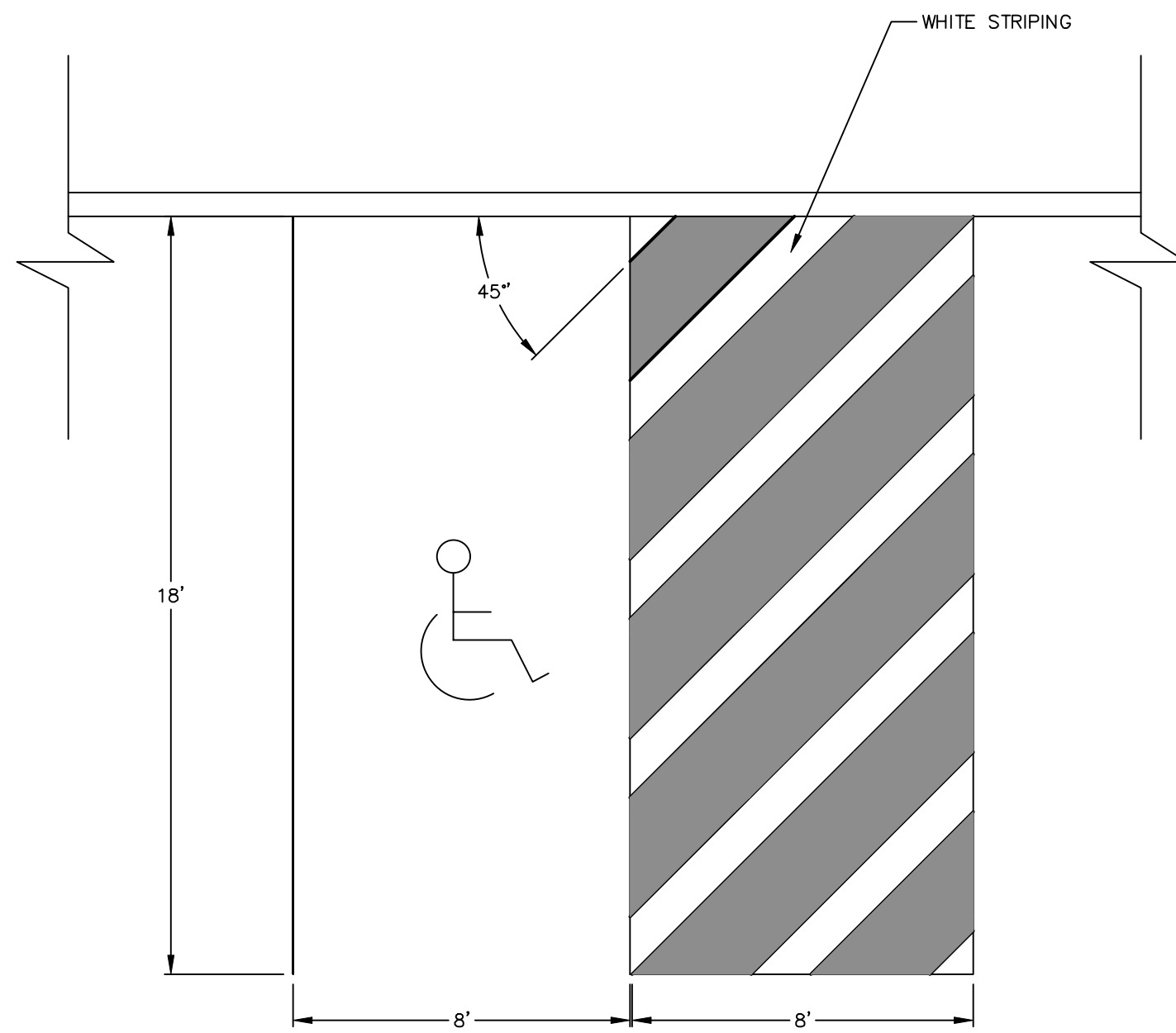
SCALE: HORZ.: AS NOTED  
 VERT.: 1" = 4'-0"  
 DATUM: 1  
 0  
 1  
 GRAPHIC SCALE

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 108 MYRTLE STREET, SUITE 502  
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UNION TWIST, INC.  
 EROSION AND SEDIMENT CONTROL  
 DETAILS  
 1158 BEACON STREET  
 NEWTON, MASSACHUSETTS

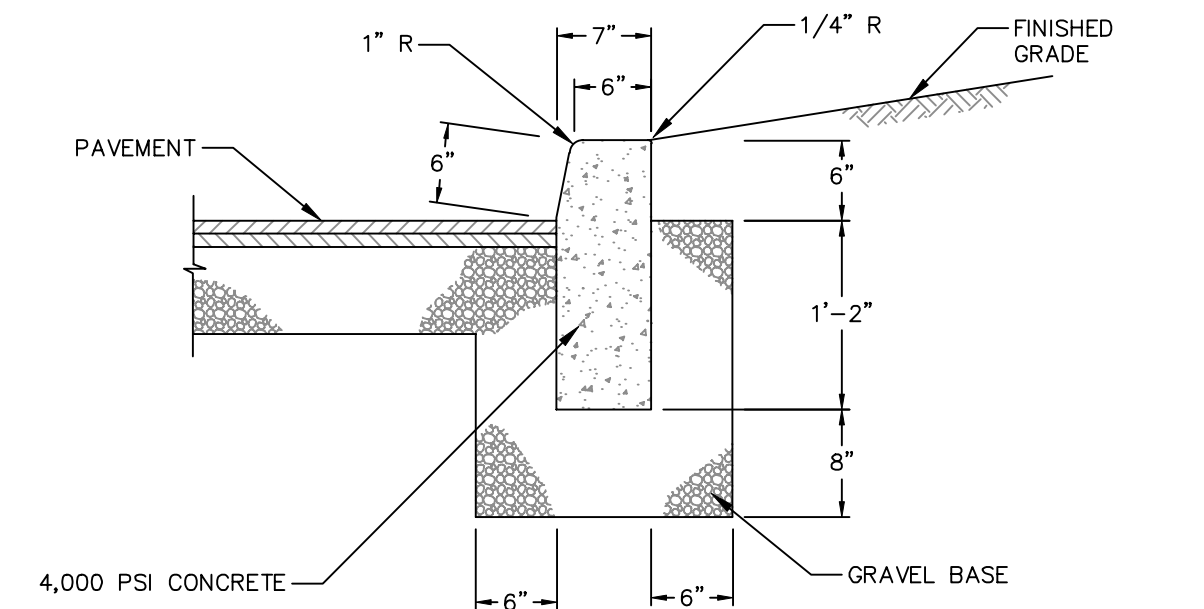
PROJ. No.: 20190241.A30  
 DATE: 10/25/2019

CD-501



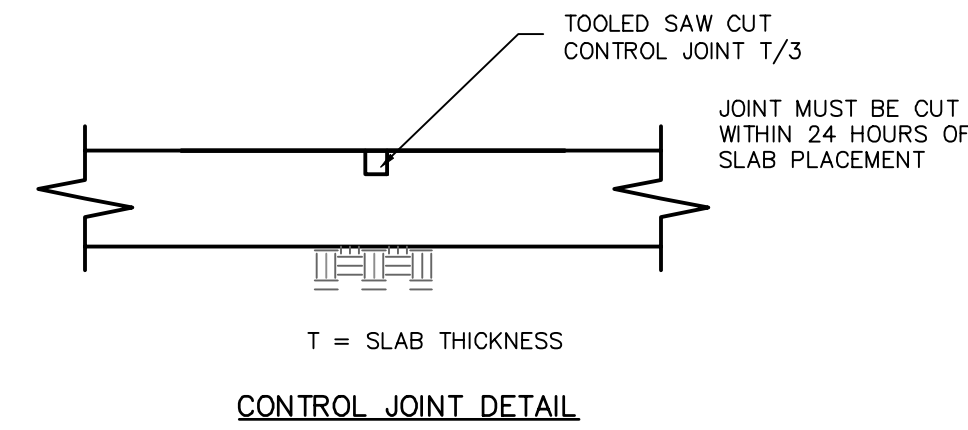
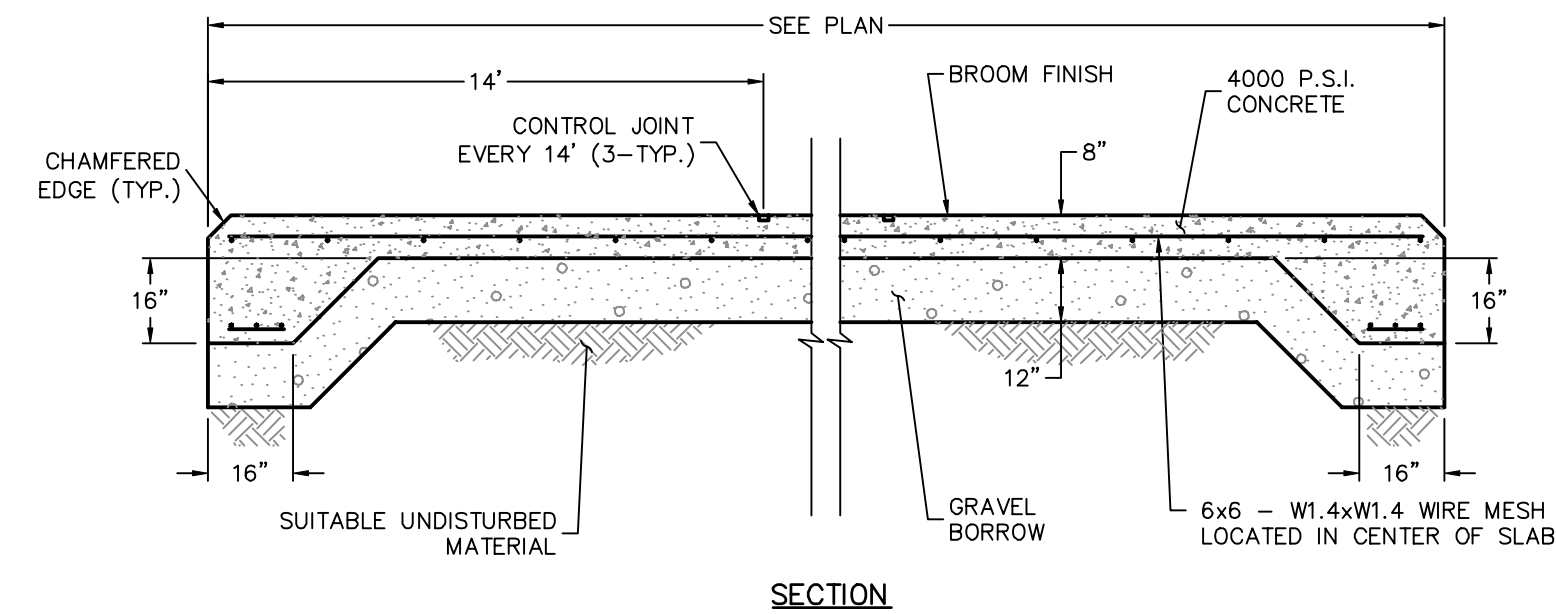
**NOTES:**  
1. MAX SLOPE IN ALL DIRECTION MUST BE ≤ 2.0%

**HANDICAP PARKING STALL LAYOUT**  
SCALE: N.T.S.

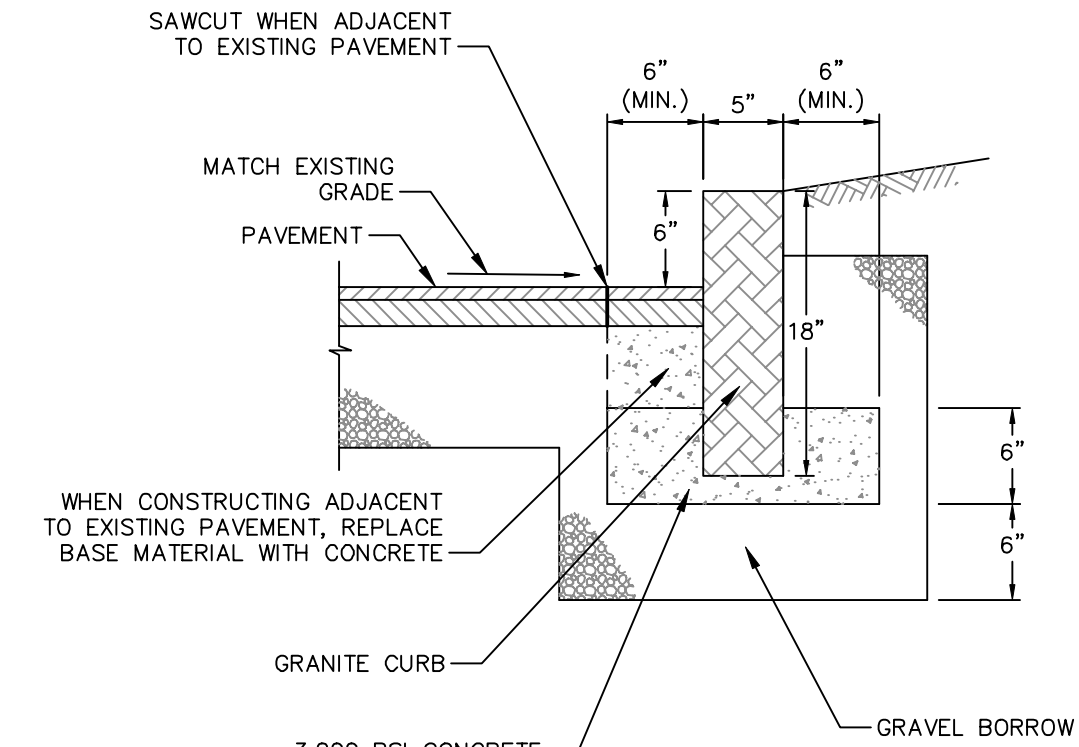


**NOTES:**  
1. 1 INCH DEEP BEVELED JOINT AT TOP AND FACE OF CURB EVERY 10 FEET.  
2. 1/2 INCH EXPANSION JOINT AND FILLER EVERY 30 FEET.  
3. 1/2 INCH EXPANSION JOINT AND FILLER WHEN CURB IS ADJACENT TO CONCRETE SIDEWALK.

**CONCRETE CURB**  
SCALE: N.T.S.

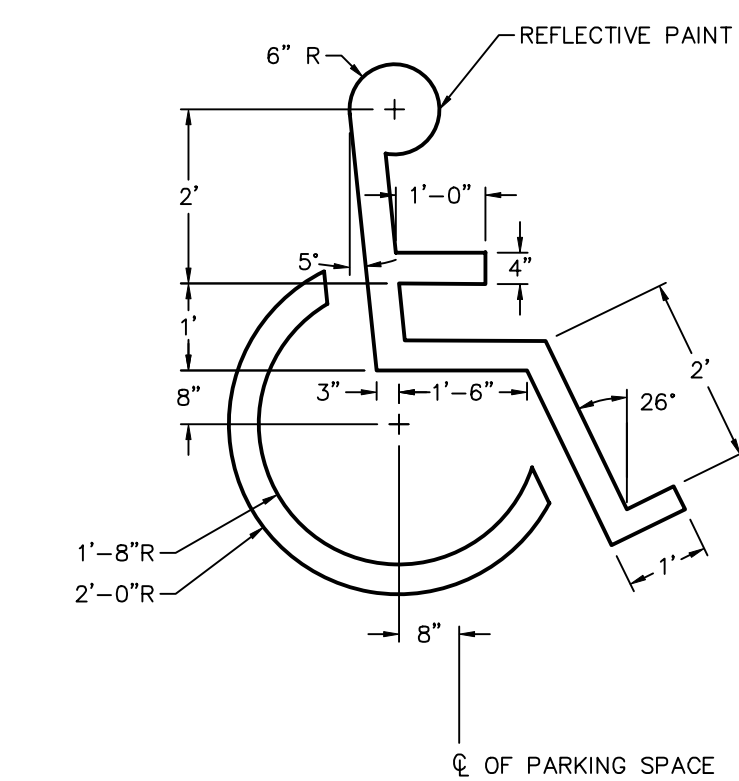


**CONCRETE DUMPSTER PAD**  
SCALE: N.T.S.



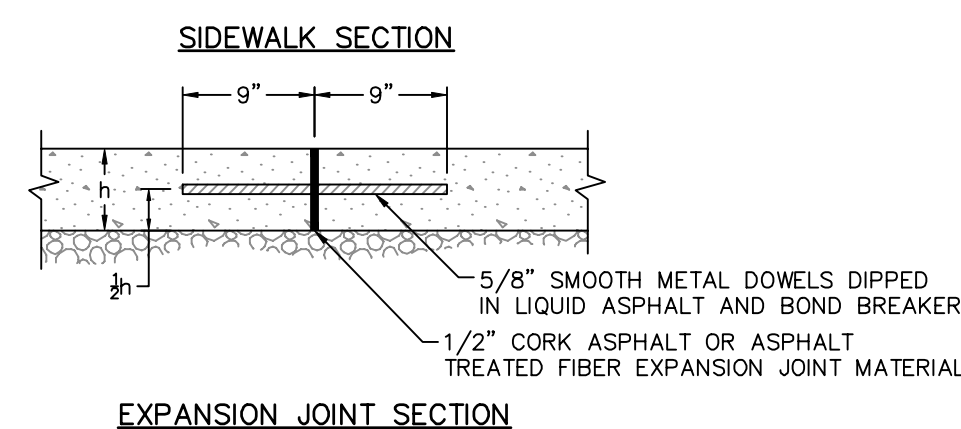
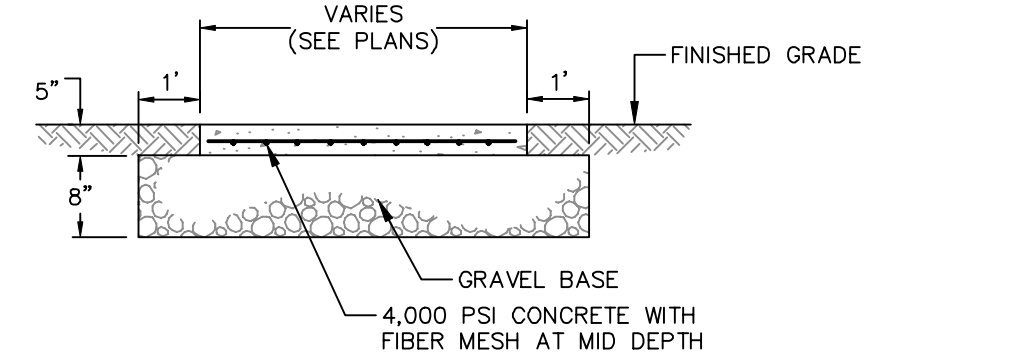
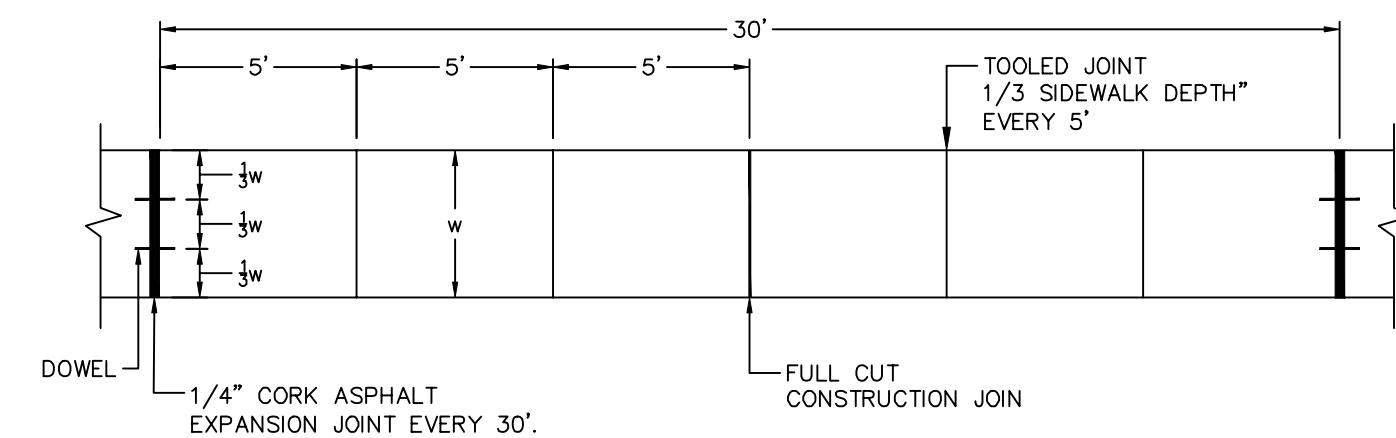
**NOTES:**  
1. LENGTH OF CURB VARIES TO FIT RADIUS. 2 FT. MIN.  
2. ENDS SHALL BE SQUARE TO TOP AND RADIAL TO FACE.  
3. BUTT ENDS TOGETHER AS CLOSE AS POSSIBLE. MAXIMUM SPACE OF 1/2" ALLOWED. 8" DOWN FROM TOP. JOINT SHALL BE MORTARED FULL DEPTH.  
4. 1/2" EXPANSION JOINT EVERY 50± FEET.  
5. CURBS TO BE SET ON A RADIUS OF 100 FEET OR LESS SHALL BE CUT TO THE CURVE REQUIRED, AND THEIR ENDS CUT ON RADIAL LINES.  
6. 1/2" EXPANSION JOINT AND FILLER WHEN CURB IS ADJACENT TO CONCRETE SIDEWALK.

**GRANITE CURB**  
SCALE: N.T.S.



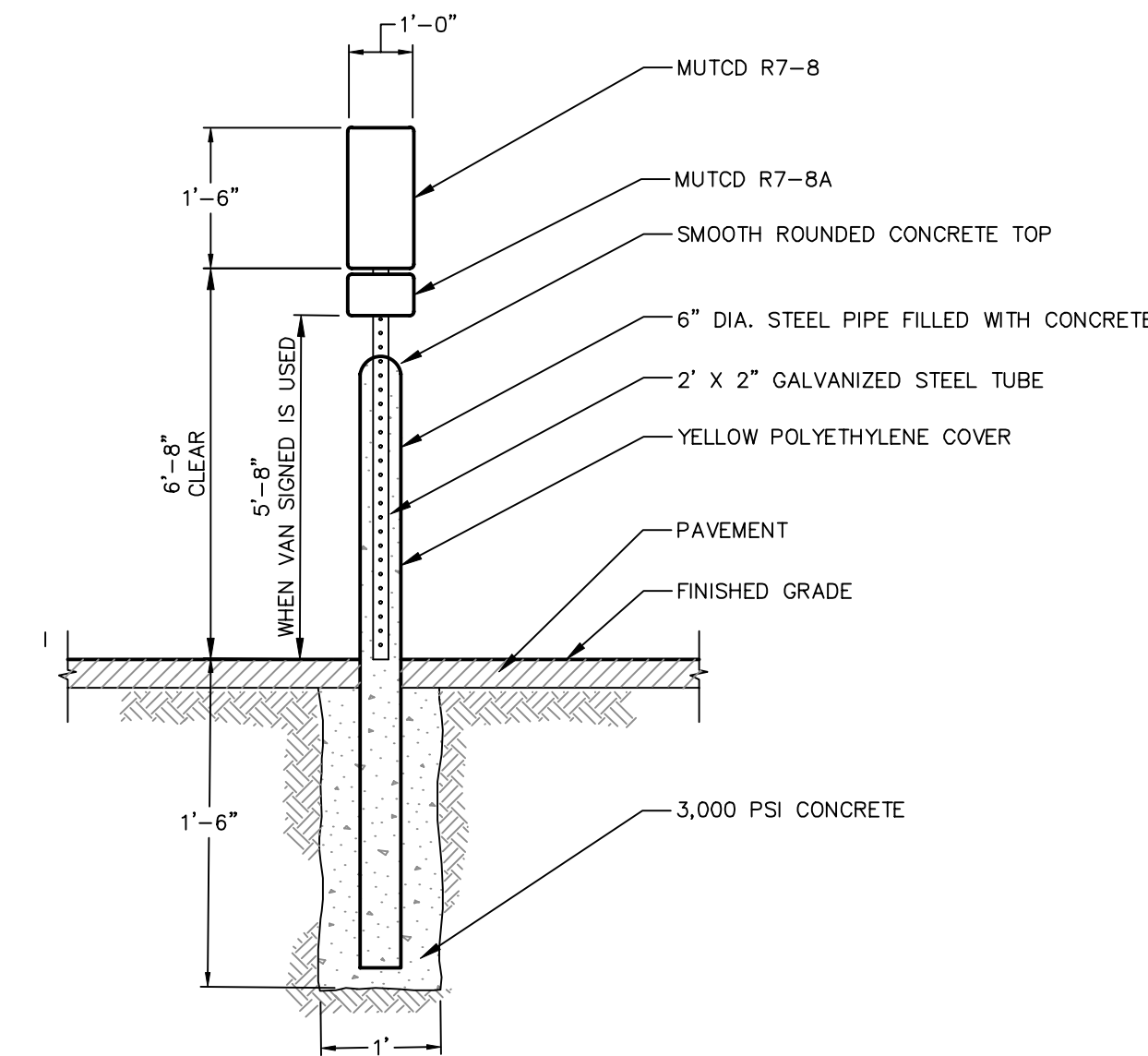
**NOTES:**  
1. SYMBOL PAINTED HIGHWAY WHITE (TWO COATS)

**ACCESSIBLE PARKING SYMBOL**  
SCALE: N.T.S.

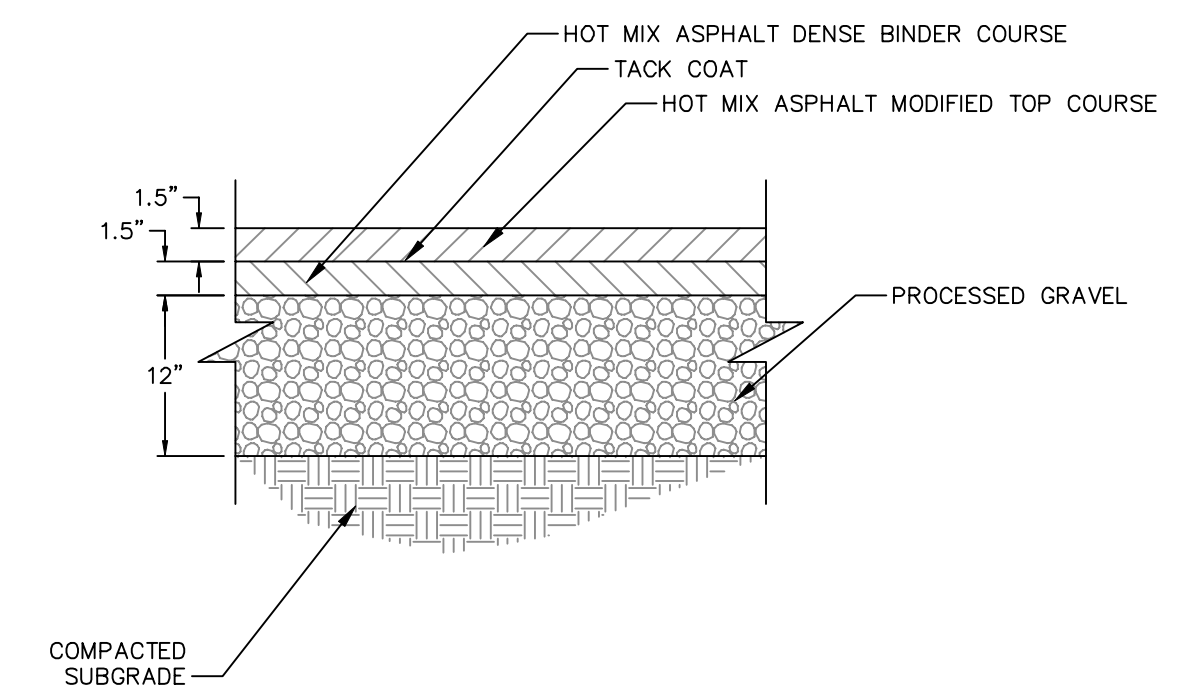


**NOTES:**  
1. PROVIDE DEEP DUMMY JOINT EVERY 5' (1/3 DEPTH OF SLAB)  
2. REPLACE 1/4" EXPANSION JOINT IF EXISTING JOINT FALLS WITHIN RECONSTRUCTION.

**CONCRETE SIDEWALK**  
SCALE: N.T.S.

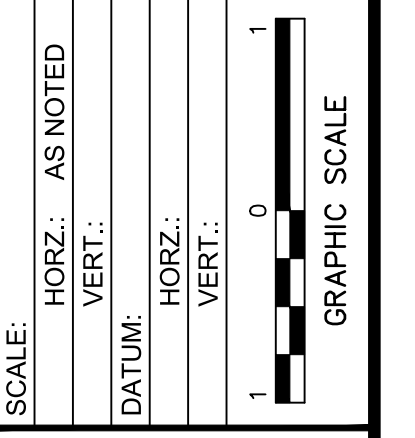


**ACCESSIBLE PARKING SIGN POST**  
SCALE: N.T.S.



**BITUMINOUS CONCRETE PAVEMENT**  
SCALE: N.T.S.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	J.E.V.	S.M.
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	J.E.V.	S.M.

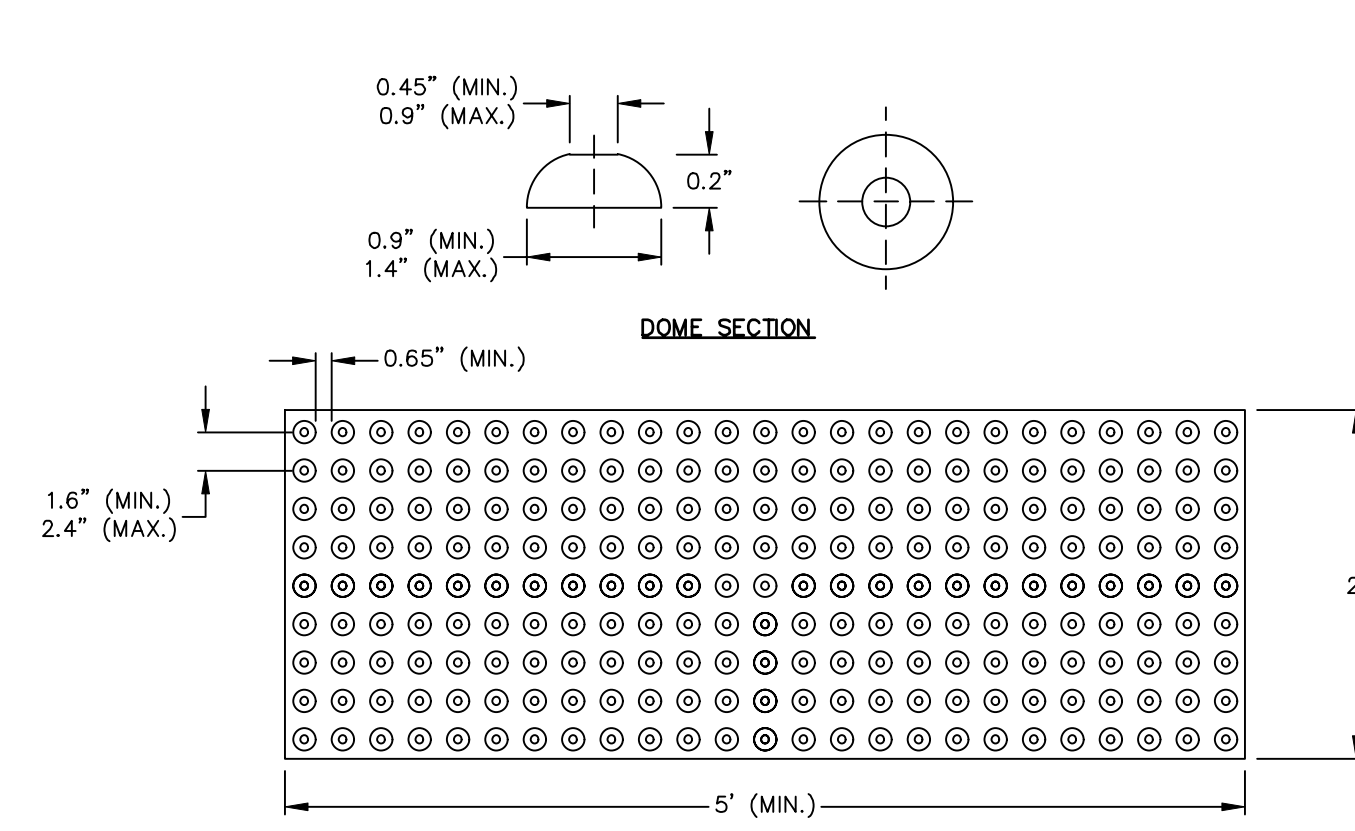


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SITE DETAILS  
1158 BEACON STREET  
NEWTON, MASSACHUSETTS

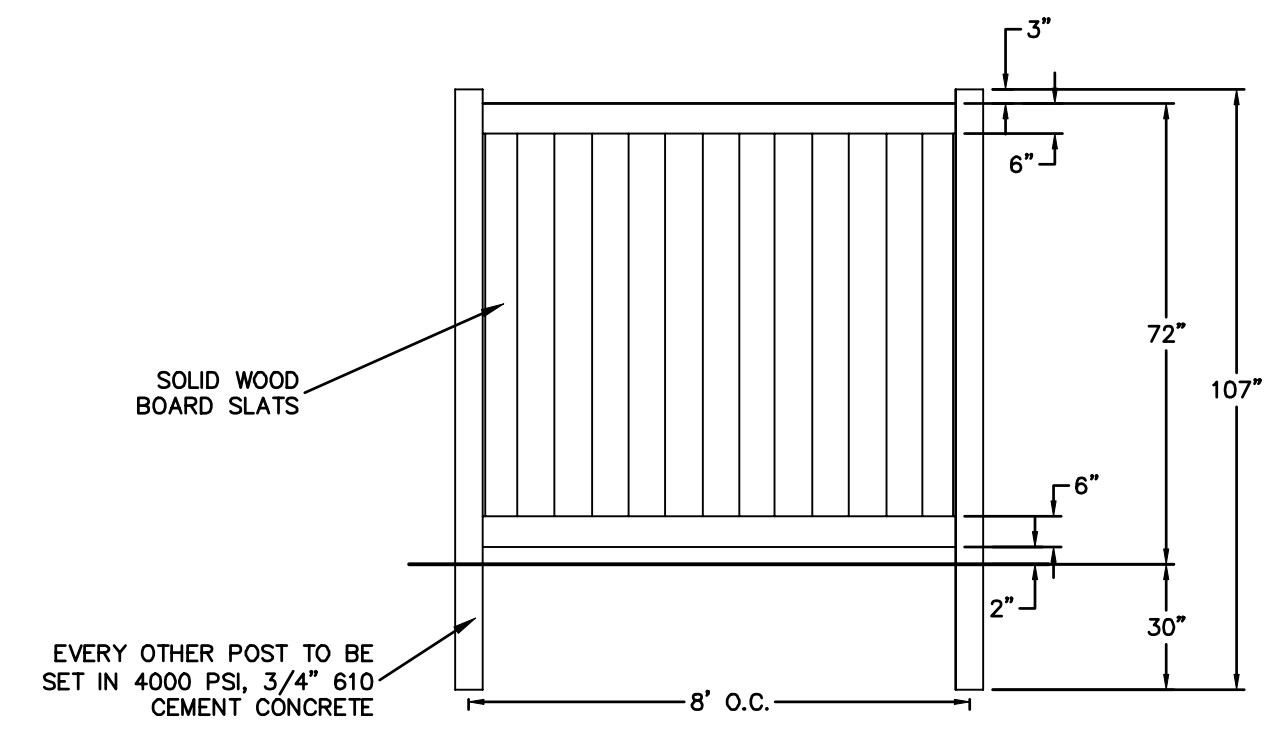
PROJ. No.: 20190241.A30  
DATE: 10/25/2019

**CD-502**



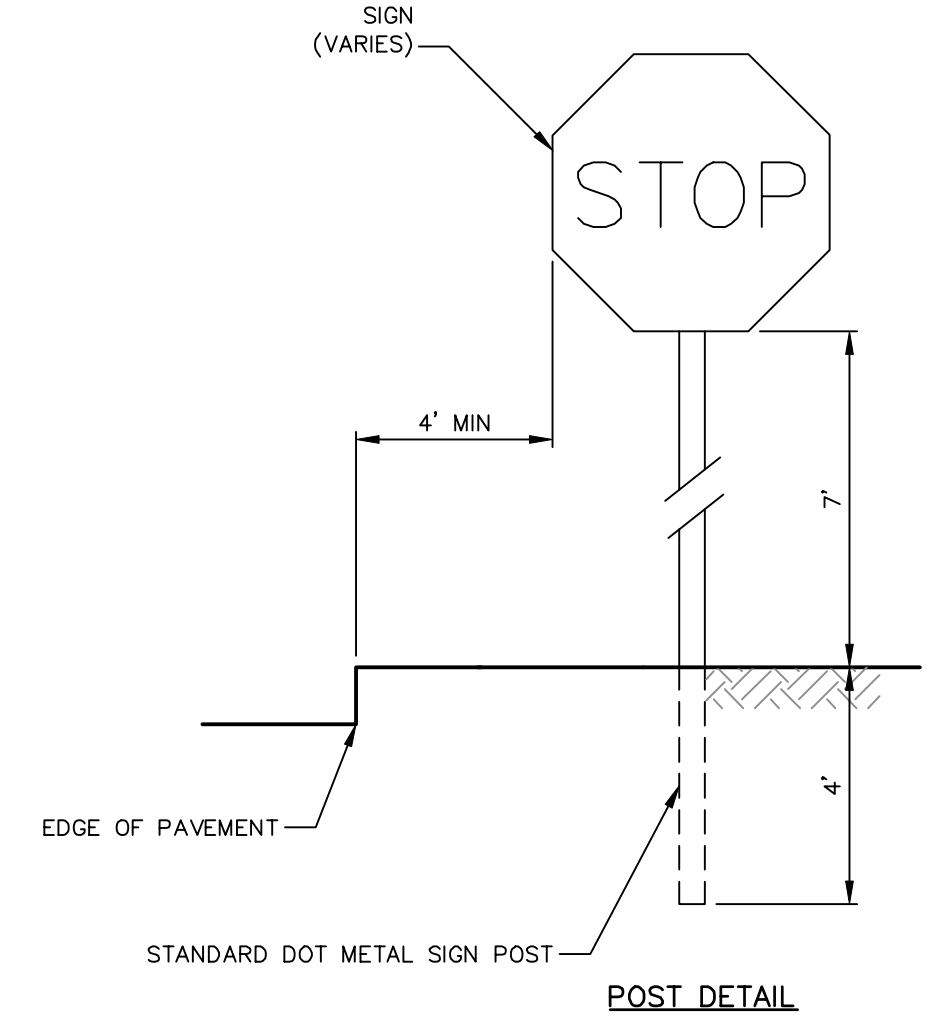
NOTES:  
1. SEE MASSDOT CONSTRUCTION STANDARD E107.6.5

**DETECTABLE WARNING STRIP**  
SCALE: N.T.S.



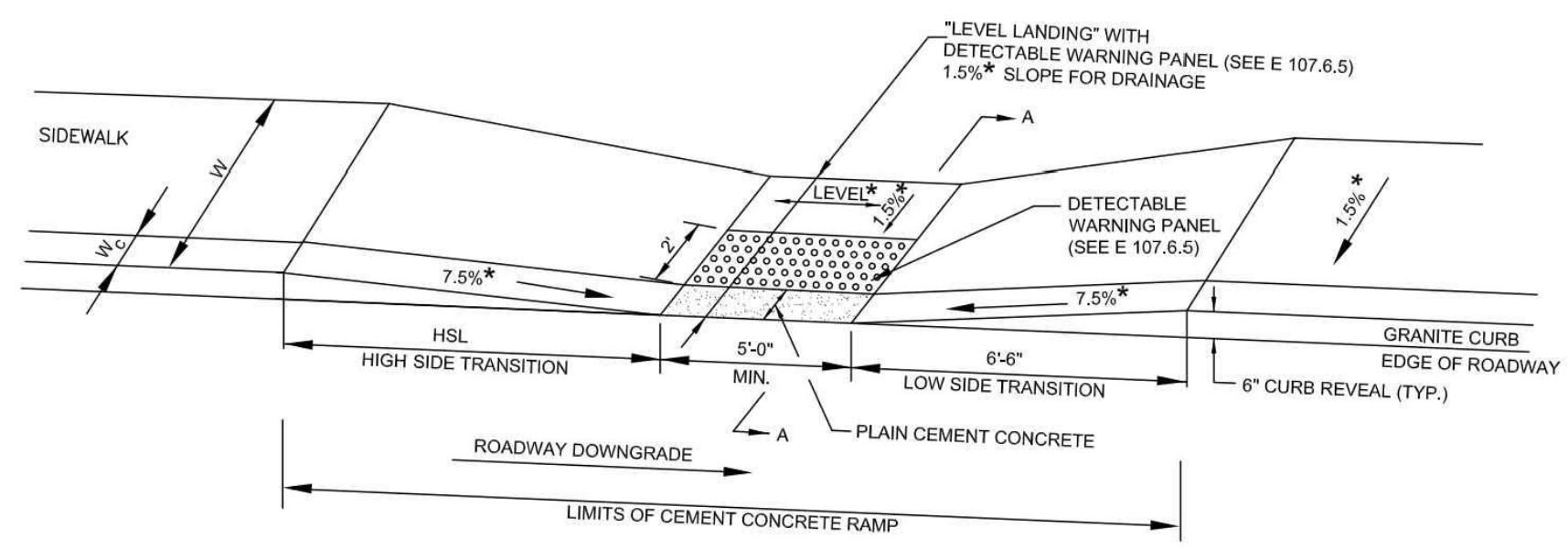
NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
2. SEE SPECIAL PROVISIONS FOR MATERIALS AND COLOR SPECIFICATIONS

**STOCKADE FENCE**  
SCALE: N.T.S.



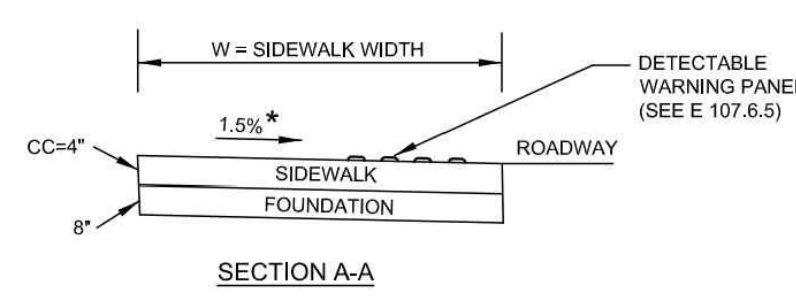
**SIGNS**  
SCALE: N.T.S.

SIGN GRAPHIC	SIGN NAME	SIZE	MUTCD REFERENCE
	ACCESSIBLE PARKING	12"x18"	R7-8
	VAN ACCESSIBLE	18"x9"	R7-8P
	DO NOT ENTER SIGN	24"x24"	R5-1
	EXIT SIGN WITH RIGHT ARROW	24"x24"	N/A
	ENTER ONLY SIGN	24"x24"	N/A

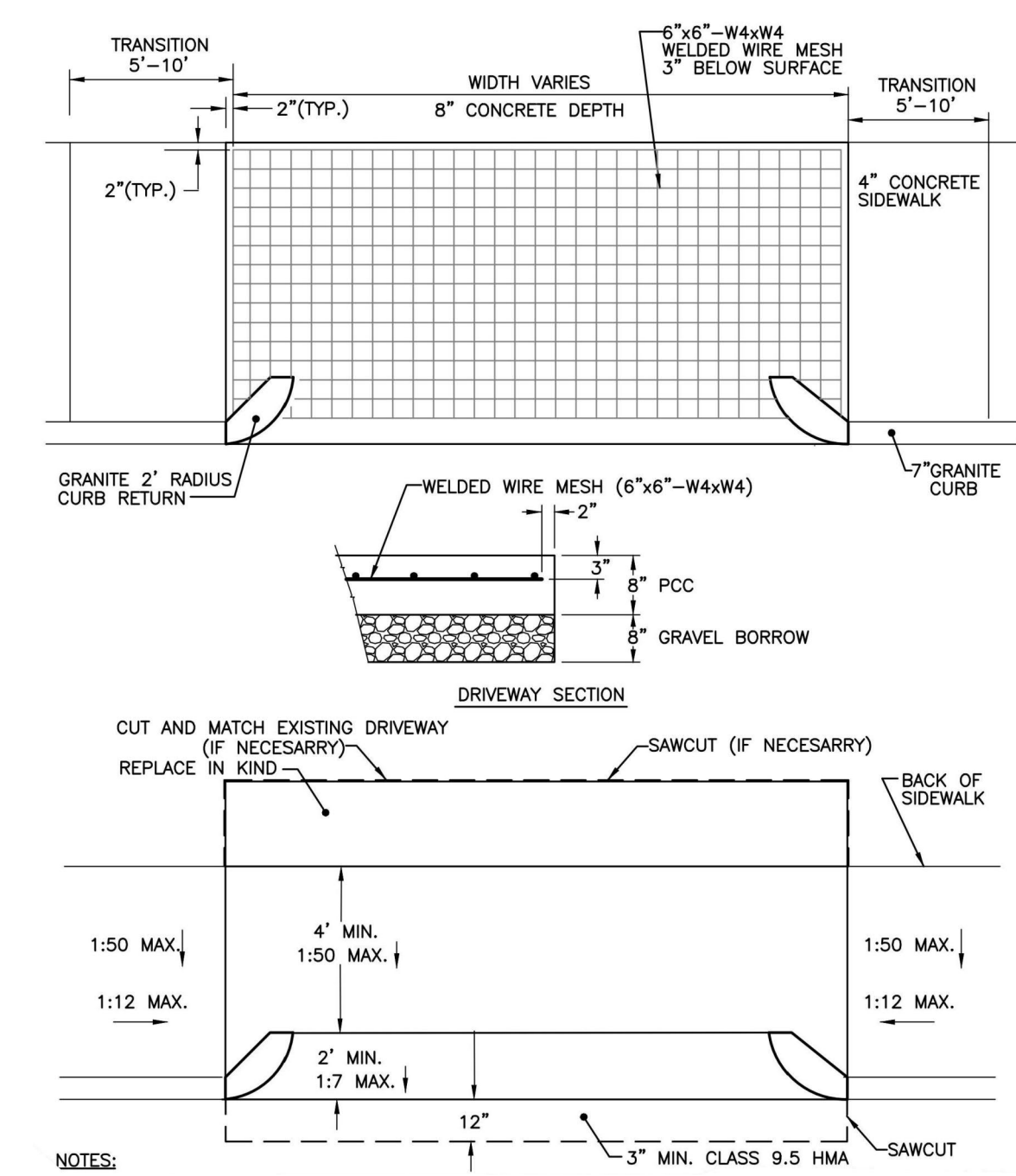


**LEGEND**  
HSL = HIGH SIDE TRANSITION LENGTH (SEE E 107.9.0)  
W = SIDEWALK WIDTH  
W<sub>c</sub> = CURB WIDTH  
CC = CEMENT CONCRETE  
\* = TOLERANCE FOR CONSTRUCTION ±0.5%  
USABLE SIDEWALK WIDTH PER AAB = W-W<sub>c</sub>  
USABLE SIDEWALK WIDTH PER AAB IS NOT TO BE LESS THAN 4'0"  
SEE E 107.6.5 FOR DETAILS OF DETECTABLE WARNING PANEL

**NOTE:**  
ROADWAY, GUTTER, AND FIRST 6' OF SIDEWALK TO BE ADJUSTED FOR FIELD CONDITIONS

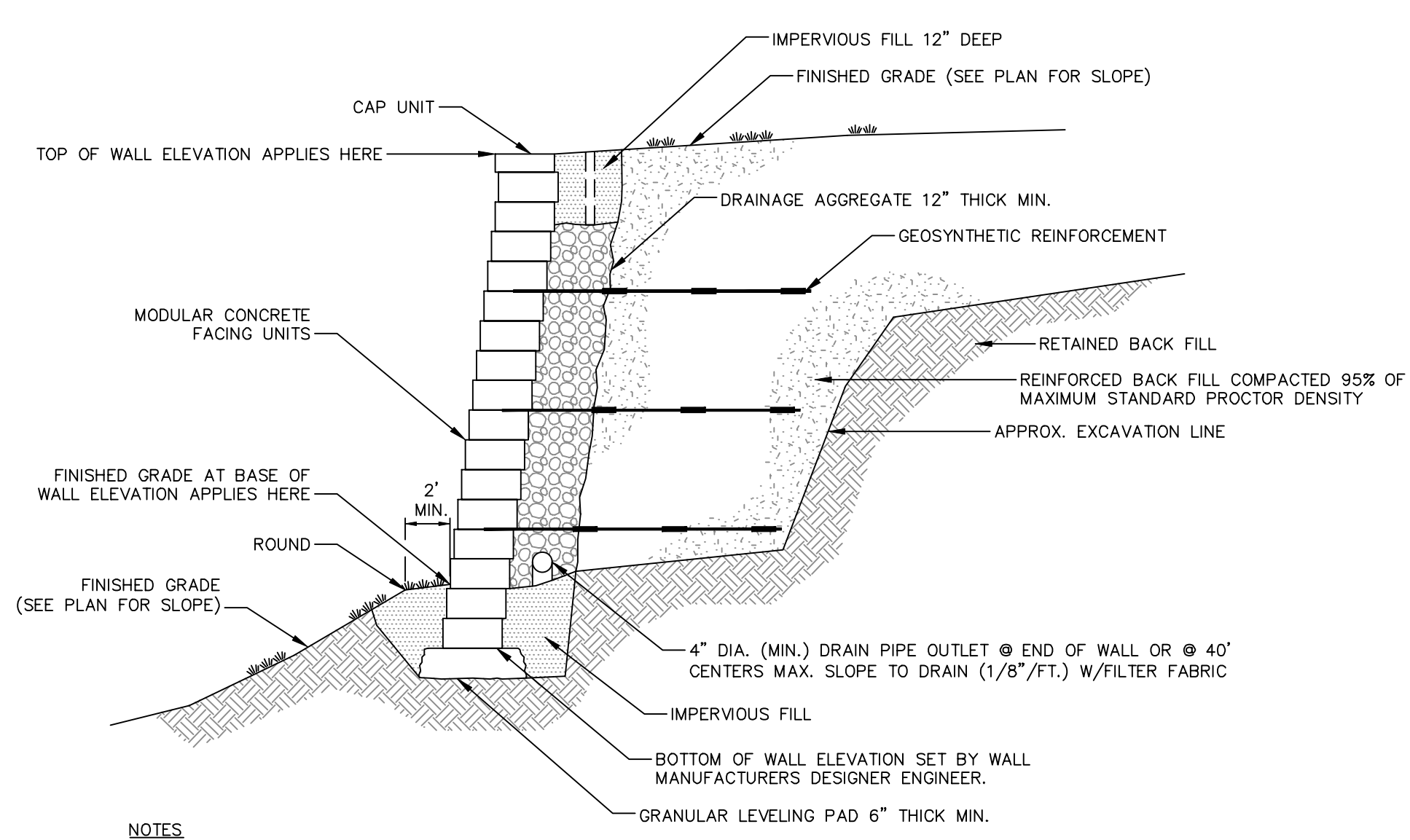


**ACCESSIBLE RAMP**  
SCALE: N.T.S.



**NOTES:**  
1. RUNNING SLOPE OF SIDEWALK/DRIVEWAY SHALL NOT EXCEED 8.3% (1:12)  
2. 4' MINIMUM ACCESSIBLE PATCH SHALL BE INSTALLED WITH CROSS SLOPE NOT EXCEEDING 2% (1:50)

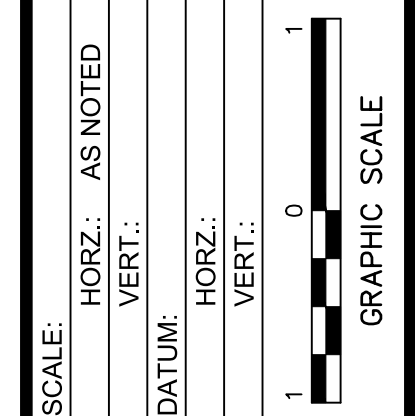
**DRIVEWAY DEVELOPMENT**  
SCALE: N.T.S.



**NOTES:**  
1. DETAILS AND NOTES HEREON ARE GENERIC AND ARE INTENDED TO GIVE A GENERAL DESCRIPTION OF THE WALL. THEY ARE NOT FOR CONSTRUCTION.  
2. DETAILED WALL CONSTRUCTION PLANS, STAMPED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MASSACHUSETTS, SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.  
3. APPROVED WALL MANUFACTURERS INCLUDE VERSA-LOK, KEYSTONE, MESA OR EQUAL.

**MODULAR CONCRETE BLOCK RETAINING WALL**  
SCALE: N.T.S.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE	JEV	JEV
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	JEV	JEV



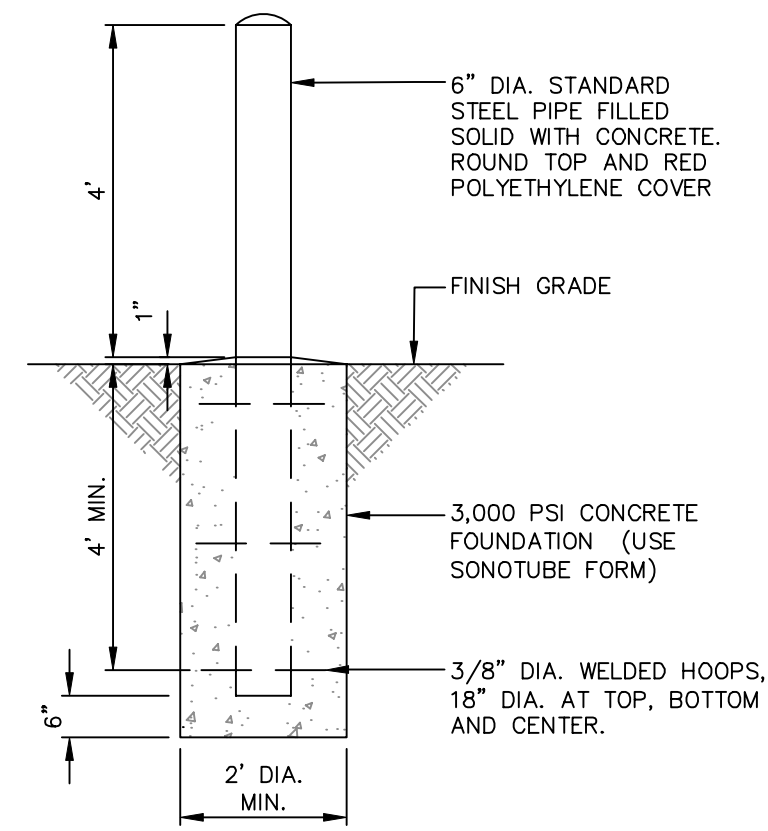
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**UNION TWIST, INC.**  
SITE DETAILS  
1158 BEACON STREET  
NEWTON, MASSACHUSETTS

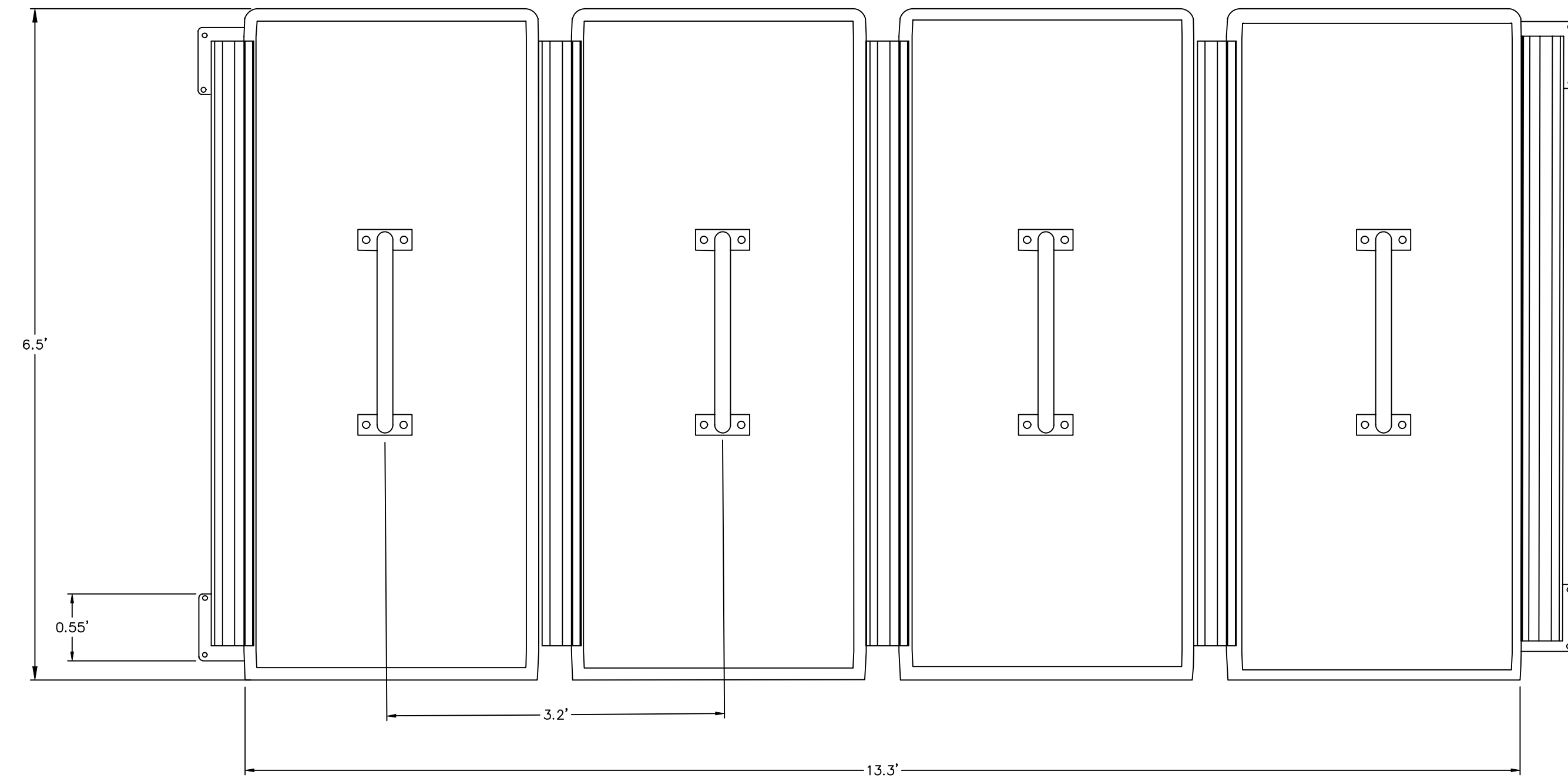
PROJ. No.: 20190241.A30  
DATE: 10/25/2019

**CD-503**

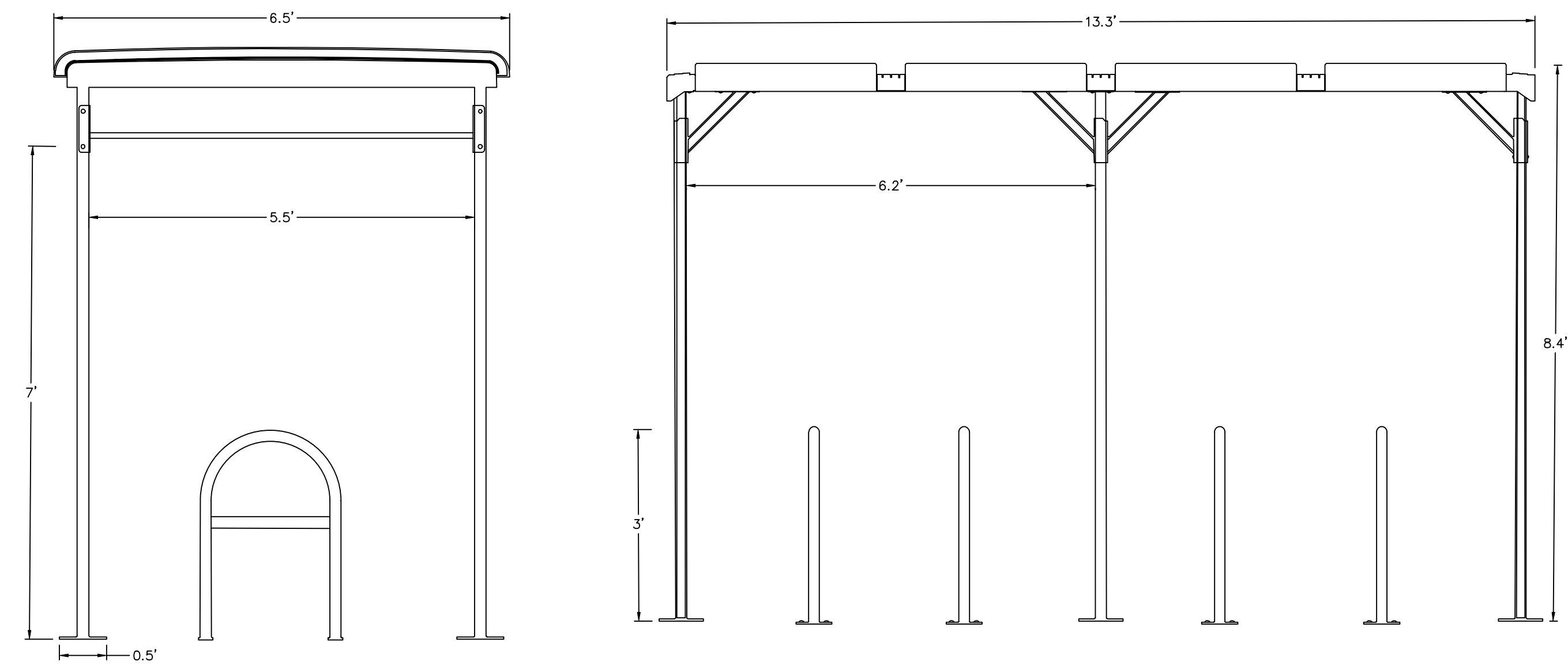




**BOLLARD**  
 SCALE: N.T.S.



**PLAN VIEW**



**ELEVATION**

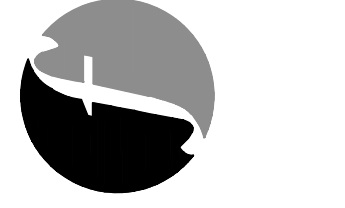
NOTES:  
 1. REPRESENTATIVE BIKE RACK DETAIL. ACTUAL BIKE RACK TO BE SELECTED BY OWNERSHIP.

**BIKE RACK**  
 SCALE: N.T.S.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	JEV	SM
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	JEV	SM



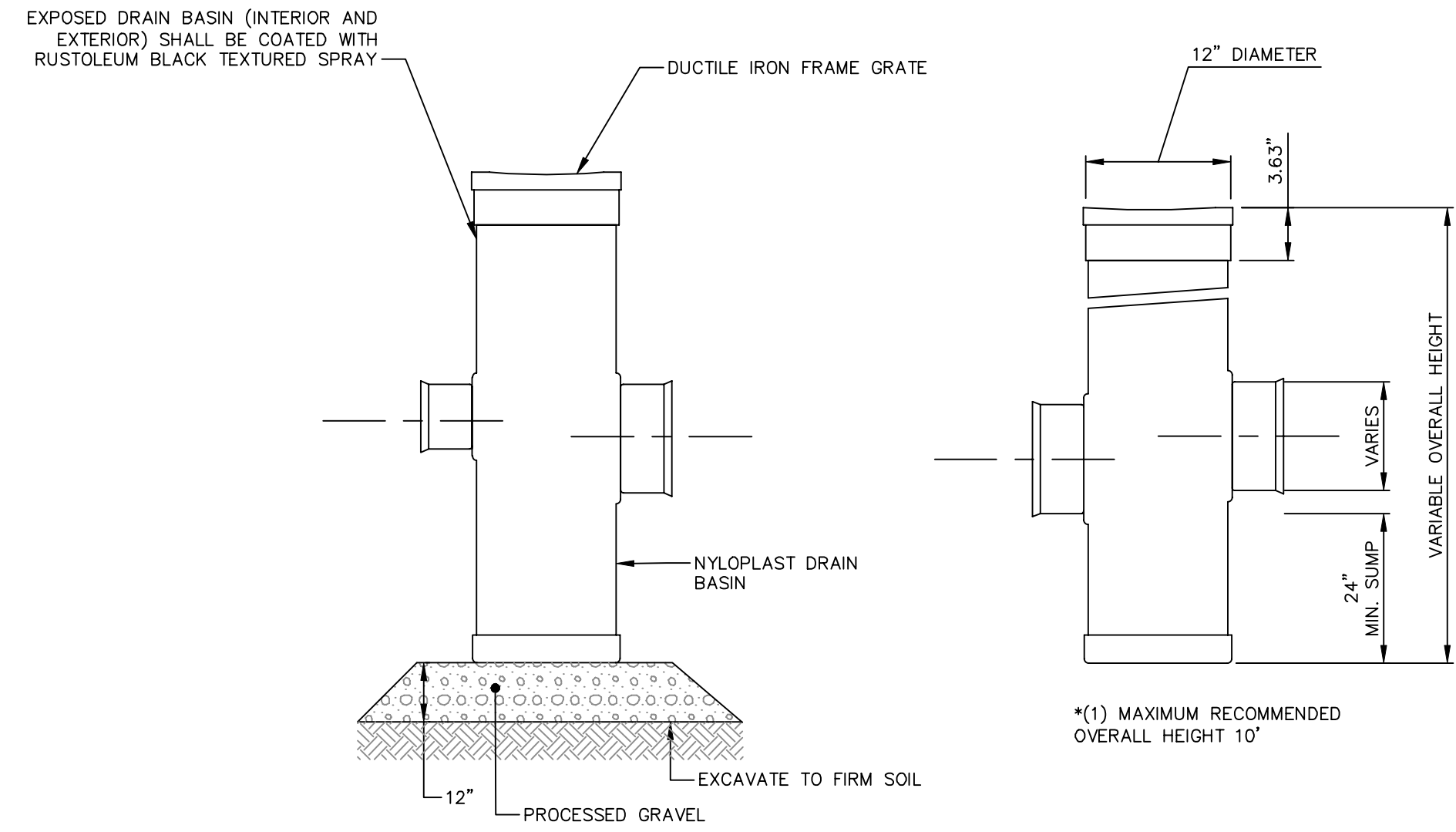
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 QUINCY, MA 02171  
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UNION TWIST, INC.  
 SITE DETAILS  
 1158 BEACON STREET  
 NEWTON  
 MASSACHUSETTS

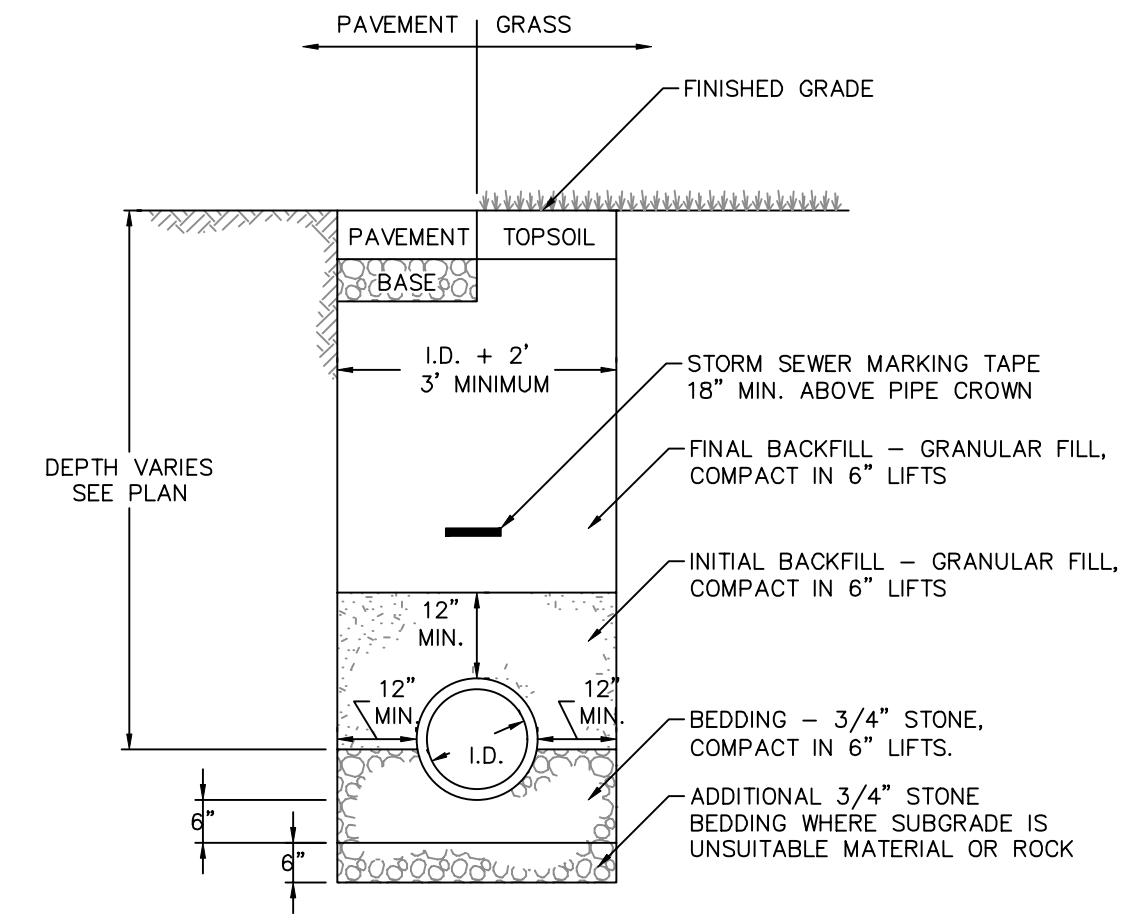
PROJ. No.: 20190241.A30  
 DATE: 10/25/2019

**CD-504**



- NOTES:**
- SEE GRADING AND DRAINAGE PLAN FOR PIPE SIZE, PIPE MATERIAL, AND INVERTS.
  - PROCESSED GRAVEL SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.

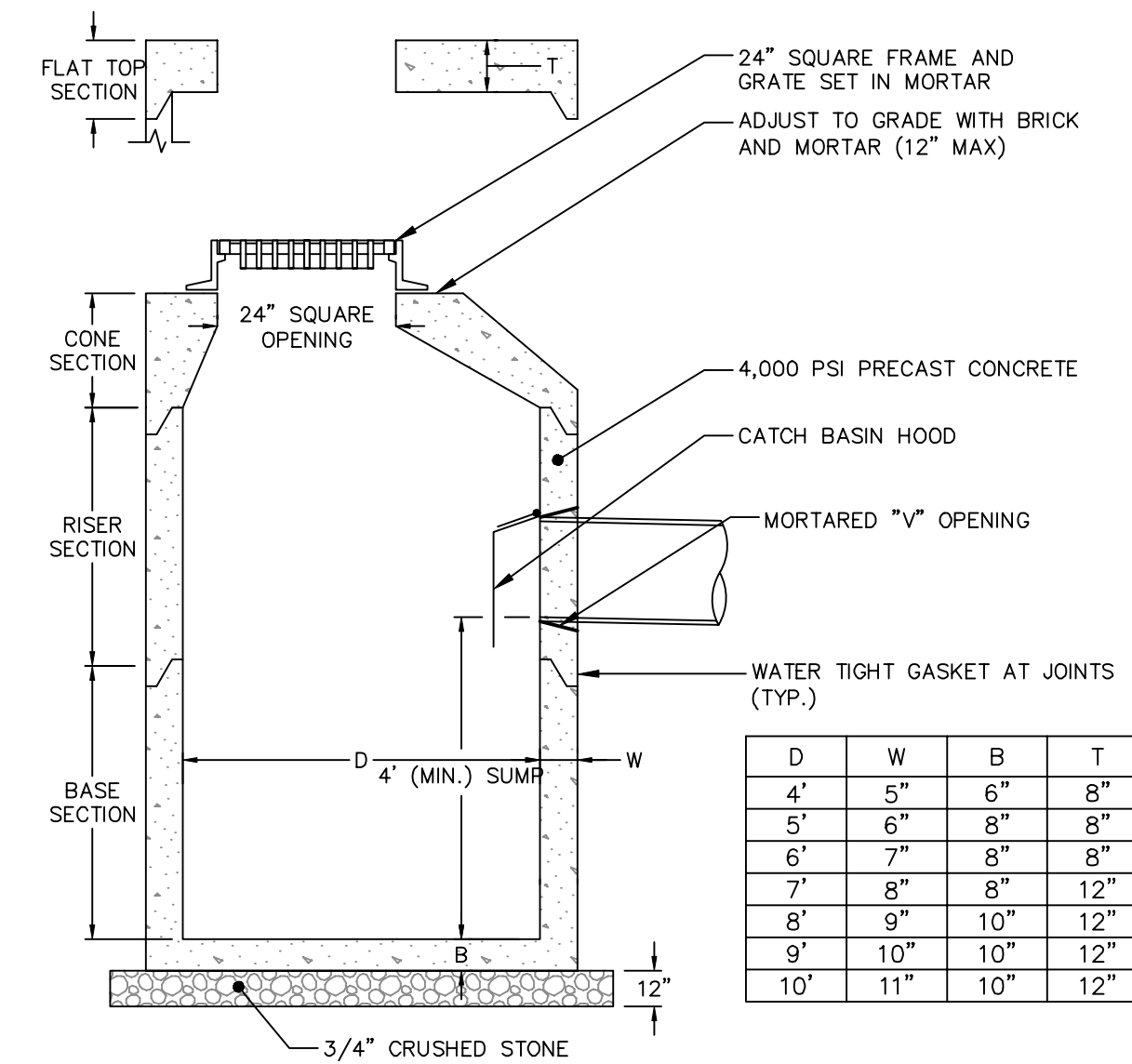
**YARD DRAIN**  
SCALE: N.T.S.



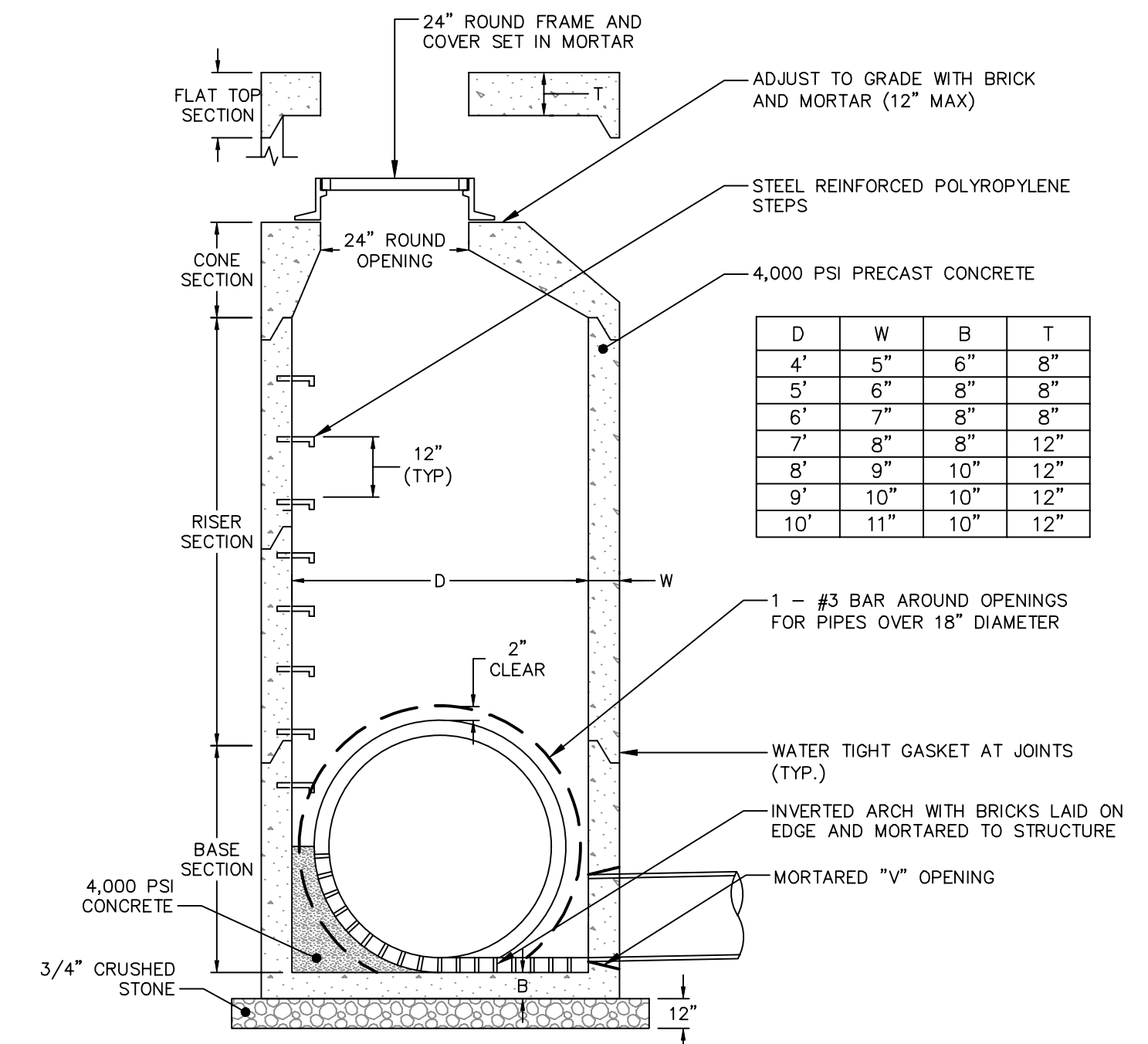
**STORM SEWER TRENCH**  
SCALE: N.T.S.

- NOTES:**
- UNLESS OTHERWISE NOTED, INTERIOR DIAMETER (D) SHALL BE 4 FEET. AT A MINIMUM, INTERIOR DIAMETER SHALL BE 6" LARGER THAN THE LARGEST DIAMETER PIPE.
  - FRAME AND GRATE SHALL CONFORM TO MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS:
    - CATCH BASINS
      - E204.2.0 WHERE ADJACENT TO CURBS.
      - E201.6.0 AND E201.10.0 IN OTHER AREAS.
    - MANHOLES
      - E202.6.0 AND E202.8.0.
  - CATCH BASIN HOODS SHALL CONFORM TO MASSACHUSETTS DEPARTMENT OF TRANSPORTATION CONSTRUCTION STANDARD DETAILS E201.12.0.
  - STEPS SHALL CONFORM TO ASTM C478.
  - STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING.
  - REINFORCING STEEL SHALL CONFORM TO ASTM A185.
  - WATERTIGHT GASKET JOINTS SHALL BE BUTYL RESIN CONFORMING TO ASTM C990.
  - FLAT TOP SECTIONS ARE TO BE USED FOR STRUCTURE WITH AN INTERIOR DIAMETER (D) OF 6 FEET OR GREATER AND WHEN REQUIRED DUE TO PIPE COVER.

**DRAINAGE STRUCTURE NOTES**  
SCALE: N.T.S.

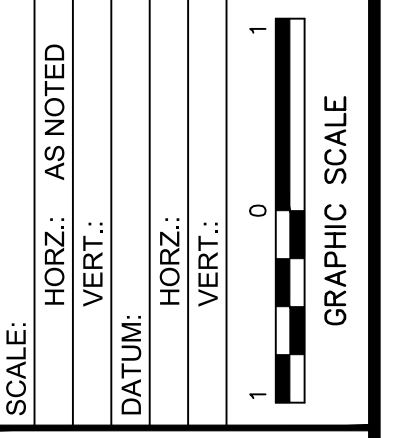


**PRECAST CONCRETE CATCH BASIN**  
SCALE: N.T.S.



**DRAIN MANHOLE**  
SCALE: N.T.S.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	01/27/2020	DRAINAGE REVISION	JEV	JEV
2.	5/6/2020	SITE PLAN APPROVAL SUBMISSION	JEV	JEV



**FUSS & O'NEILL**  
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www.fussandoneill.com

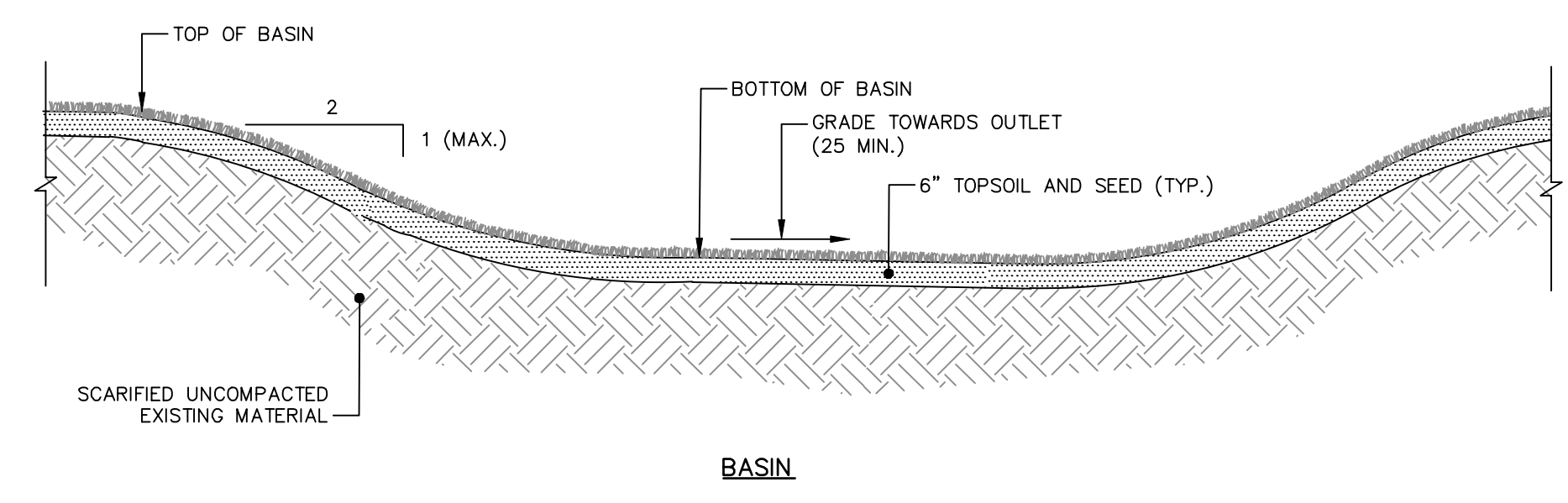
UNION TWIST, INC.  
SITE DETAILS  
1158 BEACON STREET  
NEWTON, MASSACHUSETTS

PROJ. No.: 20190241.A30  
DATE: 10/25/2019

**CD-505**

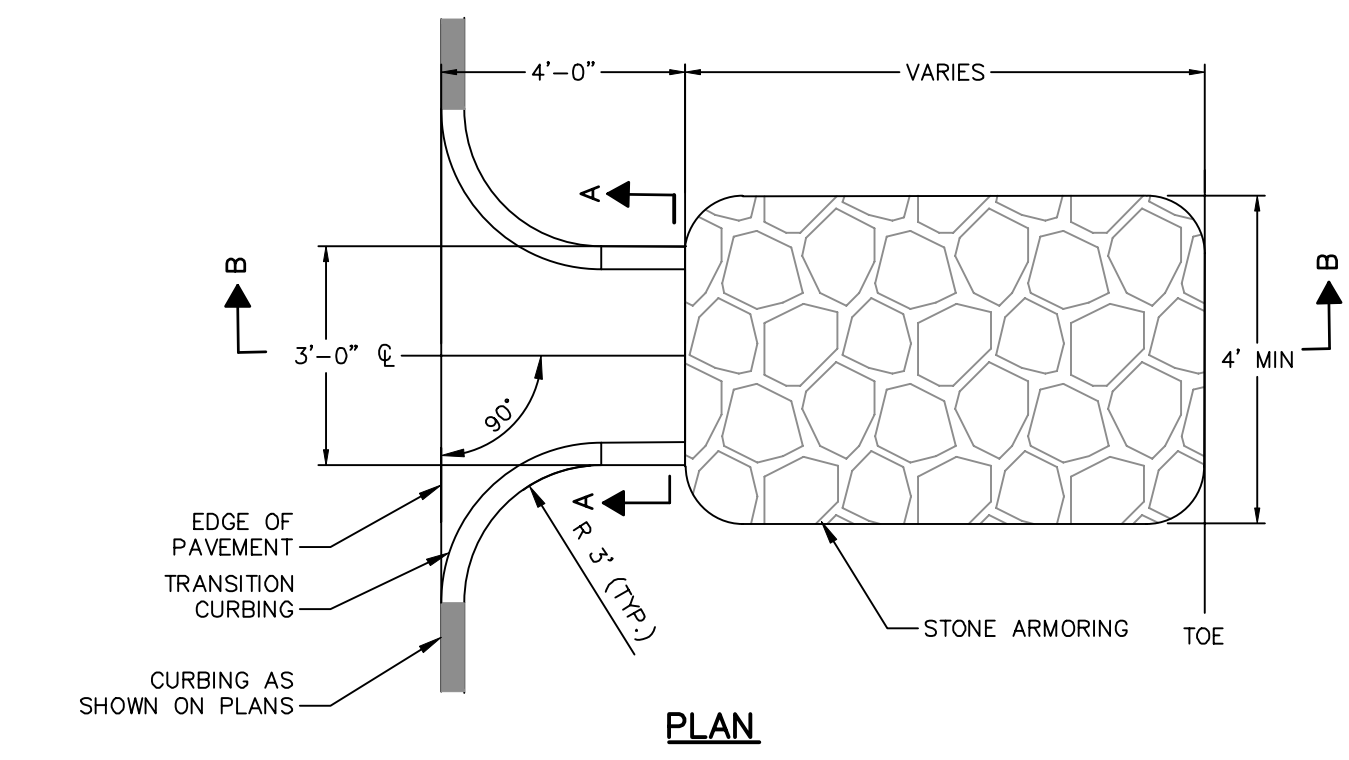
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 Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION).PC3 CTB File: FO.STB

MS VIEW: LAYER STATE:



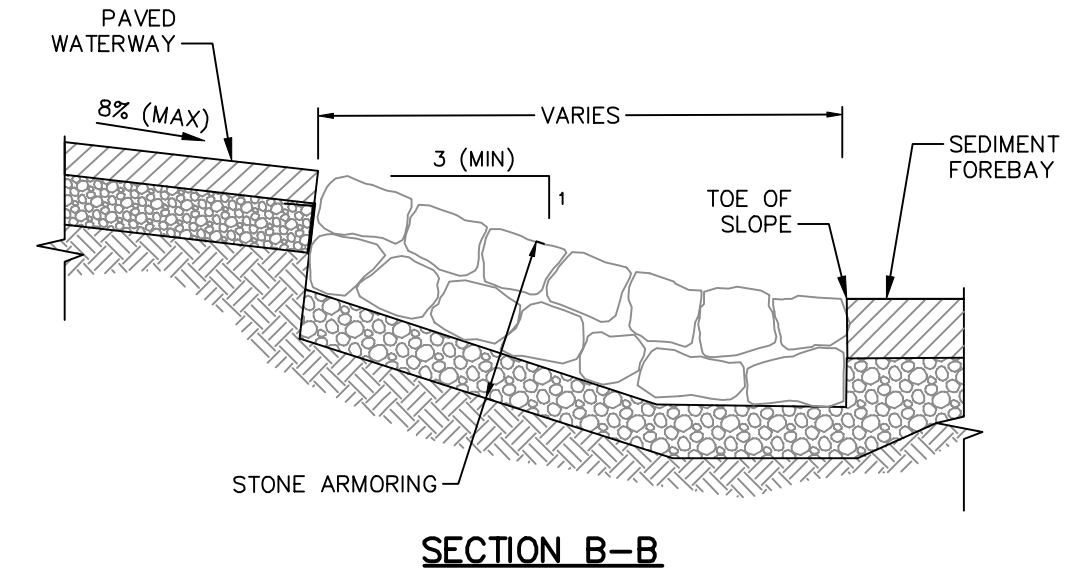
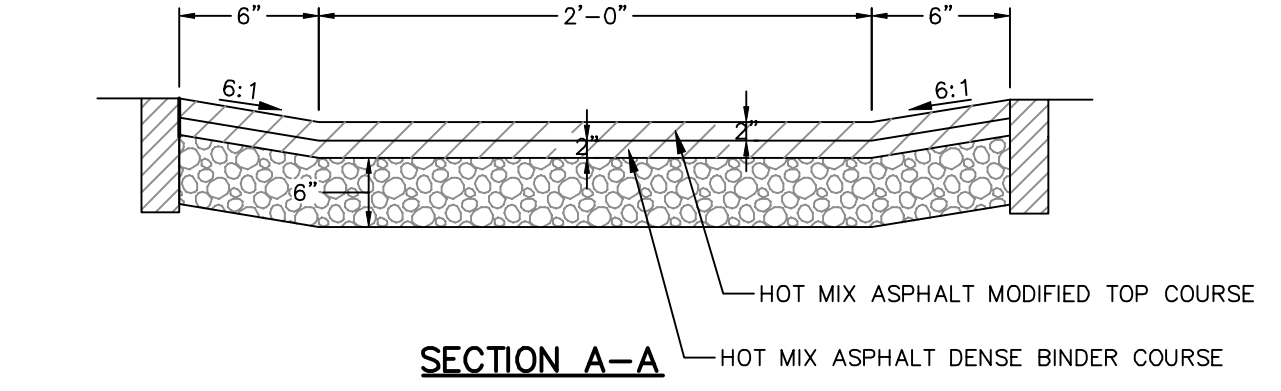
**BASIN NOTES:**  
 1. SEED MIX SHALL BE NEW ENGLAND WETLAND PLANTS "NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES".

**INFILTRATION BASIN**  
 SCALE: N.T.S.

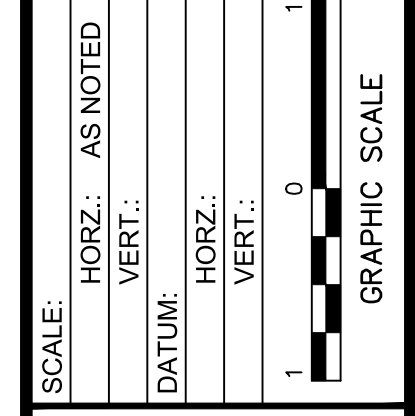


**NOTES:**  
 STONE SHALL BE 2"-4" ROUNDED RIVER STONE.

**LEAKOFF**  
 SCALE: N.T.S.



**SECTION B-B**

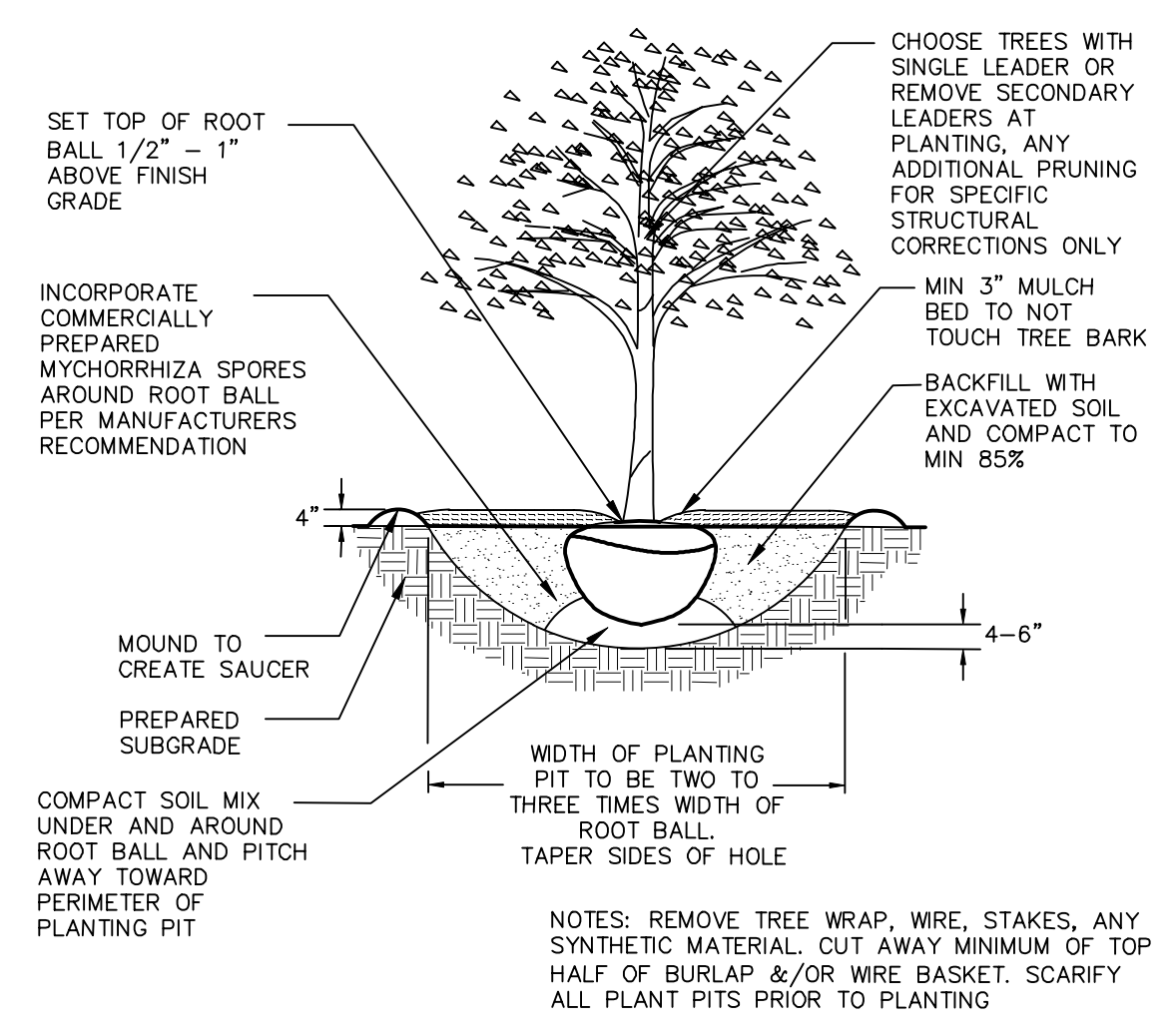


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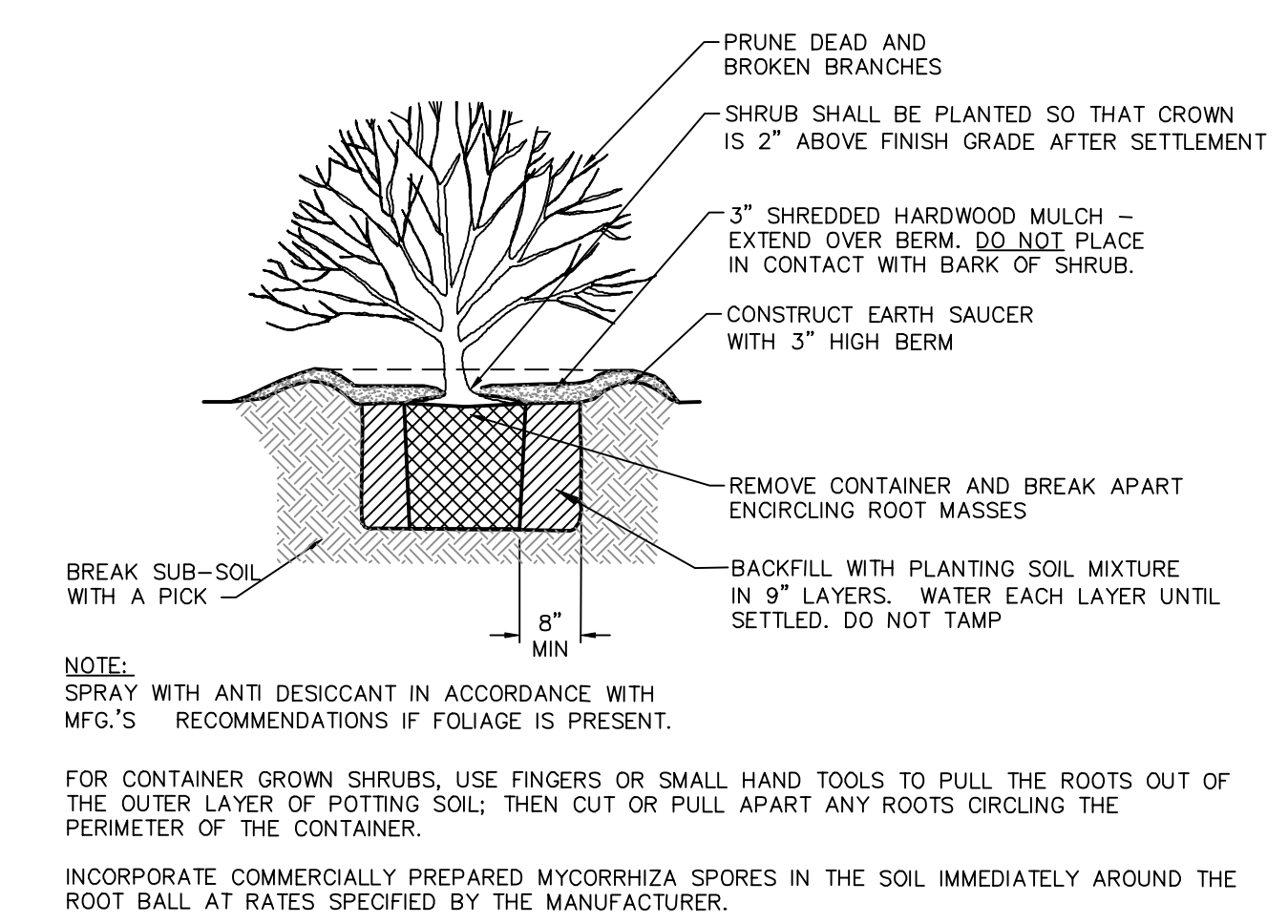
UNION TWIST, INC.  
 SITE DETAILS  
 1158 BEACON STREET  
 MASSACHUSETTS  
 NEWTON

PROJ. No.: 20190241.A30  
 DATE: 10/25/2019

**CD-506**



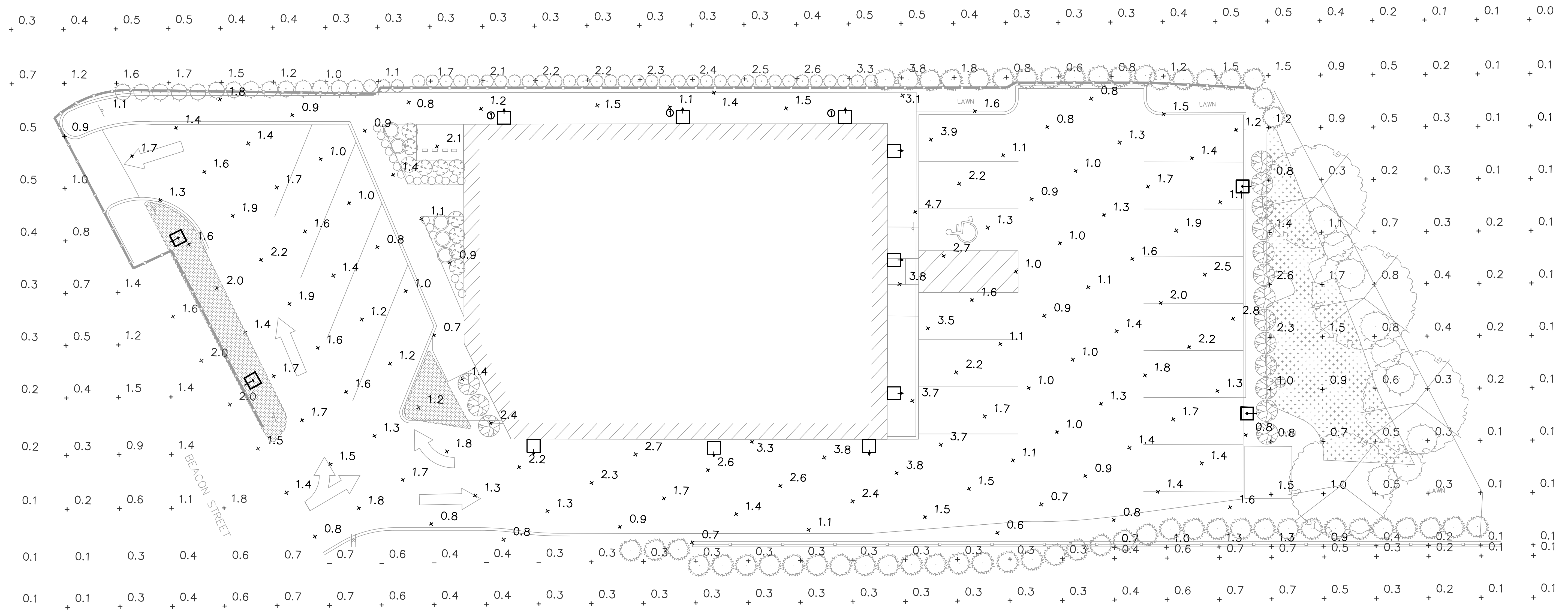
**TREE PLANTING**  
 SCALE: N.T.S.



**SHRUB PLANTING DETAIL FOR CONTAINERIZED SHRUBS**  
 SCALE: N.T.S.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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Luminaire list (Beacon St)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
☐ 20'	PHILIPS GARDCO	Pureform COMFORT Area (P26), 140 LED's, 3000K CCT, TYPE 3 OPTIC	P26-140L-1150-WW-G2-3-UNV	1x(1) Square Light Guide Plate DRIVEN AT 500mA	5801 lm	0.80	52.2 W	4
☐ 12'	SIGNIFY GARDCO	Pureform COMFORT Sconce (PWS), 140 LED's, 4000K CCT, TYPE 2 OPTIC	PWS-140L-450-NW-G2-2-UNV	1x(1) Square Light Guide Plate DRIVEN AT 450mA	1000 lm	0.80	22.3 W	9

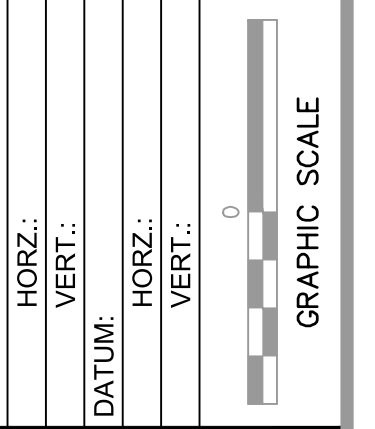
NOTE:

① SET ADJUSTABLE LUMEN OUTPUT TO 50%

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Parking Lot	Horizontal illuminance	0.36 fc	3.63 fc	1.38 fc	3.80	10.00
2	Side Walkway	Horizontal illuminance	0.95 fc	2.04 fc	1.46 fc	1.53	2.14

#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	Overflow	Horizontal illuminance	0.099 fc	3.33 fc	0.93 fc	9.42	33.84

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**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 CAMBRIDGE, MA 02111  
 617.285.4675  
 www.fuss.com



UNION TWIST, INC.  
 PHOTOMETRIC PLAN  
 1158 BEACON STREET  
 NEWTON  
 MASSACHUSETTS

PROJ. No.: 20190241.A30  
 DATE: 10/25/2019

SL-1