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BIALEK RESIDENCE

16 CREHORE DRIVE
NEWTON, MA 02462

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GENERAL NOTES

1. VERIFY CONDITIONS. CONTRACTOR TO CONFIRM EXISTING CONDITIONS AND NOTIFY ARCHITECT IF ANY CONDITIONS DO NOT AGREE WITH DRAWINGS. DO NOT SCALE OFF DRAWINGS. CONTACT ARCHITECT FOR CLARIFICATION IF REQUIRED.
2. UTILITIES: CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL UTILITIES AT GRADE, ABOVE GRADE, AND UNDERGROUND, INCLUDING UTILITY PIPES AND STRUCTURES. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES WITH UTILITY COMPANIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR THE COST INCURRED BY AND REPLACEMENT OF ANY DAMAGE TO UTILITIES ON THE SITE. THE CONTRACTOR SHALL CONTACT MASSACHUSETTS "DIG SAFE" AT 1-800-322-4844 TO FIELD LOCATE ALL UTILITIES PRIOR TO STARTING WORK.
3. PROTECT BUILDING: PROTECT EXISTING FINISHES TO REMAIN DURING WORK. PATCH & REPAIR AS REQUIRED.
4. SALVAGE & DISPOSAL: CONFIRM ALL ITEMS TO BE REMOVED PRIOR TO DISPOSAL. STOCKPILE AND STORE ALL ITEMS TO BE SALVAGED IN LOCATIONS APPROVED BY THE OWNER AND ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY STOCKPILED MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
5. PROTECT SITE: PROTECT ALL EXISTING TREES & SHRUBS ON THE SITE DURING CONSTRUCTION. DO NOT DRIVE OR STOCKPILE MATERIALS WITHIN THE DRIP LINE OF EXISTING TREES.
6. REPAIR SITE: GRADE AND SEED SITE UPON COMPLETION. RESTORE ALL DISTURBED AREAS.
7. CODES: ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING BUT NOT LIMITED TO BUILDING, USE OF MATERIALS, DISPOSAL OF MATERIALS, AND SAFETY APPLY TO ALL ASPECTS OF THIS PROJECT. CONTRACTOR TO CARRY PERMITS IN BASE BID.
8. PERMIT: DO NOT CARRY PERMIT IN BASE BID.
9. HEAT & AC: DESIGN/BUILD. REPLACE EXISTING SYSTEM WITH HIGH EFFICIENCY GAS FIRED HYDRO AIR SYSTEMS. PLAN ON AIR HANDLER IN BASEMENT SERVING FIRST FLOOR AND AIR HANDLER IN ATTIC SERVING SECOND FLOOR. PLAN ON 2 ZONES PER FLOOR, 4 ZONES TOTAL. PROVIDE ECOBEE THERMOSTATS OR APPROVED EQUAL. LAYOUT DRAWING SUBMITTAL REQUIRED FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION. PROVIDE POURED CONCRETE PAD FOR AC EQUIPMENT ON SITE - LOCATE WITH ARCHITECT AND OWNER IN FIELD. CONCEAL AC LINES WITHIN WALLS. DON'T LEAVE EXPOSED ON EXTERIOR OF HOUSE.

STRUCTURAL NOTES

GENERAL

ALL STRUCTURAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE.

FOUNDATION

1. PROVIDE MINIMUM 4'-0" FROST COVER FOR FOOTINGS.
2. ALLOWABLE SOIL BEARING ASSUMED TO BE 2,000 PSF. THIS IS TO BE CONFIRMED BY A GEOTECHNICAL ENGINEER PRIOR TO POURING FOOTINGS.










CONCRETE

1. CONCRETE 28 DAYS COMPRESSIVE STRENGTH TO BE 3,000 PSI MINIMUM.
2. CONCRETE STEEL REINFORCING TO BE ASTM A615 GRADE 60. WELDED WIRE MESH TO BE ASTM A185 WITH ULTIMATE TENSILE STRENGTH OF 70,000 PSI.
3. OVERLAP STEEL BARS BY 2'-0" MINIMUM WHEN SPICING. RETURN BARS BY 1'-0" MINIMUM AROUND CORNERS.
4. PROVIDE 3" COVER FOR REINFORCING FROM THE BOTTOM OF FOOTINGS AND 1 1/2" COVER FOR REINFORCING FROM THE FACE OF WALLS.

WOOD CONSTRUCTION

1. TIMBER TO BE SPF NO. 2 OR BETTER.
2. PROVIDE SIMPSON JOIST HANGERS WHERE JOISTS ARE SUPPORTED BY BEAMS.
3. UNLESS OTHERWISE NOTED, PROVIDE SIMPSON CONNECTORS AT COLUMN/BEAM AND BEAM/BEAM CONNECTIONS. DETAILS TO BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
4. MAXIMUM MOISTURE CONTENT TO BE 19%.

LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	NEW WALL
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE REMOVED
	NEW DOOR
	DOOR MARK - SEE DOOR SCHEDULE
	WINDOW MARK - SEE WINDOW SCHEDULE
	WALL ASSEMBLY - SEE DETAILS

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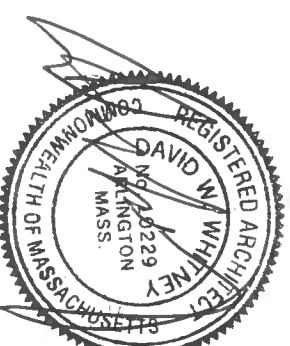
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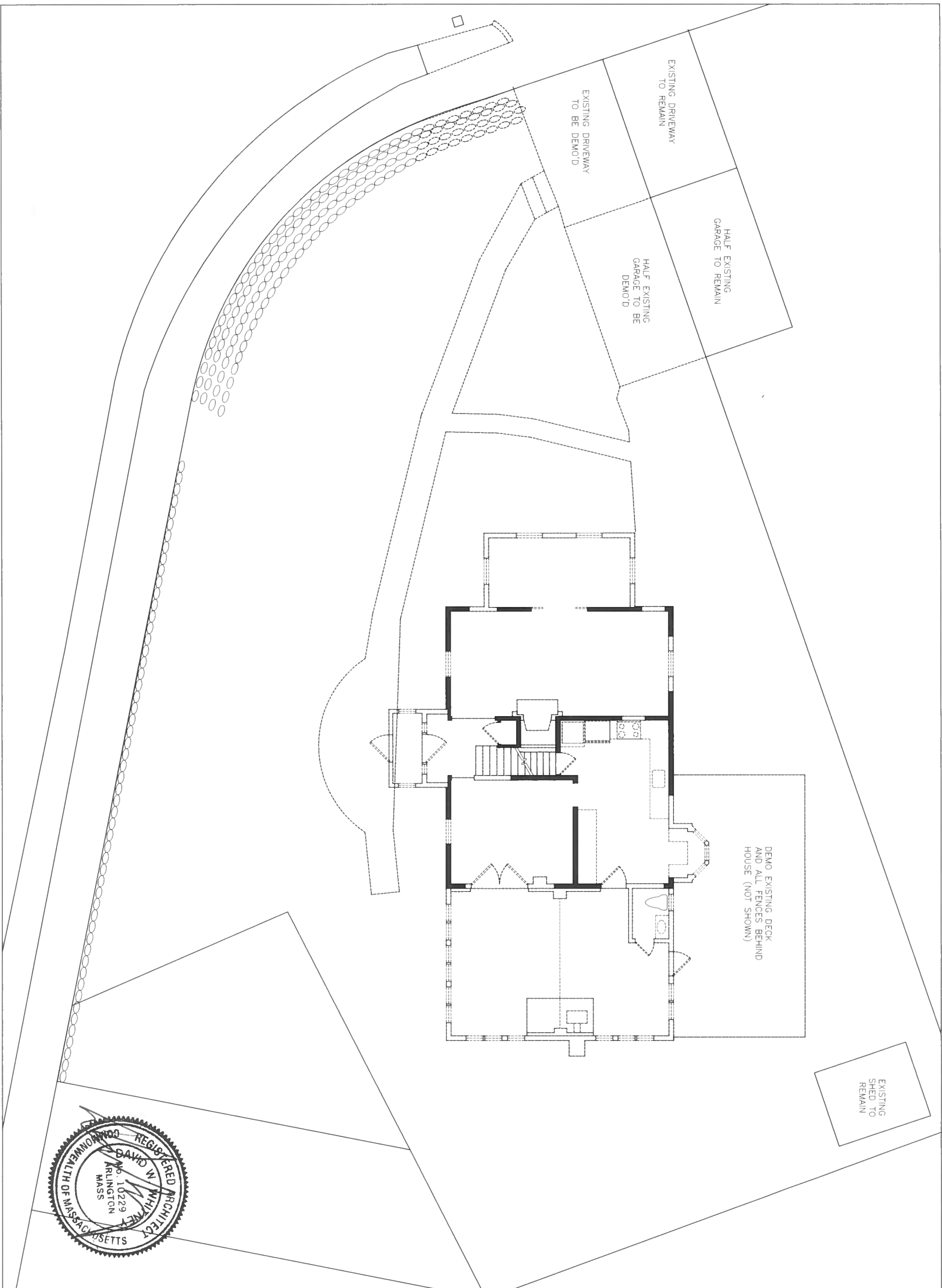
Notes & Legends

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SHEET

X0.1





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TITLE:

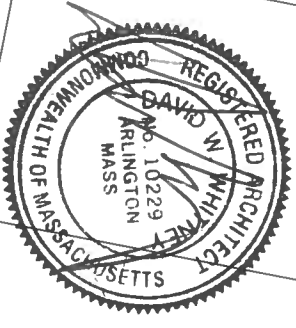
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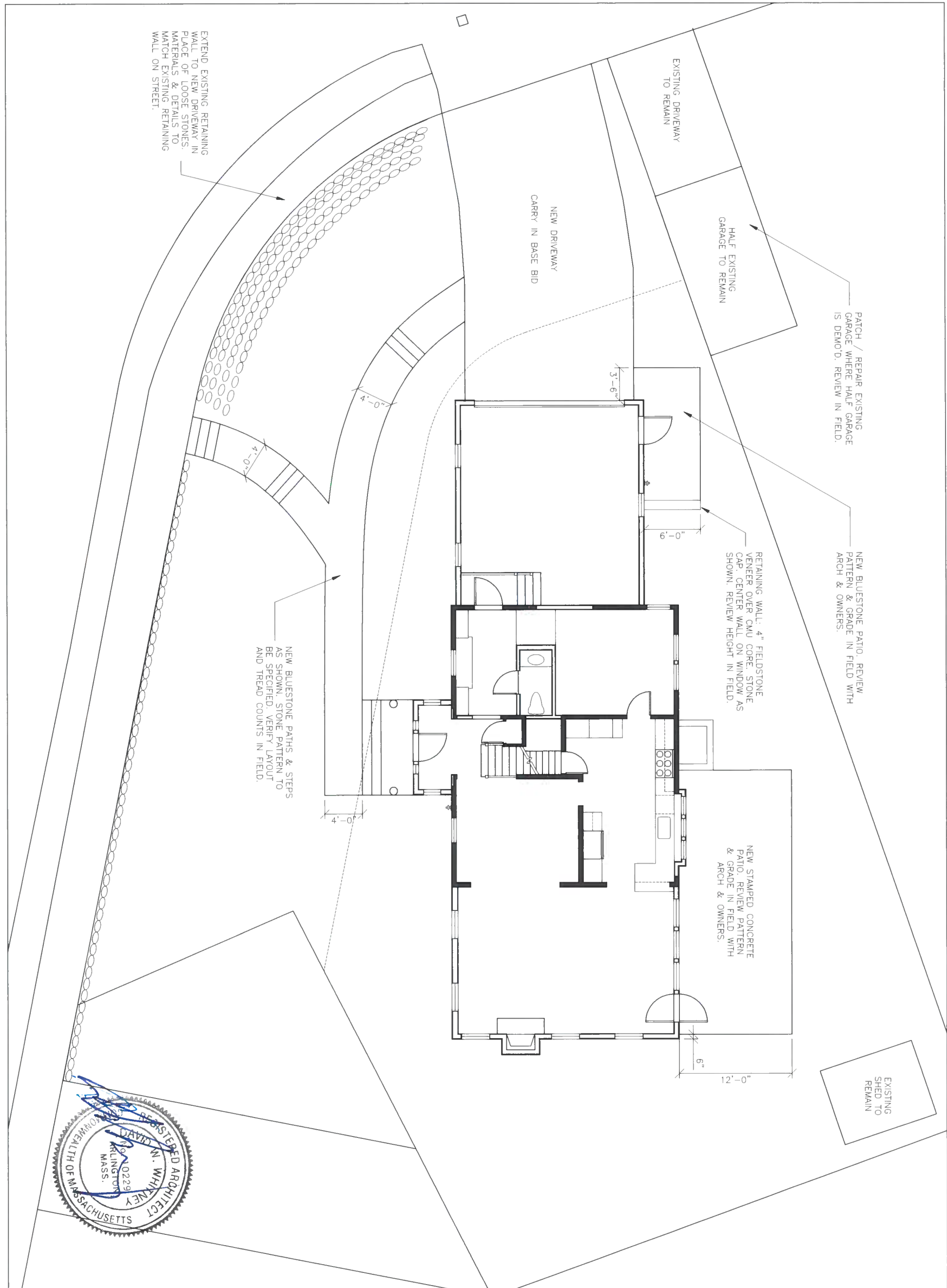
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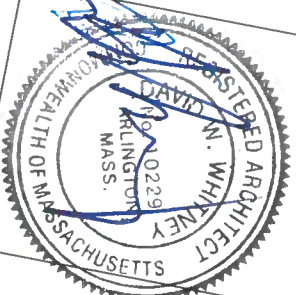
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**Basement
Demolition Plan**

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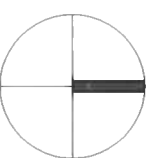
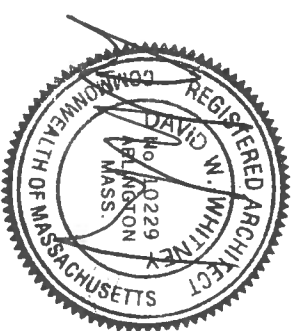
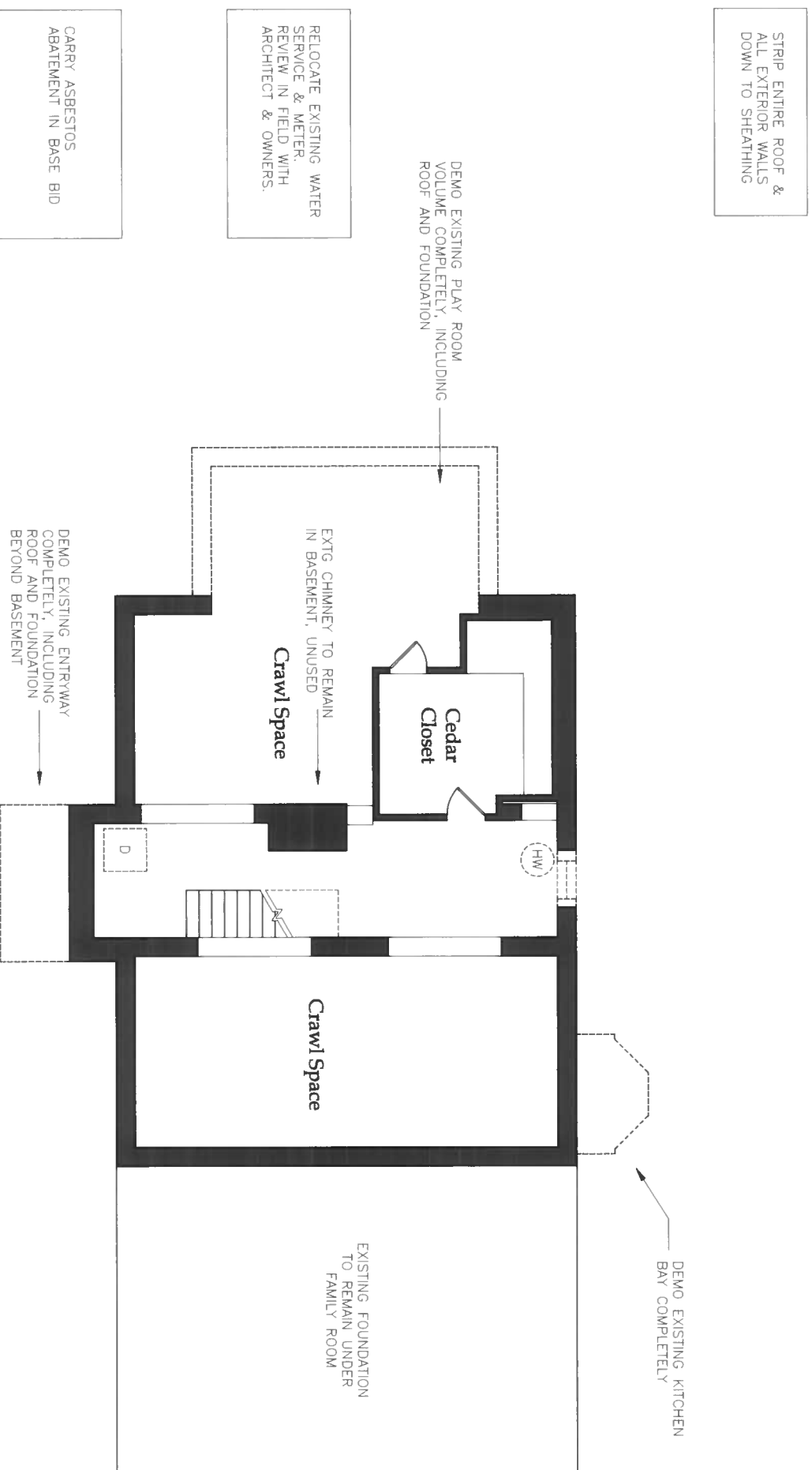
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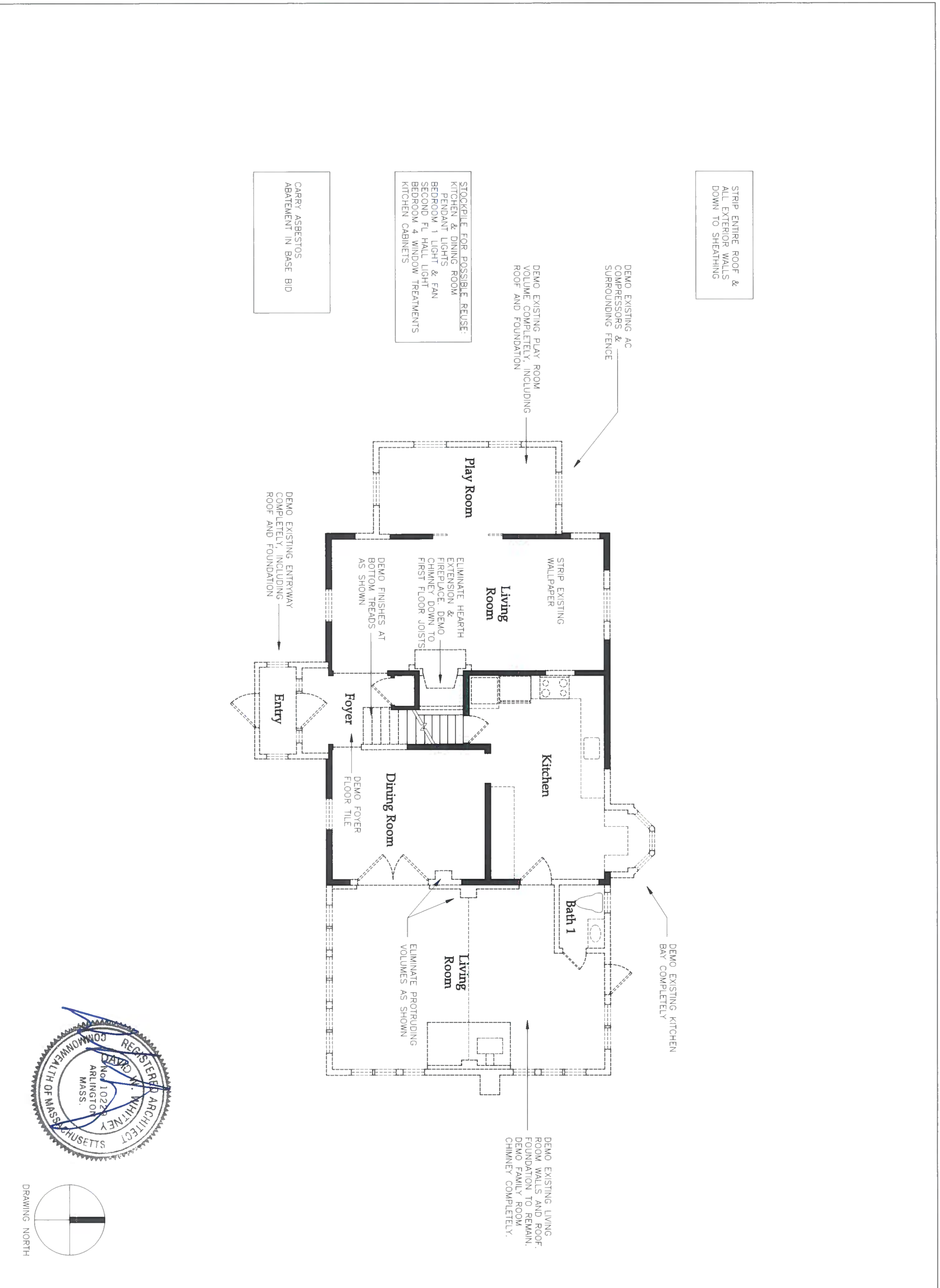
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TITLE:
**First Floor
 Demolition Plan**
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**Second Floor
Demolition Plan**

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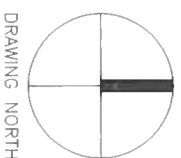
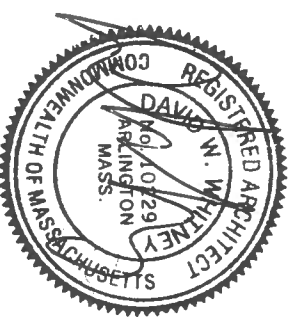
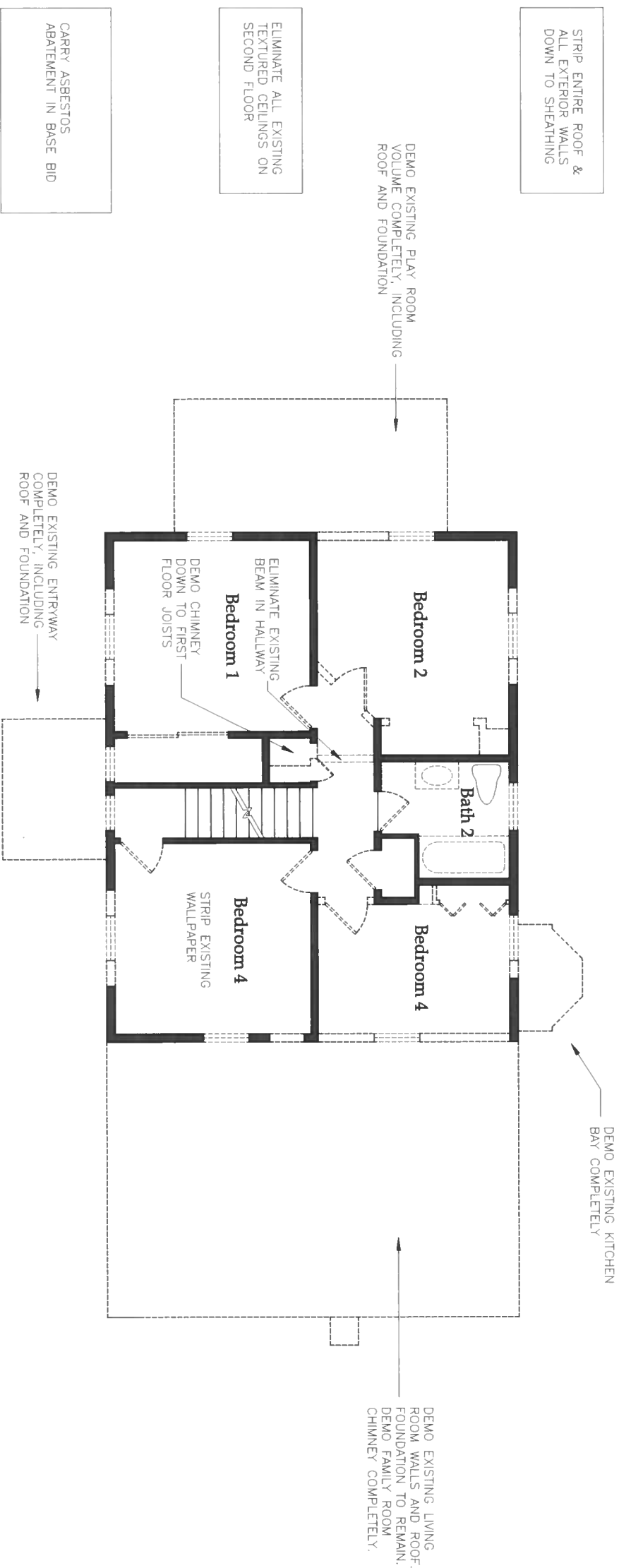
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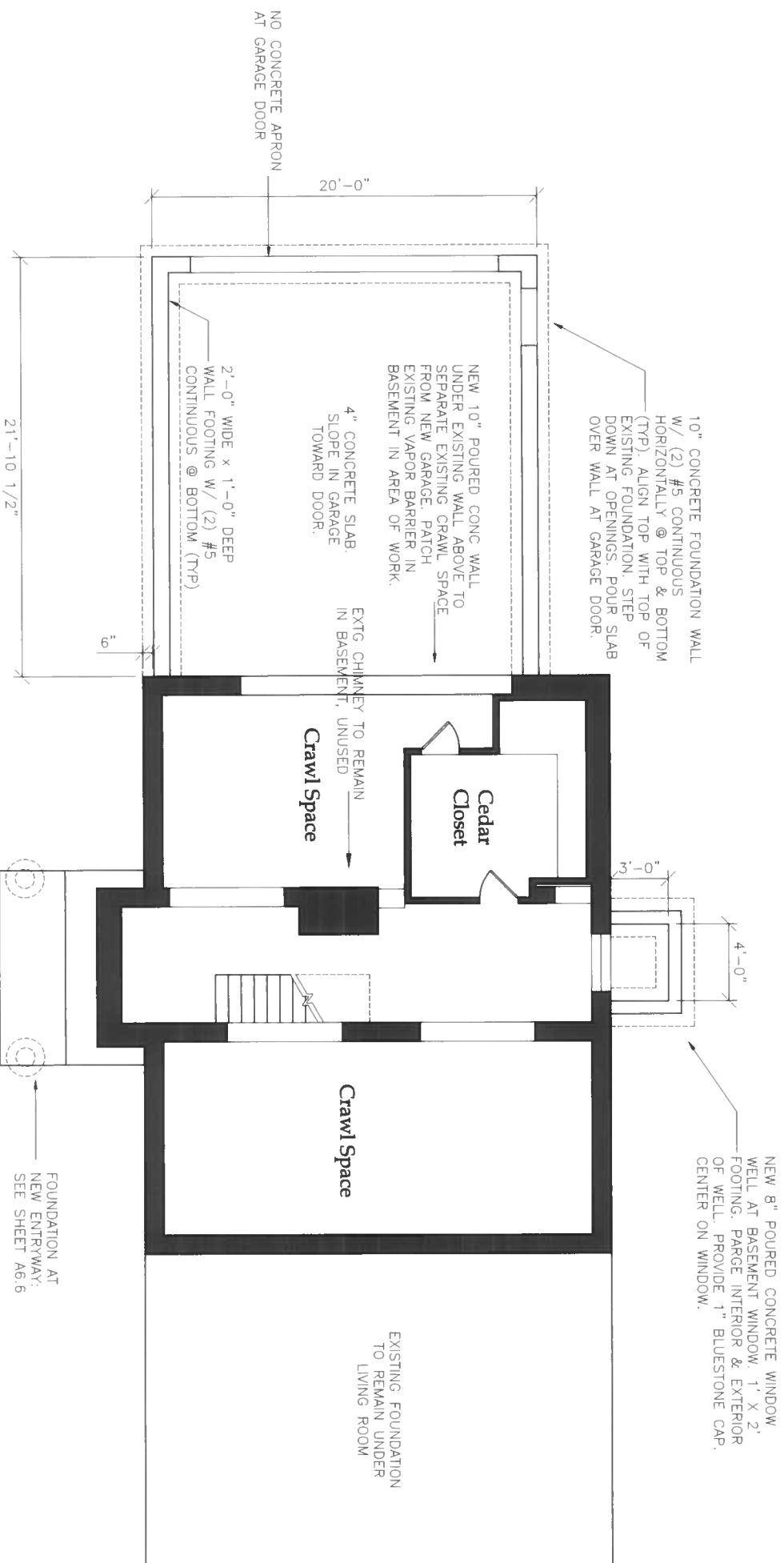
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D1.2

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TITLE:

Basement Plan

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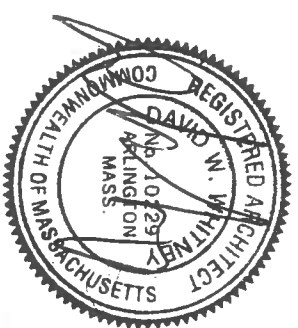
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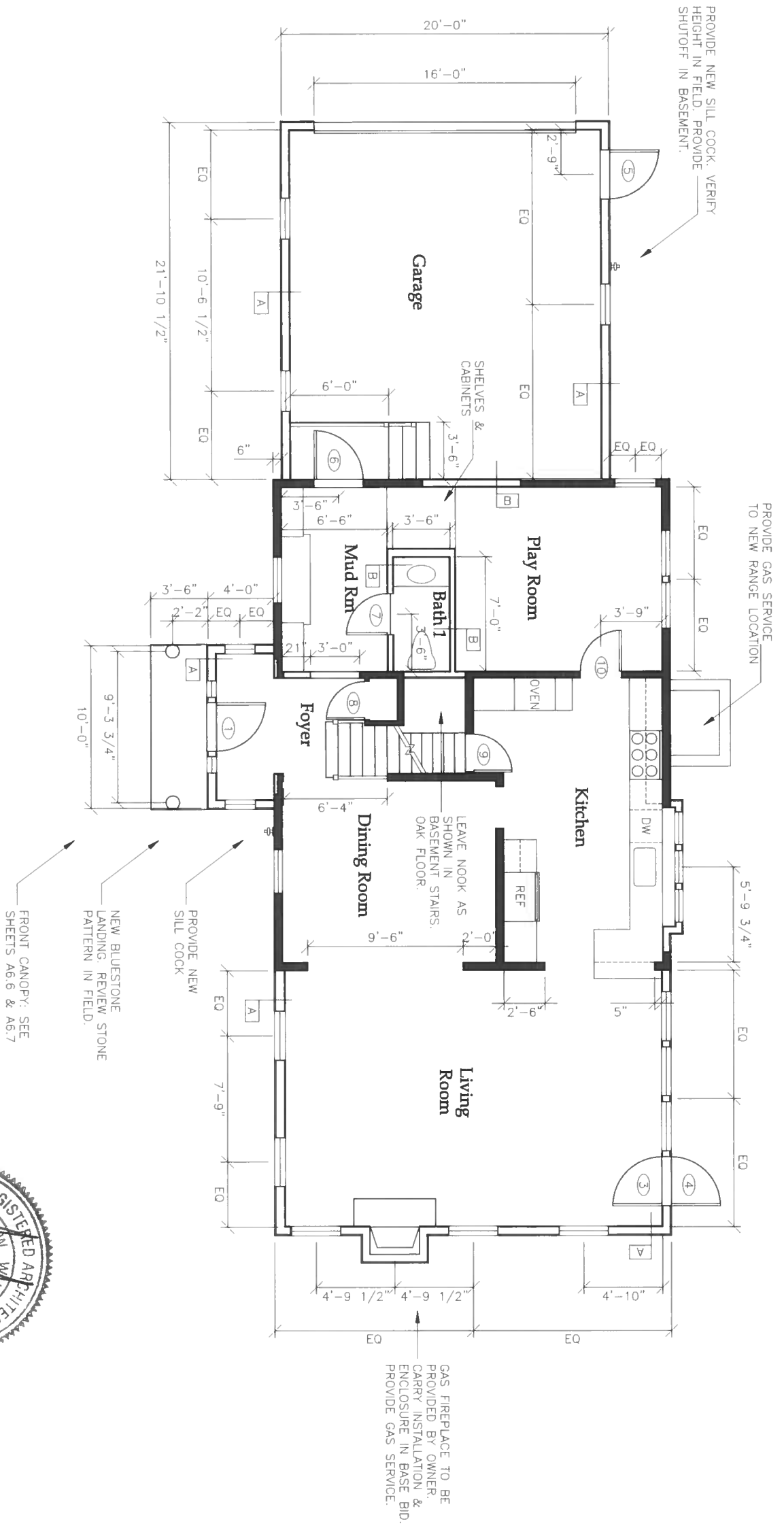
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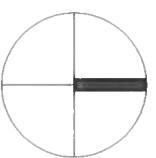
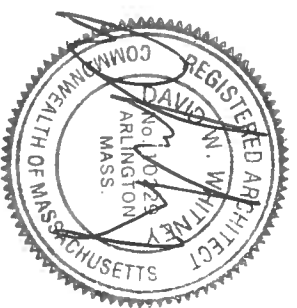
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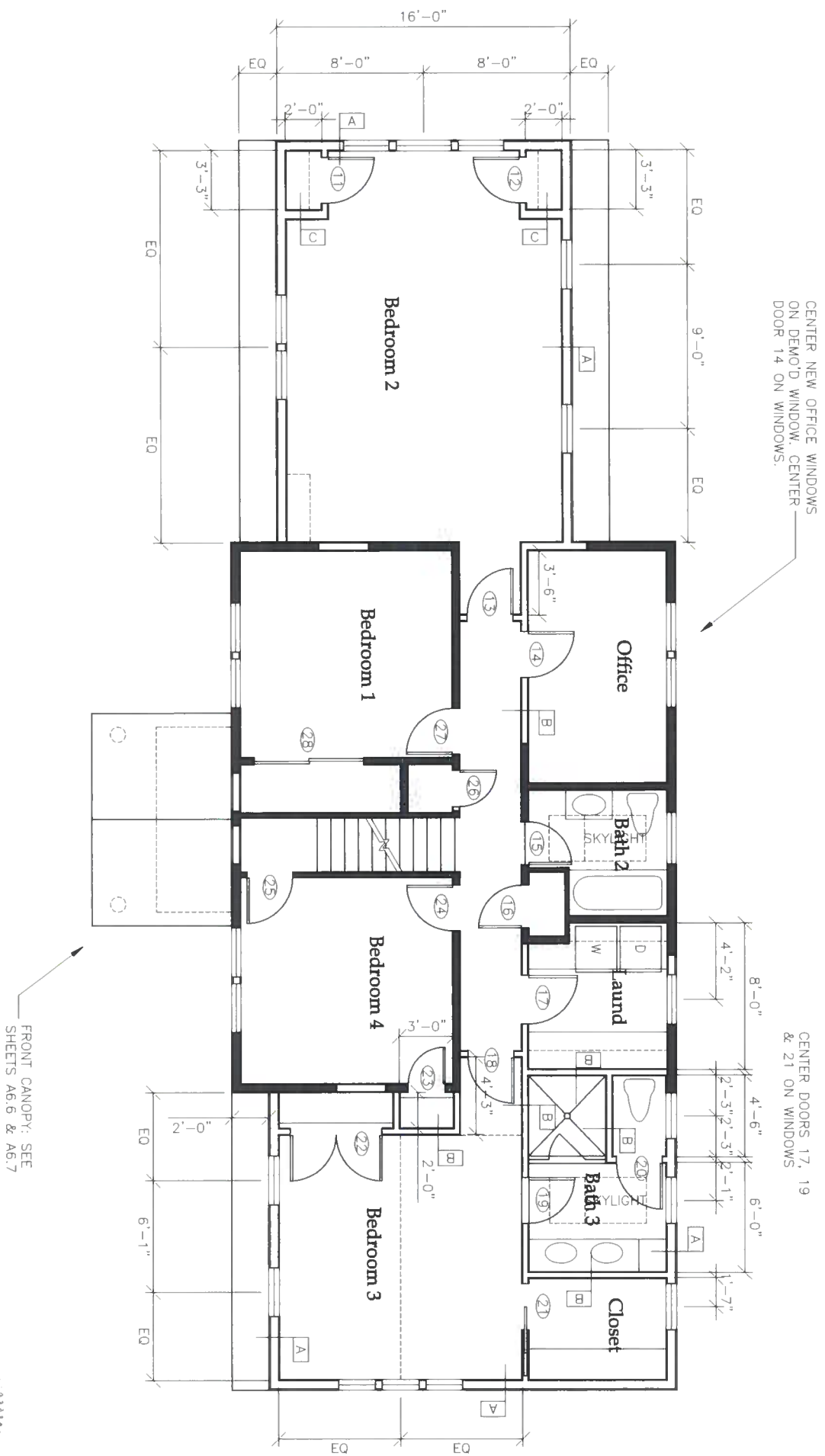
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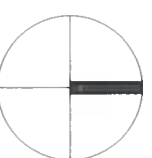
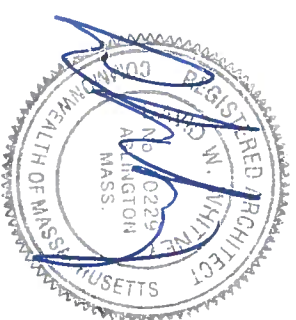
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TITLE:

Second Floor Plan

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A1.2

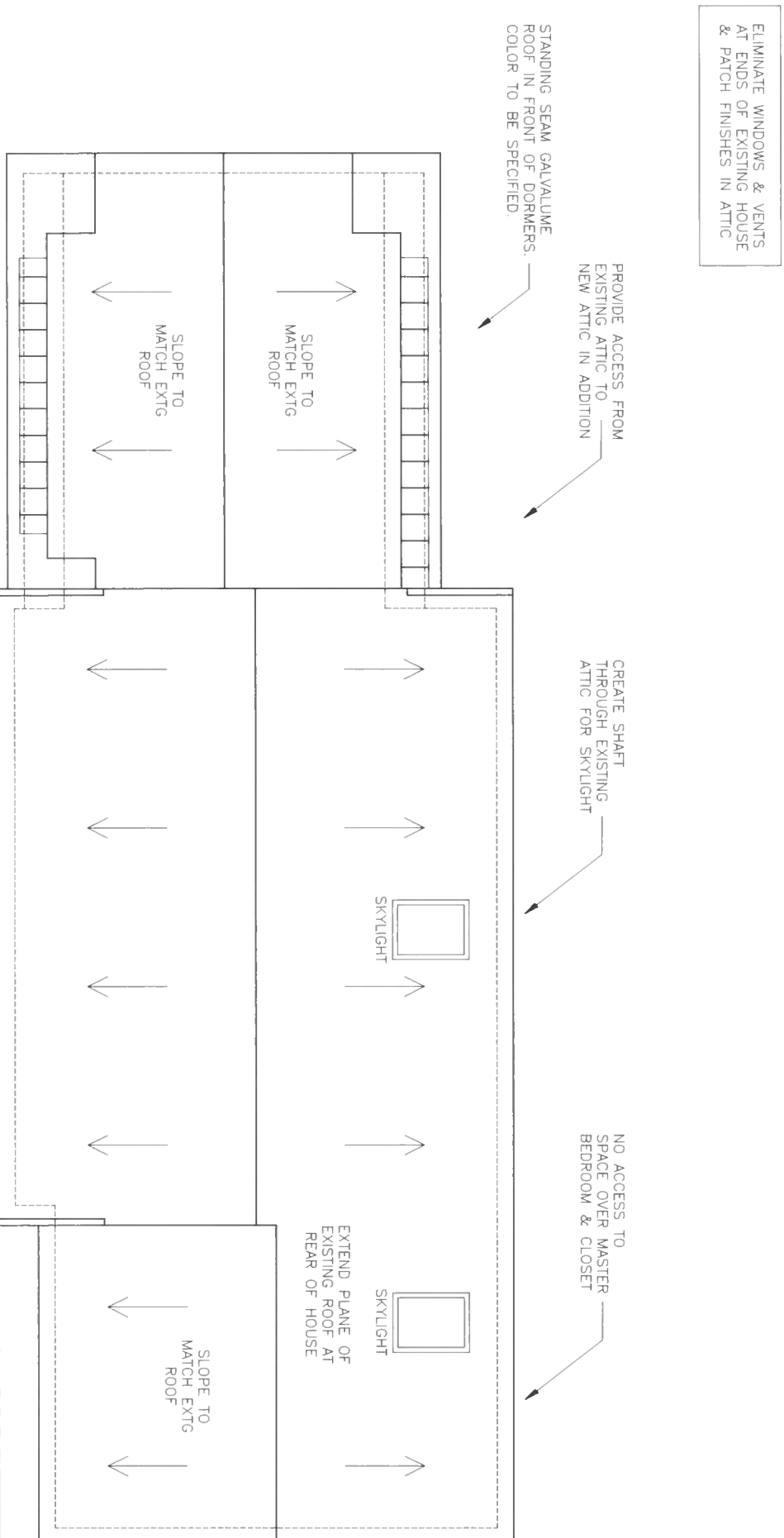


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Roof Notes

1. ROOF: ARCHITECTURAL 30 YEAR ASPHALT SHINGLE BY GAF OR APPROVED EQUAL. COLOR TO BE SPECIFIED.
2. UNDERLAYMENT: PROVIDE GRACE ICE & WATER SHIELD UNDER ASPHALT SHINGLES OVER ENTIRE ROOFS, NOT JUST EAVES & VALLEYS.
3. ROOF VENTS: EXISTING EAVE VENTS AND RIDGE VENTS TO REMAIN ON MAIN HOUSE. NO NEW EAVE VENTS OR RIDGE VENTS ON ADDITIONS.
4. PLUMBING VENTS: COLLECT PLUMBING VENTS IN ATTIC TO MINIMIZE ROOF PENETRATIONS. LOCATE IN FIELD WITH ARCHITECT.
5. ATTIC: PROVIDE 3/4" PLYWOOD SUBFLOOR IN ENTIRE ATTIC. NOT JUST AN AREA UNDER RIDGES, FOR STORAGE.
6. CHIMNEY: EXISTING CHIMNEY TO BE ELIMINATED. PATCH ROOF.
7. GUTTERS: PROVIDE ALUMINUM K-STYLE GUTTERS AS SHOWN IN ELEVATIONS.
8. DOWNSPOUTS: PROVIDE UNFLUTED ROUND ALUMINUM DOWNSPOUTS, TO BE LOCATED IN FIELD WITH ARCHITECT & OWNERS. RUN DOWNSPOUTS BELOW GRADE TO A NEW DRYWELL CARRIED IN BASE BID.
9. SKYLIGHTS: SEE FLOOR PLANS AND INTERIOR ELEVATIONS FOR SKYLIGHT LOCATIONS. REVIEW IN FIELD WITH ARCHITECT.



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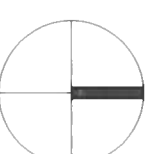
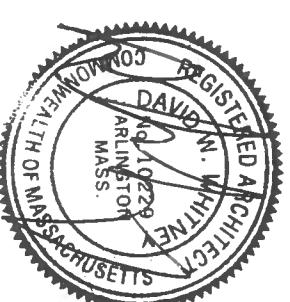
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Roof Plan

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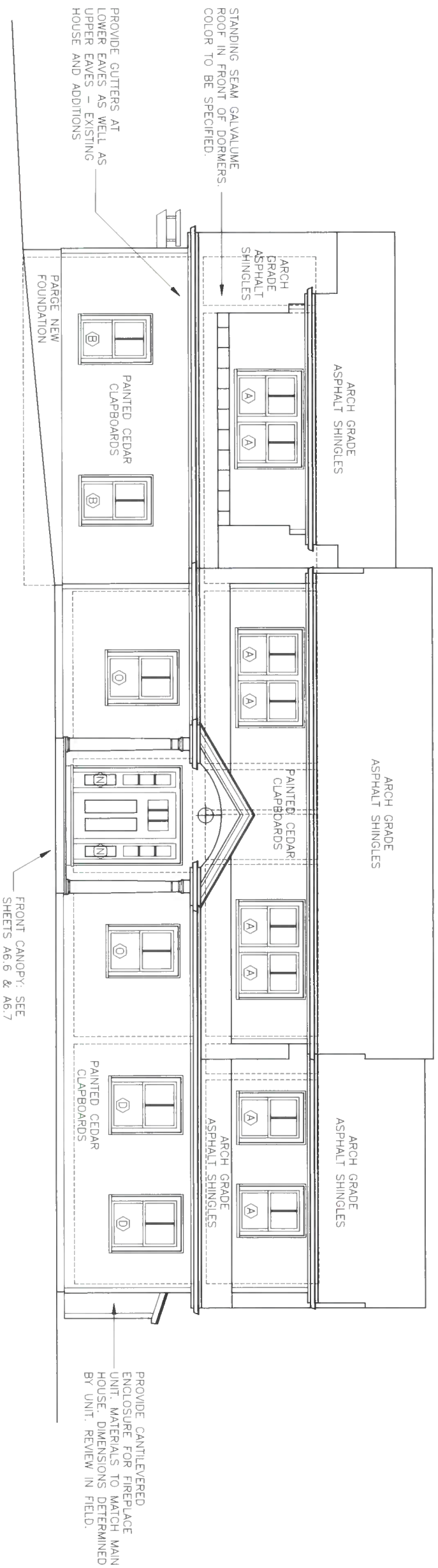
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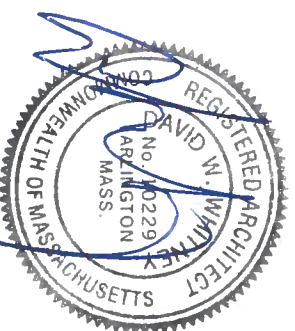
DRAWING NORTH

PROVIDE FLASHED 5/4 STOCK MOUNTING BLOCKS FOR EXTERIOR LIGHTS. REVIEW LOCATIONS & SIZES IN FIELD WITH ARCHITECT. SEE ELECTRIC PLANS.

SEE WINDOW SCHEDULE FOR INSTALLATION HEIGHTS



AT EXISTING EAVES & RAKES, STRIP EXISTING SIDING, REPAIR / REPLACE & PAINT EXISTING DETAILS.
NEW EAVES & RAKES TO MATCH EXISTING.
REVIEW IN FIELD WITH ARCHITECT.



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TITLE:

South Elevation

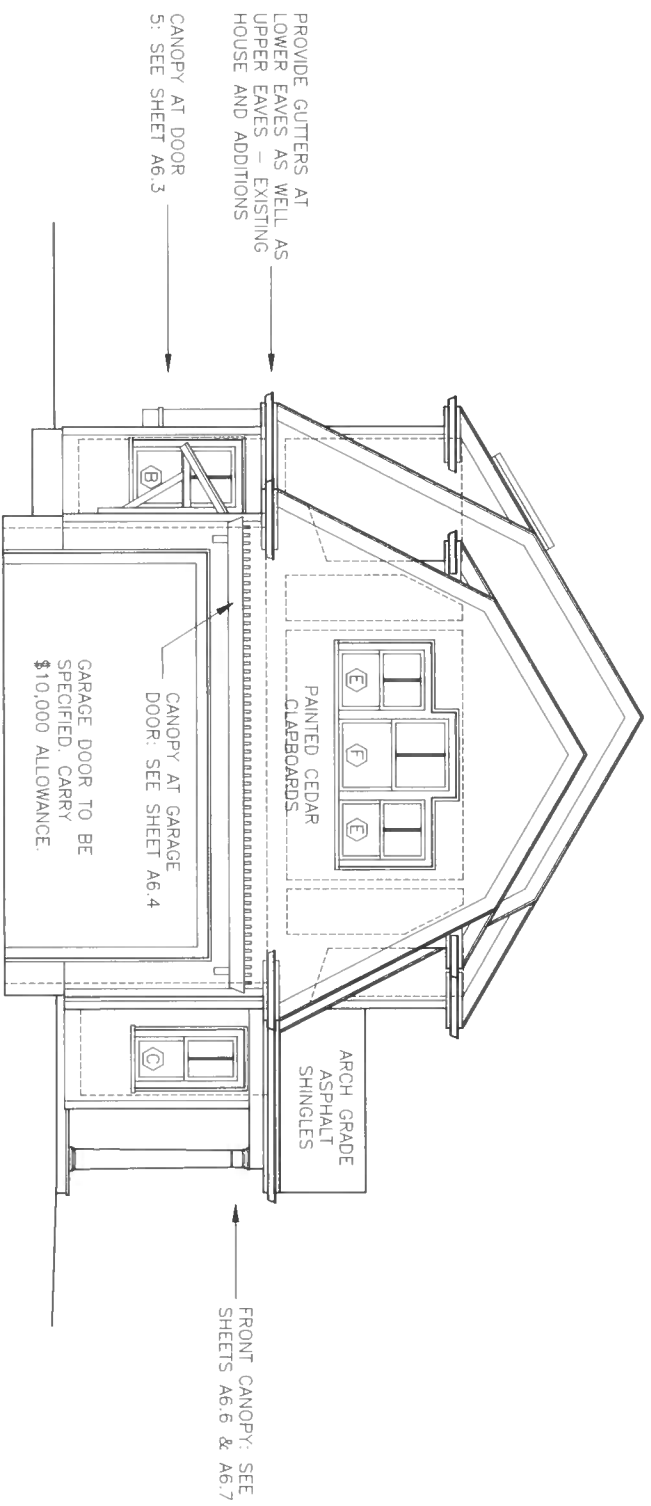
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FILE: PLANS

SHEET

A2.1

PROVIDE FLASHED 5/4 STOCK MOUNTING BLOCKS FOR EXTERIOR LIGHTS. REVIEW LOCATIONS & SIZES IN FIELD WITH ARCHITECT. SEE ELECTRIC PLANS.

SEE WINDOW SCHEDULE FOR INSTALLATION HEIGHTS



AT EXISTING EAVES & RAKES, STRIP EXISTING SIDING, REPAIR / REPLACE & PAINT EXISTING DETAILS.
NEW EAVES & RAKES TO MATCH EXISTING.
REVIEW IN FIELD WITH ARCHITECT.

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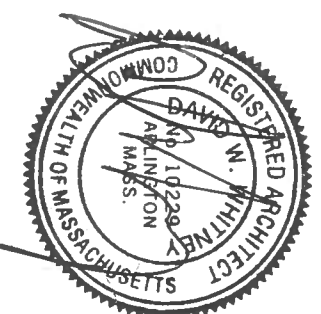
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TITLE:
West Elevation

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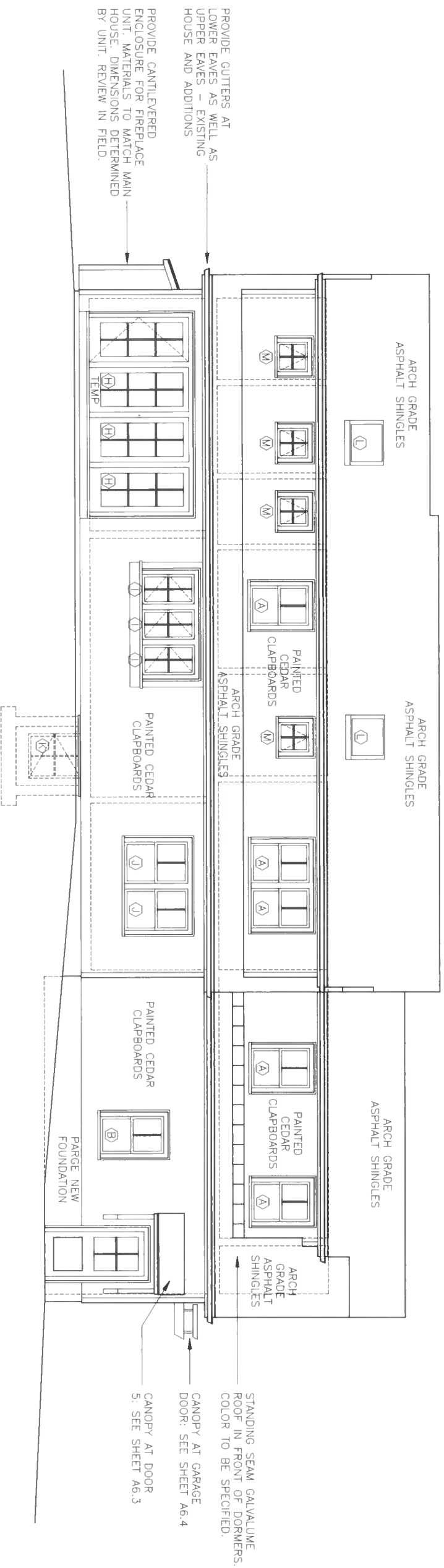
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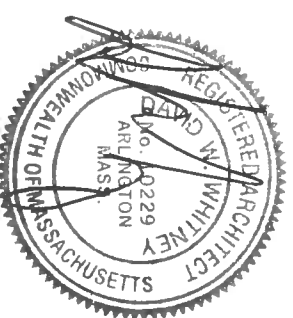


PROVIDE FLASHED 5/4 STOCK MOUNTING BLOCKS FOR EXTERIOR LIGHTS. REVIEW LOCATIONS & SIZES IN FIELD WITH ARCHITECT. SEE ELECTRIC PLANS.

SEE WINDOW SCHEDULE FOR INSTALLATION HEIGHTS



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REVIEW IN FIELD WITH ARCHITECT.



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TITLE:

North Elevation

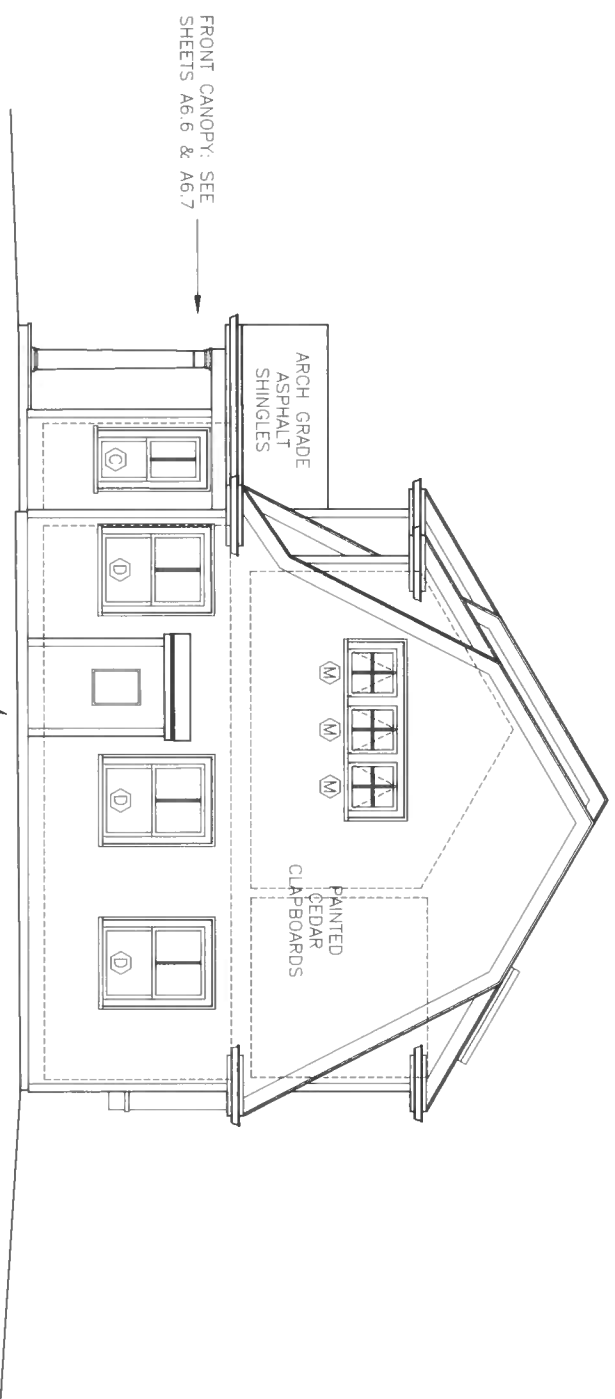
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NEW EAVES & RAKES TO MATCH EXISTING.
REVIEW IN FIELD WITH ARCHITECT.

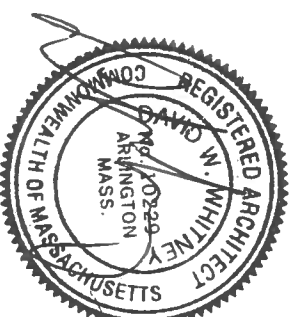
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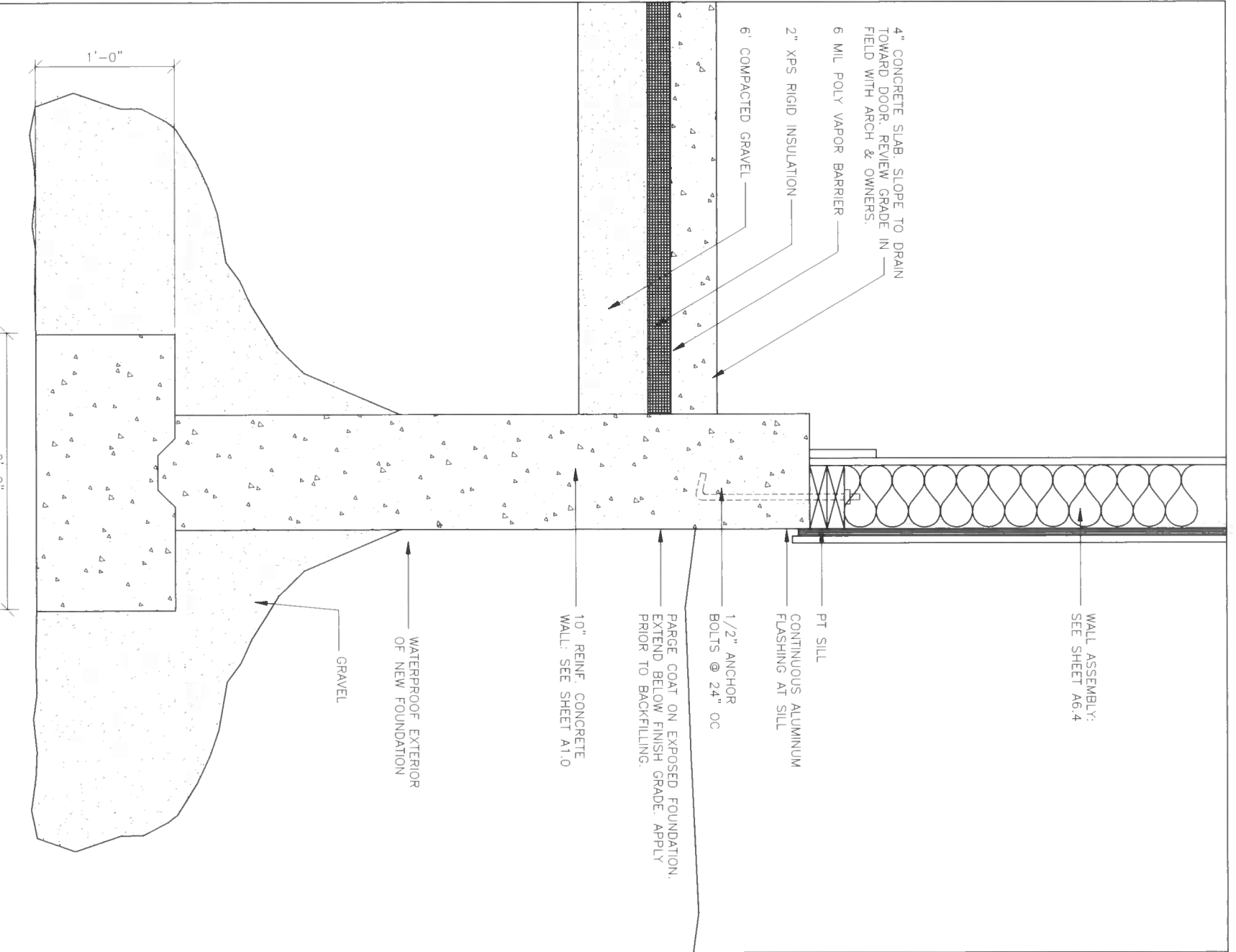
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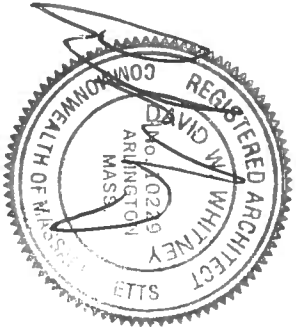


A2.4



1 Foundation Section - Garage

SCALE: 1" = 1'-0"



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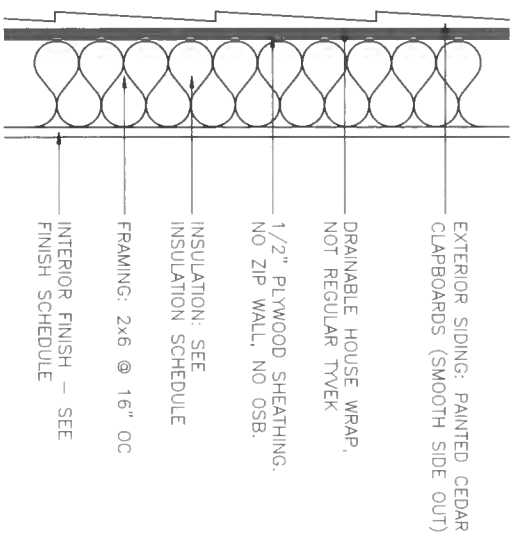
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TITLE:
Details:
Foundation

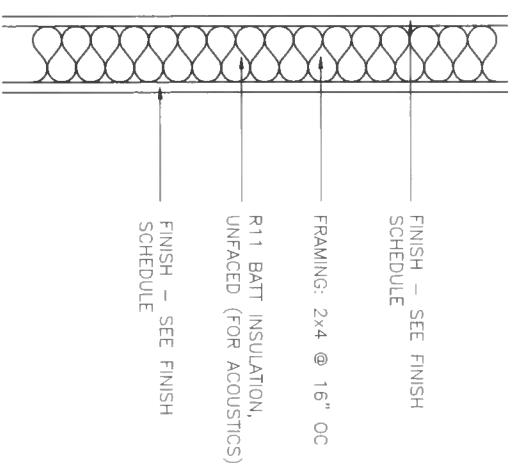
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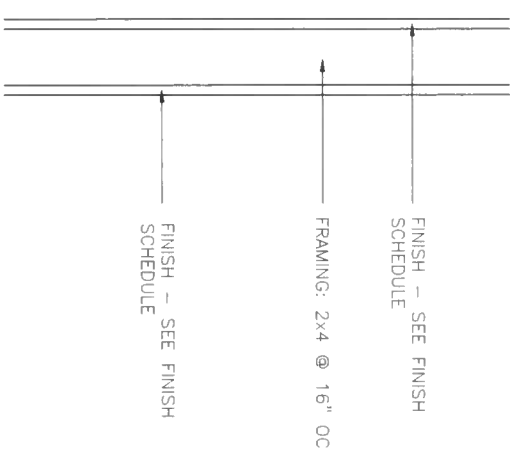
A6.1



EXTERIOR SIDING: PAINTED CEDAR CLAPBOARDS (SMOOTH SIDE OUT)
 DRAINABLE HOUSE WRAP, NOT REGULAR TYVEK
 1/2" PLYWOOD SHEATHING, NO ZIP WALL, NO OSB.
 INSULATION: SEE INSULATION SCHEDULE
 FRAMING: 2x6 @ 16" OC
 INTERIOR FINISH - SEE FINISH SCHEDULE



FINISH - SEE FINISH SCHEDULE
 FRAMING: 2x4 @ 16" OC
 R11 BATT INSULATION, UNFACED (FOR ACOUSTICS)
 FINISH - SEE FINISH SCHEDULE



FINISH - SEE FINISH SCHEDULE
 FRAMING: 2x4 @ 16" OC
 FINISH - SEE FINISH SCHEDULE

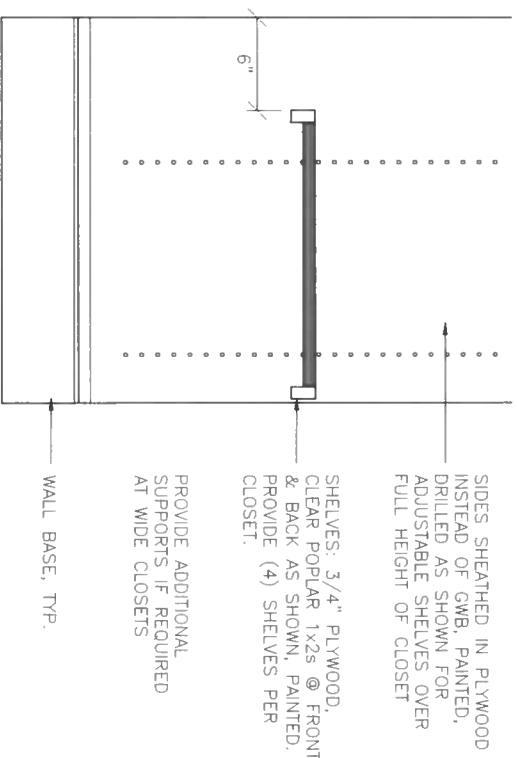
Wall Assembly A

Wall Assembly B

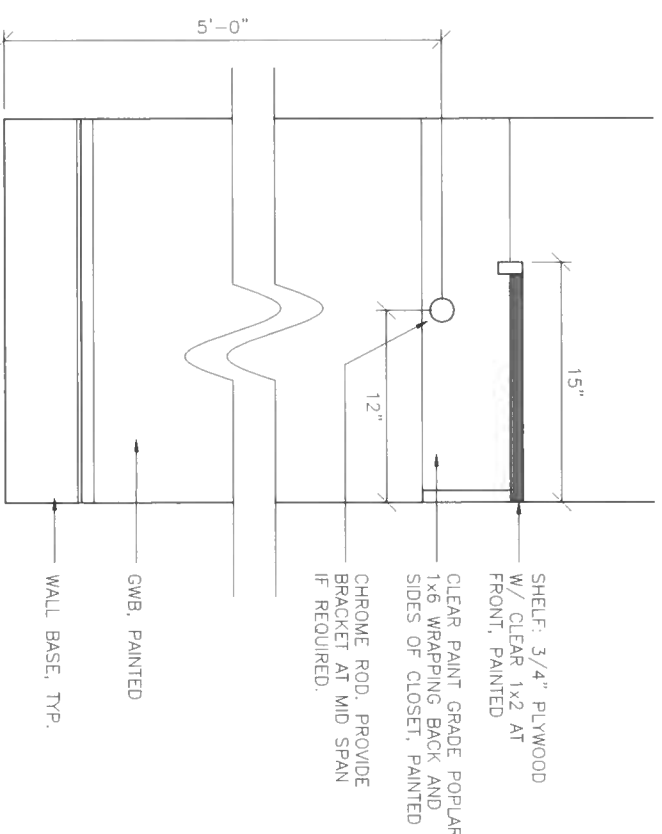
Wall Assembly C

1 Wall Assembly Details

SCALE: 1" = 1'-0"



SIDES SHEATHED IN PLYWOOD INSTEAD OF GWB, PAINTED, DRILLED AS SHOWN FOR ADJUSTABLE SHELVES OVER FULL HEIGHT OF CLOSET
 SHELVES: 3/4" PLYWOOD, CLEAR POPLAR 1x2s @ FRONT & BACK AS SHOWN, PAINTED. PROVIDE (4) SHELVES PER CLOSET.
 PROVIDE ADDITIONAL SUPPORTS IF REQUIRED AT WIDE CLOSETS
 WALL BASE, TYP.



SHELF: 3/4" PLYWOOD W/ CLEAR 1x2 AT FRONT, PAINTED
 CLEAR PAINT GRADE POPLAR 1x6 WRAPPING BACK AND SIDES OF CLOSET, PAINTED
 CHROME ROD, PROVIDE BRACKET AT MID SPAN IF REQUIRED
 GWB, PAINTED
 WALL BASE, TYP.

2 Adjustable Shelves at Closet Interiors

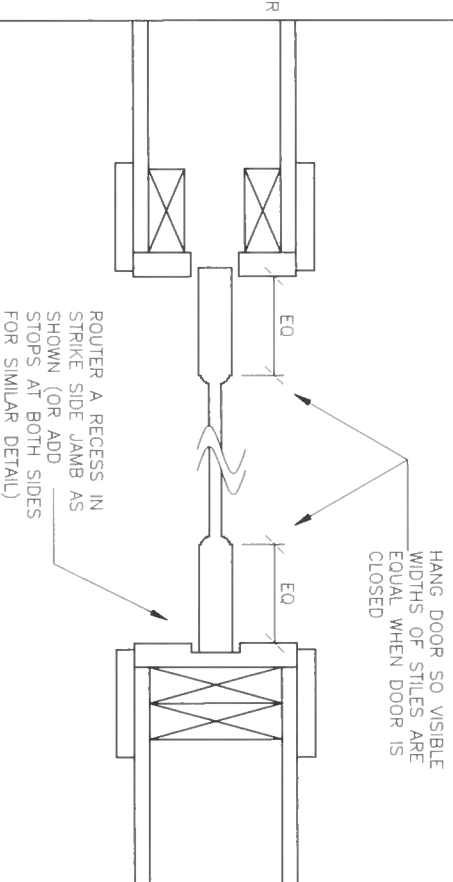
SCALE: 1" = 1'-0"

3 Closet Shelf & Rod

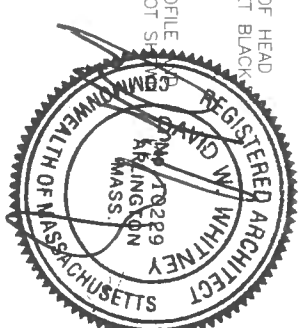
SCALE: 1" = 1'-0"

4 Pocket Doors

SCALE: 1 1/2" = 1'-0"



HANG DOOR SO VISIBLE WIDTHS OF STILES ARE EQUAL WHEN DOOR IS CLOSED
 ROUTER A RECESS IN STRIKE SIDE JAMB AS SHOWN (OR ADD STOPS AT BOTH SIDES FOR SIMILAR DETAIL)
 PAINT INTERIOR OF HEAD JAMB AND POCKET BLACK
 ACTUAL DOOR PROFILE AND CASING PROFILE NOT SHOWN



BIALEK RESIDENCE
 16 CREHORE DRIVE
 NEWTON, MA 02462

DAVID WHITNEY
 ARCHITECT
 49 LINDEN STREET
 ARLINGTON, MA 02476
 781 643 0759

TITLE:
**Details:
 Walls & Closets**

SCALE:
 AS NOTED
 DATE:
 8.20.19
 DRAWN BY:
 DWW
 FILE:
 PLANS

SHEET

A6.2

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TITLE:
Details:
Canopy at Door 5

SCALE: 1" = 1'-0" DATE: 8.20.19
DRAWN BY: FILE:
DWW PLANS

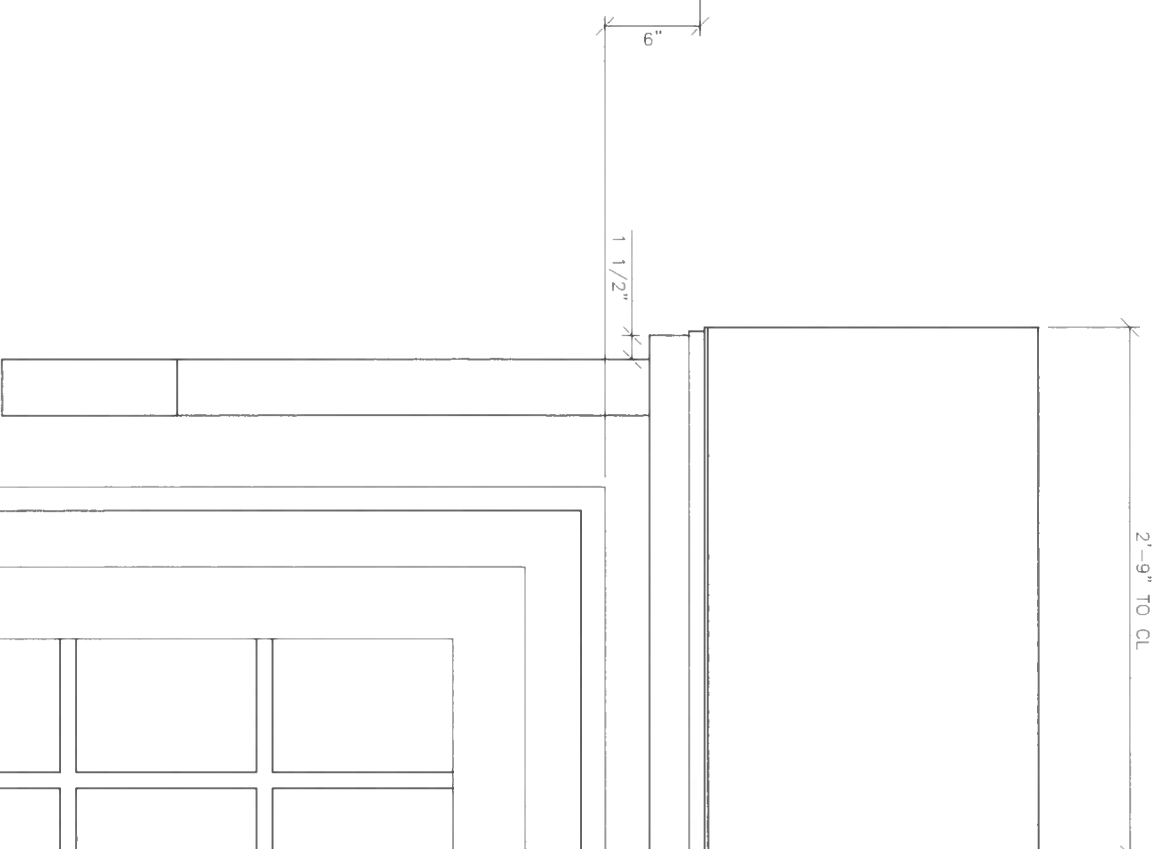
SHEET

A6.3

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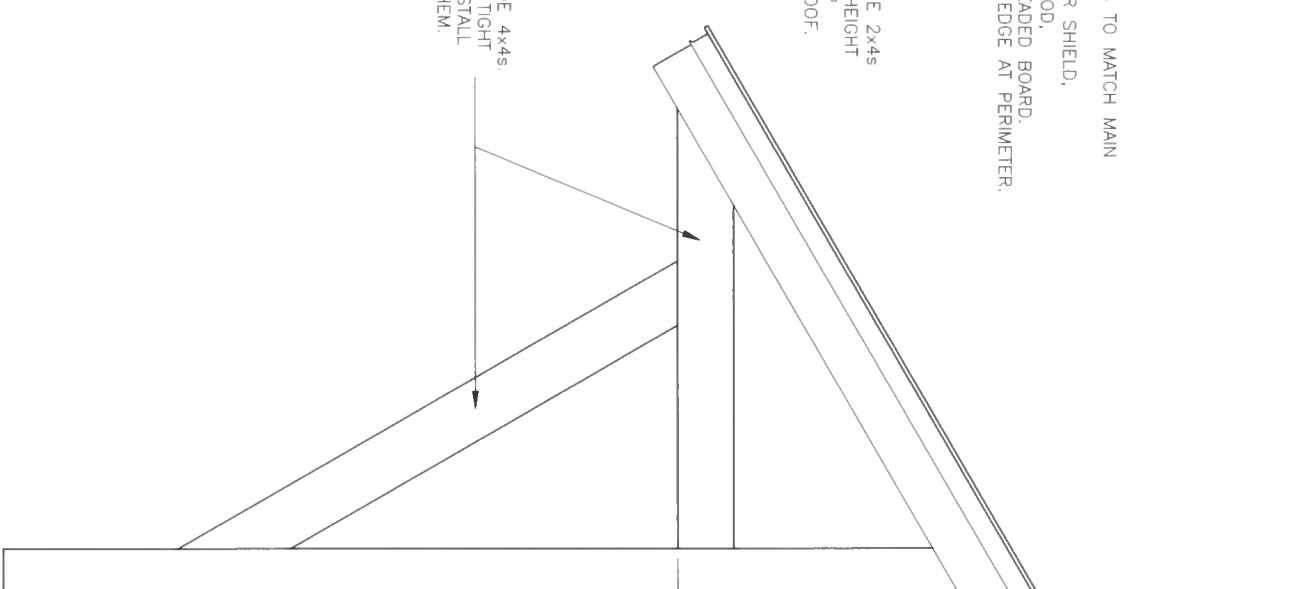
3 Front Elevation

SCALE: 1" = 1'-0"



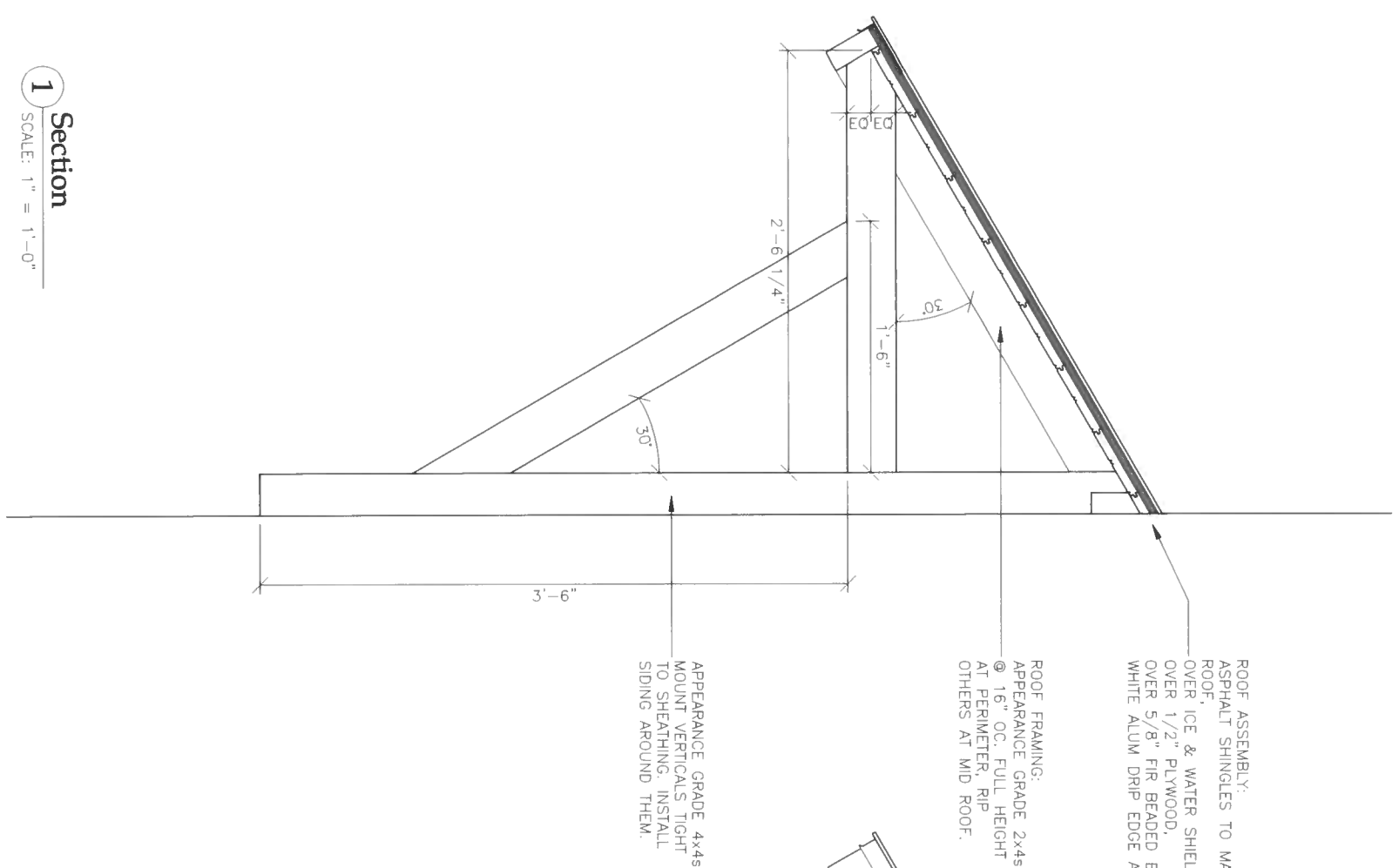
2 Side Elevation

SCALE: 1" = 1'-0"



1 Section

SCALE: 1" = 1'-0"



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TITLE:

Details:

Trellis at Garage

SCALE: DATE:

1" = 1'-0" 8.20.19

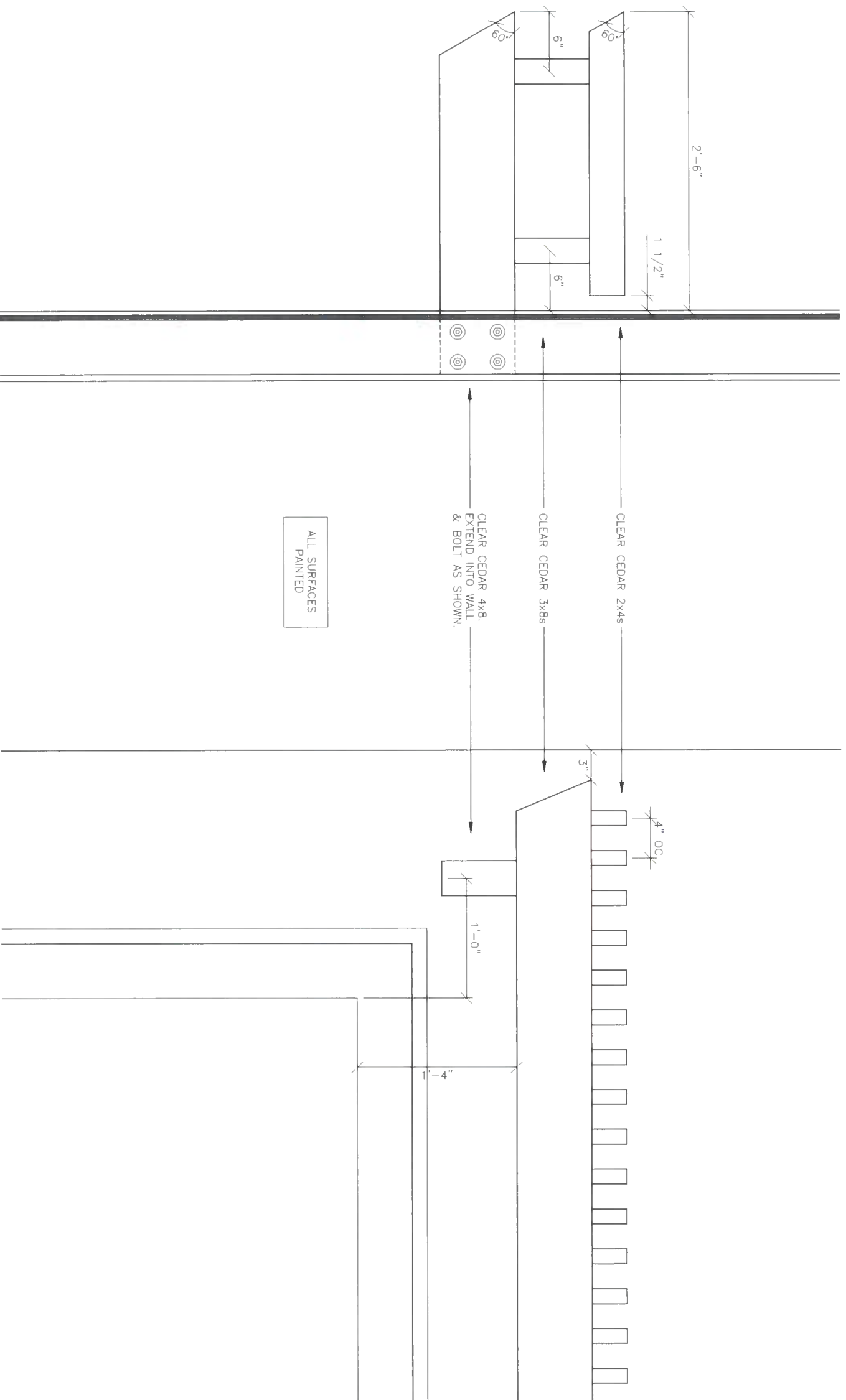
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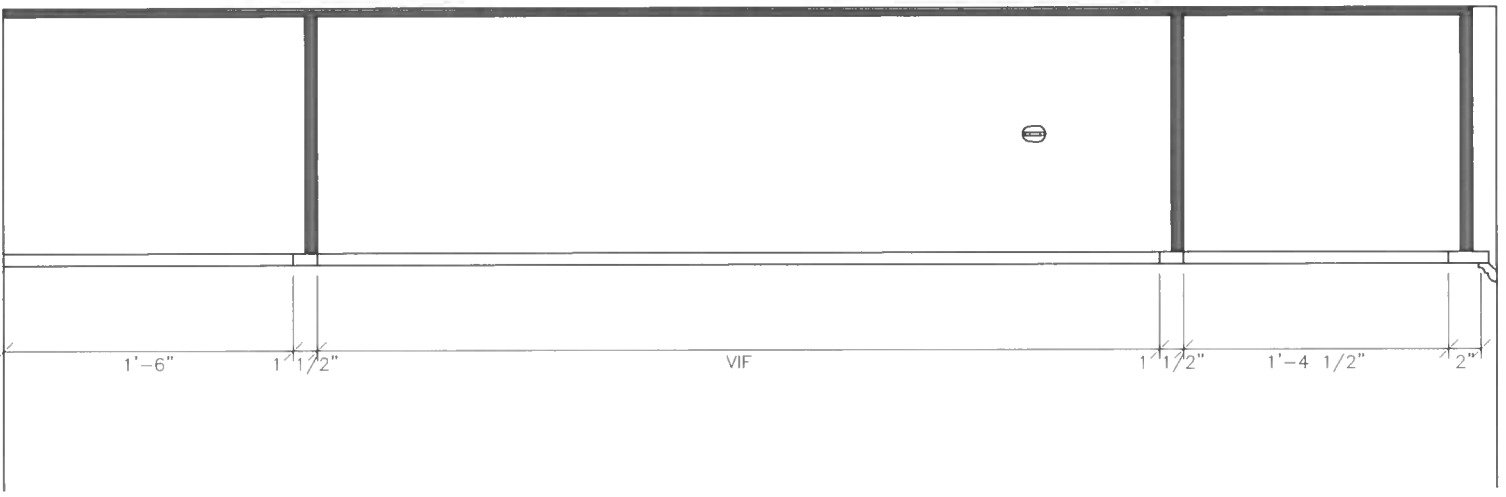
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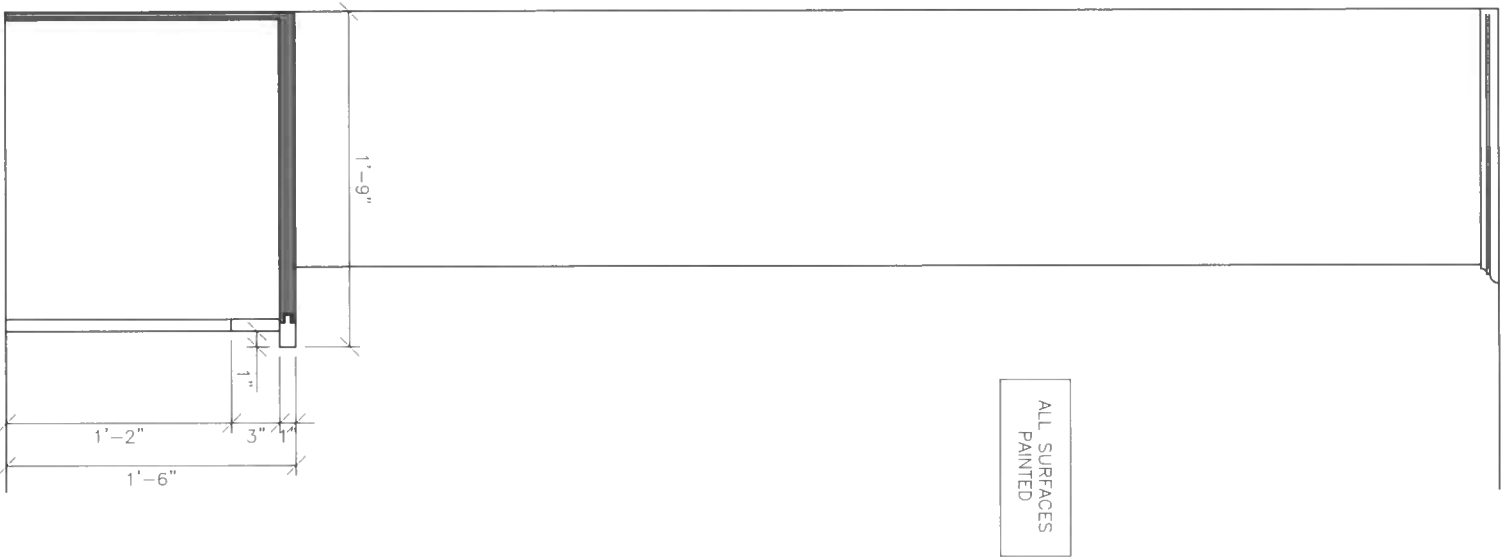
1 Section
SCALE: 1" = 1'-0"

2 Elevation
SCALE: 1" = 1'-0"

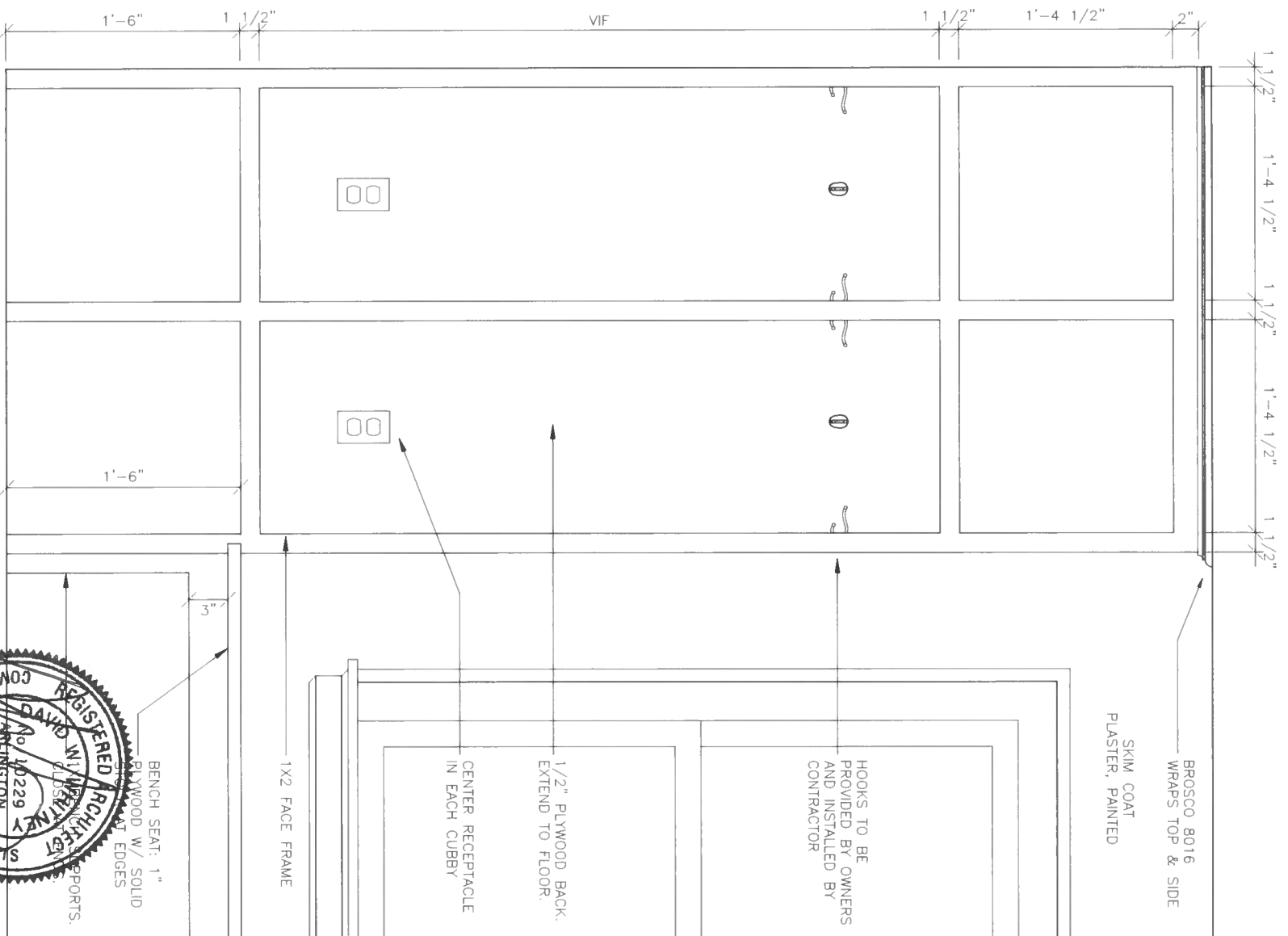




1 Section @ Cubbies
SCALE: 1" = 1'-0"



2 Section @ Bench
SCALE: 1" = 1'-0"



3 Elevation
SCALE: 1" = 1'-0"

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TITLE:

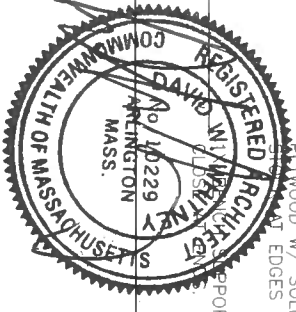
Details:
Cubbies

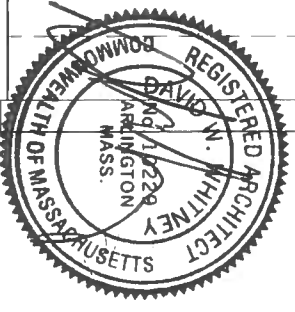
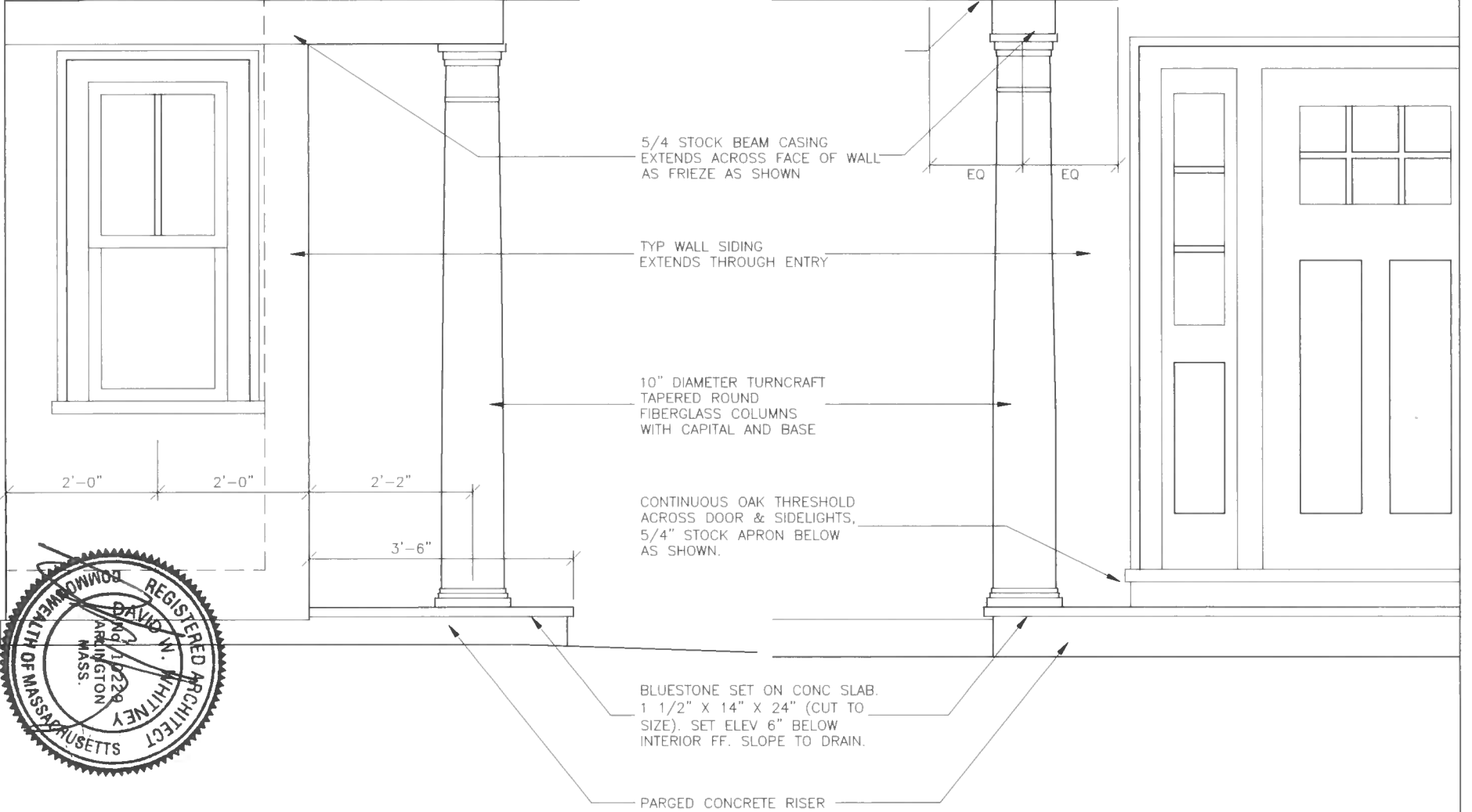
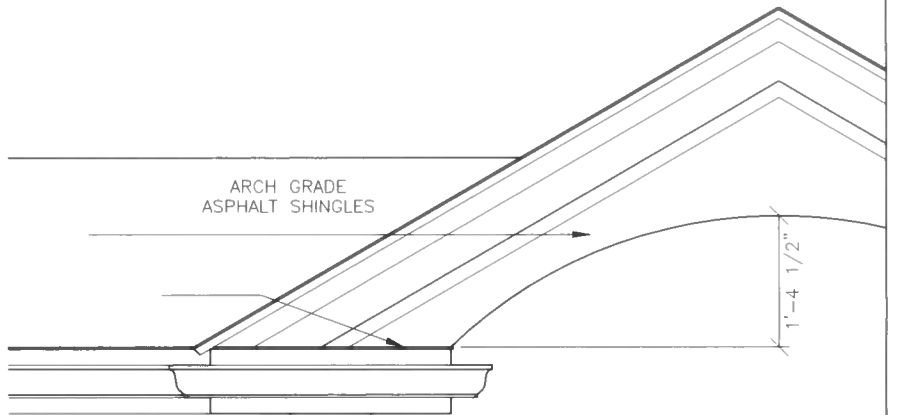
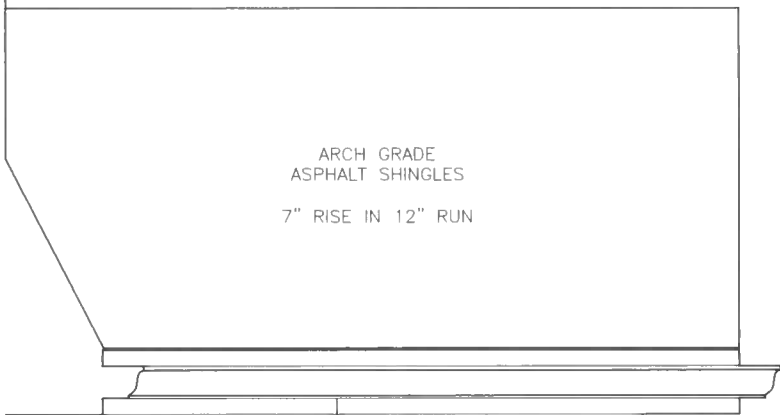
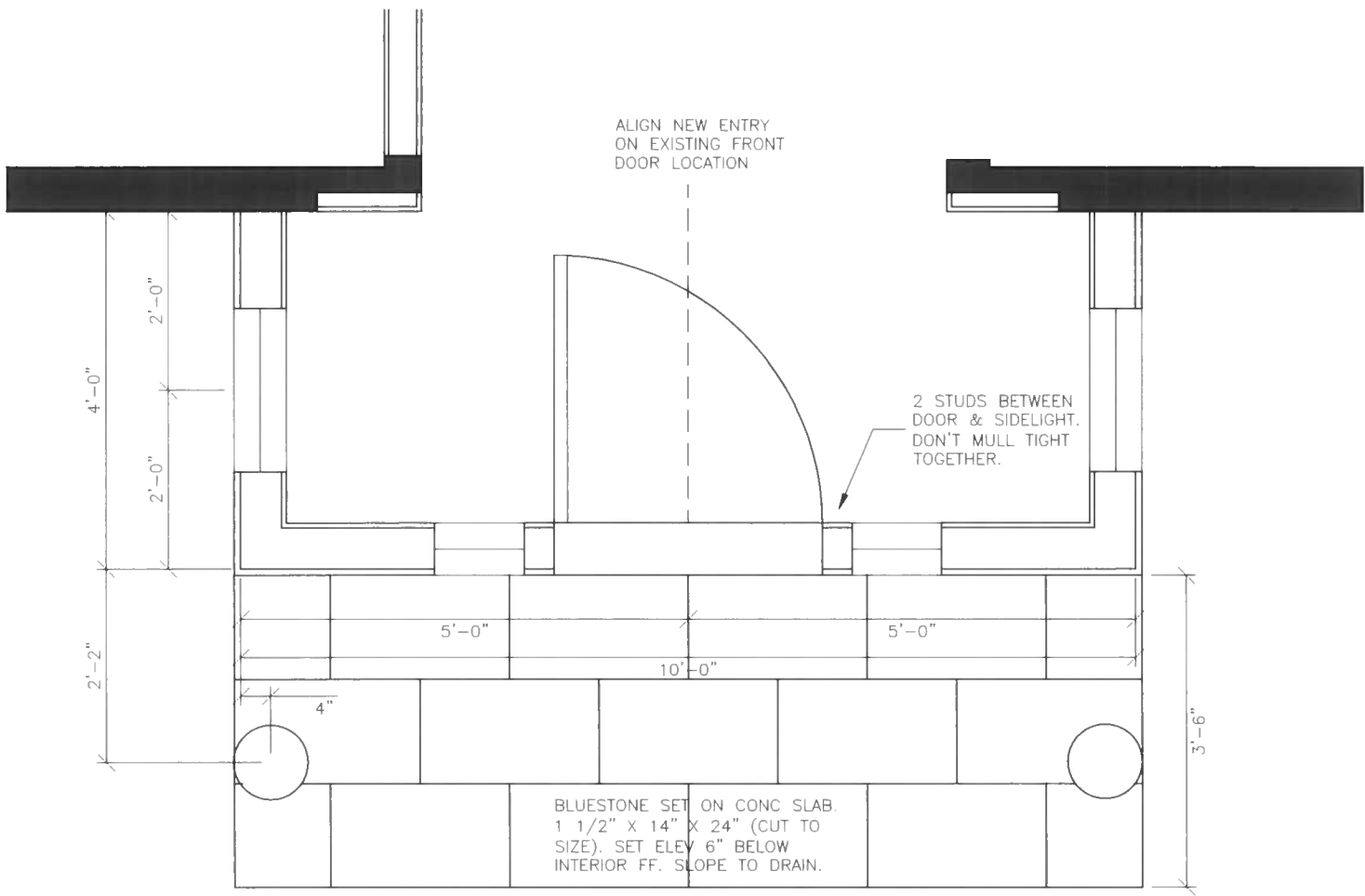
SCALE: 1" = 1'-0"
DATE: 8.20.19
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SHEET

TITLE: **Details: Front Entry**

SCALE: 1/2" = 1'-0"

DATE: 8.20.19

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FILE:

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TITLE:

Details:
Front Entry

SCALE: DATE:
1" = 1'-0" 8.20.19

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