

WINCHESTER RD RESIDENCES

27 Winchester Rd, Newton - MA 02458

SPECIAL PERMIT SET

PROJECT DIRECTORY

OWNER:
ANDREA & CRAIG FORSYTHE
171 CABOT ST
NEWTON - MA 02458

PROFESSIONAL DESIGNER:
MGD+ LLC
634 COMMONWEALTH AVE - SUITE 210
NEWTON - MA 02459

ARCHITECT:
RON JAREK
487 WATERTOWN ST
NEWTONVILLE, MA 02460

SHEET NUMBER	SHEET NAME
SD.00	COVER PAGE
SD.01	ZONING ANALYSIS
SD.02	EXISTING BUILDING
SD.03	EXISTING CONDITIONS PLAN
SD.04	PROPOSED CONDITIONS PLAN
SD.05	LANDSCAPE PLAN
SD.06	LANDSCAPE VEGETATION AND MATERIALS
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SD.08	FIRST FLOOR PLAN
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SD.15	3D VIEWS



RONALD JAREK, Architect

MGD+ LLC
DESIGN + CONSULTANTS

634 COMMONWEALTH AVE, SUITE 210,
NEWTON - MA 02459
(857) 322-5MGD (5643)
info@mgdplus.com



WINCHESTER ROAD RESIDENCES

No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

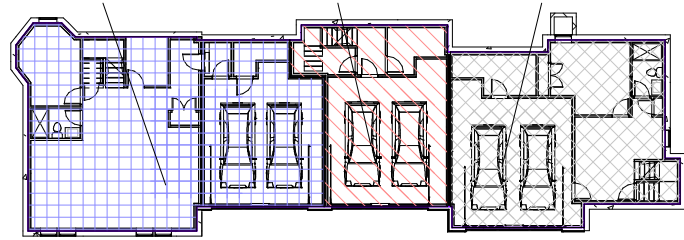
COVER PAGE

Project number 19-0510
Date 05-15-2020
Drawn by MGD Checked by RJ

SD.00

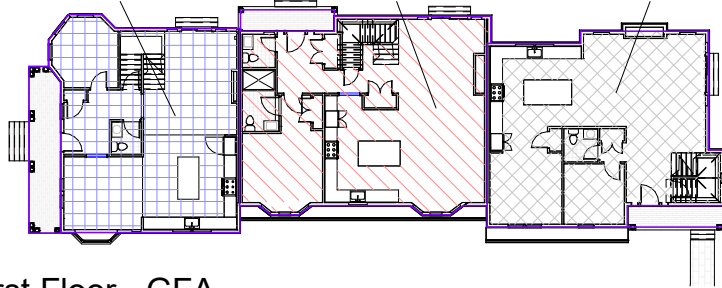
Scale

UNIT #1 277 SF **UNIT #2** 277 SF **UNIT #3** 277 SF



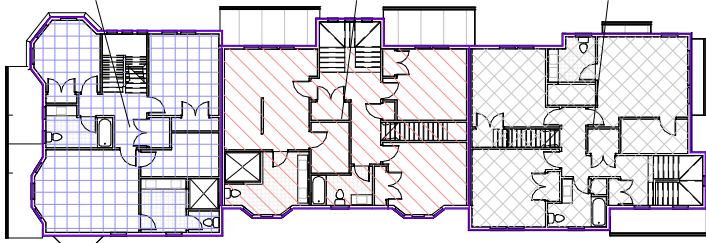
① 00 - Basement - GFA
1/32" = 1'-0"

UNIT #1 1042 SF **UNIT #2** 1282 SF **UNIT #3** 1143 SF



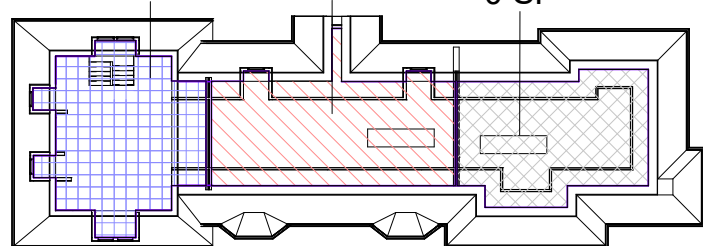
② 01 - First Floor - GFA
1/32" = 1'-0"

UNIT #1 1057 SF **UNIT #2** 1184 SF **UNIT #3** 1143 SF



③ 02 - Second Floor - GFA
1/32" = 1'-0"

UNIT #1 528 SF **UNIT #2** 0 SF **UNIT #3** 0 SF



④ 03 - Attic - GFA
1/32" = 1'-0"

PROPOSED GROSS FLOOR AREA

LEVEL	AREA (SF)
UNIT #1	
00 - Basement	277 SF
01 - First Floor	1042 SF
02 - Second Floor	1057 SF
03 - Attic	528 SF
	2904 SF
UNIT #2	
00 - Basement	277 SF
01 - First Floor	1282 SF
02 - Second Floor	1184 SF
03 - Attic	0 SF
	2744 SF
UNIT #3	
00 - Basement	277 SF
01 - First Floor	1143 SF
02 - Second Floor	1143 SF
03 - Attic	0 SF
	2563 SF
TOTAL GROSS FLOOR AREA	8211 SF



LOCATION MAP

ZONING ANALYSIS SUMMARY

ZONING DISTRICT MR1				
DESCRIPTION	ZONING CODE REF	EXISTING	ALLOWED	PROPOSED
USE		Single Family	Two Family	Three Family-Attached
LOT AREA		15833 SF	7000 SF	15833 SF
FAR - GFA		0 SF	0.49 / 7758 SF	0.518/8211 SF

NOTES:
1. SEE PLAN DIAGRAMS FOR FLOOR BY FLOOR AREA CALCULATIONS, INCLUSIONS AND EXCLUSIONS. THE PROVIDED DIAGRAMS CAN BE REFERENCED TO THE FLOOR PLANS.

RONALD JAREK, Architect

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WINCHESTER ROAD RESIDENCES

ZONING ANALYSIS

No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

Project number	19-0510	SD.01
Date	05-15-2020	
Drawn by	MGD	
Checked by	RJ	Scale 1/32" = 1'-0"



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WINCHESTER ROAD RESIDENCES

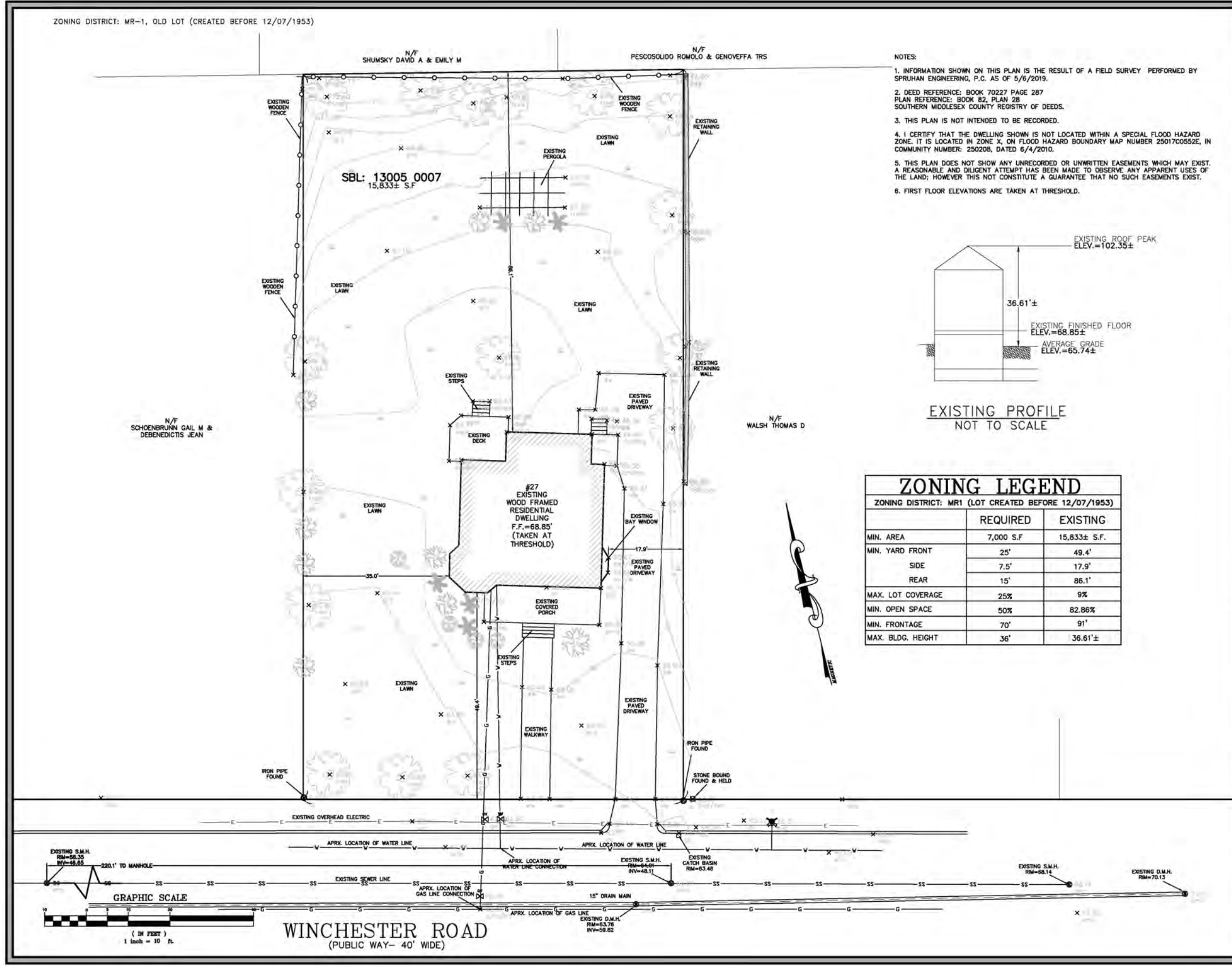
No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

EXISTING BUILDING

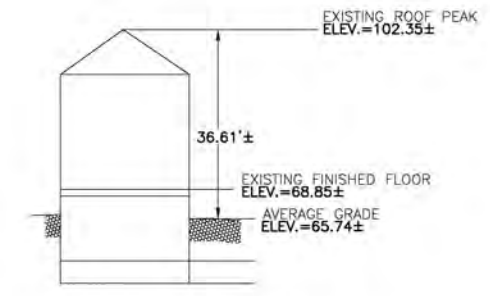
Project number	19-0510
Date	05-15-2020
Drawn by	MGD
Checked by	RJ

SD.02

Scale



- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY SPRUHAN ENGINEERING, P.C. AS OF 5/6/2019.
 2. DEED REFERENCE: BOOK 70227 PAGE 287
PLAN REFERENCE: BOOK 82, PLAN 28
SOUTHERN MIDDLESEX COUNTY REGISTRY OF DEEDS.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0552E, IN COMMUNITY NUMBER: 250208, DATED 6/4/2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.



EXISTING PROFILE
NOT TO SCALE

ZONING LEGEND		
ZONING DISTRICT: MR1 (LOT CREATED BEFORE 12/07/1953)		
	REQUIRED	EXISTING
MIN. AREA	7,000 S.F.	15,833± S.F.
MIN. YARD FRONT	25'	49.4'
MIN. YARD SIDE	7.5'	17.9'
MIN. YARD REAR	15'	86.1'
MAX. LOT COVERAGE	25%	9%
MIN. OPEN SPACE	50%	82.86%
MIN. FRONTAGE	70'	91'
MAX. BLDG. HEIGHT	36'	36.61'±

Spruhan
Engineering, P.C.
80 JEWETT ST., SUITE 11
NEWTON, MA 02458
Tel: 617.816.0722
Email: spruhan@spruhan.com

27 WINCHESTER ROAD
NEWTON MASSACHUSETTS

SURVEY PLAN

REVISION BLOCK

DESCRIPTION	DATE

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DATE:	5/6/19
DRAWN BY:	K.K.
CHECKED BY:	E.S.
APPROVED BY:	E.S.

EXISTING SURVEY PLAN

1

RONALD JAREK, Architect

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WINCHESTER ROAD RESIDENCES	
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EXISTING CONDITIONS PLAN		
No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020
Project number		19-0510
Date		05-15-2020
Drawn by	MGD	Checked by
		RJ
SD.03		Scale

PROPOSED CONDITIONS PLAN
 [SEE CIVIL ENGINEER DRAWINGS]

NOTE: CONTRACTOR TO CONFIRM LOCATION OF DOWN SPOUTS PRIOR TO CARRYING OUT ANY DRAINAGE WORKS

NOTE: SURFACE WATER TO BE DIVERTED FROM ALL SIDES OF FOUNDATION WALL

NOTE: ANY TREE BEING REMOVED SHALL COMPLY WITH CITY OF NEWTON TREE ORDINANCE

NOTE: CONTRACTOR TO ENSURE SEWER LINE IS PITCHED AT AN EQUAL SLOPE OF BETWEEN 2% AND 10% FROM HOUSE TO MAIN CONNECTION

NOTE: SPRUHAN ENGINEERING, P.C., ACCEPTS NO LIABILITY FOR GROUND WATER OR OTHER SURFACE WATER IN BASEMENT

NOTE: CONTRACTOR TO ENSURE ALL RAIN WATER FROM SPLASH BLOCKS (IF ANY) IS DIVERTED AWAY FROM BUILDING FOUNDATION AND DIVERTED AWAY FROM NEIGHBORING PROPERTIES

NOTE: SEWER AND WATER MAIN LINE LOCATION TO BE CONFIRMED BY CONTRACTOR

NOTE: CONTRACTOR TO ENSURE THAT THE BUILDING FOOTPRINT REPRESENTED ON THIS PLAN IS THE SAME AS THE PROPOSED ARCHITECTURAL /STRUCTURAL PLANS AND INCORPORATES ALL OVERHANGS, CANTILEVERS AND ANY COMPONENT THAT IS SUBJECT TO ZONING RESTRICTIONS. IF THIS IS FOUND NOT TO BE THE CASE THE CONTRACTOR MUST CONTACT THE ENGINEER /SURVEYOR AND REQUEST A REVISED PLAN WHICH MUST BE RESUBMITTED TO I.S.D. CITY OF NEWTON

NOTE: DRAINAGE SYSTEM IS DESIGNED FOR 100 YEAR STORM EVENT FOR ALL RUNOFF FROM PROPOSED IMPERVIOUS AREAS SHOWN. CONTRACTOR SHALL NOT CONNECT SUMPS PLUMBS TO THE SYSTEM WITHOUT APPROVAL FROM ENGINEERING DEPARTMENT

NOTE: ANY PROPOSED RETAINING WALLS SHALL BE DESIGNED BY OTHERS

NOTE: ANY PROPOSED RETAINING WALL IN SETBACK SHALL NOT EXCEED 4 FEET IN HEIGHT IN REFERENCE TO EXISTING GRADES.

ZONING LEGEND

ZONING DISTRICT: MR1 (LOT CREATED BEFORE 12/07/1953)

	REQUIRED	EXISTING	PROPOSED
MIN. AREA	7,000 S.F.	15,833± S.F.	15,833± S.F.
MIN. YARD FRONT	*25'	49.4'	25.5'
SIDE	*25'	17.9'	26'
REAR	*25'	86.1'	32.2'
MAX. LOT COVERAGE	25%	9.1%	23.8%
MIN. OPEN SPACE	50%	82.86%	61.4%
MIN. FRONTAGE	70'	91'	91'
MAX. BLDG. HEIGHT	36'	36.61'±	36.54'±

*** SPECIAL PERMIT**

PROPOSED ROOF PEAK
ELEV. = 101.35±
ELEV. = 102.63±

* NOTE: ROOF PEAK TO BE VERIFIED WITH DESIGNERS PRIOR TO ROOF FRAMING COMMENCEMENT

PROPOSED FINISHED FLOOR
ELEV. = 70.33±
ELEV. = 69.13±
ELEV. = 68.09±

PROPOSED FLOOR
ELEV. = 61.25±
ELEV. = 60.15±

BASEMENT CEILING
ELEV. = 46.33±
ELEV. = 46.13±

MIN. OF BASEMENT
ELEV. P. = 66.33±
ELEV. E. = 64.13±

PROPOSED PROFILE

NOT TO SCALE

* MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT

PROPOSED ROOF PEAK
ELEV. = 101.35±
ELEV. = 102.63±

* NOTE: ROOF PEAK TO BE VERIFIED WITH DESIGNERS PRIOR TO ROOF FRAMING COMMENCEMENT

PROPOSED FINISHED FLOOR
ELEV. = 70.33±
ELEV. = 69.13±
ELEV. = 68.09±

PROPOSED FLOOR
ELEV. = 61.25±
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ELEV. = 46.33±
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MIN. OF BASEMENT
ELEV. P. = 66.33±
ELEV. E. = 64.13±

PROPOSED PROFILE

NOT TO SCALE

* MIDPOINT OF BASEMENT ELEVATION LOWER THAN AVERAGE GRADE ELEVATION THEREFORE PROPOSED BASEMENT MEETS DEFINITION OF BASEMENT

AVERAGE GRADE CALCULATION					
AVERAGE GRADE PLANE (ALL UNITS IN FEET)					
SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH
1	19.80	68.30	68.30	68.30	1,352.34
2	9.30	68.10	68.10	68.10	633.33
3	16.00	68.00	68.40	68.20	1,091.20
4	23.40	66.20	61.33	63.77	1,482.10
5	41.10	61.33	61.33	61.33	2,520.66
6	29.80	61.33	64.90	63.12	1,880.83
7	25.10	67.00	67.20	67.10	1,684.21
8	4.40	67.20	67.20	67.20	295.68
9	3.30	67.20	67.20	67.20	222.96
10	5.50	67.20	67.20	67.20	369.60
11	36.40	67.20	68.30	67.75	2,466.30
12	15.00	68.30	68.40	68.35	1,277.10
13	15.00	68.40	68.40	68.40	1,275.00
14	21.30	68.30	68.30	68.30	1,554.75
15	27.40	67.20	67.20	67.20	1,843.28
SUM	278.40				18,400.10
SUM OF MEAN x LENGTH / SUM OF LENGTHS = AVERAGE GRADE PLANE = 66.09					

AVERAGE GRADE PLANE

SILT FENCE & HYDRALINE LINE

EXISTING RETAINING WALL

EXISTING WALKWAY

EXISTING OVERHEAD ELECTRIC

EXISTING CONCRETE SIDEWALK

EXISTING GRANITE CURB

APPROX. LOCATION OF WATER LINE

EXISTING S.E.M.H.

EXISTING CATCH BASIN

EXISTING GRANITE CURB CUT TO BE INSTALLED PER CITY OF NEWTON STANDARDS

EXISTING D.M.H.

15" DRAIN MAIN

STONE BOUND FOUND & HELD

WINCHESTER ROAD
(PUBLIC WAY - 40' WIDE)

GRAPHIC SCALE
1 inch = 10 feet

Spruhan
Engineering, P.C.

27 WINCHESTER ROAD
NEWTON MASSACHUSETTS

PROPOSED CIVIL PLAN

REVISION BLOCK

DESCRIPTION	DATE

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DATE: 2/11/20
DRAWN BY: P.S.
CHECKED BY: E.S.
APPROVED BY: E.S.

CIVIL PLAN

2

<p>RONALD JAREK, Architect</p> <p>MGD+ LLC DESIGN + CONSULTANTS</p> <p>634 COMMONWEALTH AVE, SUITE 210, NEWTON - MA 02459 (857) 322-5MGD (5643) info@mgdplus.com</p>	<p>WINCHESTER ROAD RESIDENCES</p>	<p>PROPOSED CONDITIONS PLAN</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>LANDSCAPE REVISION COMPLETED</td> <td>07-31-2020</td> </tr> </tbody> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Project number</th> <th>19-0510</th> </tr> <tr> <th>Date</th> <td>05-15-2020</td> </tr> <tr> <th>Drawn by</th> <td>MGD</td> </tr> <tr> <th>Checked by</th> <td>RJ</td> </tr> <tr> <th>Scale</th> <td></td> </tr> </thead> </table>	No.	Description	Date	A	LANDSCAPE REVISION COMPLETED	07-31-2020	Project number	19-0510	Date	05-15-2020	Drawn by	MGD	Checked by	RJ	Scale	
No.	Description	Date																
A	LANDSCAPE REVISION COMPLETED	07-31-2020																
Project number	19-0510																	
Date	05-15-2020																	
Drawn by	MGD																	
Checked by	RJ																	
Scale																		

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WINCHESTER ROAD RESIDENCES

No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

LANDSCAPE PLAN

Project number	19-0510
Date	05-15-2020
Drawn by	MGD
Checked by	RJ

SD.05

Scale

VEGETATION / MATERIALS LEGEND

**MAPLE
4-6" CALIPER**



**ARBORVITAE
2" CALIPER**



**ORNAMENTAL FLOWERING
CHERRY TREE
4-6" CALIPER**



BOXWOOD HEDGE



HYDRANGEA



TREE SCHEDULE

Tree / Plant Type	Quantity	Caliper Size (in.)	Total Caliper (in.) Per Plant Type Provided
Maple	2	4	8
Arborvitae	15	2	30
Ornamental Cherry	2	4	8
TOTAL PROVIDED	17		46

TOTAL INCHES OF CALIPER THAT NEEDS TO BE REPLACED = 43 INCHES

HOSTA



CONCRETE PAVER



ASPHALT



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WINCHESTER ROAD RESIDENCES

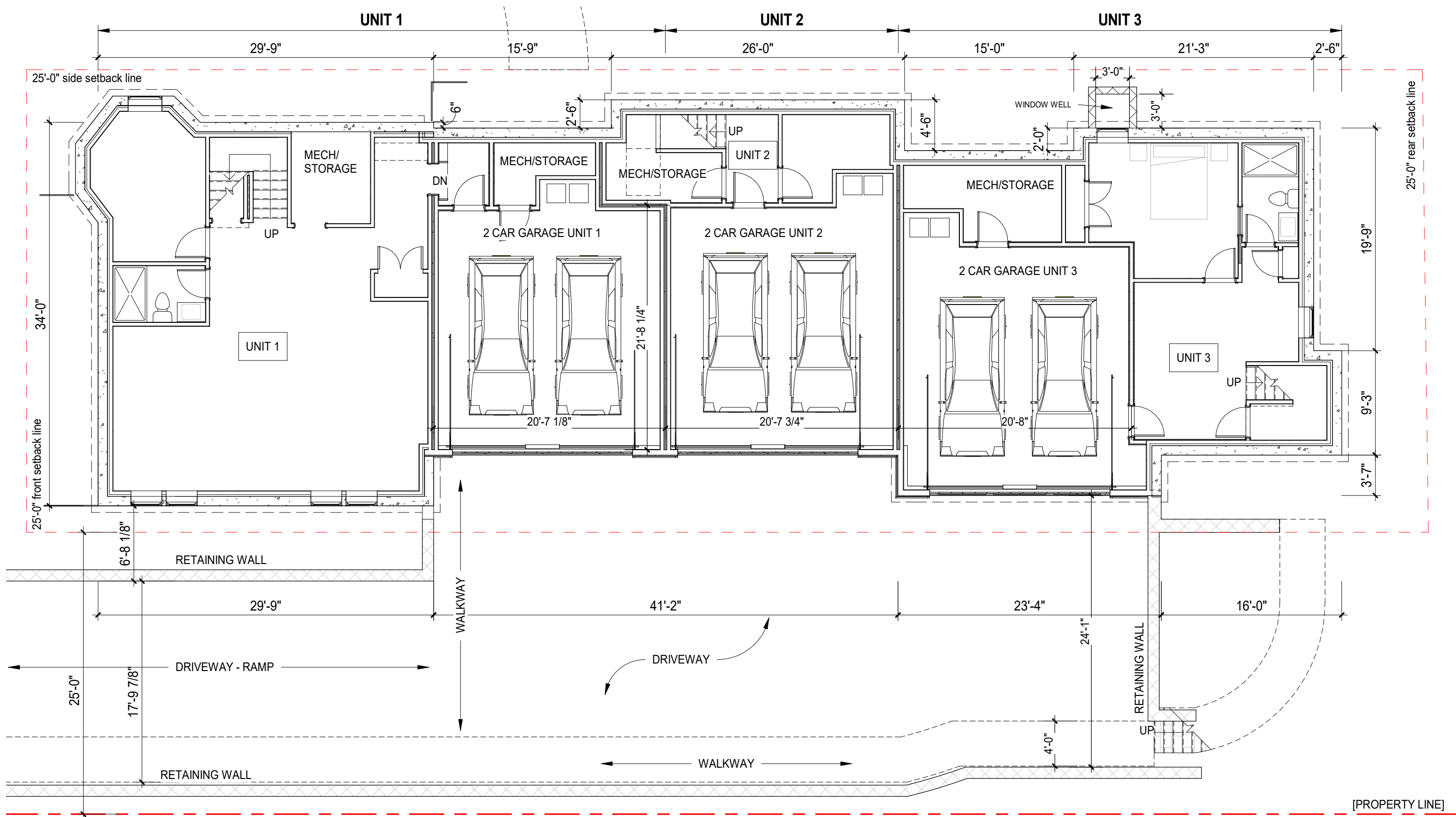
No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

LANDSCAPE VEGETATION AND MATERIALS

Project number	19-0510
Date	05-15-2020
Drawn by	Author
Checked by	Checker

SD.06

Scale



1 00 - Basement - 1/8"
1/8" = 1'-0"

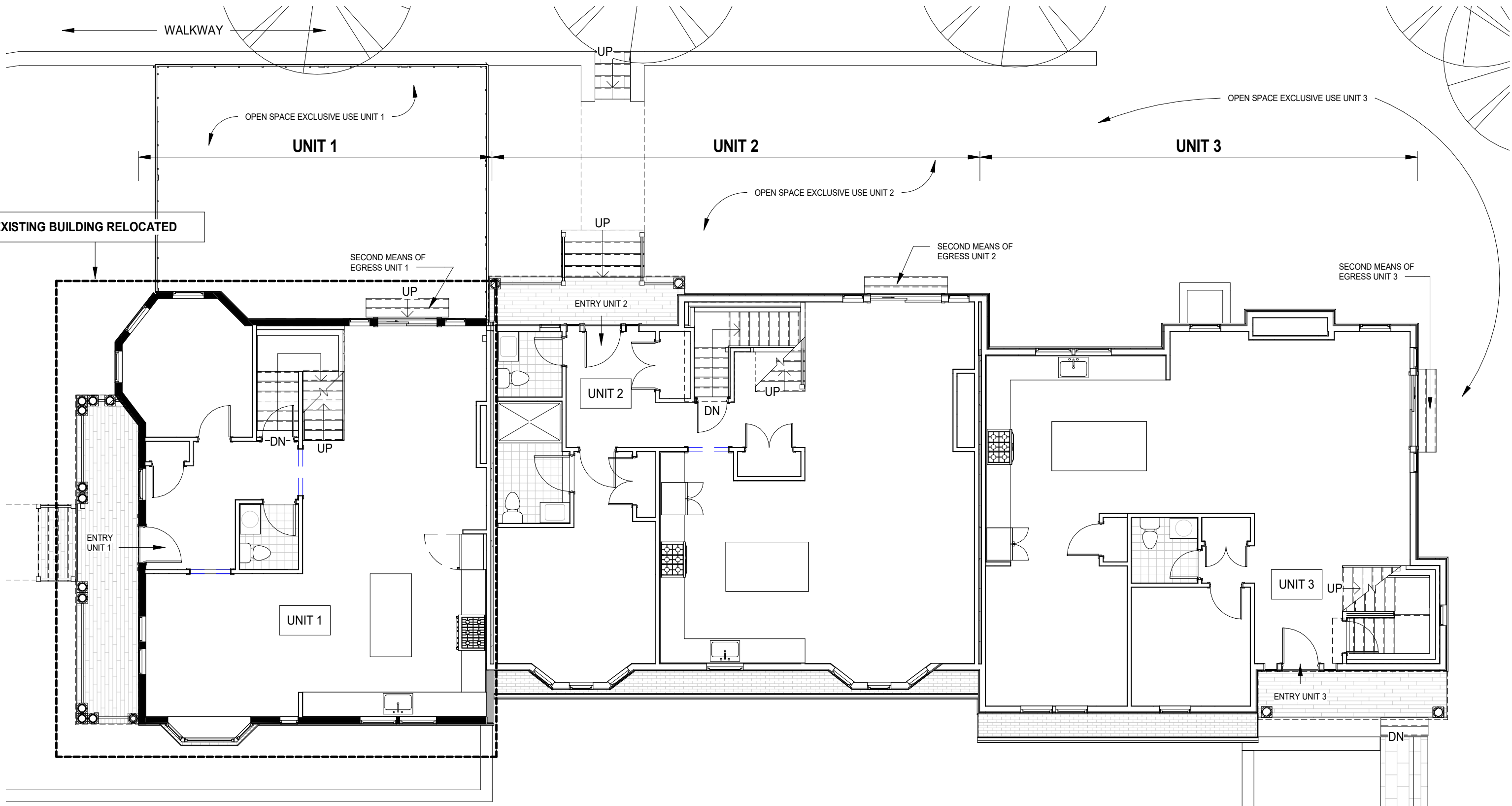
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WINCHESTER ROAD RESIDENCES

No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

BASEMENT FLOOR PLAN	
Project number	19-0510
Date	05-15-2020
Drawn by	MGD
Checked by	RJ
SD.07	
Scale 1/8" = 1'-0"	

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1 01 - First Floor - 1/8"
1/8" = 1'-0"

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WINCHESTER ROAD RESIDENCES

No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

FIRST FLOOR PLAN		
Project number	19-0510	SD.08
Date	05-15-2020	
Drawn by	MGD	
Checked by	RJ	Scale 1/8" = 1'-0"

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1 Front Elevation (1/8)
1/8" = 1'-0"

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WINCHESTER ROAD RESIDENCES	
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No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

FRONT ELEVATION		
Project number	19-0510	SD.09
Date	05-15-2020	
Drawn by	MGD	
Checked by	RJ	Scale 1/8" = 1'-0"



1 Left Elevation (1/8)
1/8" = 1'-0"

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WINCHESTER ROAD RESIDENCES

No.	Description	Date
A	LANDSCAPE REVISION COMPLETED	07-31-2020

LEFT ELEVATION		
Project number	19-0510	SD.10
Date	05-15-2020	
Drawn by	MGD	Checked by RJ
Scale		1/8" = 1'-0"

7/31/2020 2:07:19 PM



① Right Elevation (1/8)
1/8" = 1'-0"

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MGD+ LLC
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WINCHESTER ROAD RESIDENCES

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A	LANDSCAPE REVISION COMPLETED	07-31-2020

RIGHT ELEVATION		
Project number	19-0510	SD.11
Date	05-15-2020	
Drawn by	MGD	
Checked by	RJ	Scale 1/8" = 1'-0"

7/31/2020 2:07:24 PM



1 Rear Elevation (1/8)
1/8" = 1'-0"

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WINCHESTER ROAD RESIDENCES	
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No.	Description	Date
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REAR ELEVATION		
Project number	19-0510	SD.12
Date	05-15-2020	
Drawn by	MGD	
Checked by	RJ	Scale 1/8" = 1'-0"



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No.	Description	Date
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PERSPECTIVE VIEW-1

Project number	19-0510
Date	05-15-2020
Drawn by	MGD
Checked by	RJ

SD.13

Scale

PERSPECTIVE VIEW FROM LEFT SIDE



RONALD JAREK, Architect

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WINCHESTER ROAD RESIDENCES

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PERSPECTIVE VIEW -2

Project number	19-0510
Date	05-15-2020
Drawn by	MGD
Checked by	RJ

SD.14

Scale

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① VIEW FROM WINCHESTER ROAD



② VIEW FROM WINCHESTER ROAD - RAMP SIDE

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3D VIEWS

Project number	19-0510
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SD.15

Scale