

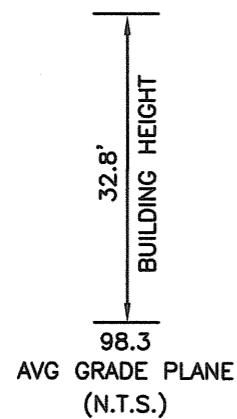
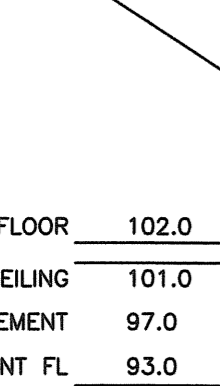
AVERAGE GRADE CALCULATION:  
[SEC 1.5.4(F)]

$$AVG = \frac{\sum[L(E1+E2)/2]}{P}$$

$$AVG = 17782.2 / 180.8 = 98.3$$

BUILDING HEIGHT CALCULATION

PEAK 131.1



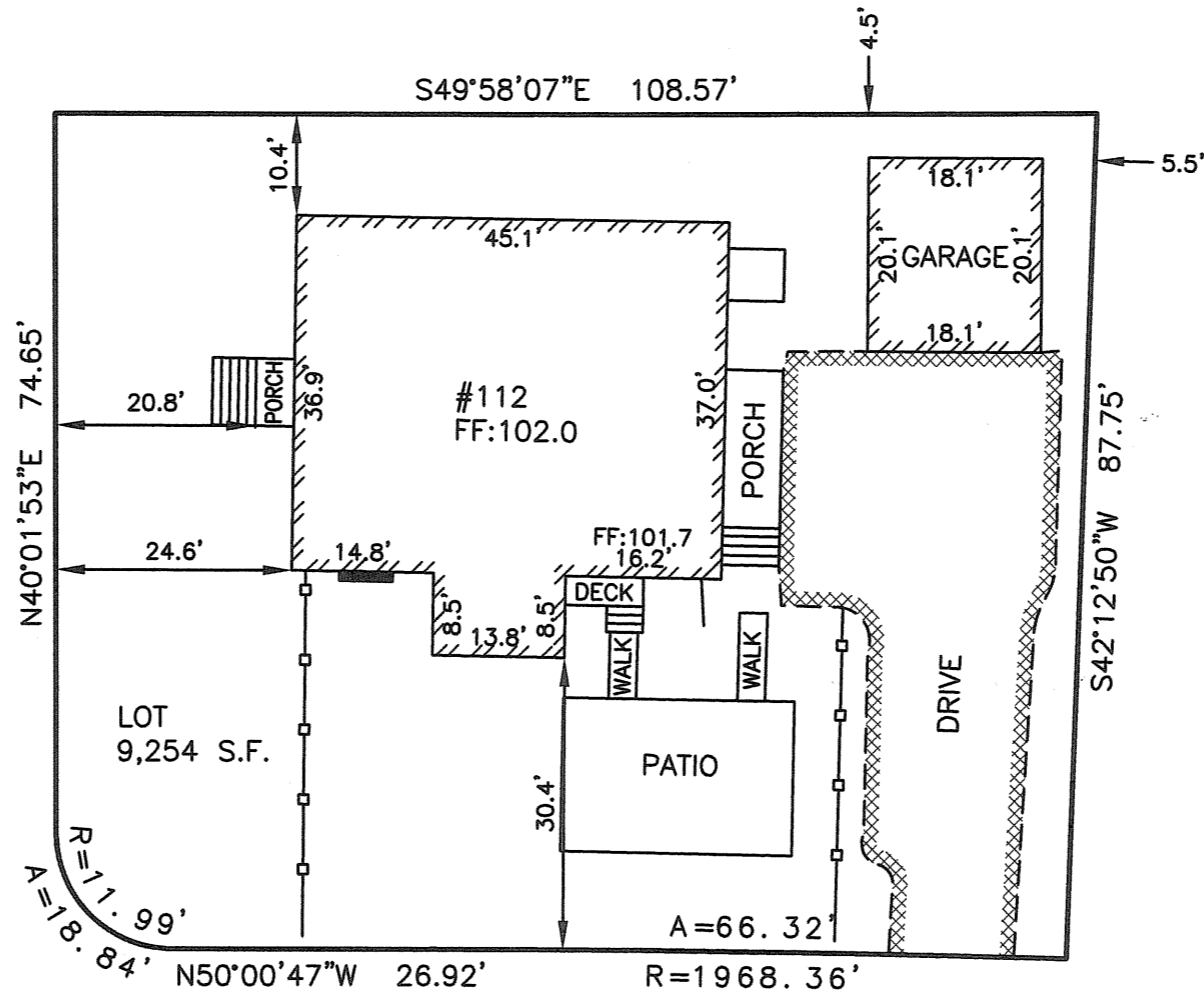
**ZONING INFORMATION**

ZONE: SR-3  
PLAN DATED: DECEMBER 12, 2014  
DEED REFERENCE: BOOK 84684 PAGE 224

	EXISTING	PROPOSED	REQUIRED
BUILDINGS	2,264 S.F.	x S.F.	
STRUCTURES	2,288 S.F.	x S.F.	
DRIVE	1,338 S.F. ±	x S.F. ±	
	3,626 S.F. ±	x S.F. ±	
LOT COVERAGE	24.4%	x.x%	(30% MAX.)
OPEN SPACE	60% ±	x% ±	(50% MIN.)

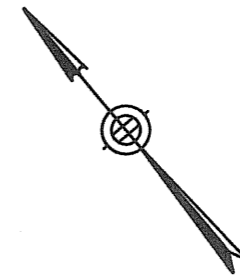
ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.  
AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.

GRASMERE STREET



GRASMERE STREET

AVERAGE SETBACK CALCULATION  
 $(\#102 + \#124)/2 =$   
 $(9.6 + 22.2)/2 = 20.9'$



ESTABLISHED 1916



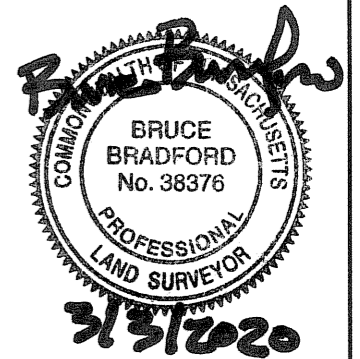
EVERETT M. BROOKS CO.

SURVEYORS & ENGINEERS

49 LEXINGTON STREET  
WEST NEWTON, MA 02465

(617) 527-8750

info@everettbrooks.com



PLAN OF LAND IN  
NEWTON, MA

112 GRASMERE STREET  
EXISTING CONDITION

SCALE: 1 IN. = 20 FT.

DATE: MARCH 3, 2020

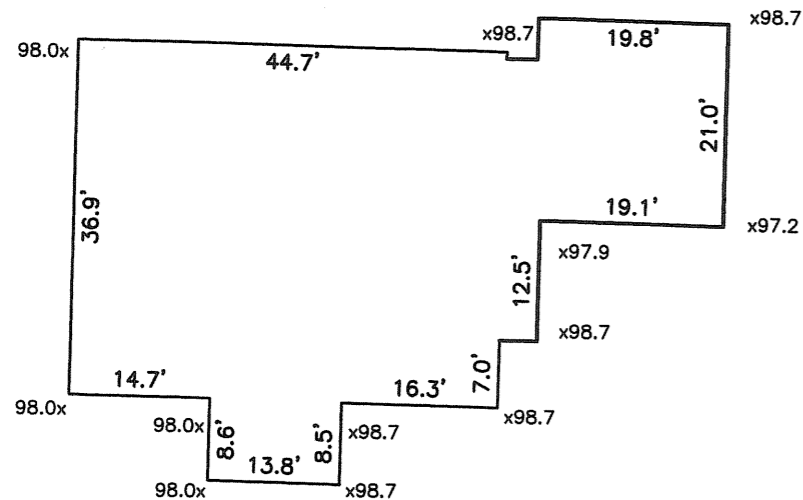
DRAWN: GAR

CHECK: BB

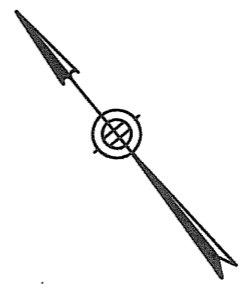
REVISIONS:

DATE	DESCRIPTION
8/15/19	various
3/03/20	various

PROJECT NO. 25830

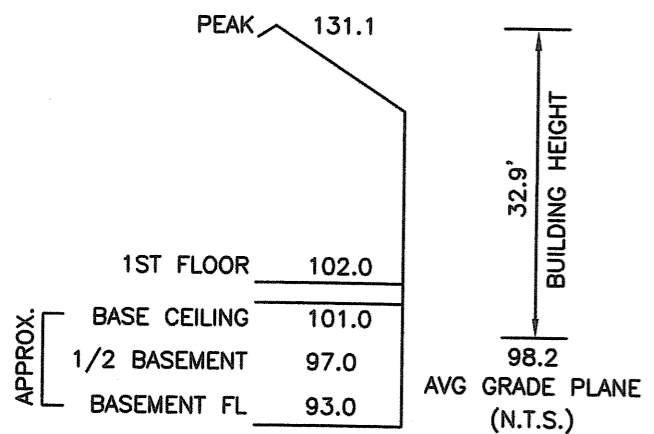


**AVERAGE GRADE CALCULATION:**  
 [SEC 1.5.4(F)]  
 $AVG = \Sigma[L(E1+E2)/2] / P$   
 $AVG = 20429.82/208.2 = 98.2$



**AVERAGE SETBACK CALCULATION**  
 GRASSMERE STREET  
 $(\#102 + \#124)/2 =$   
 $(19.6 + 22.2)/2 = 20.9'$

**BUILDING HEIGHT CALCULATION**



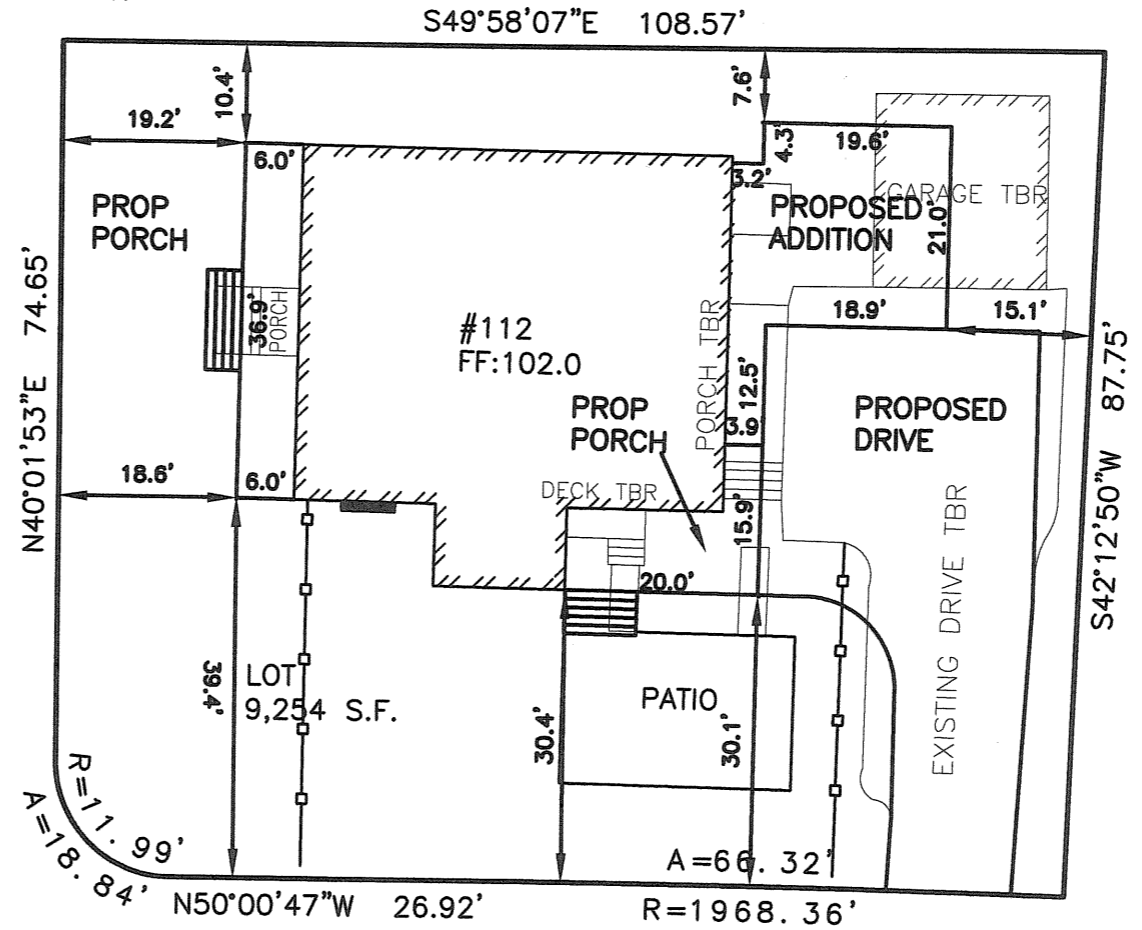
**ZONING INFORMATION**

ZONE: SR-3  
 PLAN DATED: DECEMBER 12, 2014  
 DEED REFERENCE: BOOK 84684 PAGE 224

BUILDINGS	EXISTING	PROPOSED	REQUIRED
BUILDINGS	2,264 S.F.	2,705 S.F.	
STRUCTURES	2,288 S.F.	2,705 S.F.	
DRIVE	1,338 S.F. ±	1,235 S.F. ±	
	3,626 S.F. ±	3,940 S.F. ±	
LOT COVERAGE	24.4%	29.2%	(30% MAX.)
OPEN SPACE	60% ±	57% ±	(50% MIN.)

ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.  
 AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.

GRASSMERE STREET



**MERTON STREET**

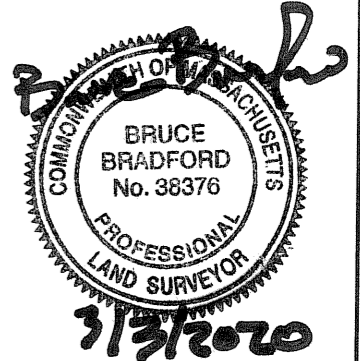
**IMPERVIOUS INCREASE CALCULATION**  
 (PROP ADD + PROP PORCHES + PROP DRIVE) - (GARAGE TBR + PORCHS TBR + DRIVE TBR) =  
 $(518 + 420 + 1235) - (364 + 126 + 1338) = 345 \text{ S.F.}$   
 ALLOWED =  $9254 * 0.04 = 370 \text{ SF}$

ESTABLISHED 1916



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**PLAN OF LAND IN NEWTON, MA**

112 GRASSMERE STREET  
 PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.  
 DATE: MARCH 3, 2020  
 DRAWN: GAR  
 CHECK: BB

REVISIONS:


PROJECT NO. 25830