

Site Plan

General Notes:

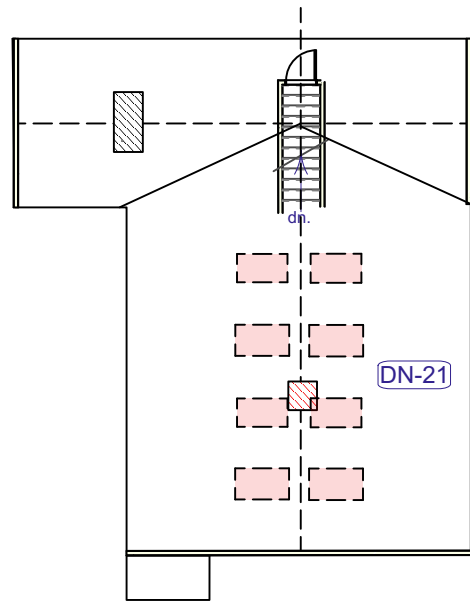
1. The general contractor and all subcontractors shall comply with state and local building codes and any governmental agency having jurisdiction.
2. Verify all dimensions in field. Report any discrepancies in drawings and/or field conditions to the architect. Do not scale drawings. If a dimension is not shown consult architect.
3. Coordinate locations to store all building materials and equipment with the owner prior to the start of work. Cover all materials stored outside, especially wood composite products and sheathing.
4. Coordinate the dumpster location with the owner prior to installation.
5. Temporary conditions:
 - a. Provide all temporary shoring of existing structure continuously through the foundation.
 - b. Temporary shut-offs for utilities must be coordinated with the owners before the start of work.
 - c. Maintain temporary weather protective enclosures as required to avoid any exposure of interior finishes. Especially the basement room finishes throughout the demolition and framing.
6. The existing exterior walls will be insulated with cellulose sprayed through holes in the plaster on the inside. Patch plaster for seamless finish.
7. At existing interior partitions scheduled to remain patch to match plaster finish where disturbed. All patches and infill areas shall blend seamlessly with the existing surrounding finish.
8. Finish schedule, door & window schedules are separate 8 1/2" x 11" format sheets.
9. HVAC sub-contractors shall refer to project specifications for full scope of work

FAR Calculation:

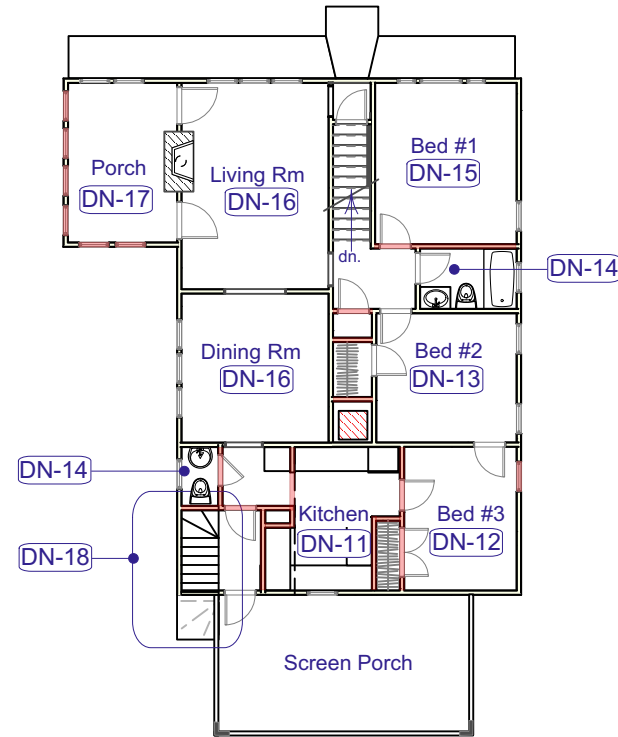
Proposed FAR:	
First Floor:	2870 sf
(includes atrium calc. at entry hall)	
Second Floor:	1697 sf
Basement:	
(1st fl. less than 4' above grade)	
	<u>00</u> sf
	4567 sf
Note: no attic space w/ 7' ceiling ht abv. second	
Allowable FAR:	
SR1; lot size 15,000 sf; FAR .31	4650 sf

List of Drawings:

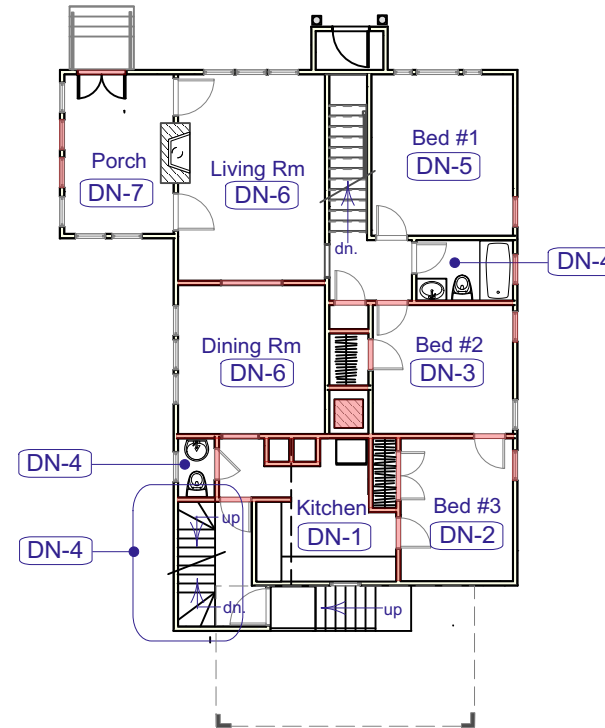
- A-1 Plot Plan & General Notes
 - A-2 Existing Plans w/ Demo. Notes
 - A-2a Existing Exterior Eleva. w/ Demo Notes
 - A-3a Basement Plan
 - A-3b First Floor Plan
 - A-3c Second Floor Plan
 - A-3d Attic Plan/ Roof Plan
 - A-4 Kitchen Part-plan
 - A-4b Bath Part-plan
 - A-5 FAR Area plans
 - A-6a First Floor Reflected Ceiling Plan
 - A-6b Second Floor Reflected Ceiling Plan
 - A-6c Basement & Attic Reflected Ceiling Plan
 - A-7a Stair Section & Part Plans
 - A-7b Wall Section
 - A-8a Front & Driveway Exterior Elevations
 - A-8b Rear & Side Exterior Elevations
- Structural:
- S-1 Foundation Plan
 - S-2 Floor & Roof Framing Plan



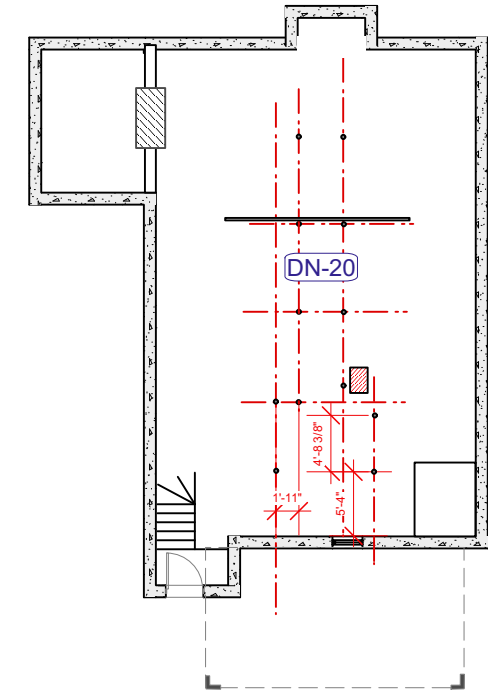
Attic Floor Plan



Second Floor Plan



First Floor Plan



Basement Plan

DN-20 Basement:

- Remove all interior wood partitions in their entirety.
 - Remove the wooden stair assembly to the first floor
 - Refer to structural drawings for new openings in the foundation walls.
 - Remove all plumbing and electrical lines.
 - Remove the Boilers, HWHs and associated equipment.
 - Remove to relocate the gas meters.
 - Remove the rear chimney up through the entire house.
- DN-21 Attic:**
- Cut-in new skylight openings between existing roof rafters. Adjust locations accordingly. Provide temporary weather protection as needed to keep weather out of the interior until skylights are installed.

DN-13 Bedroom #2:

- Remove the closet door assembly & closet components and closet ceiling and floor finishes.
- DN-14 Full Bathroom & Powder room:**
- Remove all plumbing & electrical fixtures and rough-ins.
 - Remove all interior finishes at walls, floor and ceiling.
 - Remove the interior door assembly.

DN-15 Bedroom #1:

- Remove the window assembly facing the side yard.
- Remove the wall between the bathroom in its entirety.
- Remove the ceiling and floor finishes.

DN-16 Living rm./Dining Rm.

- Remove the wall between the LR & DR. Confirm this not a bearing wall before removing.
- Remove the windows in the dining room.

DN-17 Porch:

- Remove the two windows in the center facing the side.
- Remove the exterior door assembly.

DN-18 Back Stair:

- Remove the entire stair assembly including treads, risers, stingers, railing assembly and associated trim to leave the floor rough opening.

DN-19 Screen Porch:

- Remove all the screen assemblies, railings and wall finishes.

DN-6 Living rm./Dining Rm.

- Remove the wall between the LR & DR. Confirm this not a bearing wall before removing.
- Remove the windows in the dining room.

DN-7 Porch:

- Remove the two windows in the center facing the side.
- Remove the exterior door assembly.

DN-8 Back Stair:

- Remove the entire stair assembly including treads, risers, stingers, railing assembly and associated trim to leave the floor rough opening.

Second Floor:

DN-11 Kitchen

- Remove the appliances and all associated plumbing and electrical rough-ins
- Remove all cabinets and countertops.
- Remove all wall, ceiling and floor finishes down to studs, strapping and sub-floor.
- Remove the rear facing window assembly.

DN-12 Bedroom #3:

- Remove the interior wall between kitchen.
- Remove the closet in its entirety including wall framing, ceiling & floor finish.
- Remove the window assembly.
- Remove the closet door assembly & closet components, ceiling finish down to strapping.

DEMOLITION NOTES:

First Floor:

DN-1 Kitchen

- Remove the appliances & all associated plumbing and electrical lines.
- Remove all cabinets and countertops.
- Remove all wall ceiling and floor finishes down to studs, strapping and sub-floor.
- Remove the rear facing window assembly.

DN-2 Bedroom #3:

- Remove the interior walls bet. kitchen & bedrm. #2.
- Remove the closet in its entirety including wall framing, ceiling & floor finish.
- Remove the window assembly.

- Remove the closet door assembly & closet components.
- Remove the ceiling finish down to strapping.

DN-3 Bedroom #2:

- Remove the interior walls between the bathroom.
- Remove the window assembly closet to the street.
- Remove the closet door assembly & closet components
- Remove the ceiling finish down to strapping.

DN-4 Full Bathroom & Powder room:

- Remove all plumbing & electrical fixtures and rough-ins.
- Remove all interior finishes at walls, floor and ceiling.
- Remove the interior door assembly.

DN-5 Bedroom #1:

- Remove the window assembly facing the side yard.

ENTASIS PC Jay C. Walter AIA

83 Pembroke Street Newton, Massachusetts. 02458
e-mail:entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.

Existing Floor Plans

Date:
3/4/20

Scale:

PRICING SET

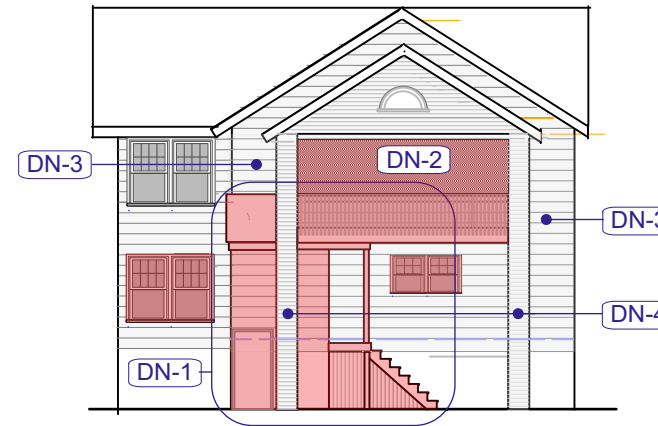
SKETCH NO.

A-2

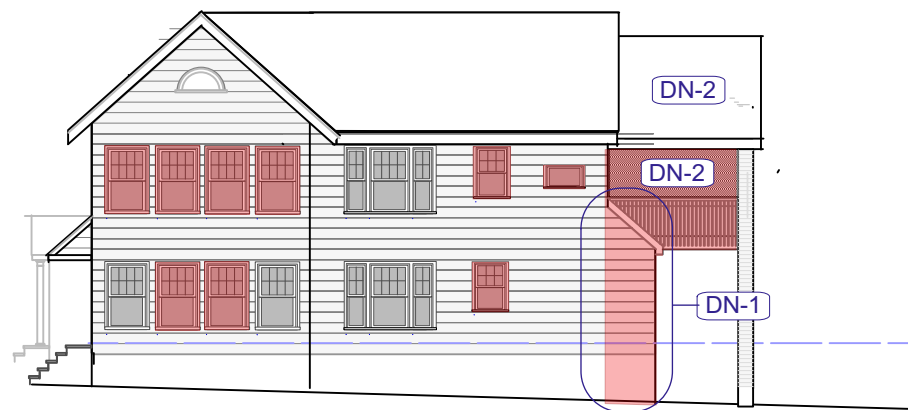
Yong Residence



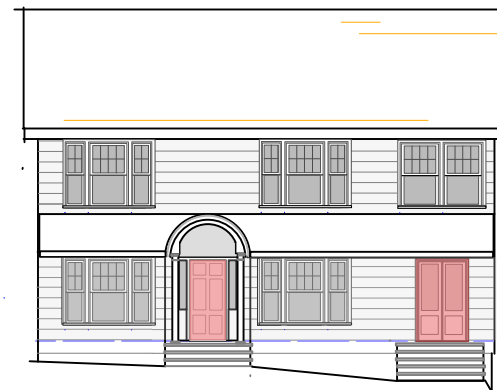
Side Lotline Elevation



Rear Elevation



Driveway Side Elevation



Street Elevation

GENERAL EXTERIOR DEMOLITION NOTES:

- Remove the exterior shingle siding around the window opening where windows are removed as required to patch the infill for seamless finish.
- Remove rotted shingle, trim, eave assemblies where compromised
- Where windows are shaded in red remove the entire window assembly including exterior trim. Remove adjacent shingle siding as required to install new window with new casings and sill
- Remove the aluminum gutters and downspouts.
- Remove the wooden railing in the front stoop of the house.
- Remove the front storm door assemblies.

EXTERIOR DEMOLITION NOTES:

- DN-1: Rear stair enclosure:**
 - Remove the interior stair and the rear one story shed extension enclosure.
 - Remove the exterior stoop and stair assembly including the roof covering.
- DN-2 Rear Screen Porch:**
 - Remove the screen assemblies in the openings
 - Remove the entire railing assembly
- DN-3 Rear Facade:**
 - Remove the shingle siding assembly across the entire rear facade that abuts the rear addition down to the exterior sheathing.
- DN-4 Rear porch:**
 - Remove the shingle siding from the porch piers, gable end and exterior wall within the porch.
 - Remove the exterior sheathing at the base of the piers to expose the fastening to the foundation.
 - Remove the 1/2 round window in the gable end.
 - Remove the north side beam that is

PRESERVATION NOTES:

- The exterior wood shingle assembly is to be patched and repaired as required and refinished
- The exposed rafter tails and plank roof sheathing underside are to remain, repaired as required and refinished.
- The exposed parged foundation finish is to be patched and repaired and painted.
- Both front brick & cement front stoops and stairs.
- The shingle roof assembly on the main roof and the first floor front canopy. These roofs will be patched where disturbed.
- The curved front roof canopy and columns are to be repaired and refinished.
- The half round vents in the gable ends to be sealed, patched and refinished.

ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail:entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.

Existing Exterior Elevations w/ Demo Notes

Date:
3/4/20

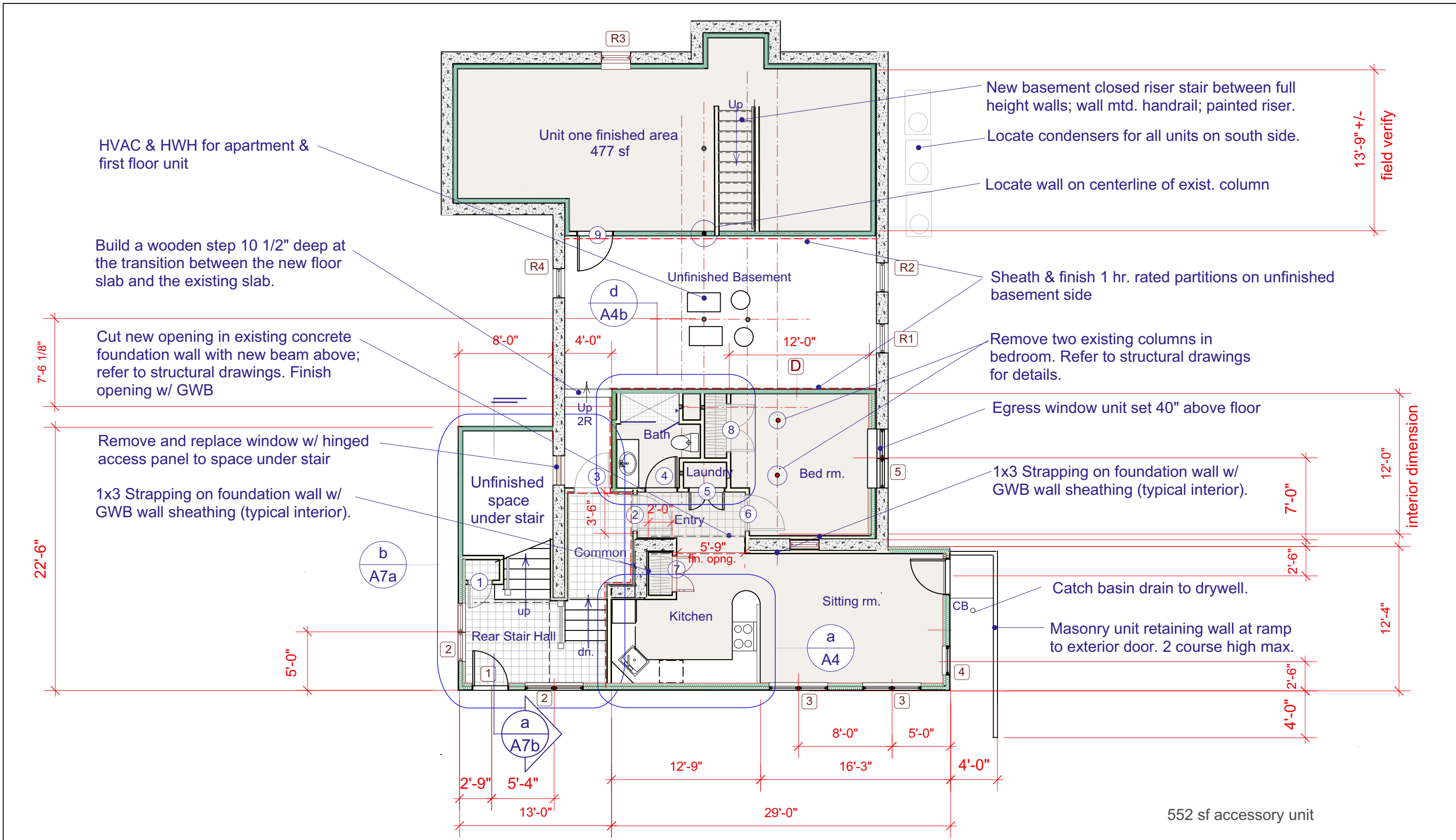
Scale:

**PRICING
SET**

SKETCH NO.

A-2a

Yong Residence



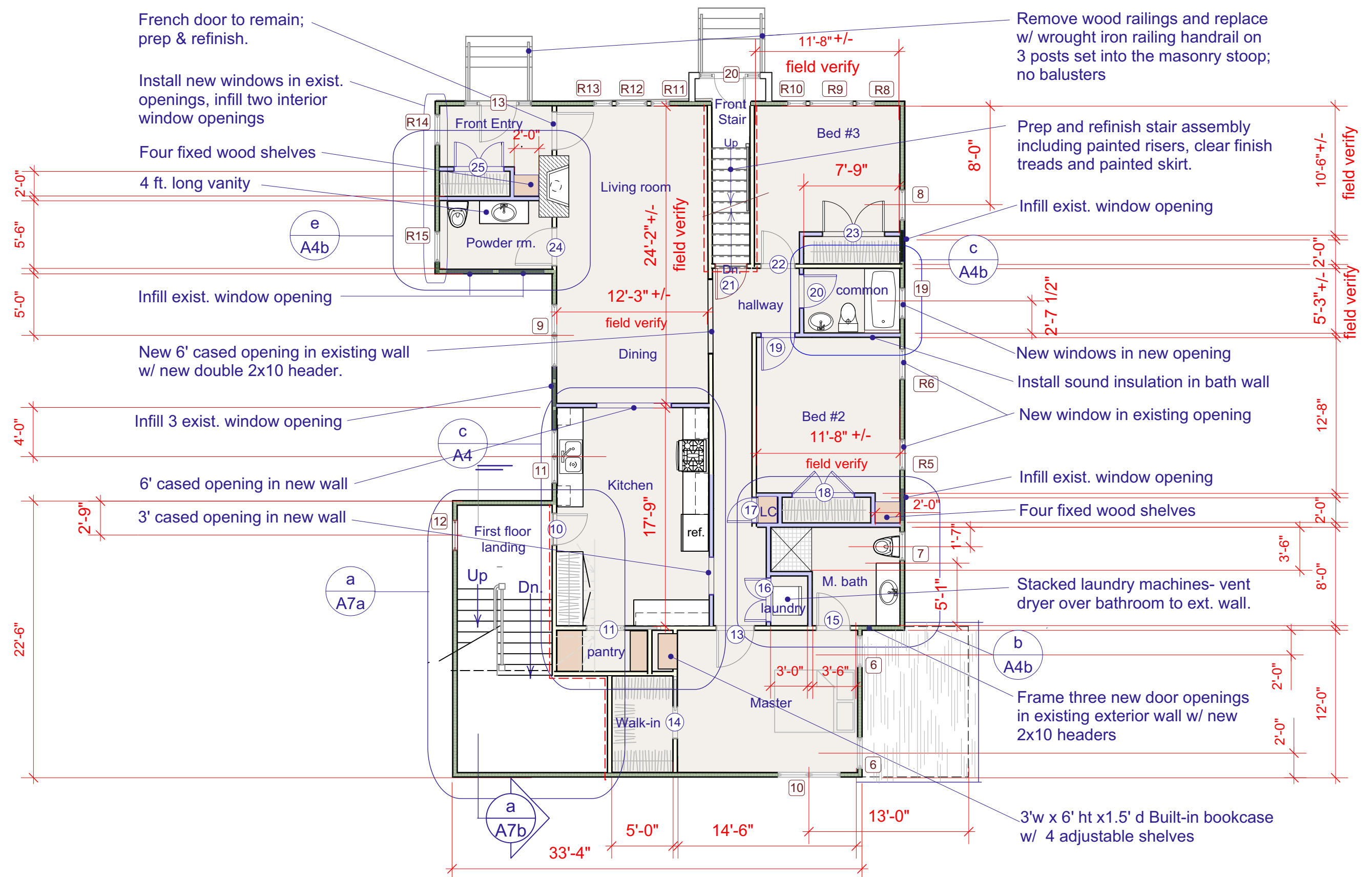
ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail: entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.
Basement Floor Plan

Date:
3/4/20
Scale:

PRICING SET

SKETCH NO.
A-3a
 Yong Residence



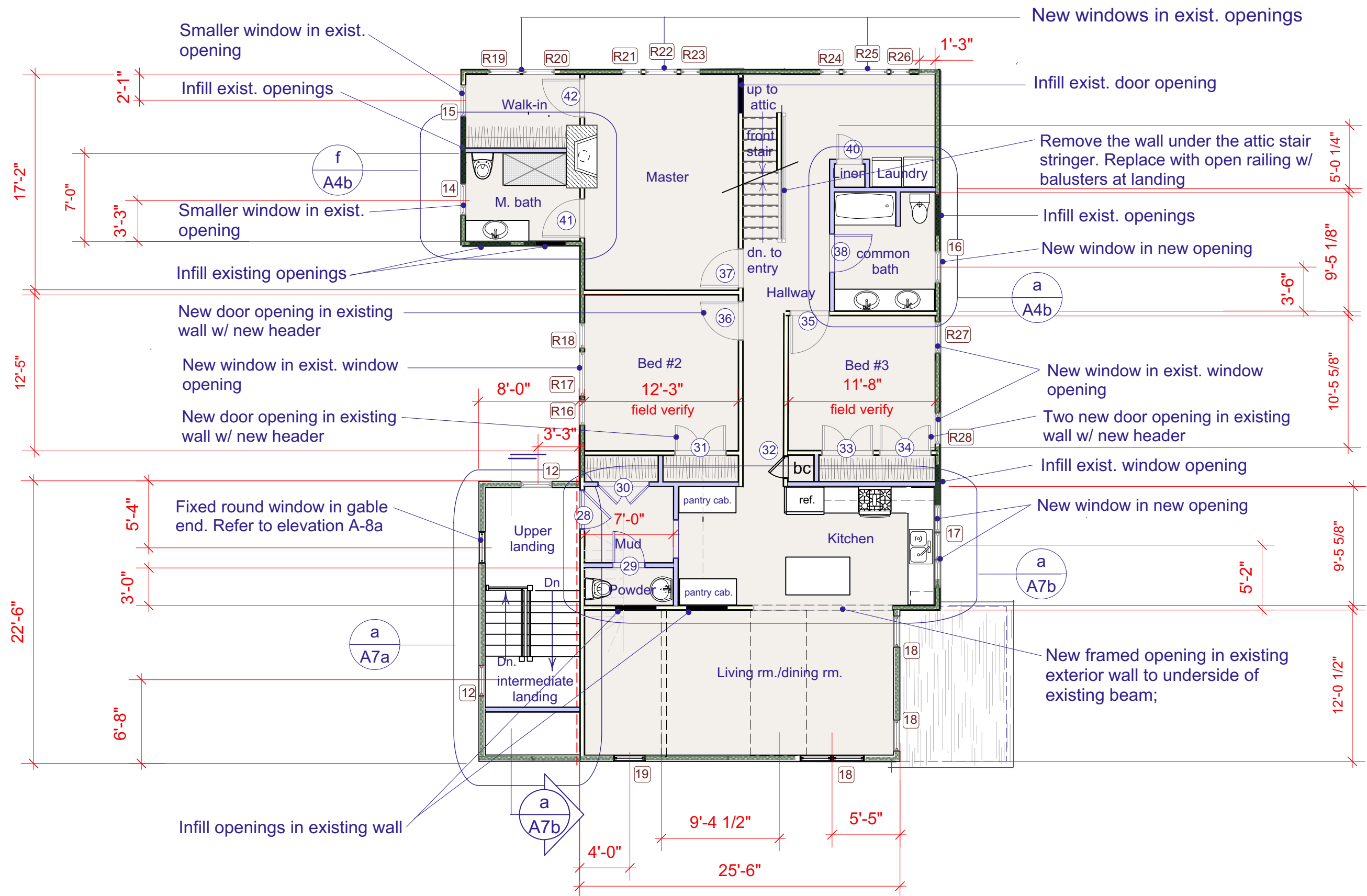
ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail:entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.
First Floor Plan

Date:
3/4/20
Scale:

PRICING SET

SKETCH NO.
A-3b
 Yong Residence



ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail:entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.
Second Floor Plan

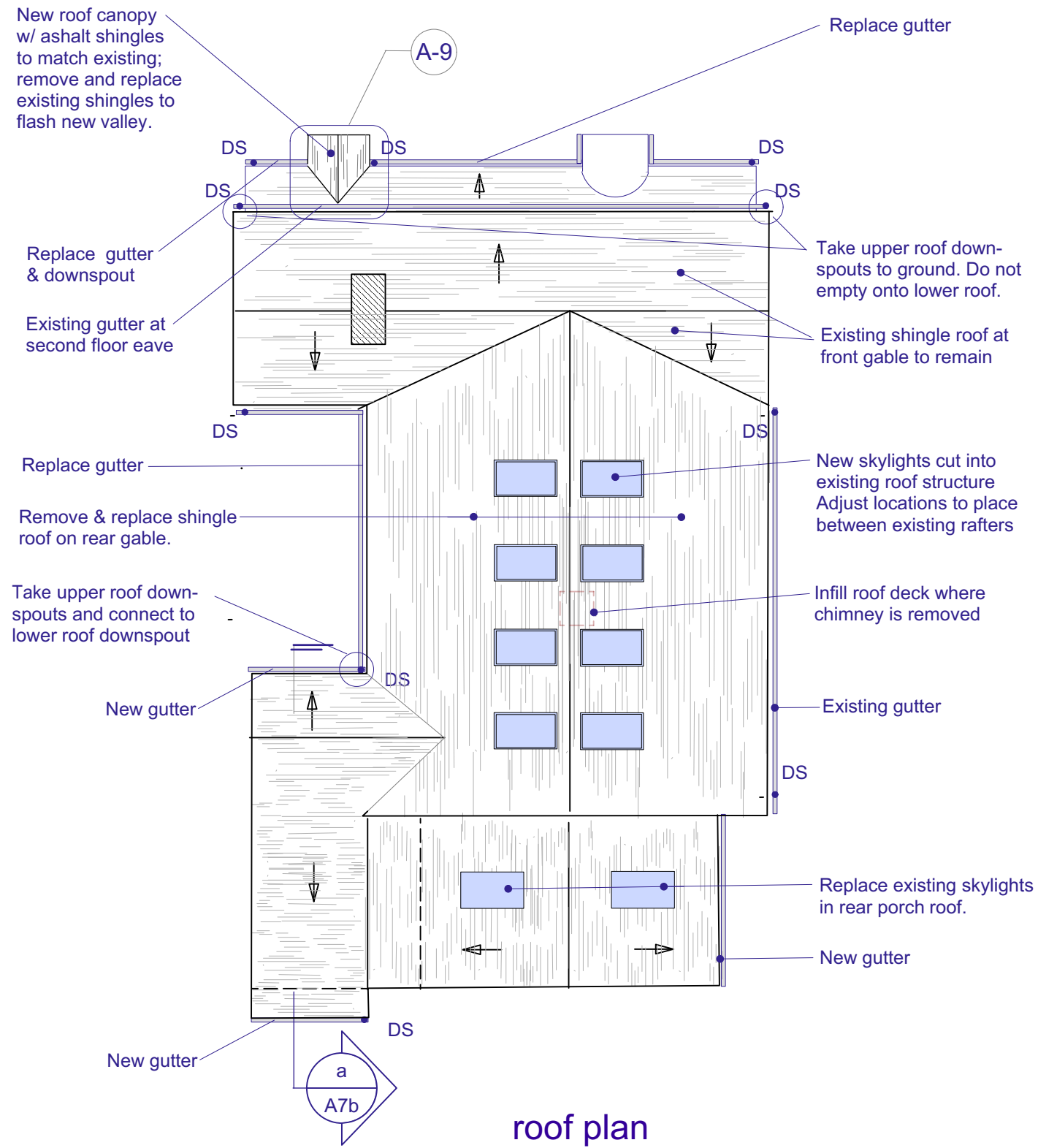
Date:
3/4/20
 Scale:
1" = 10'-0"

PRICING SET

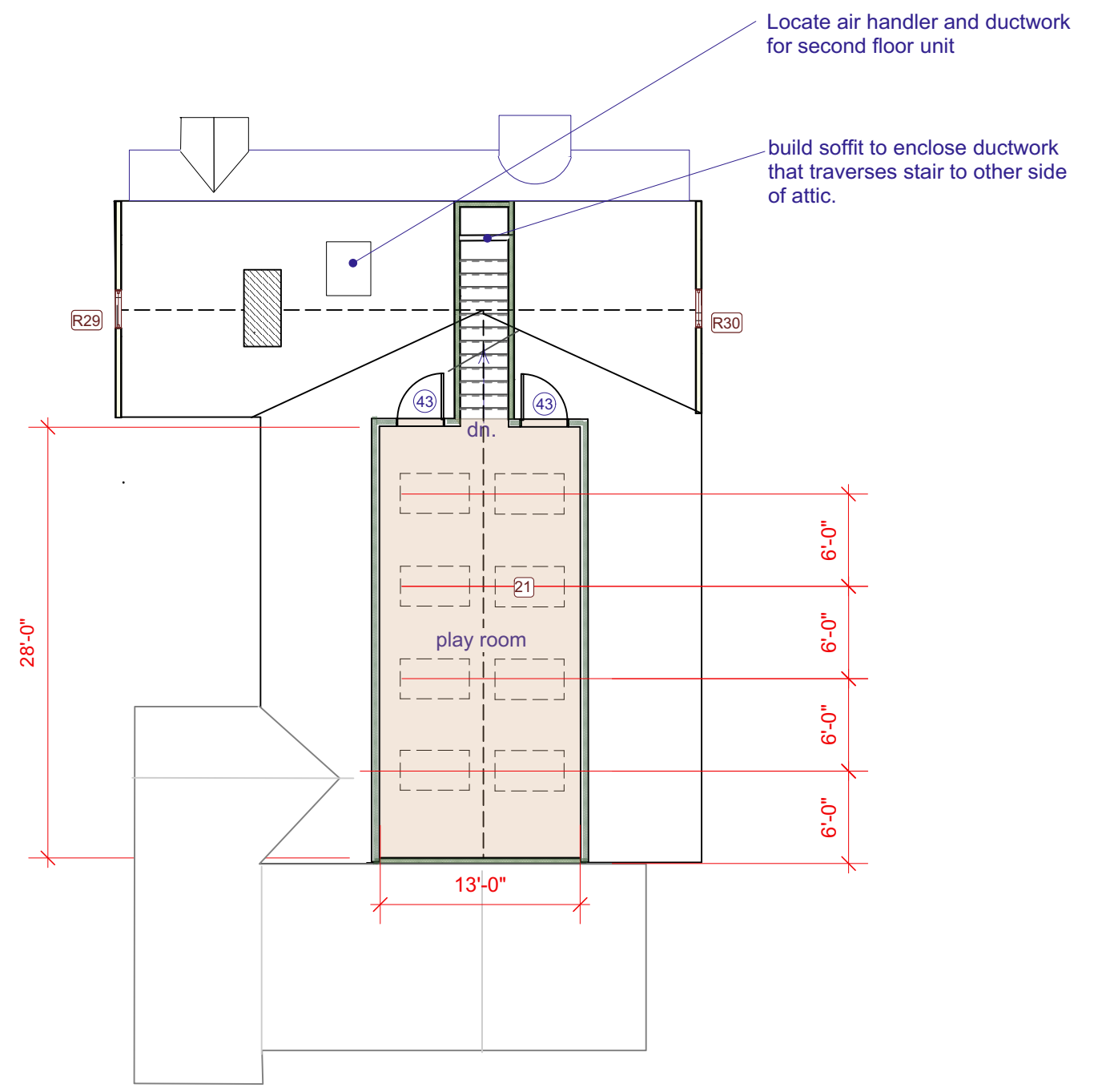
SKETCH NO.

A-3c

Yong Residence



roof plan



Attic plan

Attic finished area 392 sf

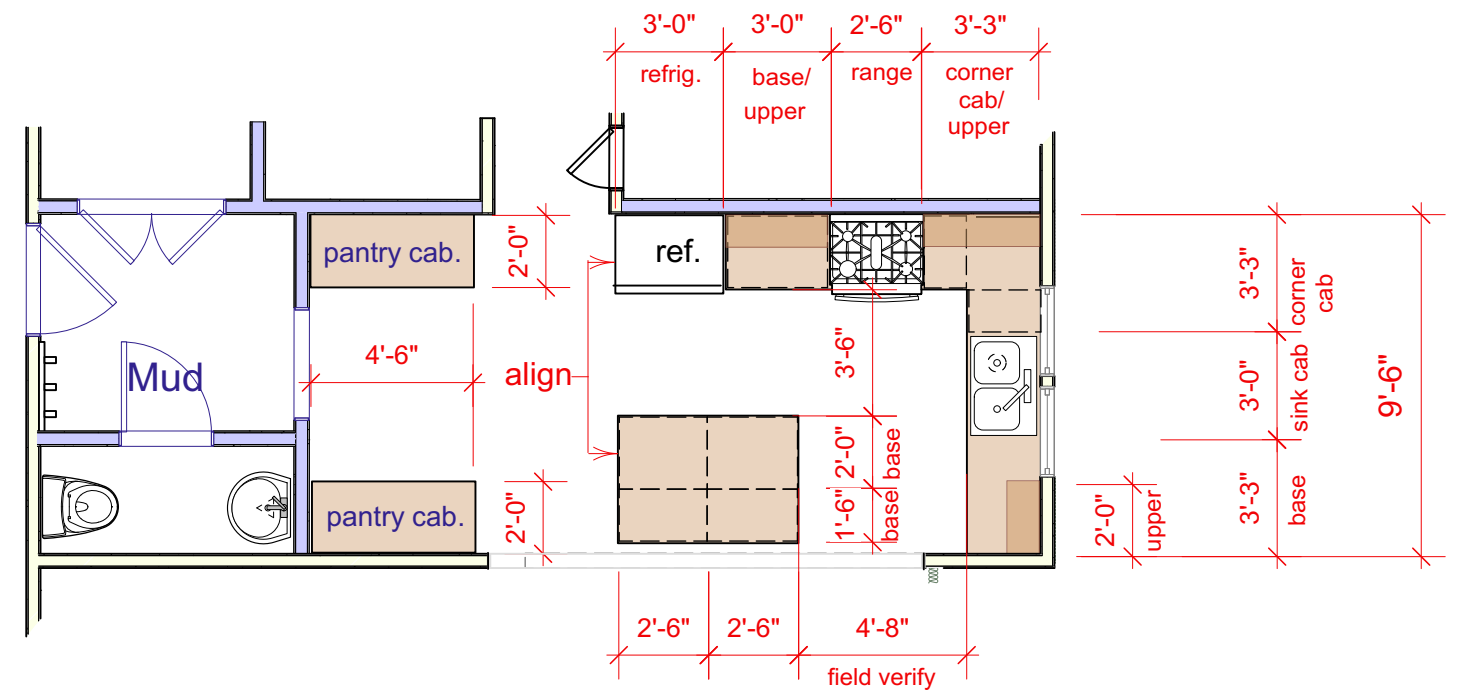
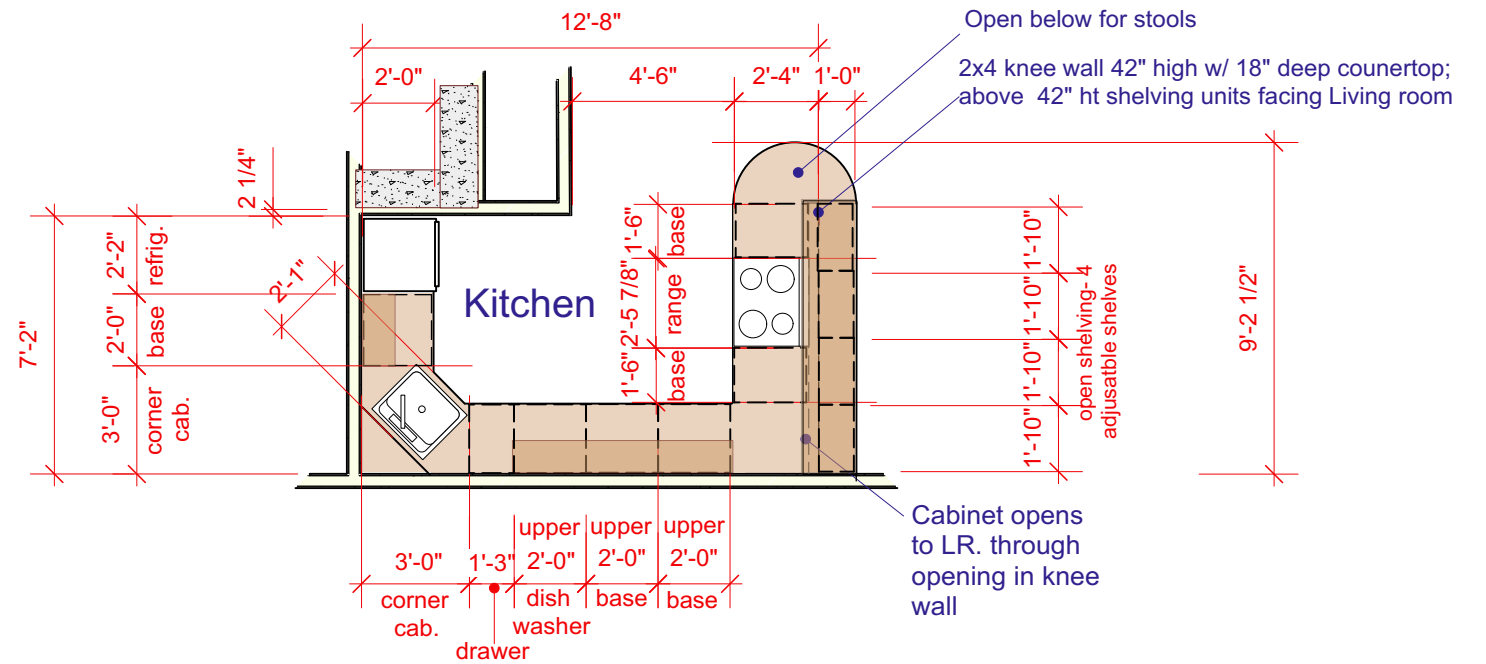
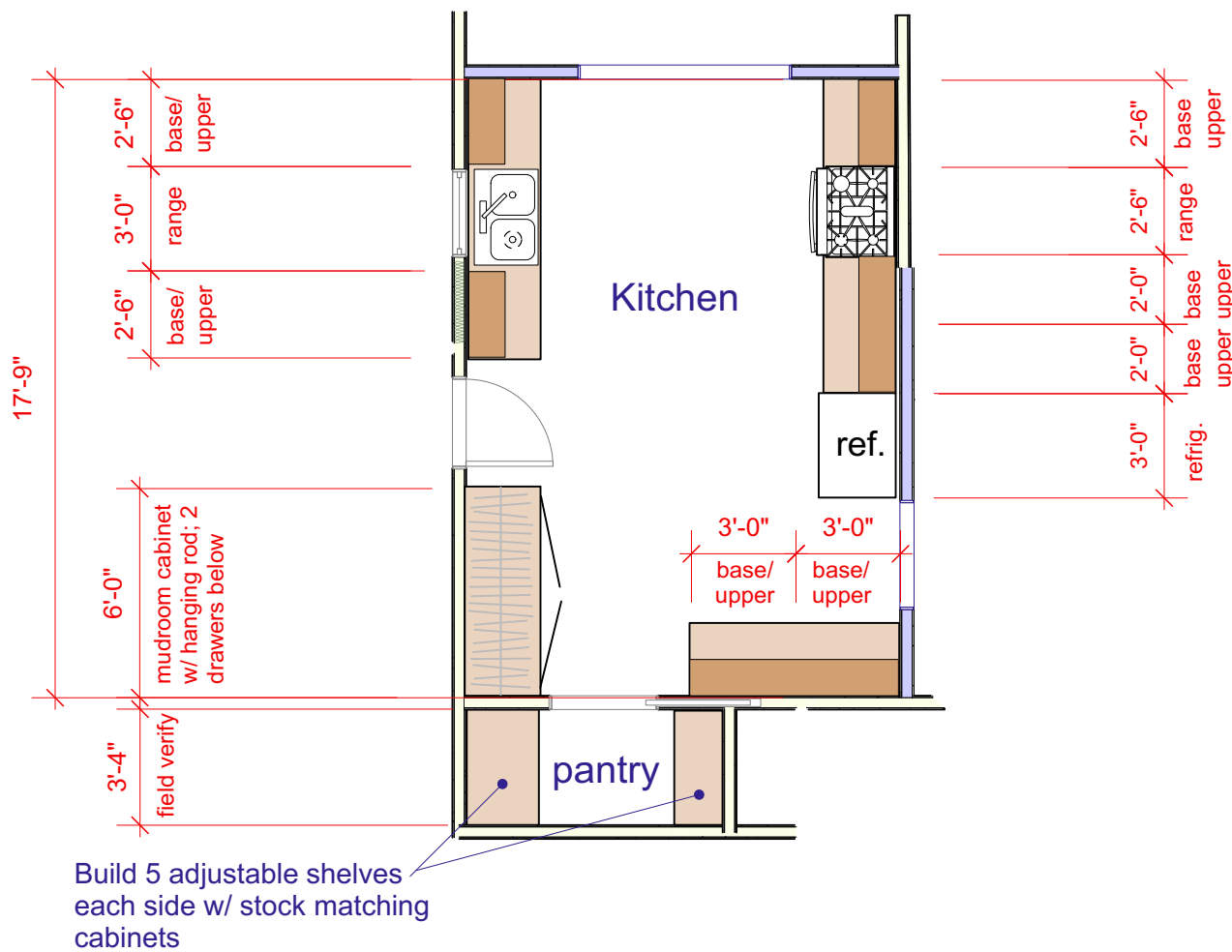
ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail: entasis@rcn.com telephone: (617) 527-8383

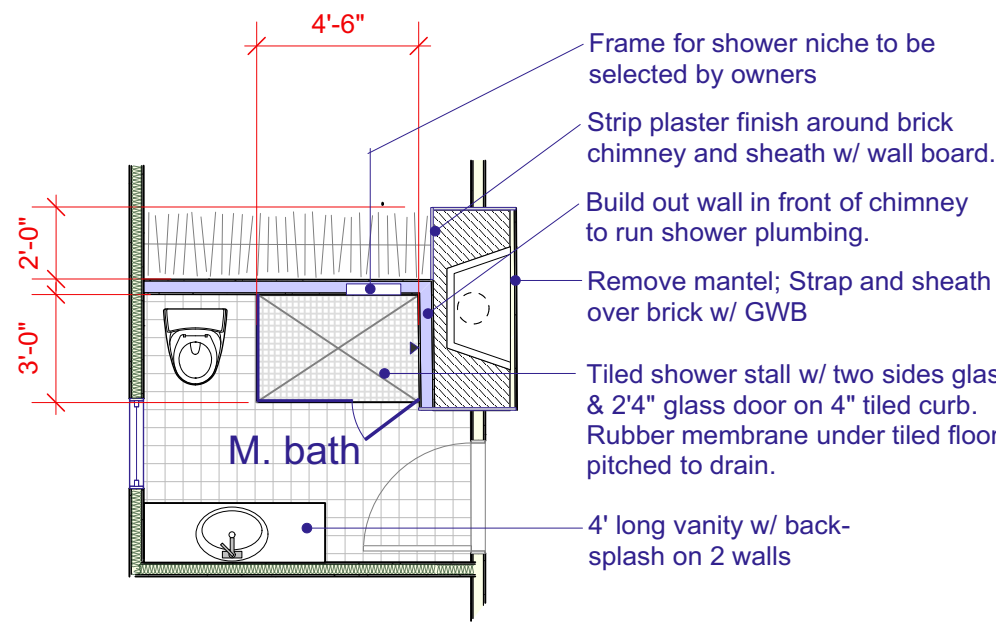
Yong Residence 109 Grove Street Newton, Ma.
Attic plan & roof plan

Date:
3/4/20
 Scale:
1" = 10'

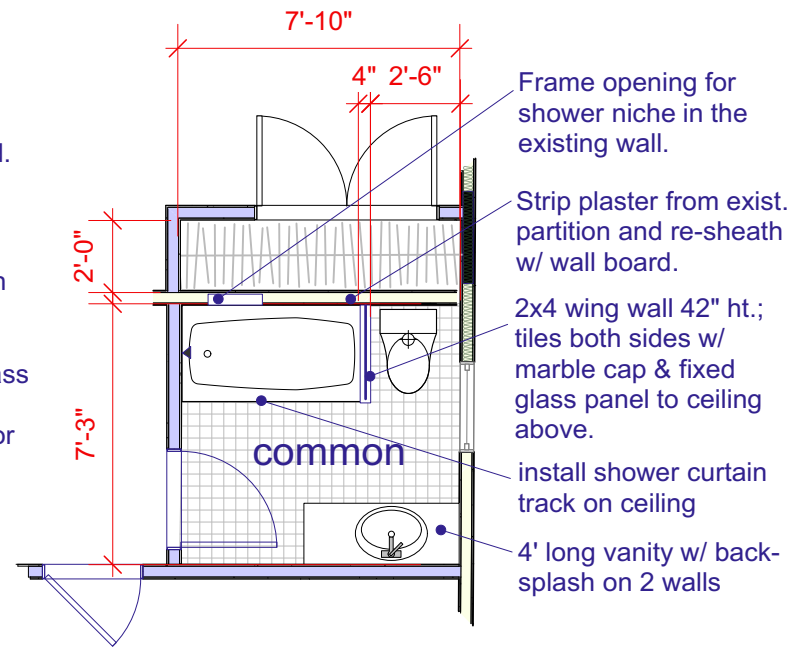
PRICING SET

SKETCH NO.
A-3d
 Yong Residence

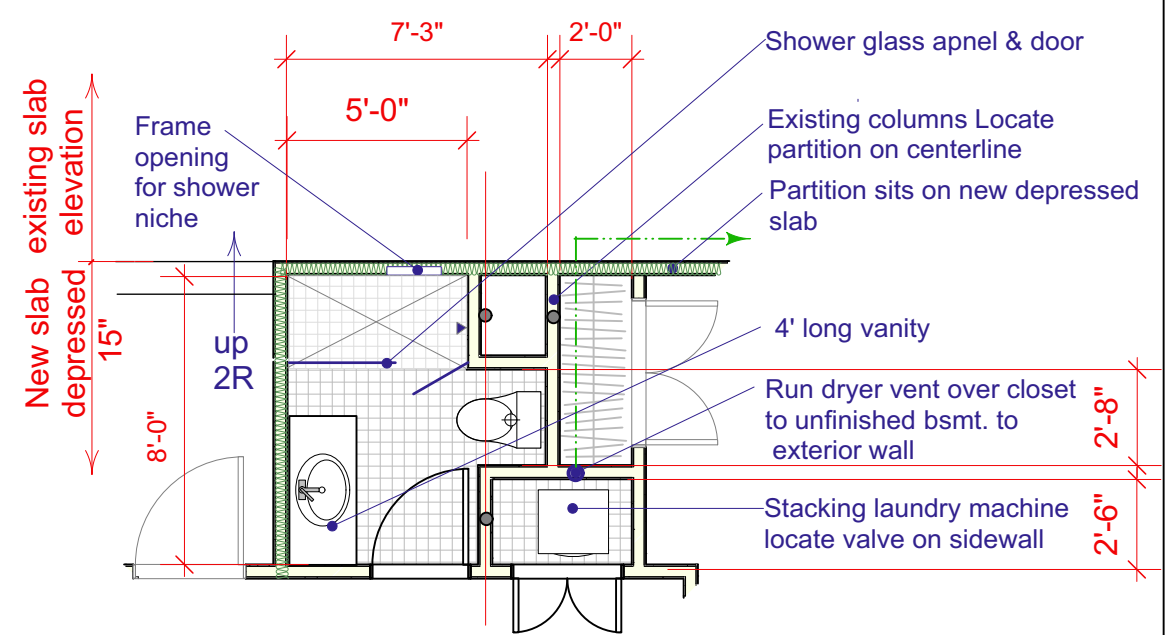




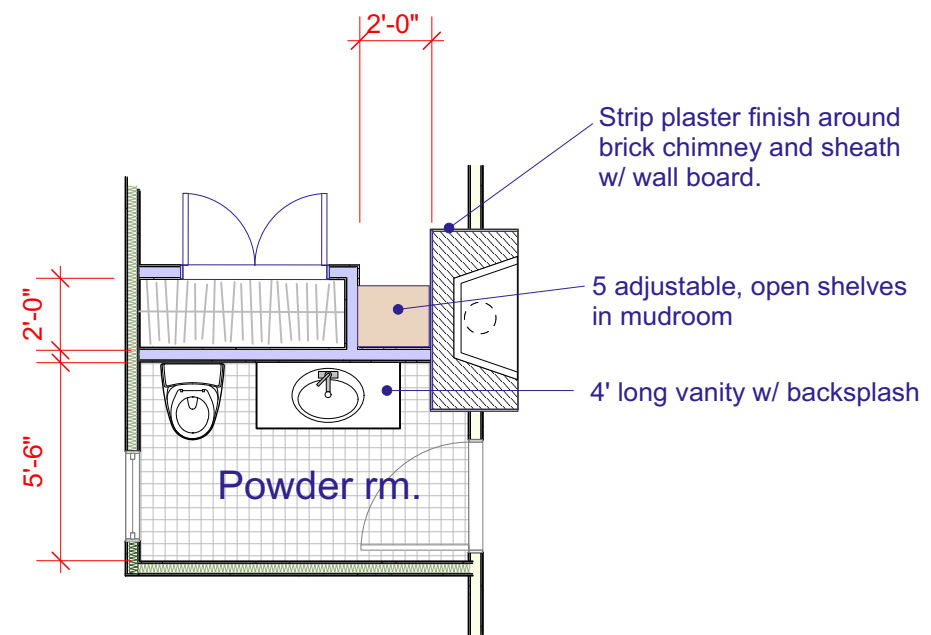
F 2nd fl master part-plan
3/16" = 1'-0"



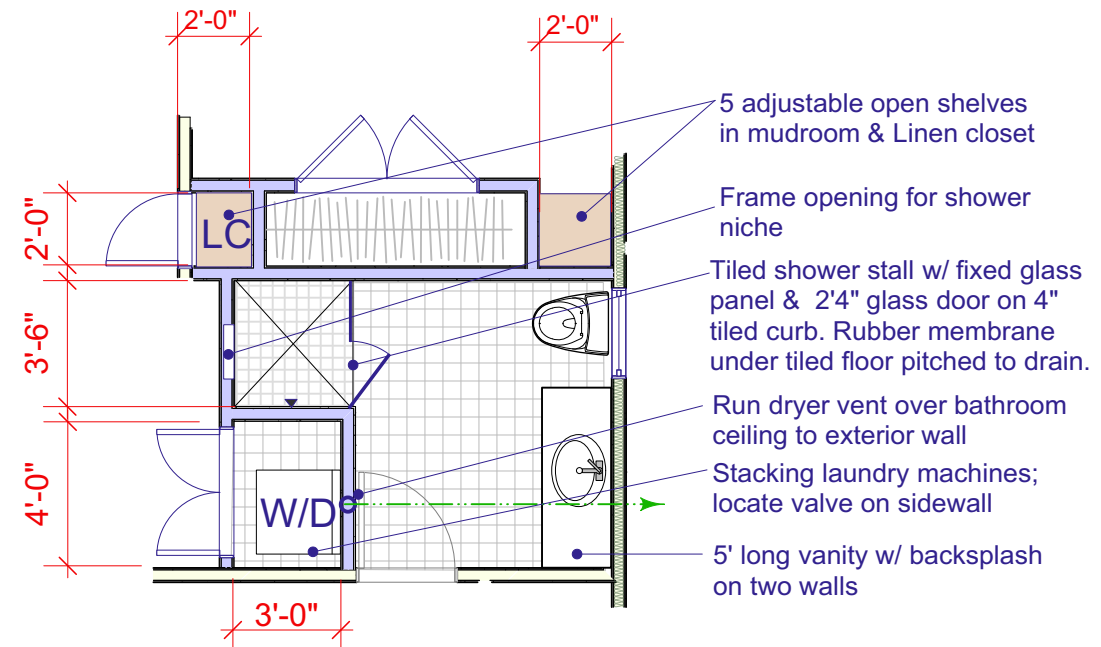
E 1st fl. common bath part-plan
3/16" = 1'-0"



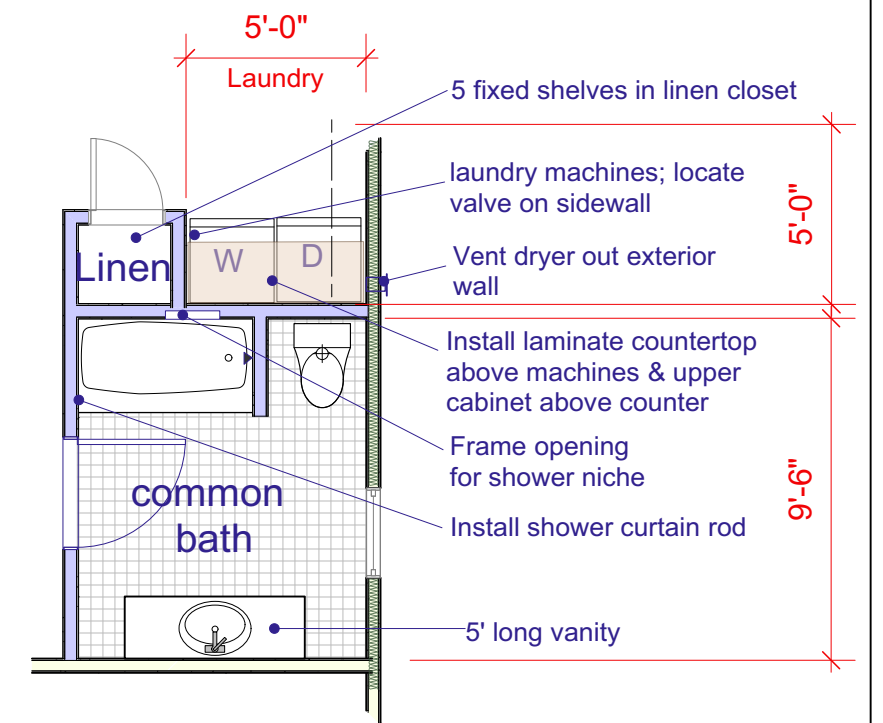
D Basement bathroom part-plan
3/16" = 1'-0"



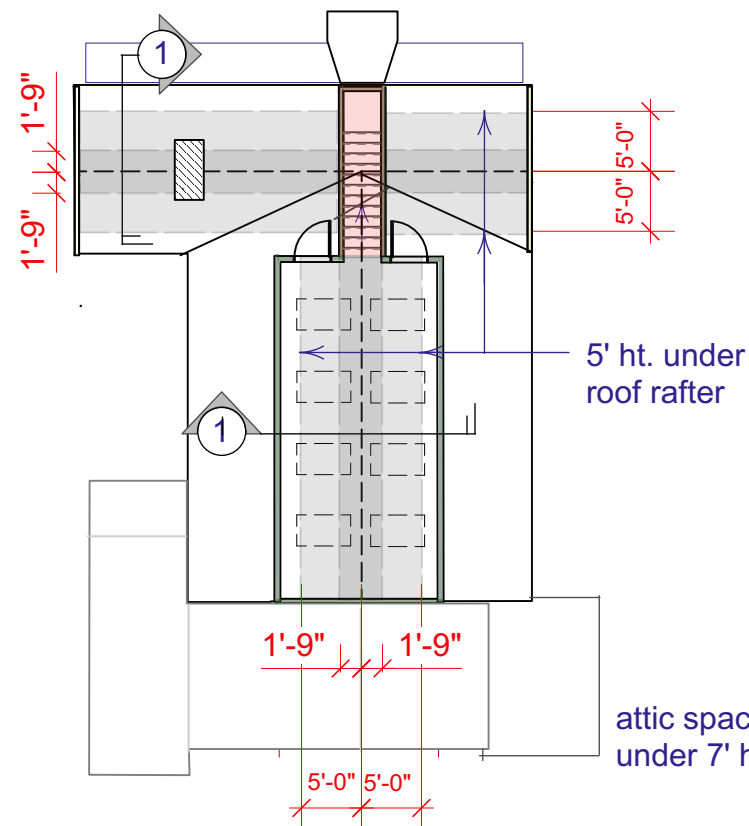
C 1st fl. powder part-plan
3/16" = 1'-0"



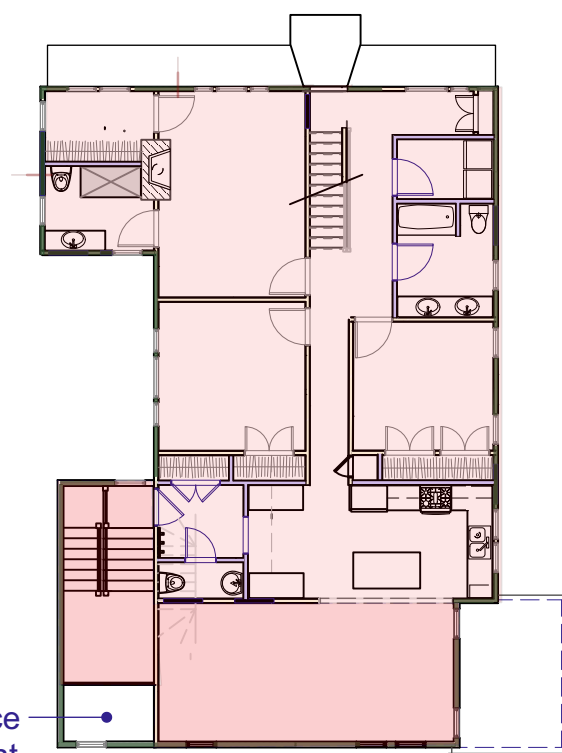
B 1st fl. master part-plan
3/16" = 1'-0"



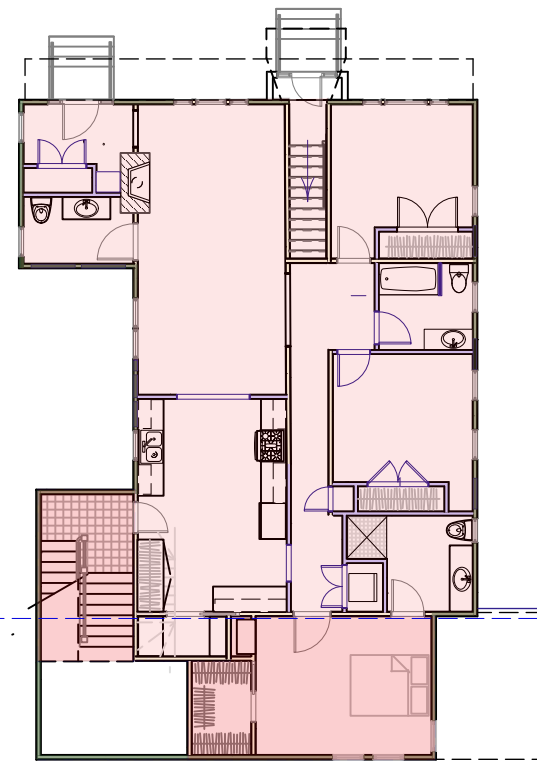
A 2nd Floor common part-plan
3/16" = 1'-0"



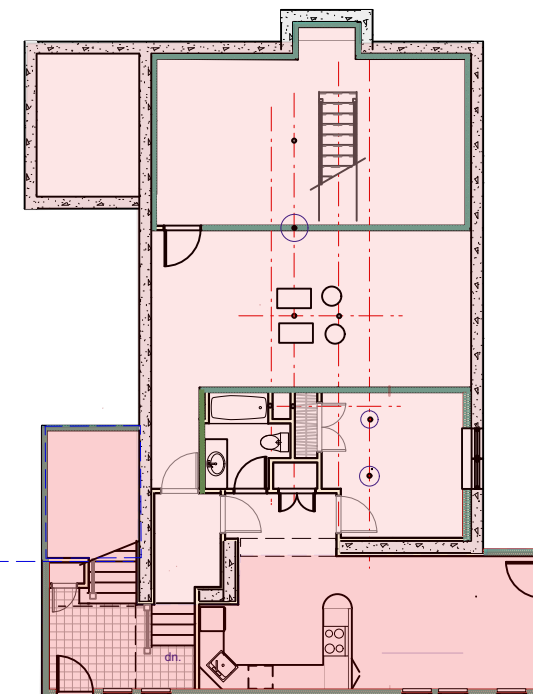
Attic Floor FAR Area
662 sf



Second Floor FAR Area
1803 sf



First Floor FAR Area
1742 sf



Basement Floor FAR Area
 $1947/2 = 973\text{sf}$

FAR Calculation:

Proposed FAR:	
Basement: 1947 SF/2 =	973 sf
First Floor:	1742 sf
Second Floor:	1803 sf
Attic:	00. sf
detached garage:	<u>493. sf</u>
	5011. sf

Allowable FAR:	
SR3; lot size 12,437 sf; FAR .40	
Bonus for pre-53 setbacks .02	
$.42 / 12,437 =$	5223 sf

Note:

- Provide a 1 hr. fire rated ceiling assembly across the entire first floor.
- Use 5/x type 'X' GWB for skim coat plaster finishing.
- Up grade electrical service as required for new loads and code,

Electrical Legend

- △ Cable TV signal line
- ⊕ Duplex outlet (install in addition to code reqmts.)
- d Dimmer Switch

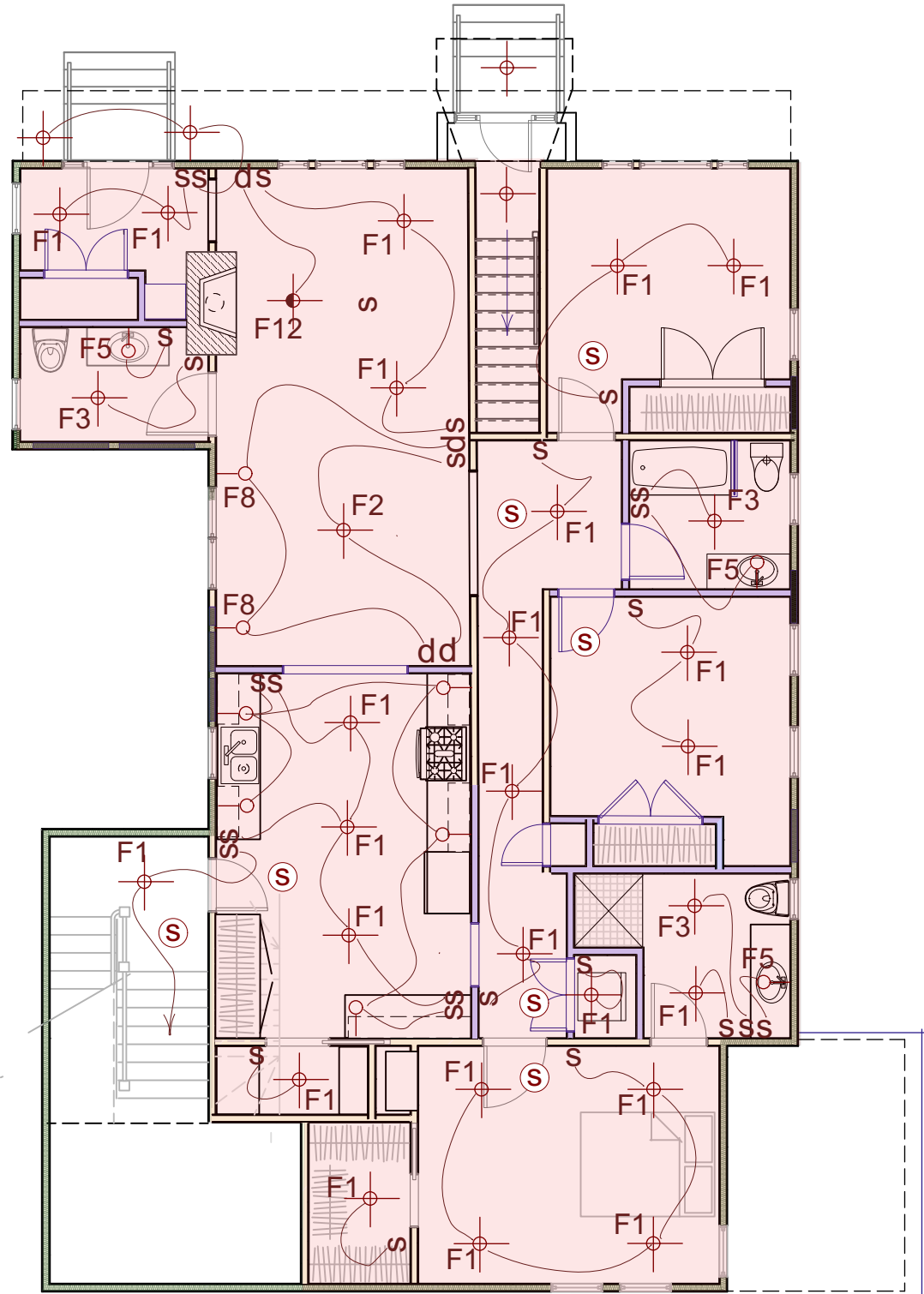
Fire Protection Legend

Tie new detectors shown on plans to existing system

- Ⓢ Smoke Detector
- ⓐ Carbon Monoxide detector
- s/c Combination smoke/ Carbon monoxide detector
- (H) Heat Detector
- 1 hr. fire rated ceiling assembly

LIGHT FIXTURE SCHEDULE

FIX.	TYPE	DIMEN.	MOUNTING	MFG.	NOTES
F-1	LED downlight	5" dia.	recessed		IC; New const.; white cone, white trim
F-2	Ceiling hung		pendant		Fixture provided by owner
F-3	Exhaust fan				Refer to specifications
F-4	Exterior down Light		ceiling mtd		waterproof fixture- contractor's choice
F-5	Shower fixture	4" dia.	recessed		waterproof fixture- contractor's choice.
F-6	Bathrm. fixture	-	wall mtd.		Fixture provided by owner
F-7	flourescent		surface mtd.		contractor's choice.
F-8	Wall Sconce	-	wall mtd.		Fixture provided by owner
F-9	Exterior light	-	wall mount		Fixture provided by builder
F-10	LED downlight	4" dia.	recessed	Juno	IC; retrofit kit : white cone, white trim
F-11	undercabinet		surface mtd.		Fixture provided by builder
F-12	Wall Wash	4" dia.	recessed	Juno	match downlight.
F-13	Step Light		recessed		
E	Existing Fixture		surf. mtd.		Remove and reinstall/replace fixture at existing location



ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail:entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.
First Floor Reflected Floor Plan

Date:
3/4/20
 Scale:
1/8" = 1'-0"

PRICING SET

SKETCH NO.
A-6a
 Yong Residence

Note:

- This project does not add bedrooms.
- Up grade electrical service as required for new loads and code, including future pool.
- Refer to sheet A-10 for lighting in garage. Provide subpanel for garage and pool equipment in garage.

Electrical Legend

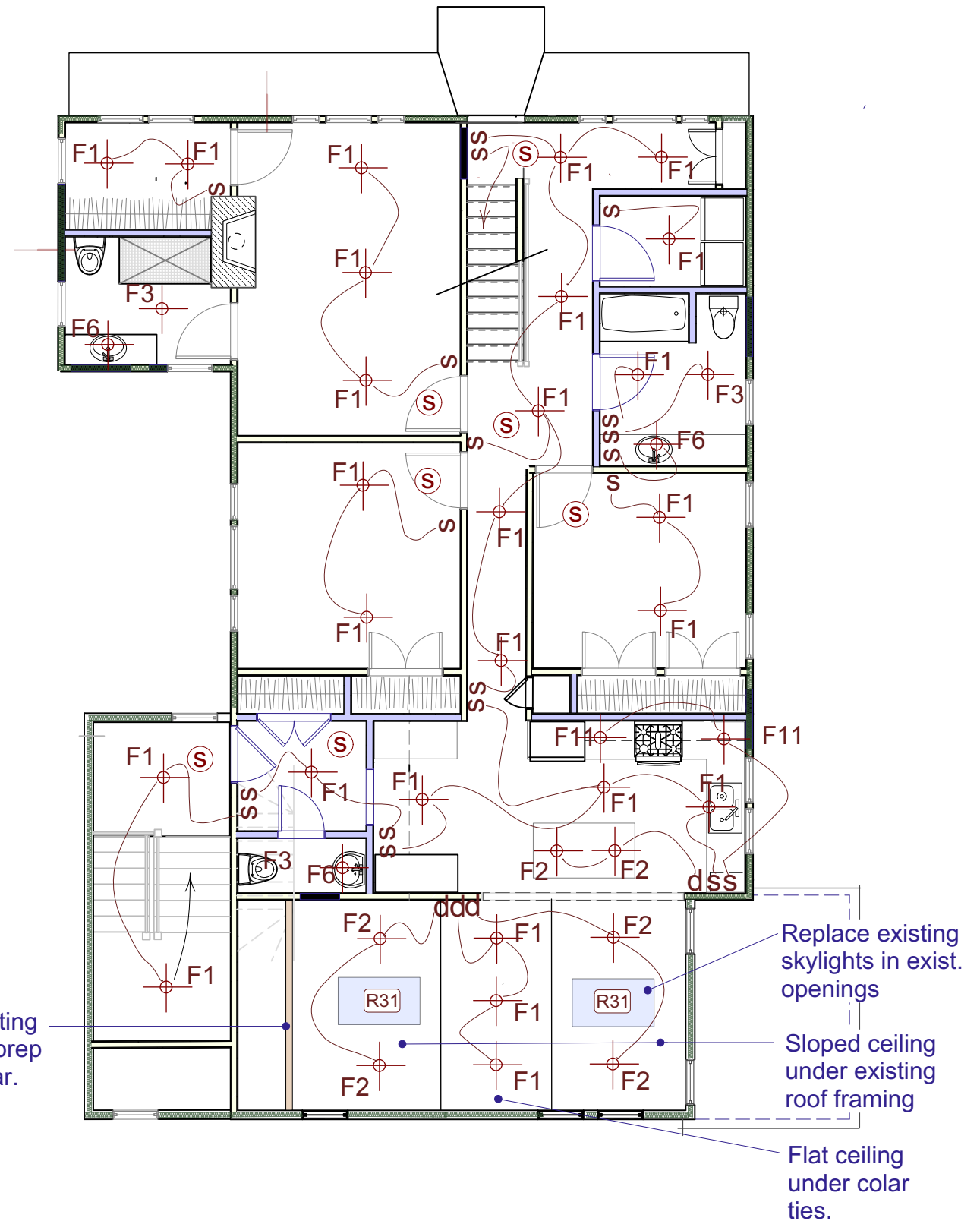
- △ Cable TV signal line
- ⊕ Duplex outlet (install in addition to code reqmts.)
- S Dimmer Switch

Fire Protection Legend

Tie new detectors shown on plans to existing system

- S Smoke Detector
- C Carbon Monoxide detector
- s/c Combination smoke/ Carbon monoxide detector
- H Heat Detector
- 1 hr. fire rated ceiling assembly

LIGHT FIXTURE SCHEDULE					
FIX.	TYPE	DIMEN.	MOUNTING	MFG.	NOTES
F-1	LED downlight	5" dia.	recessed		IC; New const.; white cone, white trim
F-2	Ceiling hung		pendant		Fixture provided by owner
F-3	Exhaust fan				Refer to specifications
F-4	Exterior down Light		ceiling mtd		waterproof fixture- contractor's choice
F-5	Shower fixture	4" dia.	recessed		waterproof fixture- contractor's choice.
F-6	Bathrm. fixture	-	wall mtd.		Fixture provided by owner
F-7	flourescent		surface mtd.		contractor's choice.
F-8	Wall Sconce	-	wall mtd.		Fixture provided by owner
F-9	Exterior light	-	wall mount		Fixture provided by builder
F-10	LED downlight	4" dia.	recessed	Juno	IC; retrofit kit : white cone, white trim
F-11	undercabinet		surface mtd.		Fixture provided by builder
F-12	Wall Wash	4" dia.	recessed	Juno	match downlight.
F-13	Step Light		recessed		
E	Existing Fixture		surf. mtd.		Remove and reinstall/replace fixture at existing location



ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail: entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.

Second Floor Reflected Floor Plan

Date:
3/4/20

Scale:
1/8" = 1'-0"




PRICING SET

SKETCH NO.

A-6b






Yong Residence

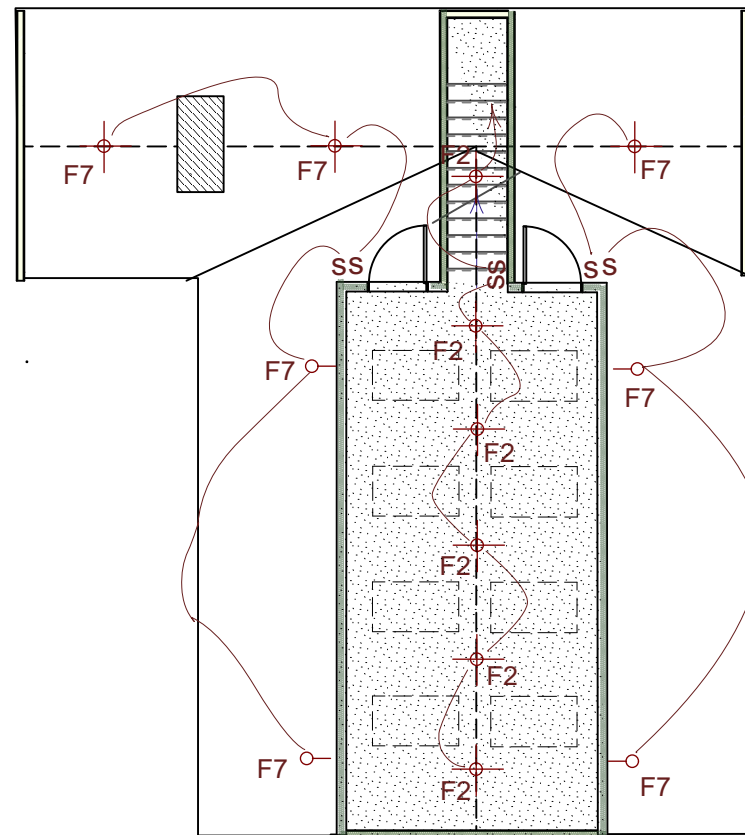
Electrical Legend

-  Cable TV signal line
-  Duplex outlet (install in addition to code reqmts.)
-  Dimmer Switch

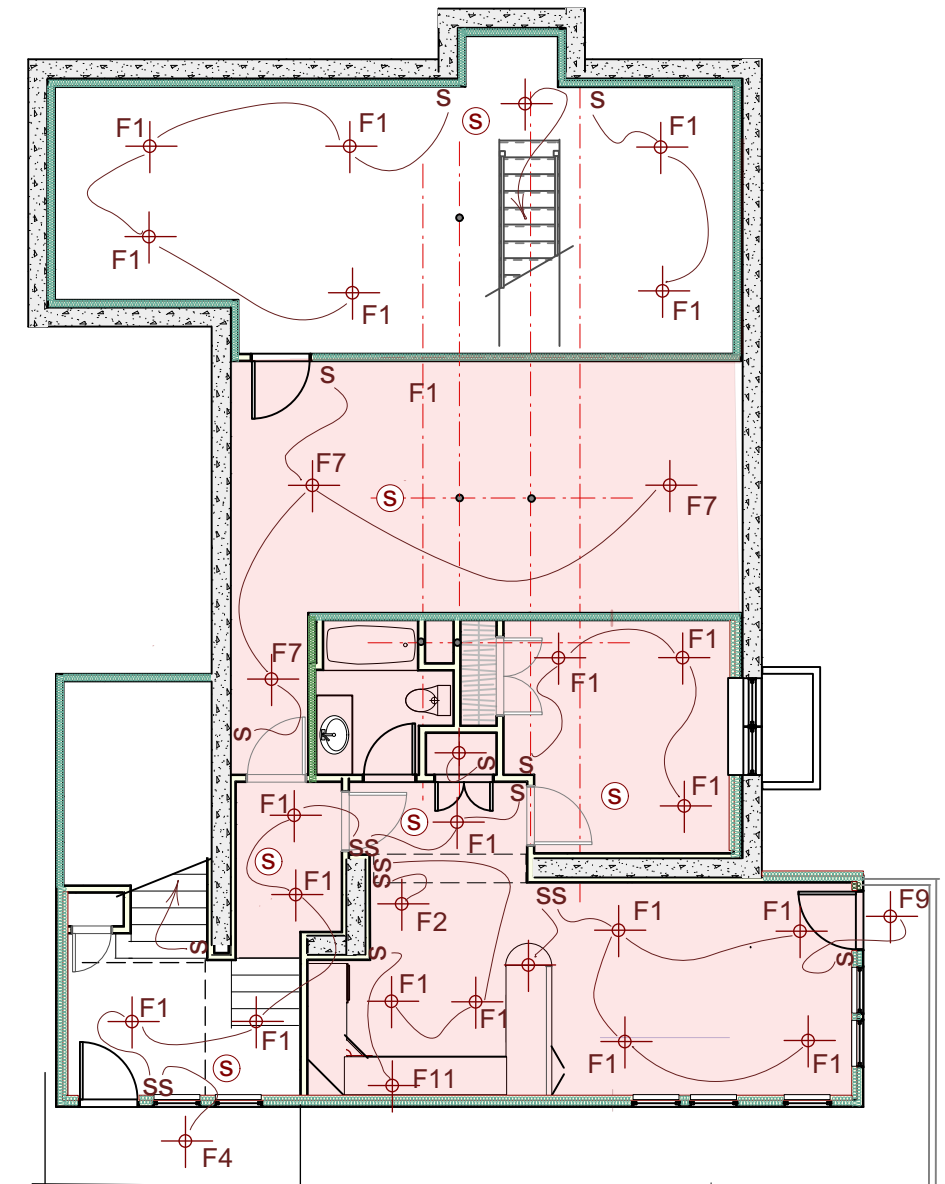
Fire Protection Legend

Tie new detectors shown on plans to existing system

-  Smoke Detector
-  Carbon Monoxide detector
-  Combination smoke/ Carbon monoxide detector
-  Heat Detector
-  1 hr. fire rated ceiling assembly



Attic Reflected Ceiling Plan



Basement Reflected Ceiling Plan

Note:
 -This project does not add bedrooms.
 -Up grade electrical service as required for new loads and code, including future pool.
 -Refer to sheet A-10 for lighting in garage. Provide subpanel for garage and pool equipment in garage.

LIGHT FIXTURE SCHEDULE

FIX.	TYPE	DIMEN.	MOUNTING	MFG.	NOTES
F-1	LED downlight	5" dia.	recessed		IC; New const.; white cone, white trim
F-2	Ceiling hung		pendant		Fixture provided by owner
F-3	Exhaust fan				Refer to specifications
F-4	Exterior down Light		ceiling mtd		waterproof fixture- contractor's choice
F-5	Shower fixture	4" dia.	recessed		waterproof fixture- contractor's choice.
F-6	Bathrm. fixture	-	wall mtd.		Fixture provided by owner
F-7	flourescent		surface mtd.		contractor's choice.
F-8	Wall Sconce	-	wall mtd.		Fixture provided by owner
F-9	Exterior light	-	wall mount		Fixture provided by builder
F-10	LED downlight	4" dia.	recessed	Juno	IC; retrofit kit : white cone, white trim
F-11	undercabinet		surface mtd.		Fixture provided by builder
F-12	Wall Wash	4" dia.	recessed	Juno	match downlight.
F-13	Step Light		recessed		
E	Existing Fixture		surf. mtd.		Remove and reinstall/replace fixture at existing location

ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail:entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.
Second Floor & Basement Reflected Floor Plan

Date:
3/4/20

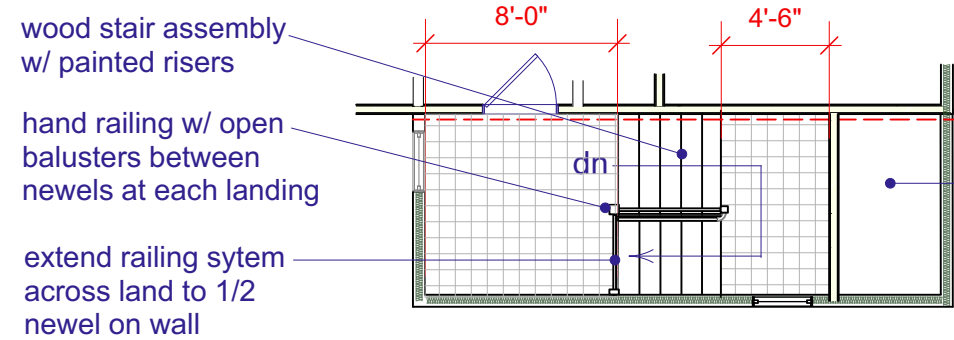
Scale:
1" = 10'-0"

PRICING
SET

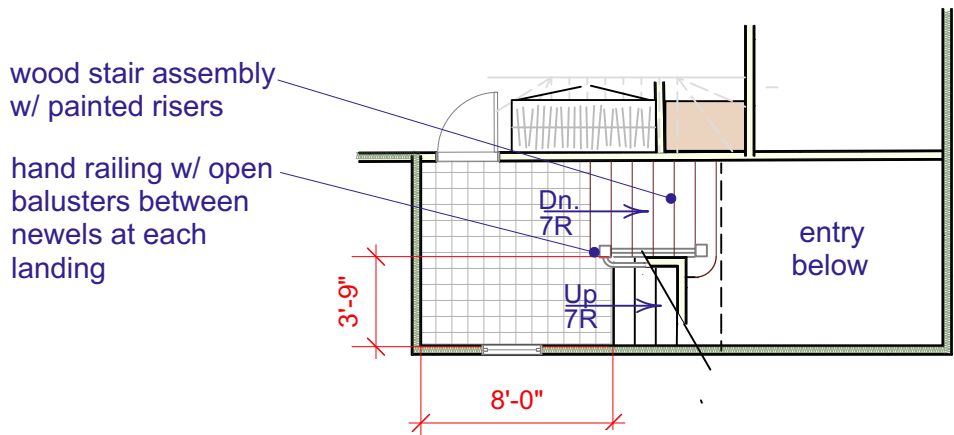
SKETCH NO.

A-6c

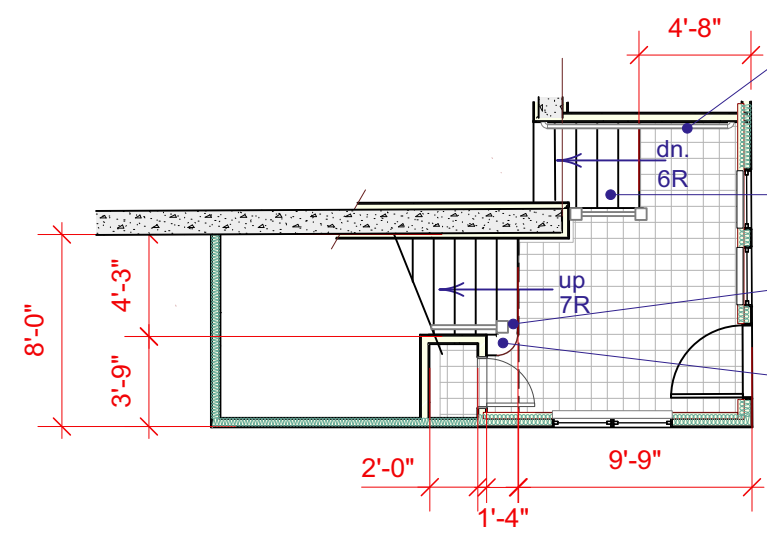
Yong Residence



Second Floor Landing



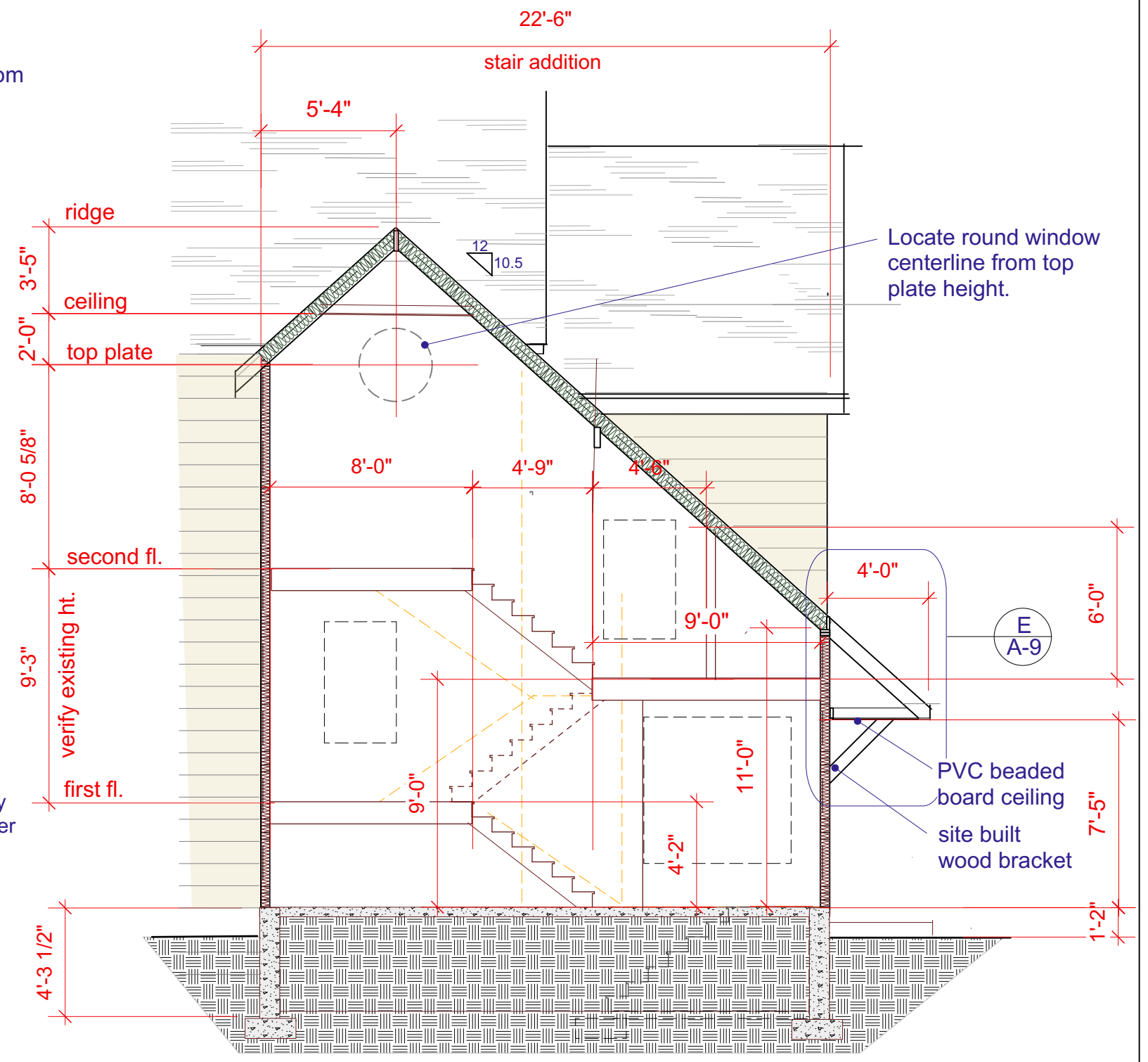
First Floor Landing



Entry Landing

attic- low headroom
see section

Wall mtd. wood hand railing
wood stair assembly w/ painted risers over depressed slab
Newel; open railing with balusters
quarter turn starter tread



A Section at the stair
1/4" = 1'-0"

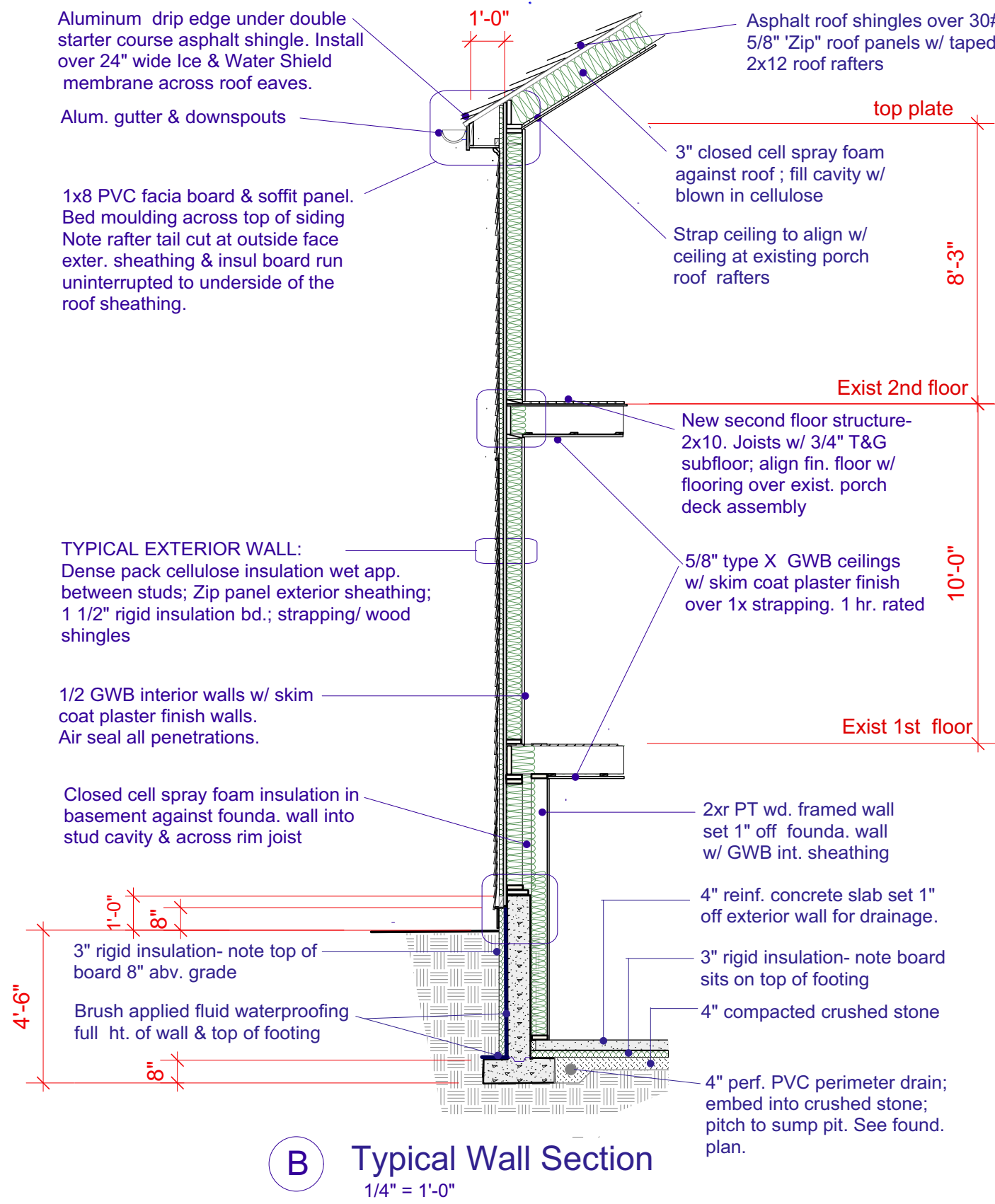
ENTASIS PC Jay C. Walter AIA
83 Pembroke Street Newton, Massachusetts. 02458
e-mail: entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.
Stair Building Section & Part-plans

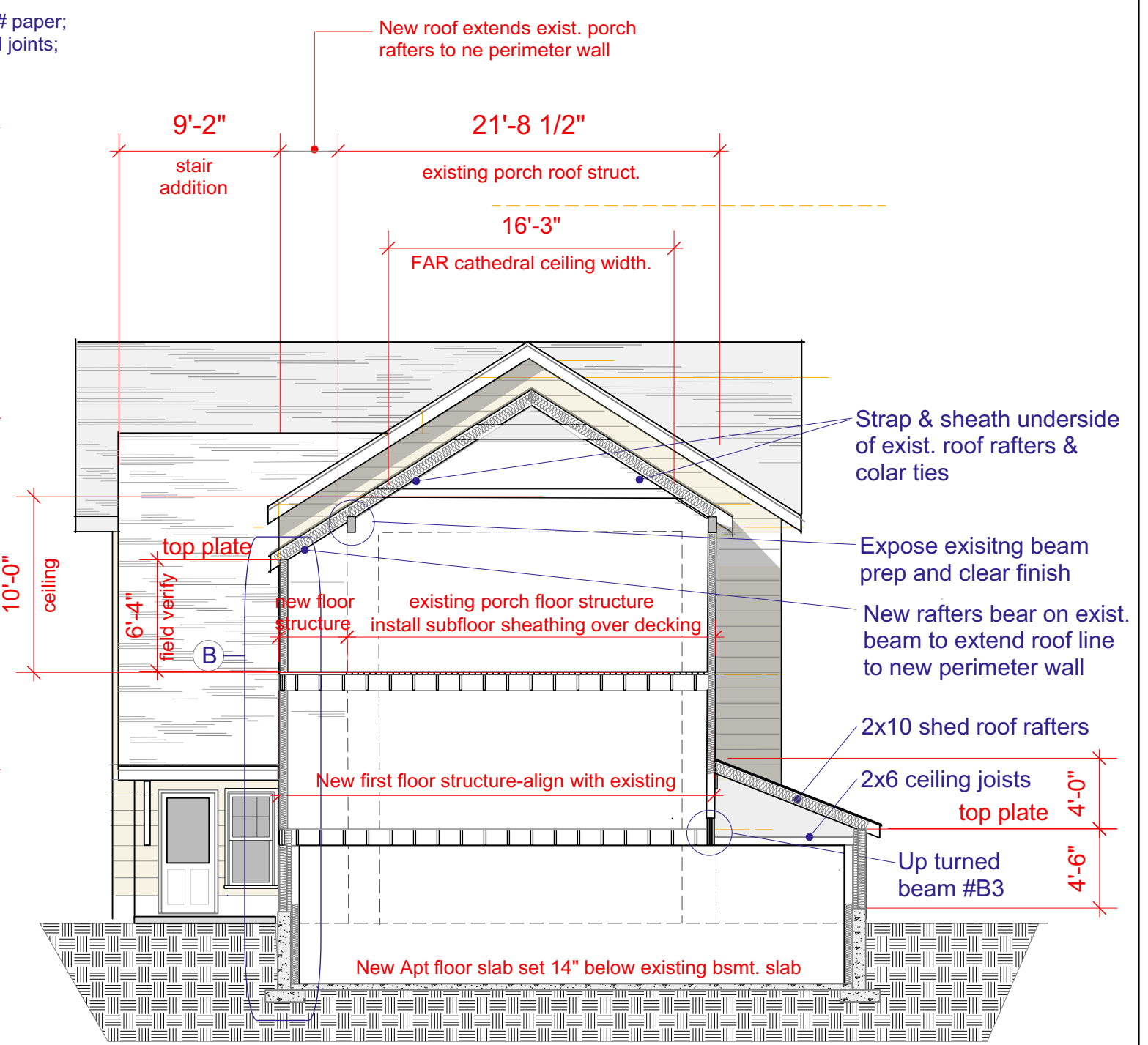
Date:
3/4/20
Scale:

PRICING SET

SKETCH NO.
A-7a
Yong Residence



B Typical Wall Section
1/4" = 1'-0"



A Section through rear porch/ addition
1/4" = 1'-0"

ENTASIS PC Jay C. Walter AIA
83 Pembroke Street Newton, Massachusetts. 02458
e-mail:entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.
Wall Sections

Date:
3/4/20
Scale:
as noted

PRICING SET

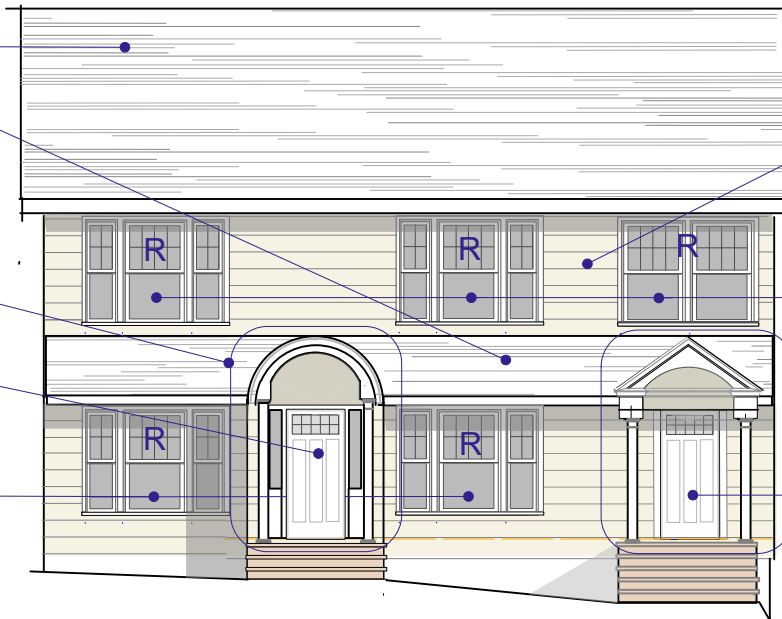
SKETCH NO.
A-7b
Yong Residence

Roof shingle assembly to remain, gutters to remain; replace downspouts. Prep and refinish all exterior trim including fascia, soffit, rafter tails, all associated trim

Existing entry canopy to remain
Prep and refinish all trim and siding

Remove and replace door in existing jamb. Sidelights to remain. Prep & refinish existing trim

Remove and replace the windows. Exterior casings and sills to remain. prep and refinish existing trim



Exterior shingle siding to remain. prep & refinish all siding.

Remove and replace windows with the 'R' designation. Exterior casings and sills to remain. prep and refinish existing trim

New entry canopy- refer to details sheet A-9.

Remove double doors, infill for smaller opening to install single door in new jamb and casings.

East- Street Elevation

Replace skylight in existing opening.

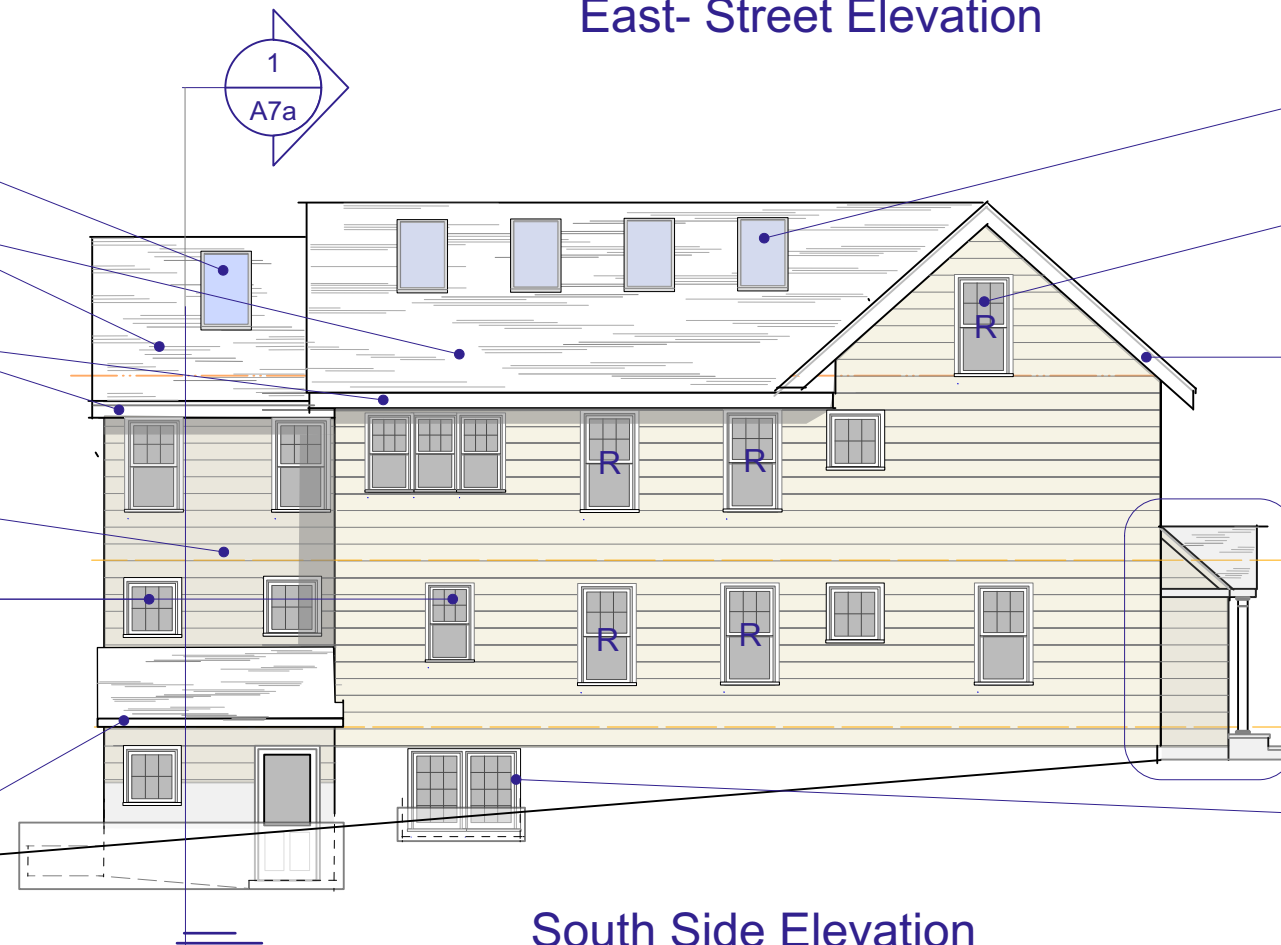
Replace roof shingle assembly on entire south face.

Gutters to remain; replace downspouts. Prep and refinish all exterior trim including fascia, soffit, rafter tails, all associated trim

New wood shingle siding to match existing siding details

New windows (without 'R') with new exterior trim 1x6 casings w/ backband to match existing, 2" historic sill to match. PVC stock. Patch to match shingle siding around new openings

New shed roof shingle assembly with new trim & gutter



New skylights in exist. roof. Use mfg. flashing kits

Remove and replace windows with the 'R' designation. Exterior casings and sills to remain. prep and refinish existing trim

Prep & refinish existing rake trim

Existing entry canopy to remain
Prep and refinish all trim and siding

Cut-in new window opening in exist. concrete foundation wall patch to match masonry around opening.

South Side Elevation

ENTASIS PC Jay C. Walter AIA
83 Pembroke Street Newton, Massachusetts. 02458
e-mail: entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.

Street Facade & South Side Elevation

Date:
3/4/20

Scale:

**PRICING
SET**

SKETCH NO.

A-8a

Yong Residence

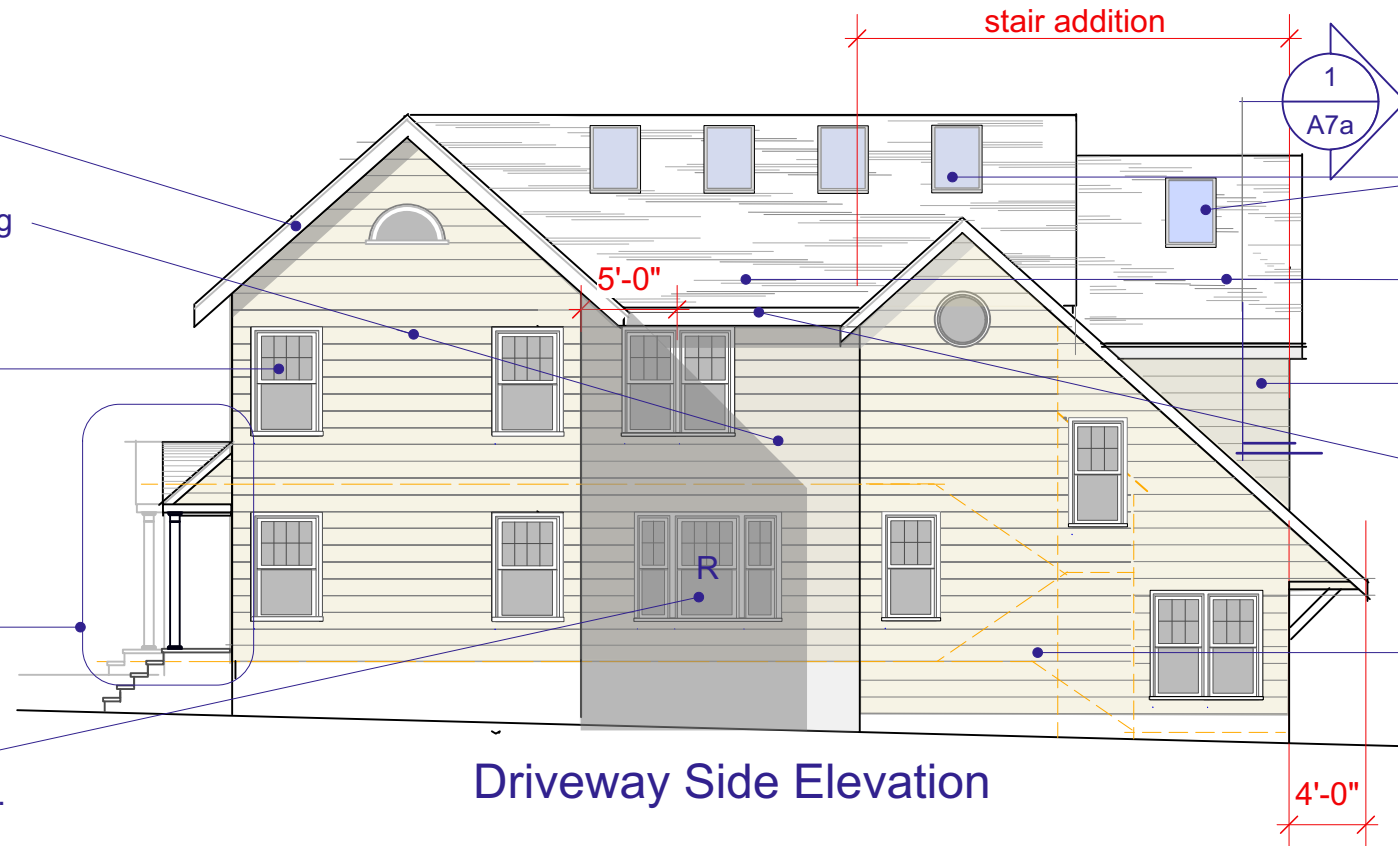
Prep & refinish existing rake trim

Remove and replace ALL shingle siding on north side elevation. Gable end includes all new windows.

New windows (without 'R') with new exterior trim 1x6 casings w/ backband to match existing, 2" historic sill to match. PVC stock. Patch to match shingle siding around new openings

New entry canopy- refer to details sheet A-9.

Remove and replace windows w/ the 'R'. Exterior casings and sills to remain. Prep and refinish existing trim



Driveway Side Elevation

New skylights in exist. roof. Use mfg. flashing kits

Replace roof shingle assembly on entire North face.

New wood shingle siding to match existing siding details

Replace gutter and downspouts. Prep and refinish all exterior trim including fascia, soffit, rafter tails, all associated trim

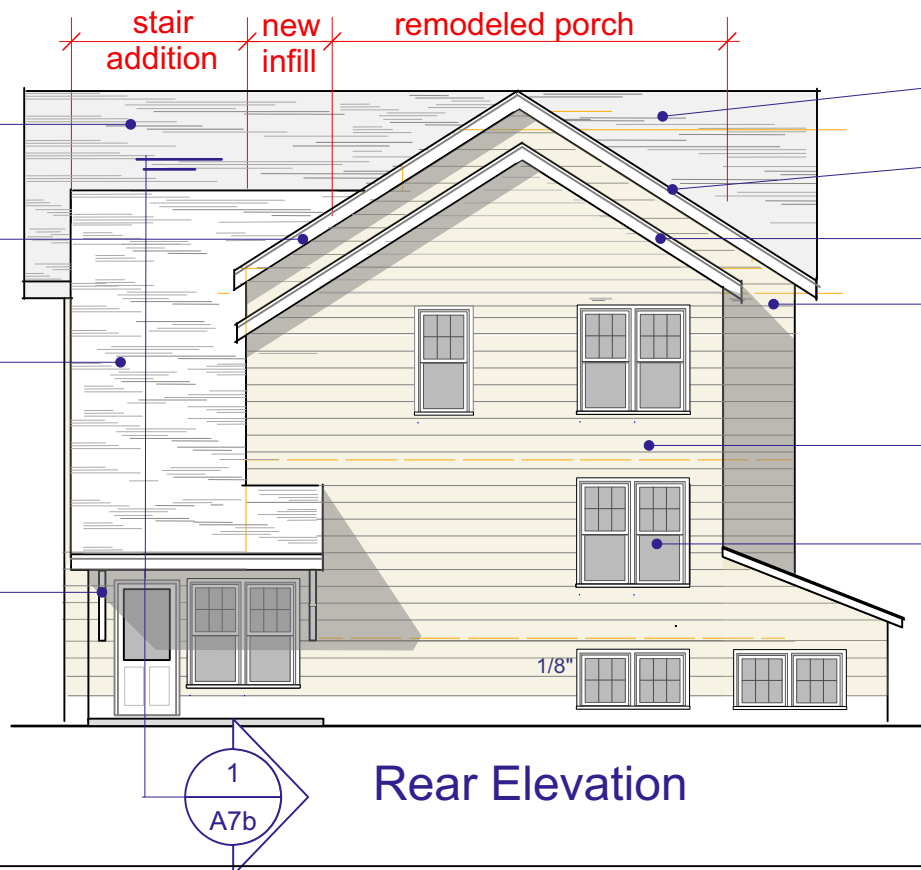
New wood shingle siding to match existing siding details weave corners

Existing west face of main roof beyond shingles to remain

Extend porch roof and eaves uninterrupted across infill area.

New roof shingles to match existing Refer to sections for eave details.

Wood brackets at rear entry roof canopy refer to sheet A-9 for details.



Rear Elevation

Existing west face of main roof beyond shingles to remain

Prep & refinish existing rake trim on main roof.

Remove and replace rake trim on porch

Remove and replace ALL shingle siding on west gable end. Flash new roof into existing wall.

New wood shingle siding to match existing siding details; weave corners

New windows (without 'R') with new exterior trim 1x6 casings w/ backband to match existing, 2" historic sill to match. PVC stock. Patch to match shingle siding around new openings

ENTASIS PC Jay C. Walter AIA
 83 Pembroke Street Newton, Massachusetts. 02458
 e-mail: entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.

Proposed Exterior Elevations

Date:
3/4/20

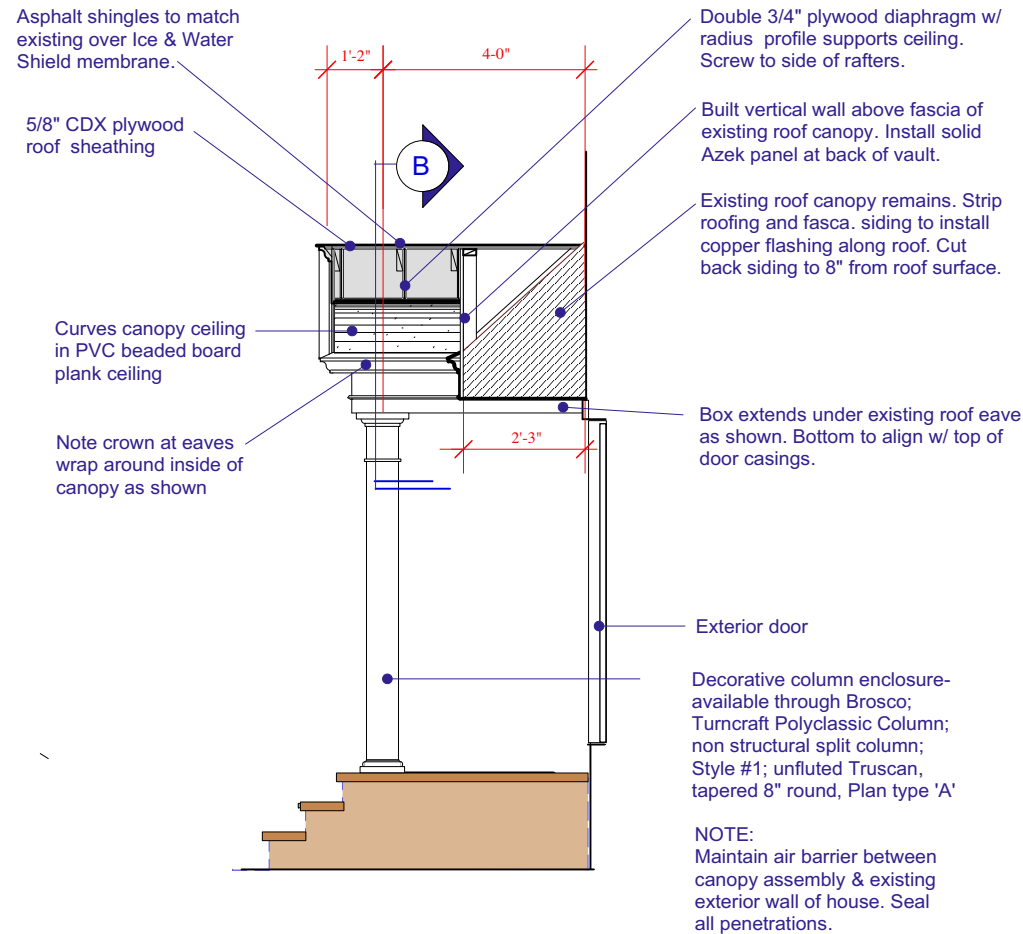
Scale:

PRICING
SET

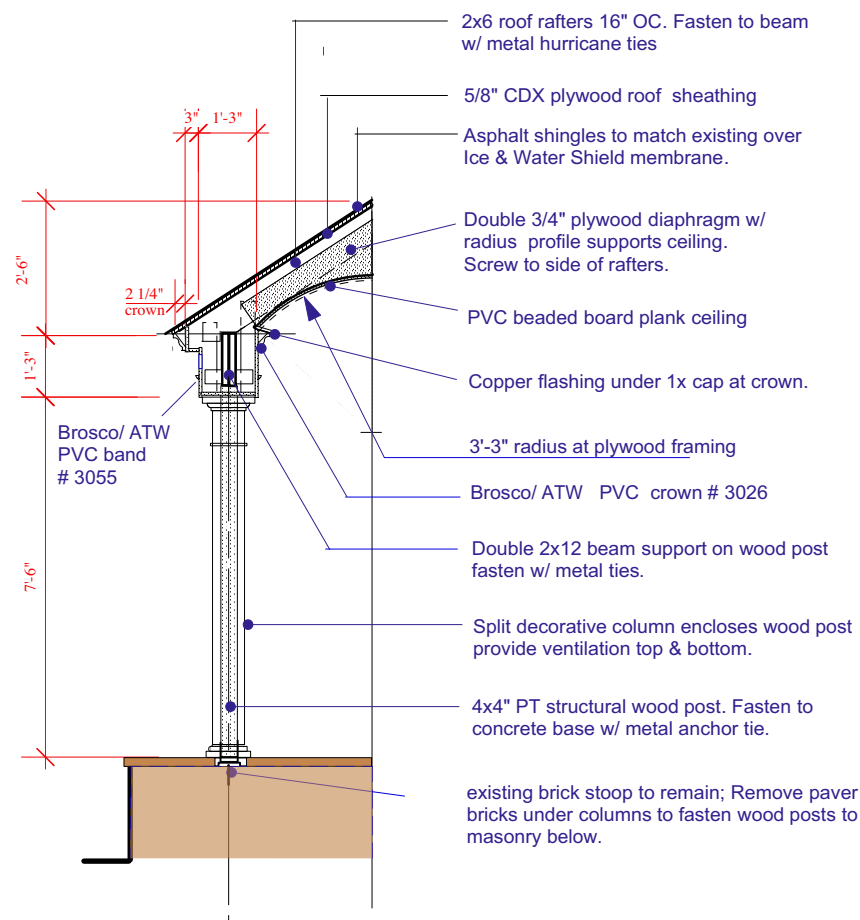
SKETCH NO.

A-8b

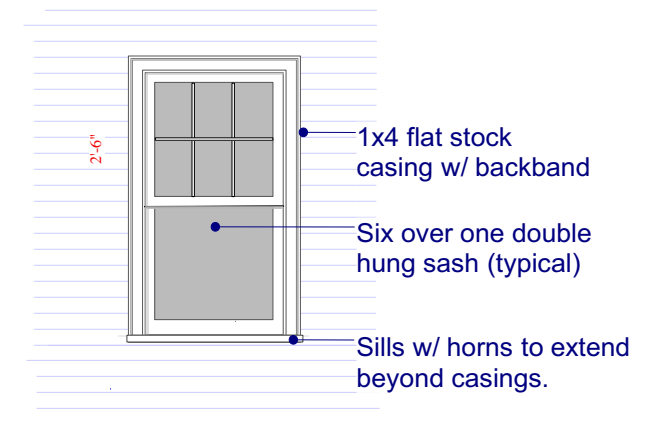
Yong Residence



D Front Canopy Section
1/2" = 1'-0"

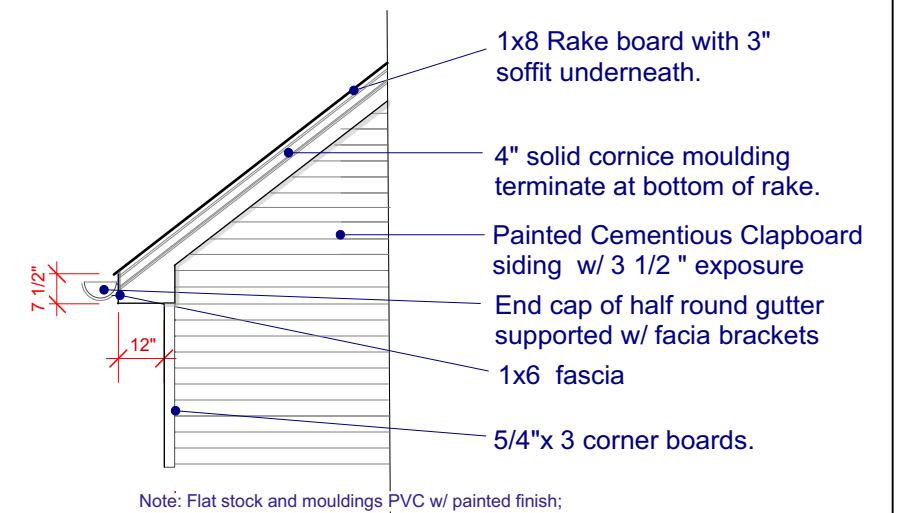


C Front Canopy Cross Section
1/2" = 1'-0"

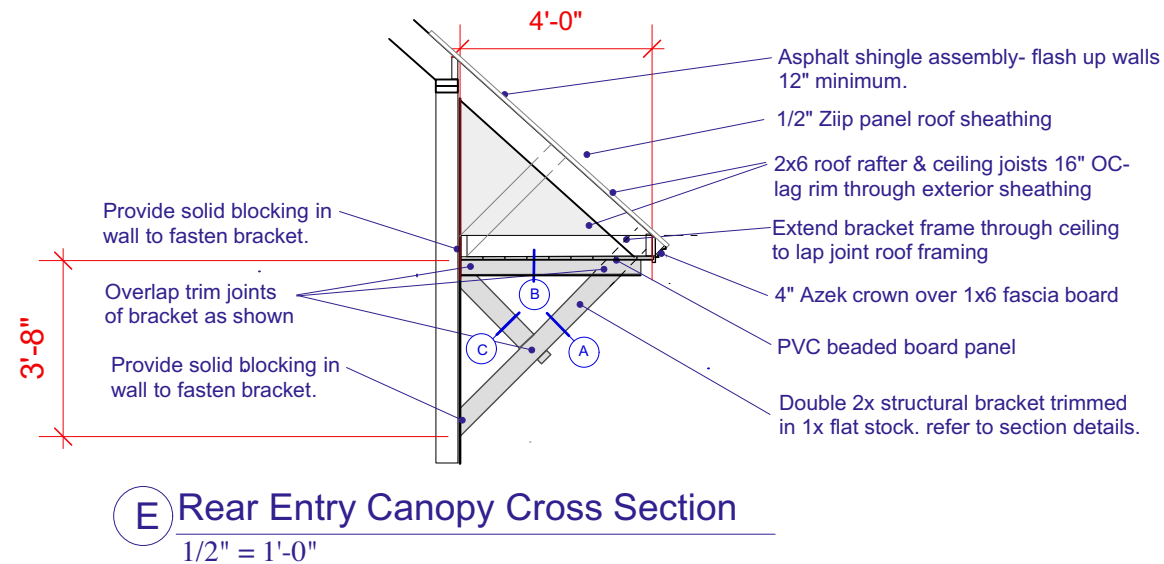
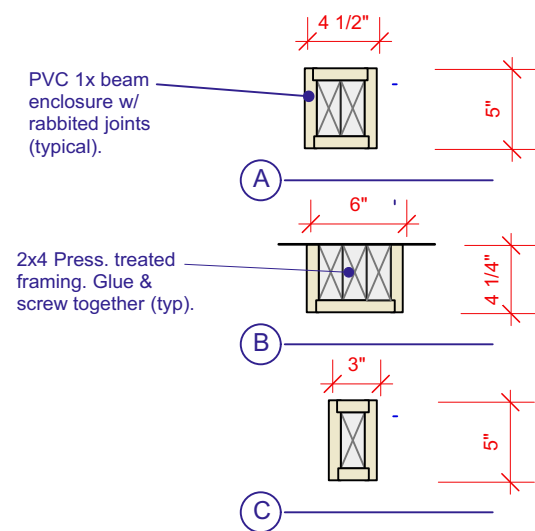


Note: windows Anderse 400 series wood windows; wood exterior; SDL; 1" sills

B Typical Window Detail
1/2" = 1'-0"



A Typical Rake Detail
1/4" = 1'-0"



E Rear Entry Canopy Cross Section
1/2" = 1'-0"

ENTASIS PC Jay C. Walter AIA
83 Pembroke Street Newton, Massachusetts. 02458
e-mail: entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.

Finish Schedule & Exterior Details

Date:
3/4/20

Scale:

PRICING SET

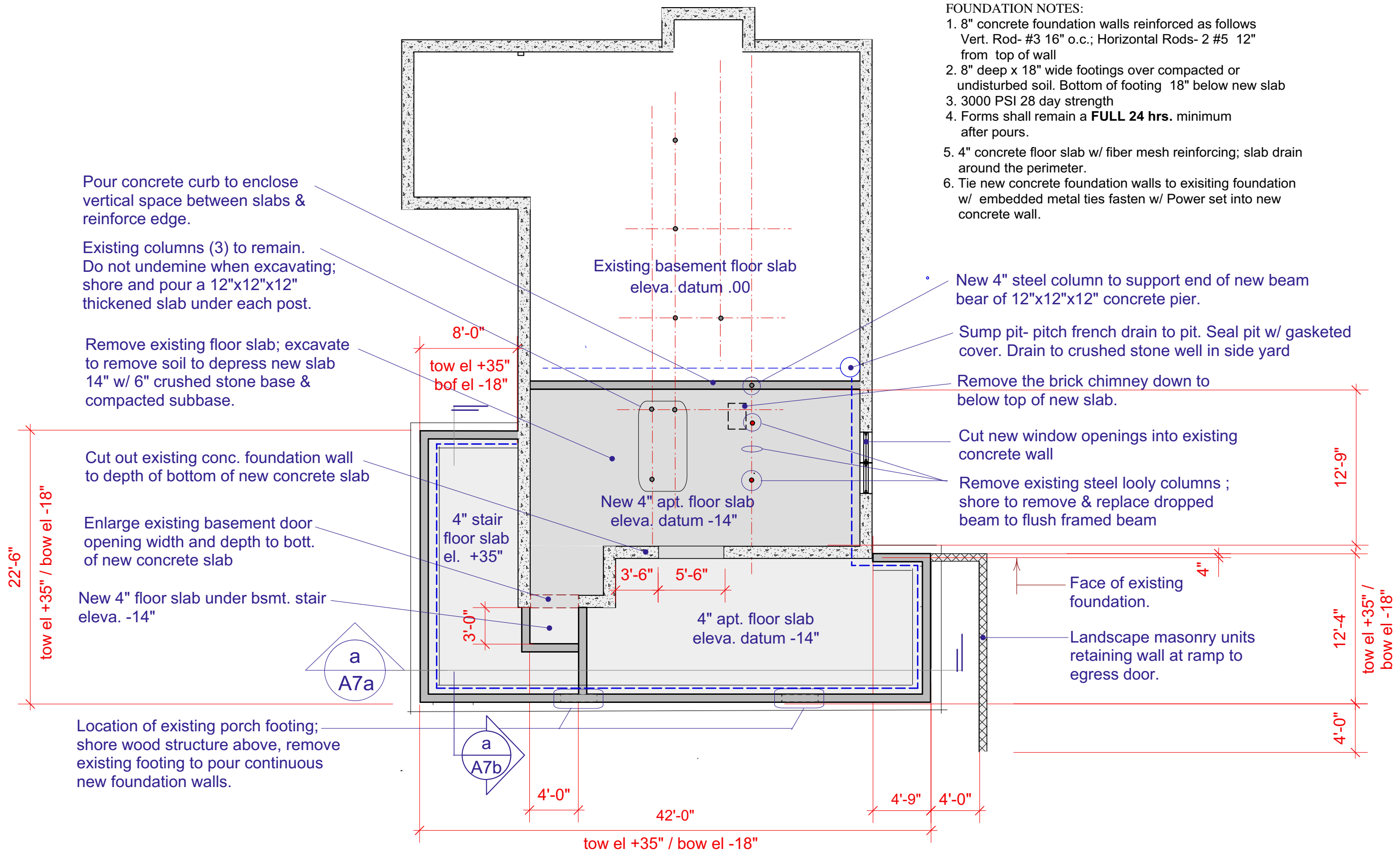
SKETCH NO.

A-9

Yong Residence

FOUNDATION NOTES:

1. 8" concrete foundation walls reinforced as follows
Vert. Rod- #3 16" o.c.; Horizontal Rods- 2 #5 12" from top of wall
2. 8" deep x 18" wide footings over compacted or undisturbed soil. Bottom of footing 18" below new slab
3. 3000 PSI 28 day strength
4. Forms shall remain a **FULL 24 hrs.** minimum after pours.
5. 4" concrete floor slab w/ fiber mesh reinforcing; slab drain around the perimeter.
6. Tie new concrete foundation walls to existing foundation w/ embedded metal ties fasten w/ Power set into new concrete wall.



Pour concrete curb to enclose vertical space between slabs & reinforce edge.

Existing columns (3) to remain. Do not undermine when excavating; shore and pour a 12"x12"x12" thickened slab under each post.

Remove existing floor slab; excavate to remove soil to depress new slab 14" w/ 6" crushed stone base & compacted subbase.

Cut out existing conc. foundation wall to depth of bottom of new concrete slab

Enlarge existing basement door opening width and depth to bott. of new concrete slab

New 4" floor slab under bsmt. stair eleva. -14"

Location of existing porch footing; shore wood structure above, remove existing footing to pour continuous new foundation walls.

New 4" steel column to support end of new beam bear of 12"x12"x12" concrete pier.

Sump pit- pitch french drain to pit. Seal pit w/ gasketed cover. Drain to crushed stone well in side yard

Remove the brick chimney down to below top of new slab.

Cut new window openings into existing concrete wall

Remove existing steel joist columns; shore to remove & replace dropped beam to flush framed beam

Face of existing foundation.

Landscape masonry units retaining wall at ramp to egress door.

ENTASIS PC Jay C. Walter AIA
83 Pembroke Street Newton, Massachusetts. 02458
e-mail: entasis@rcn.com telephone: (617) 527-8383

Yong Residence 109 Grove Street Newton, Ma.

Foundation plan

Date: 3/4/20

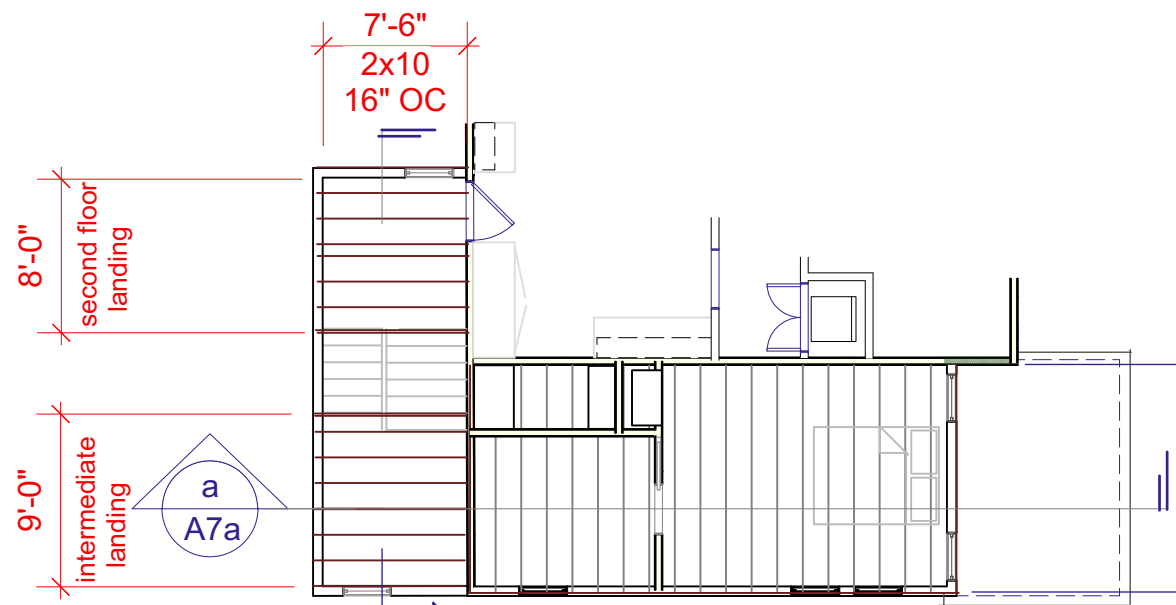
Scale: 1/8" = 1'-0"

PRICING SET

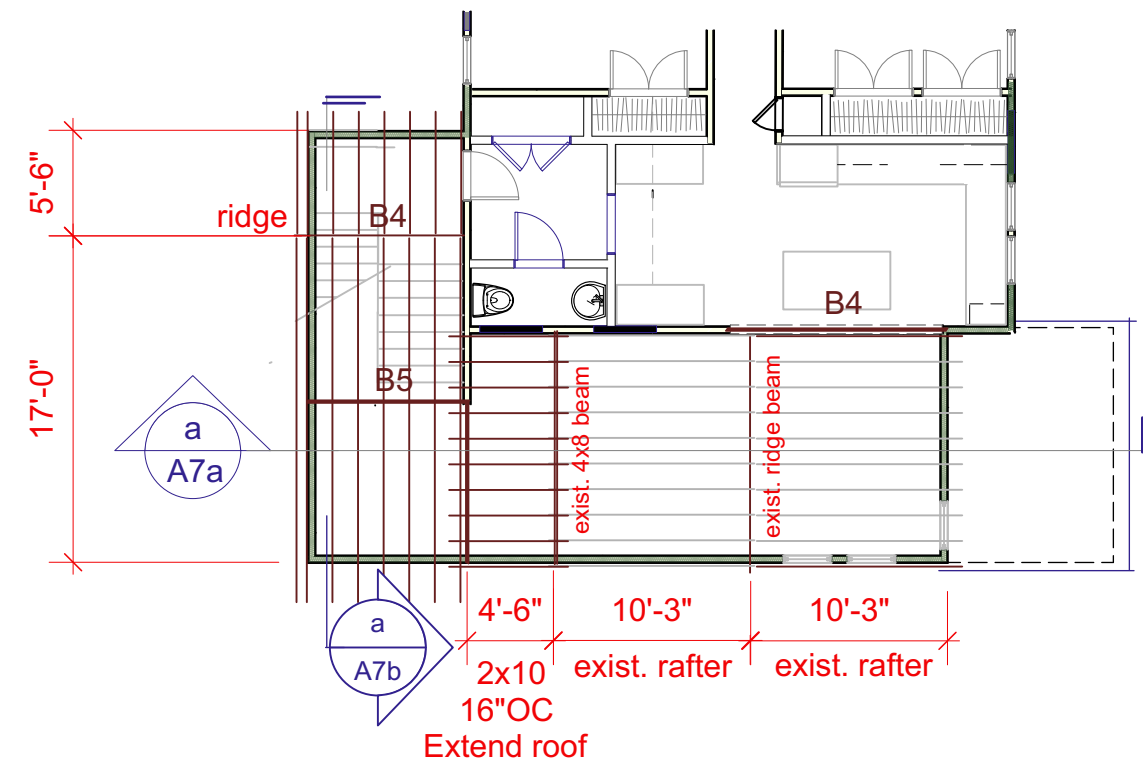
SKETCH NO.

S-1

Yong Residence



Second floor rear addition framing



Rear addition roof framing

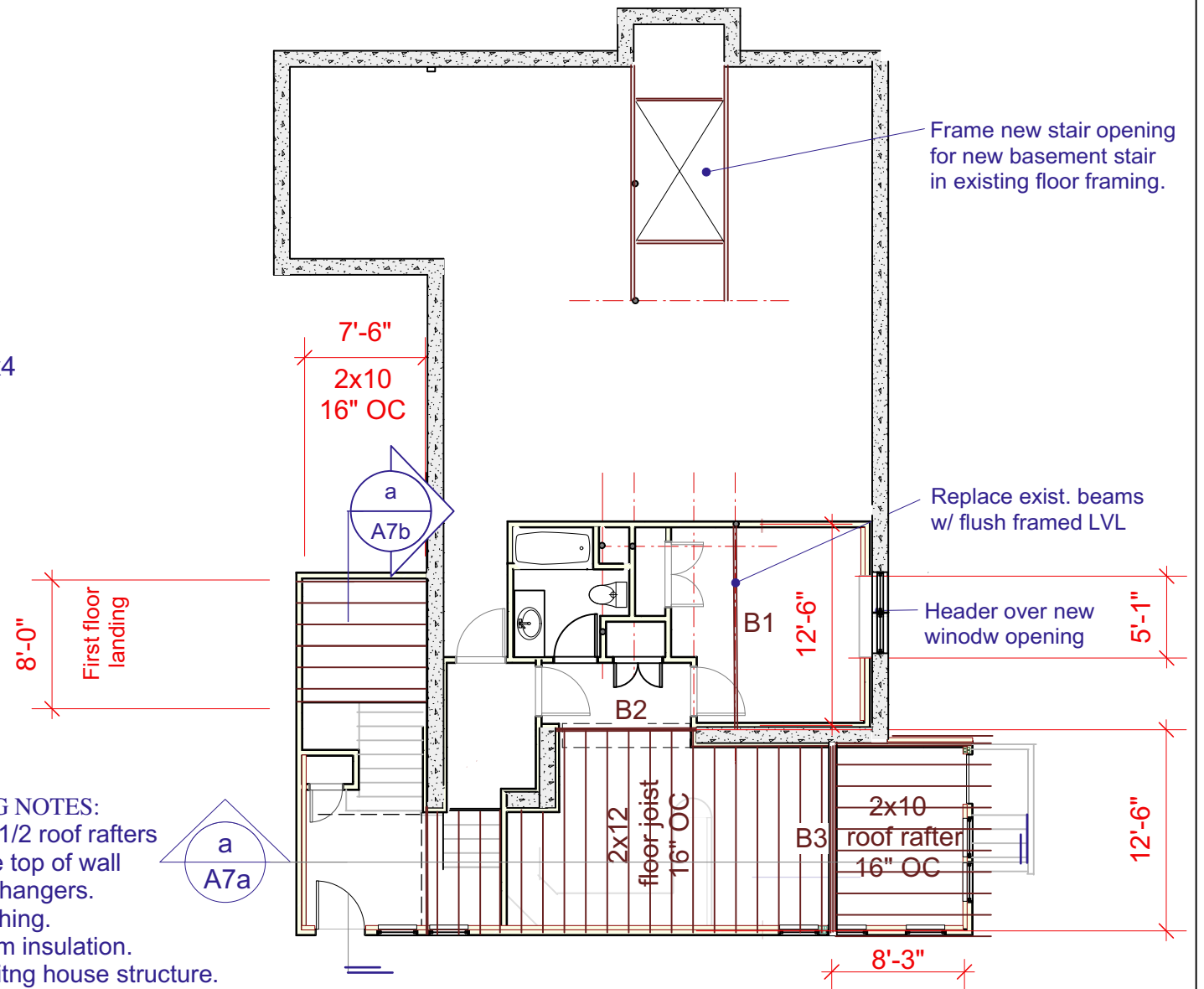
existing porch floor
2x10 16" OC with 1x4
mahogany decking
Install 3/4" plywood
subfloor

ROOF/ CEILING FRAMING NOTES:

1. Install new 2x10 SPF # 1/2 roof rafters 16" OC. Tie rafters to the top of wall with metal hurricane tie hangers.
2. 5/8" 'Zip ply' roof sheathing.
3. No ridge vent-spray foam insulation.
4. Lag roof framing to existing house structure.

WALL AND FLOOR FRAMING NOTES:

1. Exterior walls: 2x6 wood stud framing 16" OC . double top and bottom plates; treated sill plate fastened to foundation wall w/ cast-in-place anchor bolts.
2. Set floor assembly to align with existing kitchen floor. Set stoop decks 7" below interior floor.
3. Use Triple 2x10 headers at window, door and framed openings. Include 1" Rigid insulation board in headers on exterior walls
4. Fasten joists to top of wall w/ metal anchor ties.
5. 1/2" 'Zip ply' exterior wall sheathing.
6. 3/4" T&G plywood subfloor- glue & screw.



First floor/ bsmt roof rear addition framing

Beam Schedule

designation	Span	Location	Description
B-1	12'0"	First floor over bsmt. bedroom	4-ply 9" LVL
B-2	5'6"	founda. opening in apartment	2-ply 11 7/8 LVL
B-3	12'0"	Roof/wall in addition	4-ply 11 7/8 LVL
B-4	8'0"	Stair addition roof	1-ply 11 7/8 LVL
B-5	8'0"	Stair Addition roof	2-ply 11 7/8 LVL

NOTE:

Beams specs in schedule are placeholders. Price as shown until the structural engineering is completed.