



Special Permit Package

40 Williston Road, Auburndale, Massachusetts

Owners
Lauren Brooks
David Brooks
617.817.6373

Lawyer
Rosenberg, Freeman & Lee
Laurence Lee
617.964.7000

Civil Engineer
PVI Site Design
Tim Power
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Survey Engineer
A.S. Elliott Associates
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Landscape Architect
RBLA Design
Rebecca Bachand
781.686.4486

Designer
SBW Design
617.416.3184

Structural Engineer
Stan Berdichevsky
508.308.9012



LEGEND

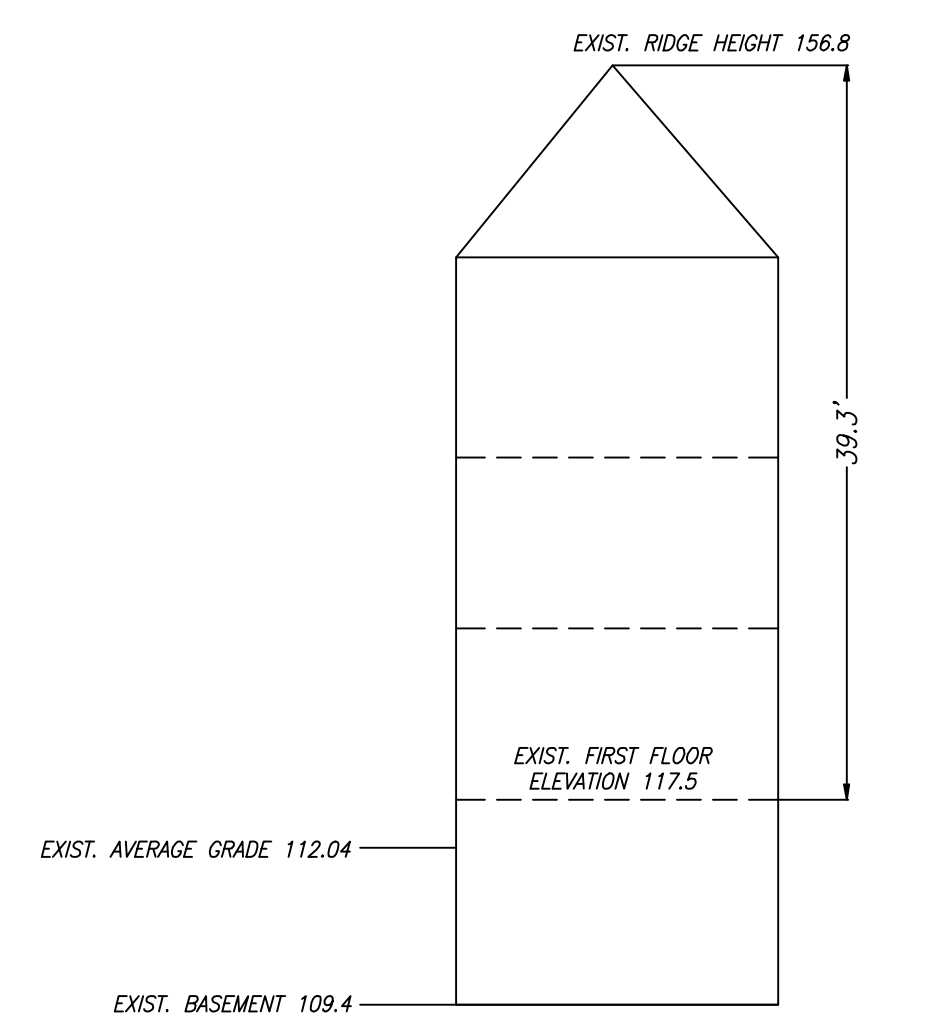
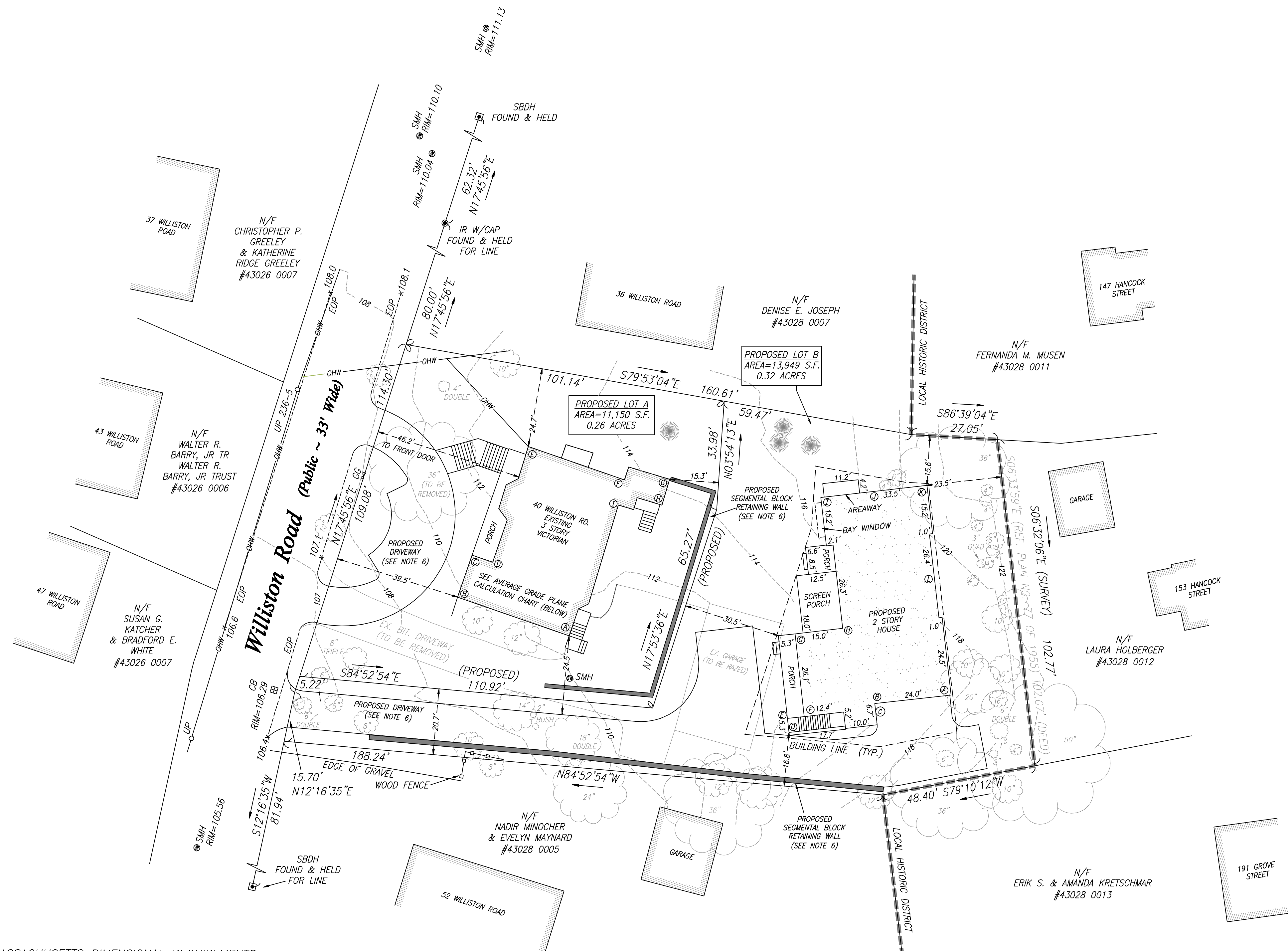
- SBDH STONE BOUND DRILL HOLE
IR W/CAP IRON ROD WITH CAP
EOP EDGE OF PAVEMENT
x107.1 SPOT ELEVATION
BW:117.0 PROPOSED BOTTOM OF WALL ELEVATION
TW:121.0 PROPOSED TOP OF WALL ELEVATION
SMH SEWER MANHOLE
GG GAS GATE
CB CATCH BASIN
UB UTILITY POLE
OHW OVERHEAD WIRES
FFE FIRST FLOOR ELEVATION
LST LANDSCAPE TIMBERS
..... TREE
..... ARBORVITAE
E20 PROPOSED CONTOUR

NOTES

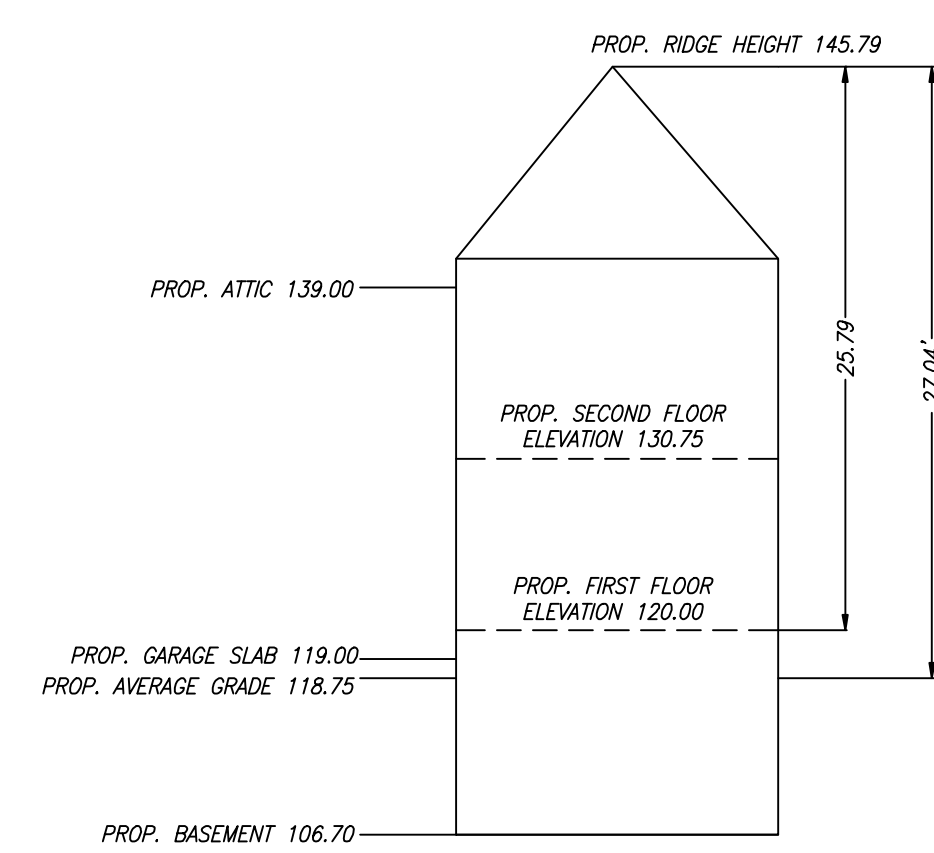
- 1. SUBJECT TO ANY STATEMENT OF FACT AN UP-TO-DATE ABSTRACT OF TITLE WOULD DISCLOSE.
2. SUBJECT TO ALL RIGHTS, EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD.
3. UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES, IF ANY, HAVE BEEN SHOWN FROM SURFACE LOCATIONS AND MEASUREMENTS OBTAINED FROM A FIELD SURVEY AND RECORD LOCATIONS, THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY.
4. ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
5. PARCEL SHOWN HEREON DOES NOT CLOSE MATHEMATICALLY BY 0.70' (SEVEN TENTHS OF A FOOT) AND 00'01'53" AS DESCRIBED IN DEED BOOK 42029, PAGE 96 AND REFERENCE PLAN NUMBER 77 OF 1955.
6. APPROXIMATE LOCATIONS OF PROPOSED DRIVEWAYS AND RETAINING WALLS HAVE BEEN TAKEN FROM PROPOSED SITE PLAN PREPARED BY PVI SITE DESIGN LLC (SEE PLAN REFERENCES) AND ARE SHOWN GRAPHICALLY.
7. ADDITIONAL LANDSCAPE INFORMATION PROVIDED ON PROPOSED LANDSCAPE PLAN PREPARED BY RBLA DESIGN LLC (SEE PLAN REFERENCES).

REFERENCES

- DEED REFERENCE: MIDDLESEX COUNTY REGISTRY OF DEEDS (SOUTHERN DISTRICT) BOOK 42049, PAGE 96
PLAN REFERENCES: PLAN ENTITLED "PLAN OF LAND ON WILLISTON ROAD, NEWTON, MA," PREPARED FOR G. WYLIE SYPHER, BY UNITED TECHNICAL DESIGN, INC., DATED JUNE 8, 1987, PLAN NUMBER 1379 OF 1987, BOOK 18594, PAGE 252
PLAN ENTITLED "PLAN OF LAND IN AUBURNDALE - MASS.," PREPARED BY WILLIAM E. LEONARD, C.E., DATED JANUARY 5, 1995, PLAN NUMBER 77 OF 1955, BOOK 8397, PAGE 343
PLAN ENTITLED "PROPOSED SITE PLAN", PREPARED BY PVI SITE DESIGN LLC, DATED NOVEMBER, 20, 2019, SHEET C-100
PLAN ENTITLED "PROPOSED LANDSCAPE PLAN AND DETAILS", PREPARED BY RBLA DESIGN LLC, DATED NOVEMBER 15, 2019, SHEET L100



EXISTING BUILDING HEIGHT (FRONT LOT) 40 WILLISTON ROAD - LOT A NOT TO SCALE



PROPOSED BUILDING HEIGHT (REAR LOT) 40 WILLISTON ROAD - LOT B NOT TO SCALE

CITY OF NEWTON, MASSACHUSETTS DIMENSIONAL REQUIREMENTS:

SINGLE RESIDENCE 3 (SR3) (AFTER 12/07/1953)

Table with 3 columns: REQUIRED, PROPOSED LOT A, and PROPOSED LOT B. Rows include Minimum Lot Area, Minimum Lot Area Per Unit, Minimum Lot Coverage, Minimum Open Space, Minimum Lot Frontage, Minimum Build Factor, Minimum Front Building Setback, Minimum Side Building Setback, Minimum Rear Building Setback, and Maximum Building Height (Sloped Roof).

SINGLE RESIDENCE 3 (SR3) SINGLE-FAMILY DETACHED: REAR LOT

Table with 3 columns: REQUIRED, PROPOSED LOT A, and PROPOSED LOT B. Rows include Minimum Lot Area, Front Lot Plus Rear Lot, Minimum Vehicle Access, Minimum Frontage, Maximum Lot Coverage, Minimum Usable Open Space, Minimum Front Setback, Minimum Side Setback, Minimum Rear Setback, Maximum Building Height, Maximum Floor Area Ratio, and Rear Lot 'Stem' Area.

(EXISTING) 40 WILLISTON ROAD - LOT A

Table with 4 columns: SEGMENT, ELEVATION, LENGTH, GRADE PLANE AVERAGE. Rows A through I.

(PROPOSED REAR LOT) 40 WILLISTON ROAD - LOT B

Table with 4 columns: SEGMENT, ELEVATION, LENGTH, GRADE PLANE AVERAGE. Rows A through L.

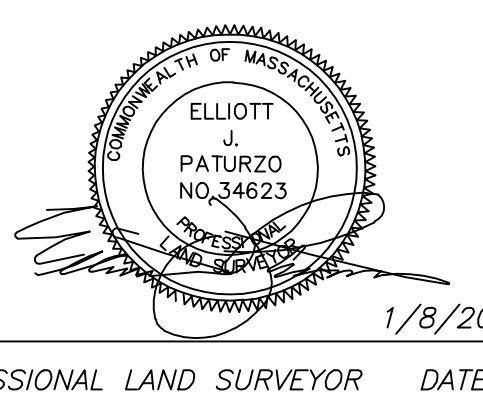
* AVERAGE GRADE PLANE CALCULATIONS PREPARED BY PVI SITE DESIGN, LLC ON JUNE 6, 2019 AND JULY 16, 2019

ZONING DESIGNATION: CITY OF NEWTON ZONING DISTRICT SINGLE RESIDENCE 3 (SR3) LAND USE: RESIDENTIAL, BRUSHLAND/SUCCESSIONAL; FOREST

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND ON NOVEMBER 28, 2018, AUGUST 2, 2019, SEPTEMBER 24, 2019 AND THE LATEST PLANS AND DEEDS OF RECORD. I CERTIFY THAT THE SUBJECT DWELLING SHOWN LIES IN A FLOOD ZONE "X" AS SHOWN ON MAP NUMBER 25017C0534E, HAVING AN EFFECTIVE DATE OF JUNE 4, 2010.

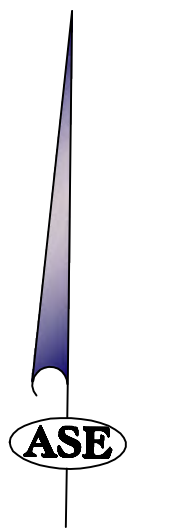
Table with 3 columns: DATE, DESCRIPTION, and REVISIONS. Rows include updates to details, zoning, proposed walls, and topography.

FIELD: MR./BMD CALCS: EJP/SMI DRAWN BY: SMI FIELD EDIT: N/A CHECKED: EJP APPROVED: JOB #: 181681



A.S. Elliott & Associates Professional Land Surveyors P.O. BOX 85 ~ HOPEDALE, MA 01747 (508) 634-0256 www.aselliott.com

Special Permit Plan 40 WILLISTON ROAD NEWTON, MASSACHUSETTS PREPARED FOR: LAUREN BROOKS SCALE: 1" = 20' DATE: JANUARY 3, 2019



LEGEND

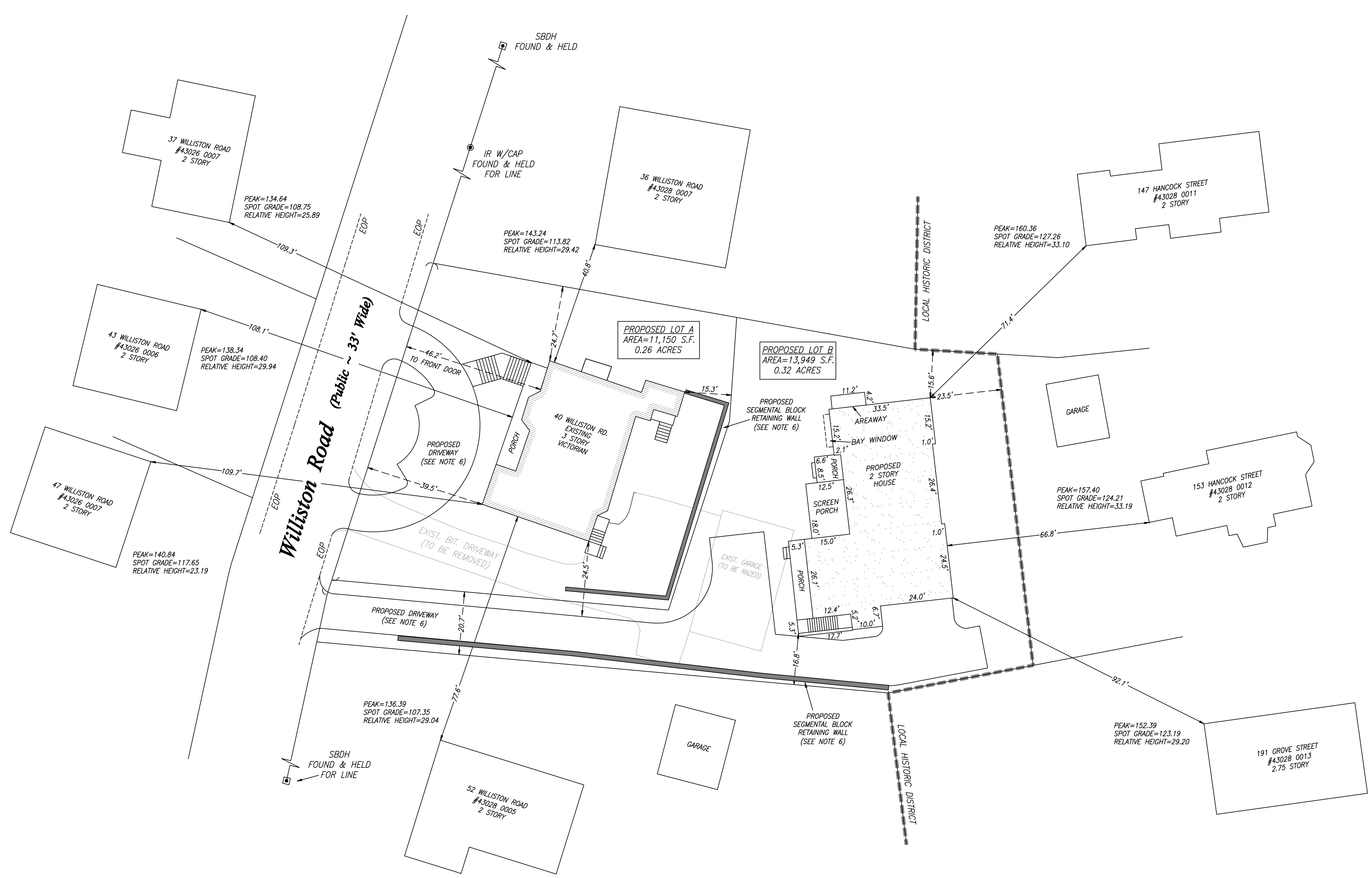
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- ⊕ G/G GAS GATE
- CB CATCH BASIN
- UP UTILITY POLE
- OHW OVERHEAD WIRES
- FFE FIRST FLOOR ELEVATION
- LST LANDSCAPE TIMBERS
- TREE
- (EOP)--- PROPOSED CONTOUR

NOTES

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4. ELEVATIONS ON THIS PLAN ARE APPROXIMATE AND REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
5. PARCEL SHOWN HEREON DOES NOT CLOSE MATHEMATICALLY BY 0.70' (SEVEN TENTHS OF A FOOT) AND 00'01'53" AS DESCRIBED IN DEED BOOK 42029, PAGE 96 AND REFERENCE PLAN NUMBER 77 OF 1955.
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ZONING DESIGNATION:
 CITY OF NEWTON ZONING DISTRICT
 SINGLE RESIDENCE 3 (SR3)
 LAND USE: RESIDENTIAL,
 BRUSHLAND/SUCCESSIONAL; FOREST

ASSESSORS REFERENCE:
 #43028 006

I CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND ON NOVEMBER 28, 2018, AUGUST 20, 2019, SEPTEMBER 24, 2019 AND THE LATEST PLANS AND DEEDS OF RECORD.

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REVISIONS	
DATE	DESCRIPTION
09/24/19	UPDATE DETAILS
11/25/19	UPDATE DETAILS
12/27/19	UPDATE PROPOSED
01/06/20	UPDATE DETAILS
01/08/20	UPDATE DETAILS

FIELD: MRI/BMD
 CALCS: EJP/SMI
 DRAWN BY: SMI
 FIELD EDIT: N/A
 CHECKED: EJP
 APPROVED:
 JOB #: 181681



1/8/20
 DATE

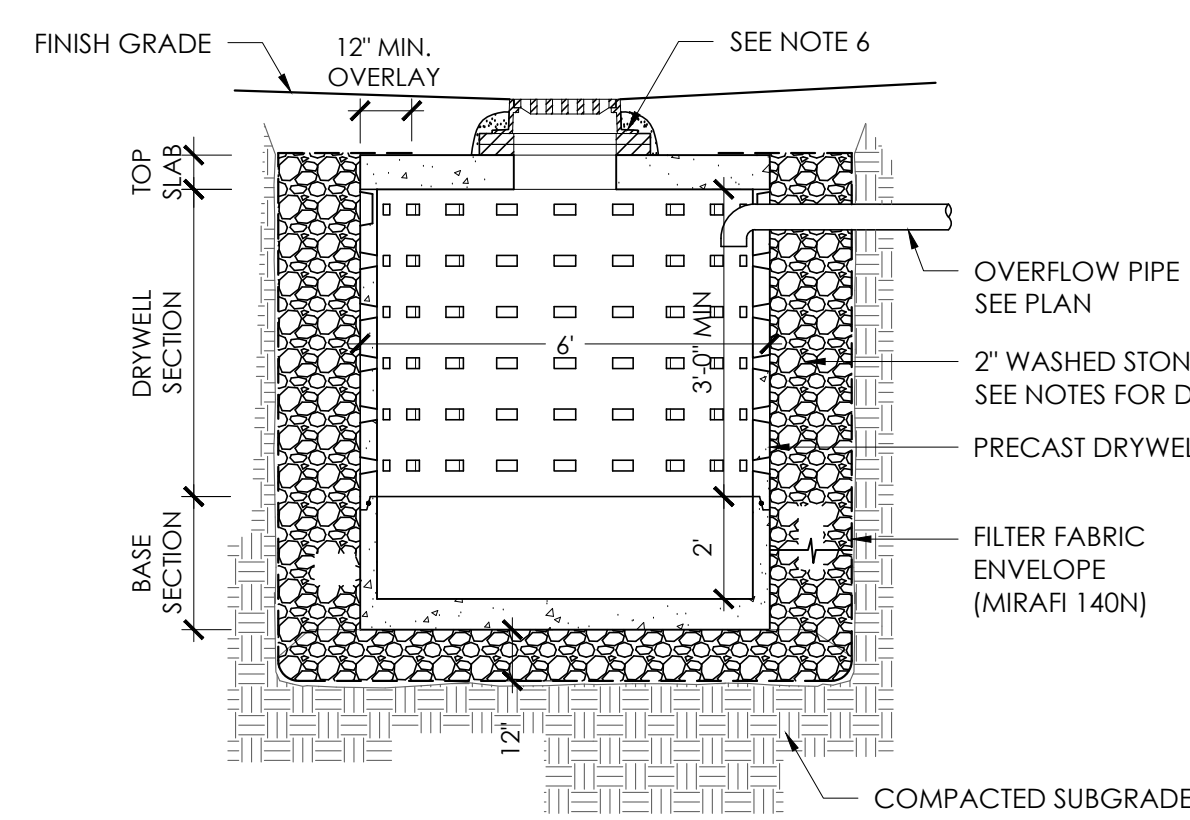
A.S. Elliott & Associates
 Professional Land Surveyors
 P.O. BOX 85 ~ HOPEDALE, MA 01747
 (508) 634-0256
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Area Map
 40 WILLISTON ROAD
 NEWTON, MASSACHUSETTS
 PREPARED FOR: LAUREN BROOKS
 SCALE: 1" = 20' DATE: AUGUST 20, 2019

DEPTH/ELEV	SOIL TYPE	HORIZ.
EG/108.00	TP-1	
16'/106.67	LOAM	A
	SANDY GRAVEL	B
30'/105.50	SAND	C1
40'/104.67	SAND LOOSE	C2
102'/99.50	BOTTOM	

SOIL DATA NOTES:
 TESTING PERFORMED: 06-07-19
 SOIL EVALUATOR: TIMOTHY POWER, SE 2798
 NO WATER OR REDOX FEATURES WITNESSED.
 ESHGW ASSUMED TO BE 2-FT BELOW BOTTOM OF HOLE AT 97.50

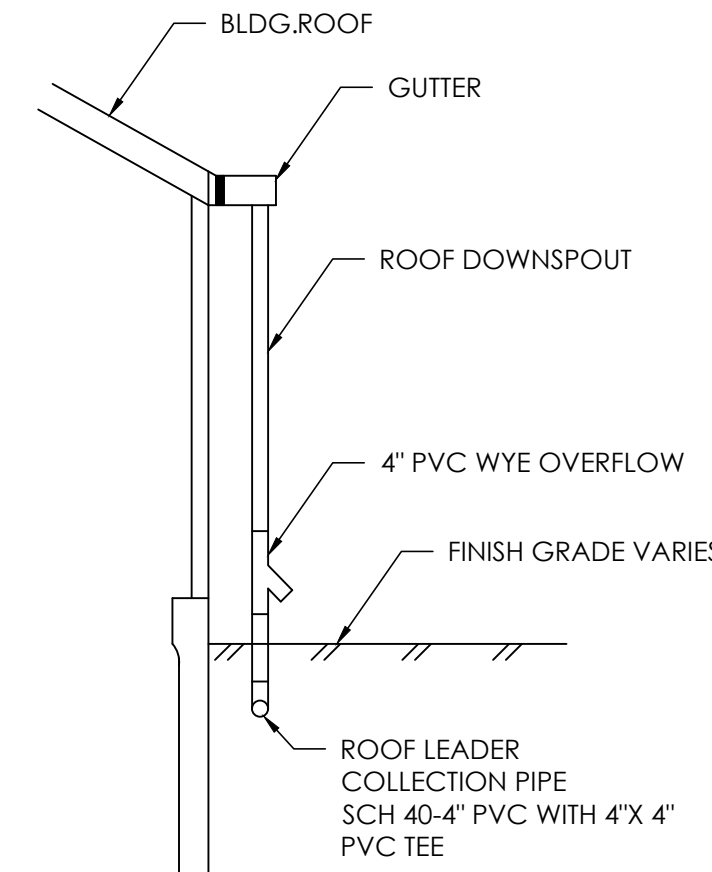
SOIL TEST DATA



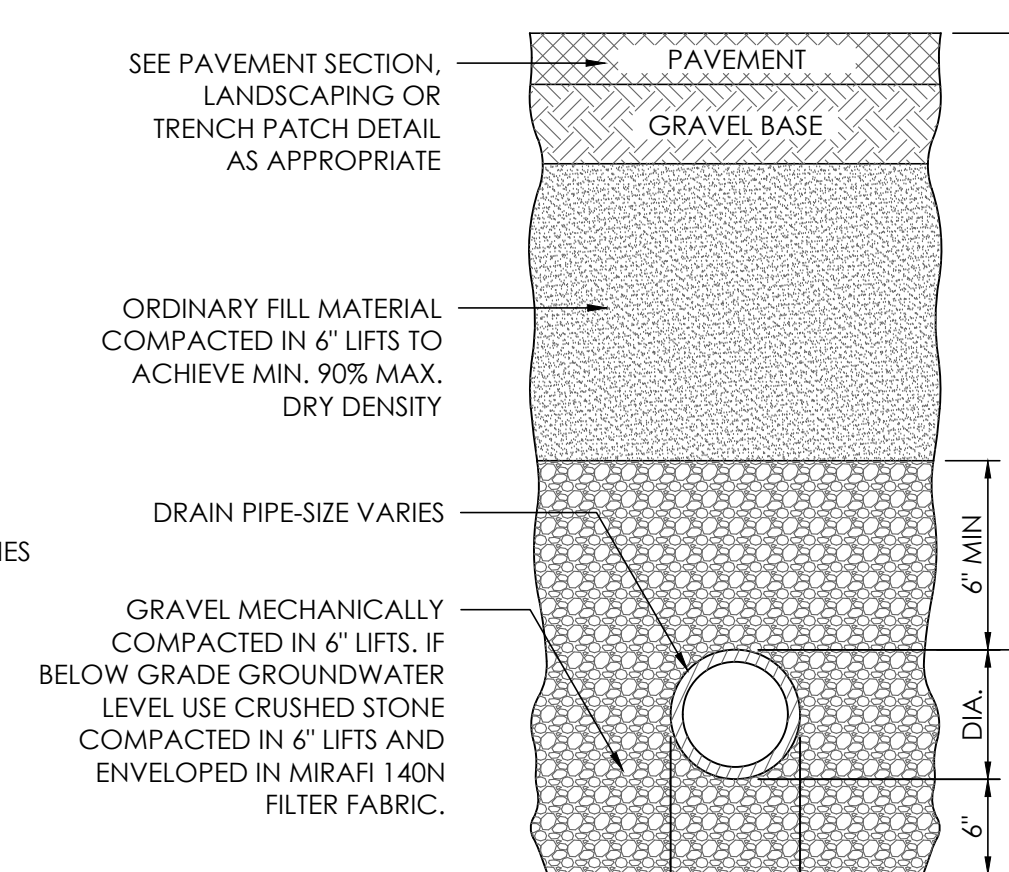
TYPICAL LEACHING BASIN DETAIL
NOT TO SCALE

- NOTES:
- BASE SECTION SHALL BE MONOLITHIC WITH 8' OUTSIDE DIAMETER.
 - ALL PRECAST COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE I | CEMENT.
 - FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR HS-20 LOADING.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 1" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - STANDARD CATCH BASIN FRAME SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSE MINIMUM, 5 BRICK COURSE MAXIMUM)

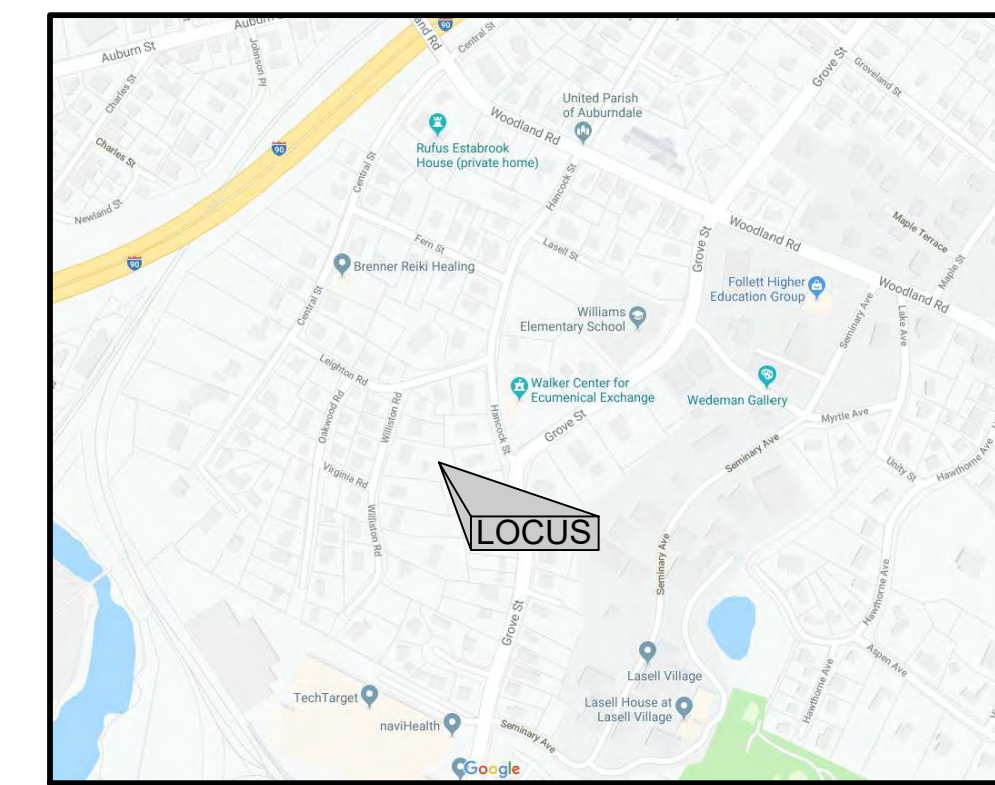
STONE ENVELOPE MINIMUM DIMENSIONS:
 LB-1: 10'X10'
 LB-2: 8'X8'
 LB-3: 8'X8'



DOWNSPOUT CONNECTION DETAIL
NOT TO SCALE



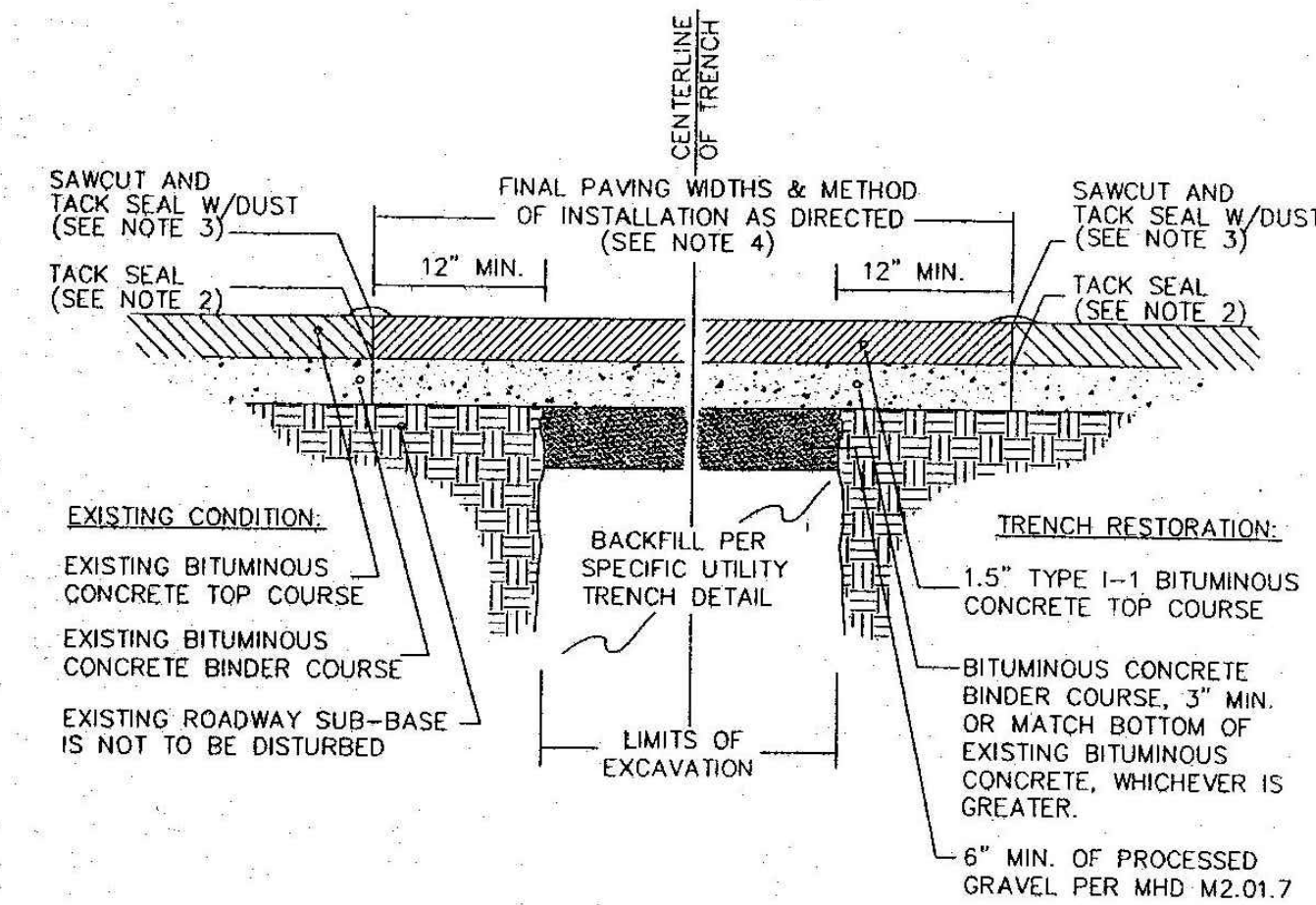
TYPICAL PIPE TRENCH
NOT TO SCALE



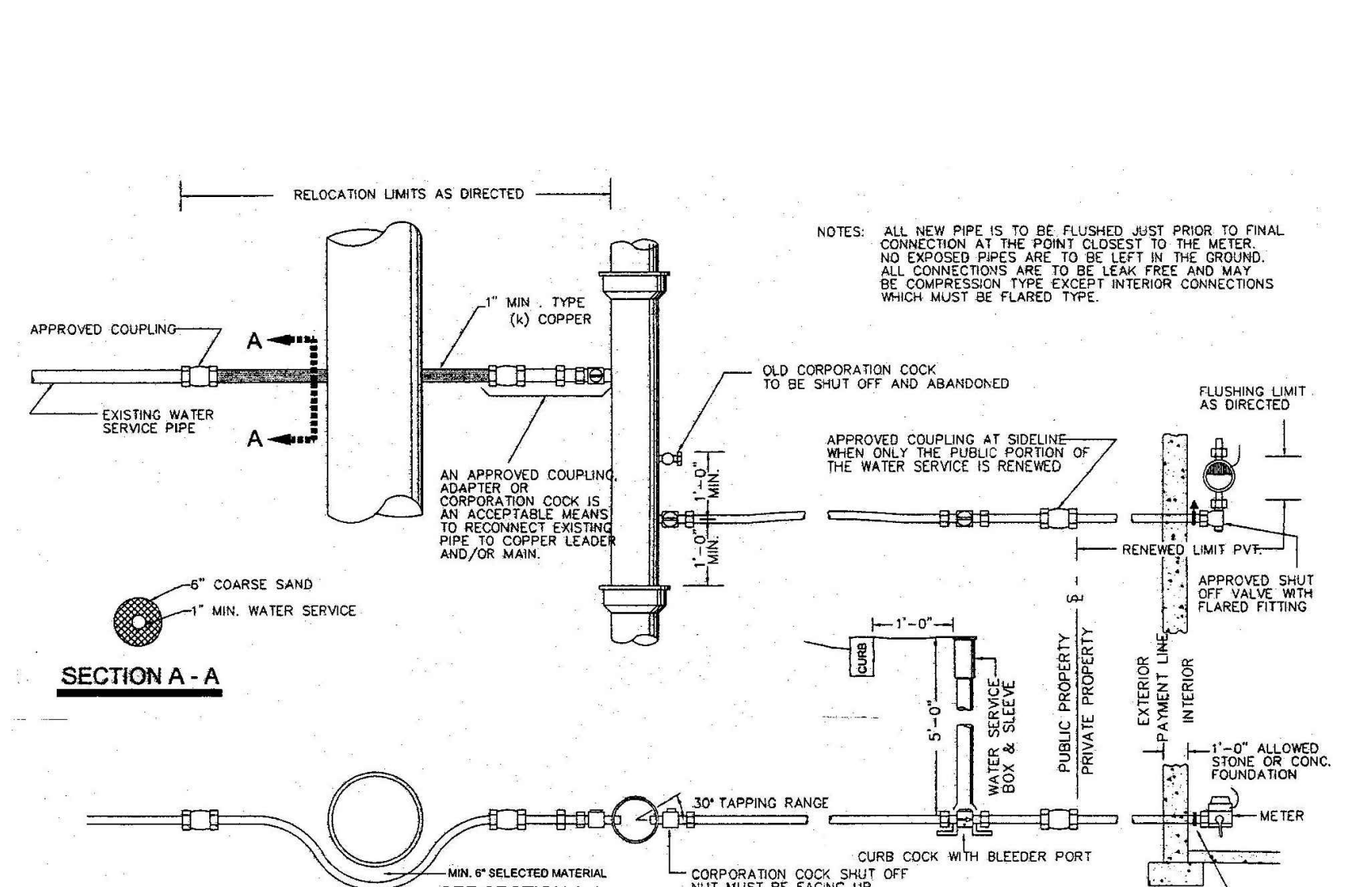
LOCUS
NOT TO SCALE

LEGEND

---	PROPERTY LINE (TYP)
---	BUILDING SETBACK
X X X	EXISTING FENCE
---	EXISTING HOUSE
---	EXISTING WATER SERVICE
---	EXISTING SEWER SERVICE
---	EXISTING CONTOUR LINE
---	PROPOSED HOUSE
---	PROPOSED CURB
EOP	PROPOSED EDGE OF PAVEMENT
---	PROPOSED WATER SERVICE
---	PROPOSED SEWER SERVICE
---	PROPOSED DRAIN LINE
---	PROPOSED RETAINING WALL
9B	PROPOSED CONTOUR LINE
ETC	PROPOSED ELECTRIC DISTRIBUTION
G	PROPOSED GAS
---	PROPOSED UNDERGROUND CHAMBERS
---	PROPOSED DETENTION SYSTEM LIMITS
---	PROPOSED LEACHING BASIN
---	PROPOSED AREA DRAIN
---	PROPOSED CLEAN OUT
---	TEST PIT
---	WATER SHUT OFF

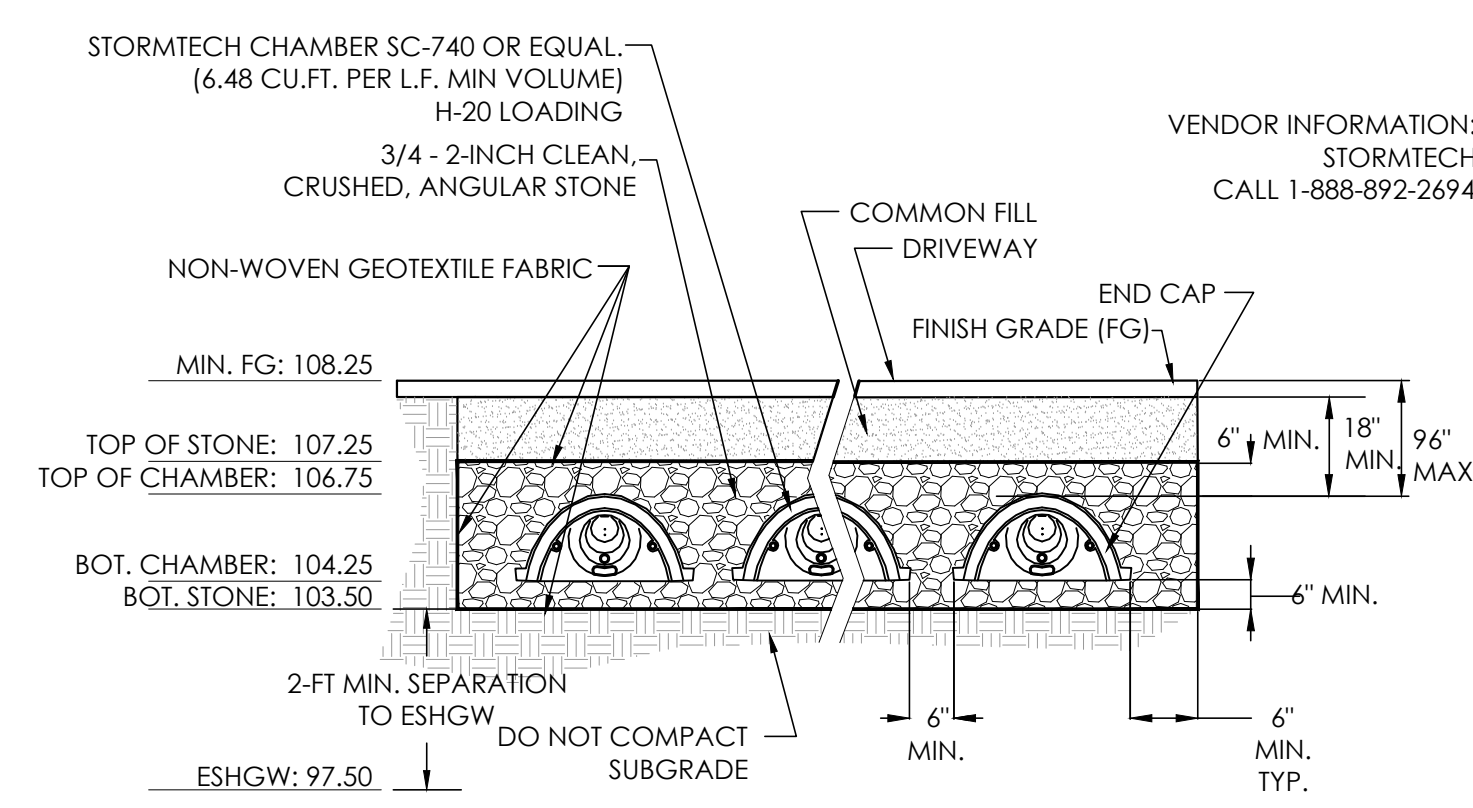


TRENCH PAVING DETAIL
NOT TO SCALE

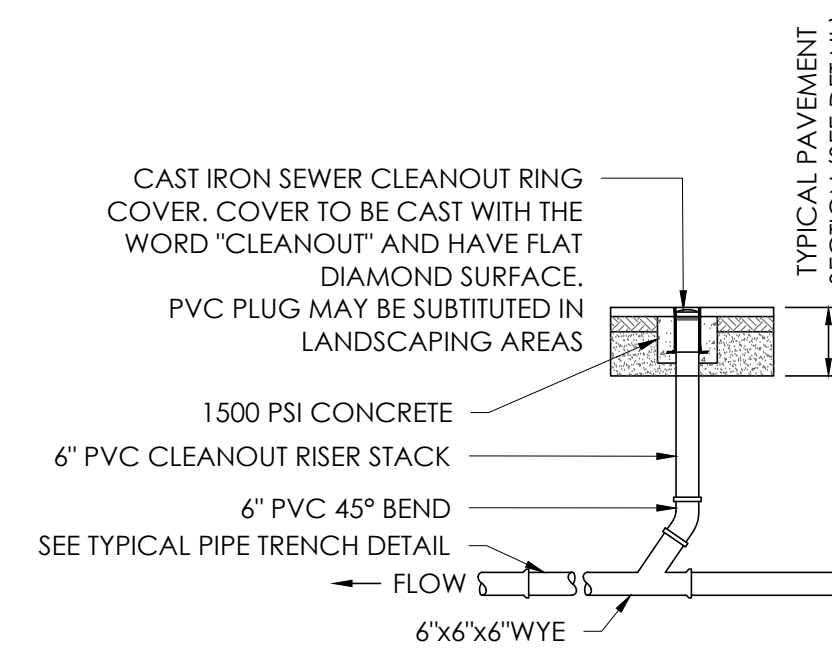


TYPICAL WATER SERVICE CONNECTIONS
NOT TO SCALE

- ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASS. HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 AS AMENDED.
- ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MHD PRIOR TO NEW BITUMINOUS CONCRETE INSTALLATION.
- ALL EXPOSED JOINTS ARE TO BE SEALED WITH TACK AND STONE DUST.
- ANY TOP COURSE APPLIED AT A WIDTH OF 6" WIDE OR GREATER IS TO BE PLACED BY MACHINE/BOX SPREADER WHEN & AS DIRECTED BY THE CITY OF NEWTON.



UNDERGROUND STORMWATER RECHARGE SYSTEM
NOT TO SCALE



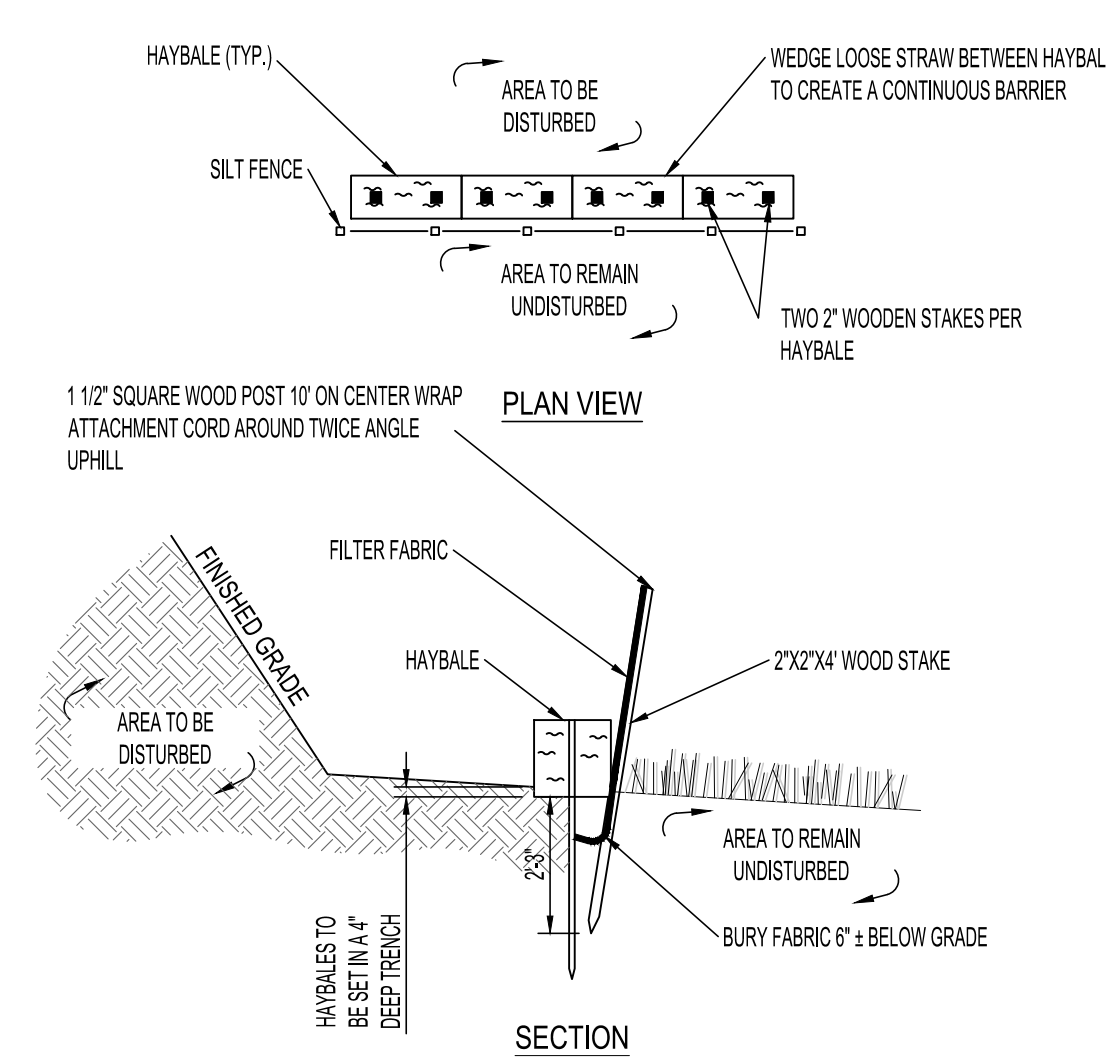
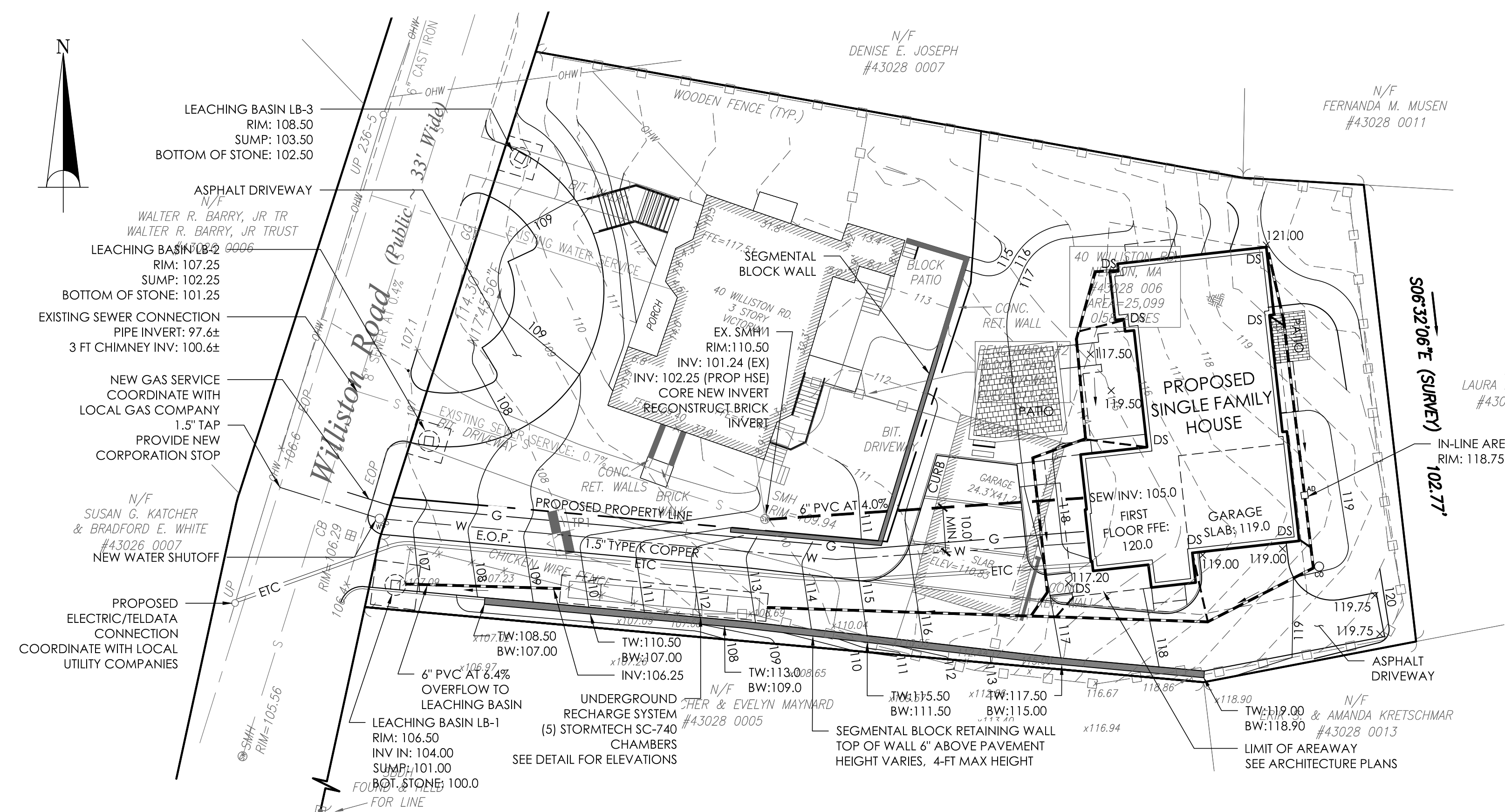
TYPICAL CLEAN OUT DETAIL
NOT TO SCALE

GENERAL NOTES:

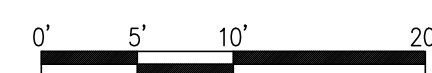
- PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DEPARTMENT IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND INVERTS, ANY EASEMENTS AND FINAL GRADES.
- IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.
- THE CONTRACTOR NEEDS TO NOTIFY THE ENGINEERING DEPARTMENT 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER AND SEWER SERVICES INSPECTED. THE SYSTEM AND UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM AND UTILITIES MAY BE BACK FILLED.
- THE APPLICANT MUST APPLY FOR A STREET OPENING AND UTILITIES CONNECTION PERMIT AS WELL AS A SIDEWALK PERMIT WITH DPW.
- THE UTILITIES SHOWN WERE COMPILED FROM FIELD LOCATIONS AND AVAILABLE PLANS OF UTILITY COMPANIES AND MAY NOT BE CORRECT. THE CONTRACTOR IS TO CONTACT DIGSAFE AND ALL LOCAL UTILITY COMPANIES REQUIRED PRIOR TO EXCAVATION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE "CITY OF NEWTON STANDARD SPECIFICATIONS" AND "CITY OF NEWTON CONSTRUCTION DETAILS". COPIES OF WHICH MAY BE OBTAINED AT THE ENGINEERING OFFICE. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF NEWTON ENGINEERING DIVISION.
- THE CONTRACTOR SHALL PROVIDE POLICE DETAILS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER. ALL ROADS EFFECTED BY CONSTRUCTION SHALL REMAIN OPEN TO EMERGENCY VEHICLES AT ALL TIMES. THE CONTRACTOR IS TO COORDINATE WITH POLICE AND FIRE DEPARTMENT TO ENSURE SAFETY.
- AN EROSION CONTROL BARRIER SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION AND MUST BE CONTAINED ON SITE.
- ALL TRENCH EXCAVATIONS SHALL COMPLY WITH MASS. GENERAL LAWS CH. 82A ALSO KNOWN AS "JACKIES LAW" TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL GRADING AS SHOWN ON THE PLANS. ANY VARIATIONS TO PROPOSED GRADING SHOWN AND/OR ANY CHANGES TO PROPOSED STRUCTURES MAY RESULT IN NON COMPLIANCE WITH ZONING OR OTHER REGULATIONS.
- ALL UTILITY TRENCHES WITH THE EXCEPTION OF GAS WITHIN THE CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE II EXCAVATABLE CONTROL DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
- ALL ROOF DRAINS ARE TO BE CONNECTED TO PROPOSED DRYWELLS.
- THE CONTRACTOR MUST MATCH EXISTING CURBING AND SIDEWALK MATERIALS WHEN ABANDONING EXISTING DRIVEWAY ENTRANCES.
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- NO EXCAVATION IS ALLOWED WITHIN THE CITY OF NEWTON RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, THE APPLICANT MAY SEEK PERMISSION FOR SUCH WORK FROM THE CITY ENGINEER. IF PERMISSION IS GRANTED, SPECIAL CONSTRUCTION STANDARDS WILL BE APPLIED. THE APPLICANT OR THE APPLICANT'S REPRESENTATIVE MUST CONTACT THE CITY OF NEWTON ENGINEERING DIVISION PRIOR TO THE START OF WORK FOR CLARIFICATION.
- THE CONTRACTOR IS ADVISED THAT ALL WORK ACTIVITIES MUST BE EXECUTED PURSUANT TO THE LATEST REGULATIONS IN FORCE AT THE TIME OF WORK DICTATED BY THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- ALL ELEVATIONS REFER TO THE CITY OF NEWTON DATUM.
- IF THE EXISTING STRUCTURE IS TO BE RAZED, ALL UTILITIES MUST BE CUT AND CAPPED AT THE BACK OF THE SIDEWALK PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT (TRENCH AND SIDEWALK CROSSING PERMITS WILL BE REQUIRED). THE ENGINEERING DIVISION INSPECTOR MUST INSPECT THIS WORK (48 HOUR NOTICE REQUIRED).
- THE WATER AND SEWER SERVICES MUST BE IN PLACE AND ACCEPTED BY THE ENGINEERING DIVISION PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL TREE REMOVAL SHALL COMPLY WITH THE CITY'S TREE REMOVAL ORDINANCE.

EROSION CONTROL NOTES:

- CONTRACTOR SHALL PROVIDE HAYBALES OR STRAW WADDLES AT THE DOWN HILL SIDE OF THE LIMIT OF WORK.
- ANY DISTURBED SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH JUTE MESH.
- ALL TOP SOIL WITHIN THE LIMIT OF WORK SHALL BE STRIPPED AND STOCKPILED ON-SITE FOR FUTURE RE-USE.
- EXCESS SOIL MATERIAL FROM FOUNDATION AND INFILTRATION SYSTEM EXCAVATION SHALL BE USED AS BACKFILL AND AS COMMON FILL FOR WHEN POSSIBLE. ANY REMAINING SOILS SHALL BE BURIED ELSEWHERE ON THE PROPERTY OR HAULED OFF-SITE AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE.



HAYBALE BARRIER DETAIL
NOT TO SCALE



CIVIL ENGINEER:
PVI SITE DESIGN
 PVI Site Design, LLC
 Civil Engineering - Project Management
 Master Planning - Project Management
 339-206-1030

PROJECT:
SINGLE FAMILY HOUSE
 40 WILLISTON RD., NEWTON, MA

CLIENT/APPLICANT:
LAUREN & DAVID BROOKS
 40 WILLISTON ROAD, NEWTON, MA

REV.:

SEAL:

COMMUNALTY OF MASSACHUSETTS
 TIMOTHY J. POWER
 CIVIL
 No. 46908
 REGISTERED PROFESSIONAL ENGINEER
 EXPIRES 12/31/2024

ISSUED FOR SITE PLAN APPROVAL
 NOVEMBER 20, 2019

PROPOSED SITE PLAN

SCALE: AS NOTED

JOB NO: 015-006

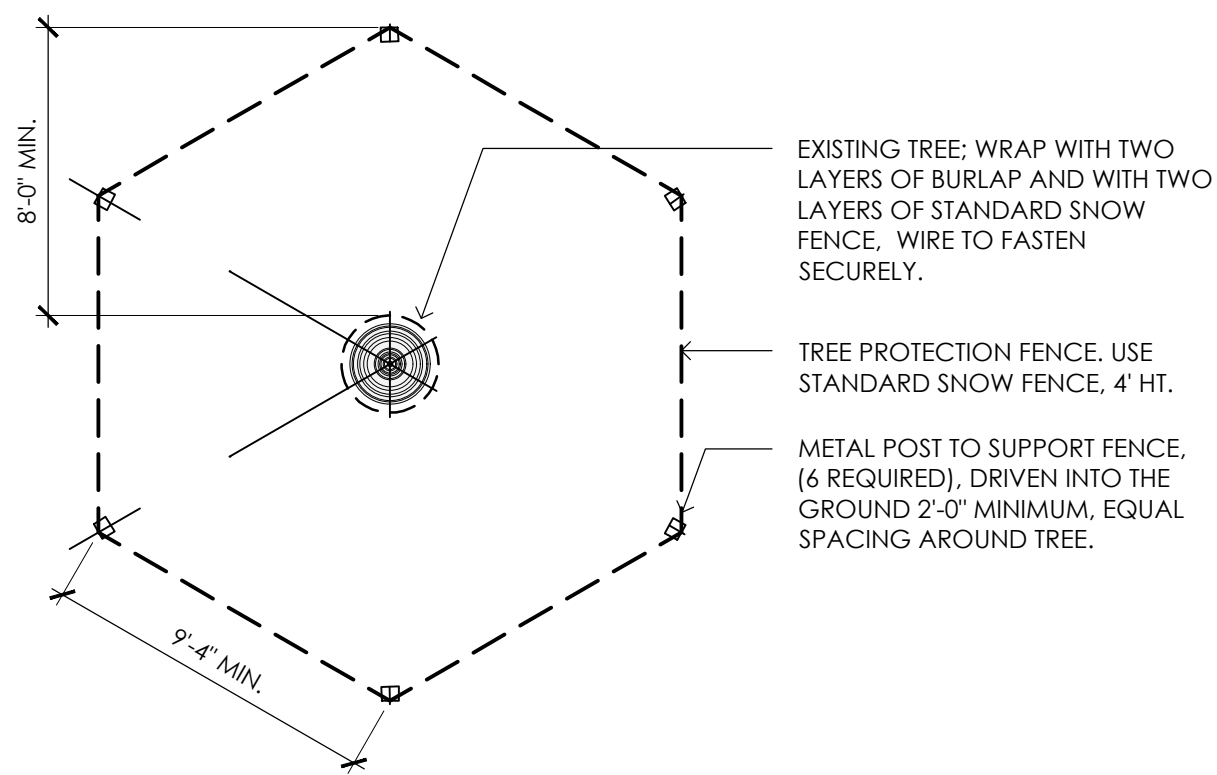
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DRAWN: TJP

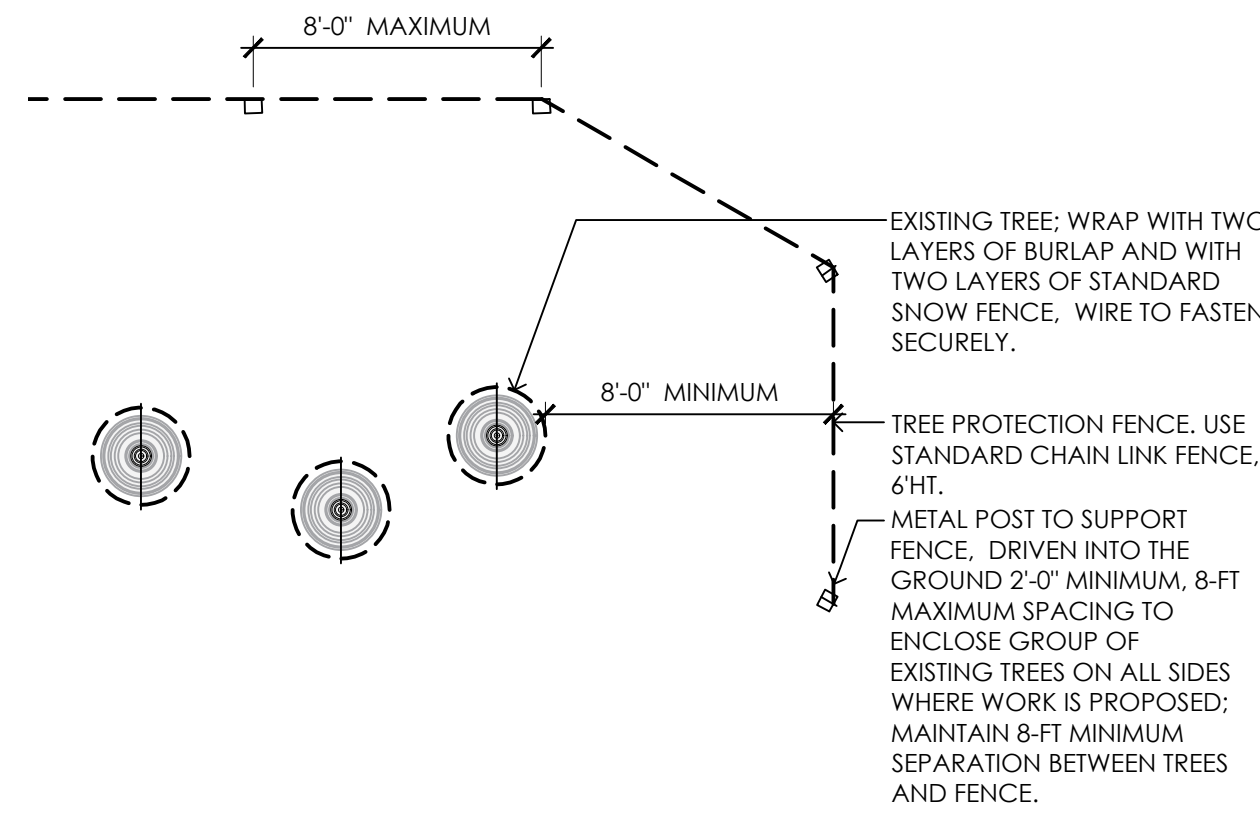
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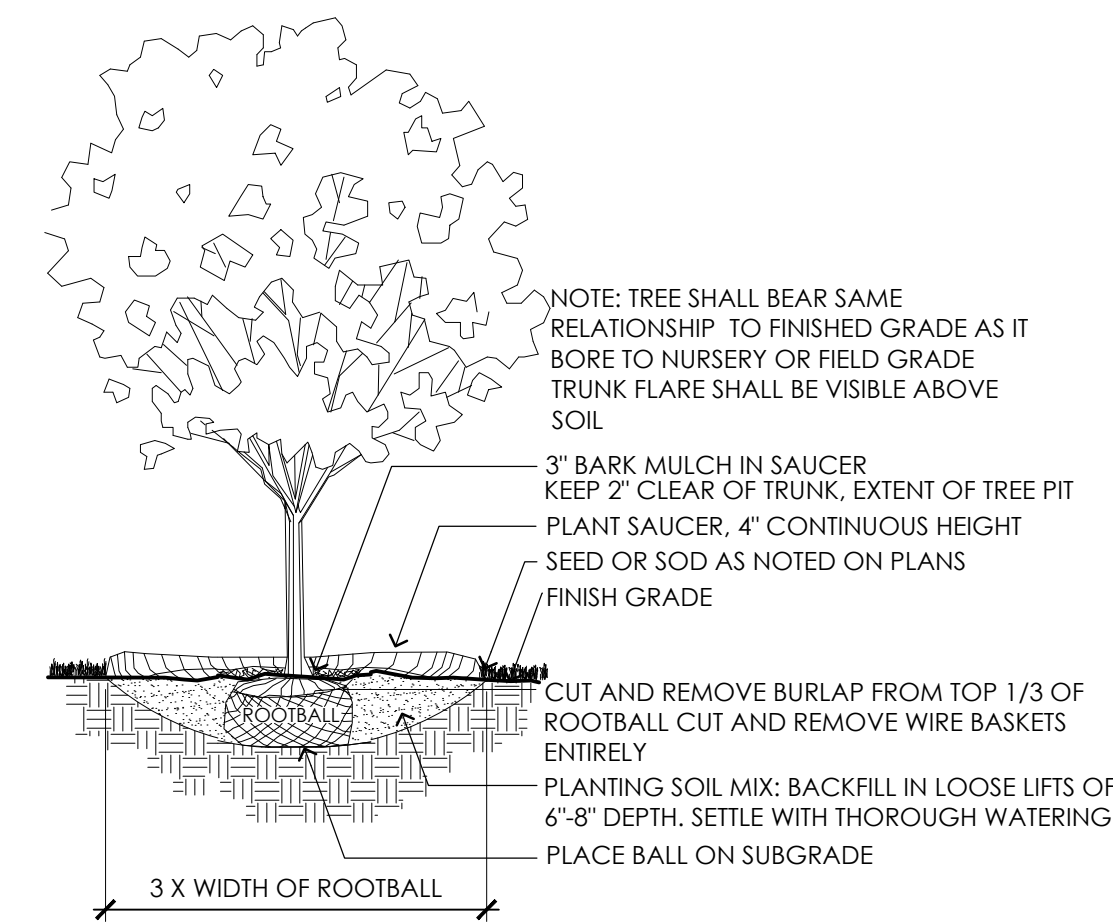
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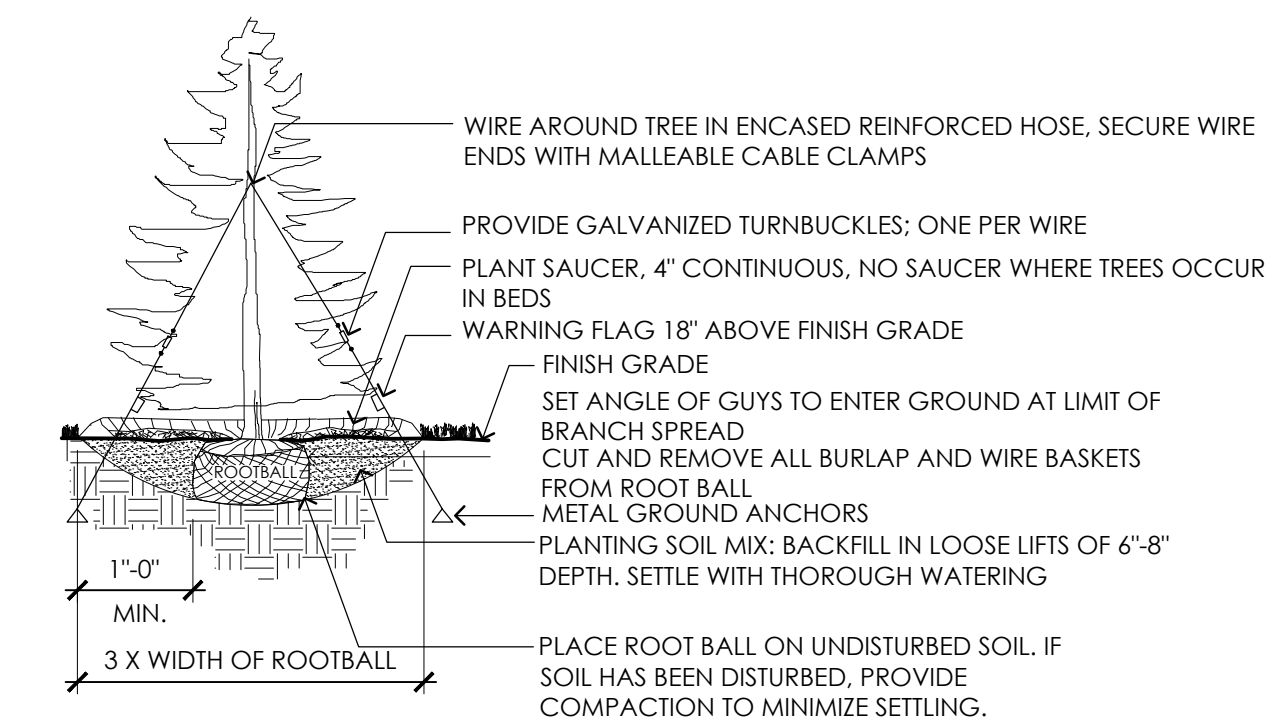
1 SINGLE TREE PROTECTION



2 GROUP TREE PROTECTION



3 TYPICAL DECIDUOUS TREE PLANTING



- NOTE:
- TREE SHALL BEAR SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE TO NURSERY OR FIELD GRADE
 - INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL. ATTACH GUYS AT 2/3 HEIGHT OF TREE; USE DOUBLE STRAND GALVANIZED STEEL WIRE

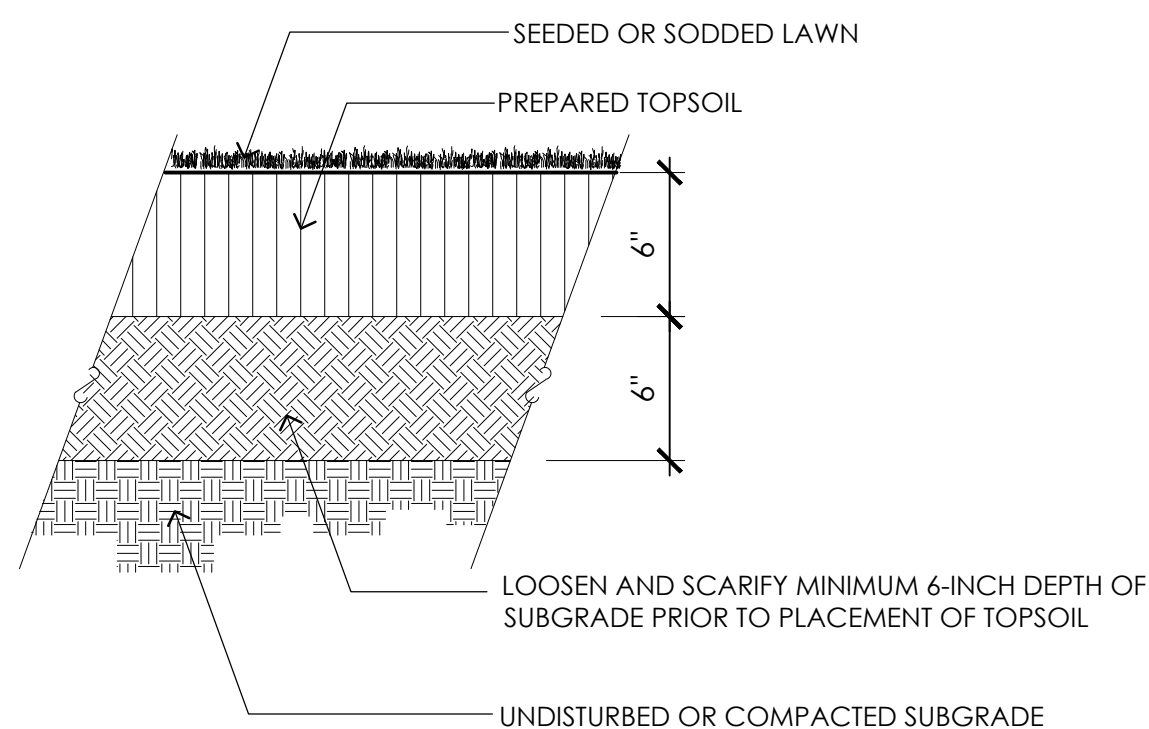
4 TYPICAL EVERGREEN TREE PLANTING

SUGGESTED PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
TREES					
	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE	1	2 1/2-3' CAL.	UNDERSTORY
	CHIONANTHUS VIRGINICUS*	FRINGETREE	1	2 1/2-3' CAL.	FLOWERING
	HYDRANGEA P.G. TREE FORM	PEGEE HYDRANGEA TREE	3	#15 POT	FLOWERING
	THUJA STANDISHII X FLICATA	GREEN GIANT ARBORVITAE	10	6-7' HT.	SCREEN
	LAWN SEED OR SOD			6,500 sq	

* NATIVE SPECIES

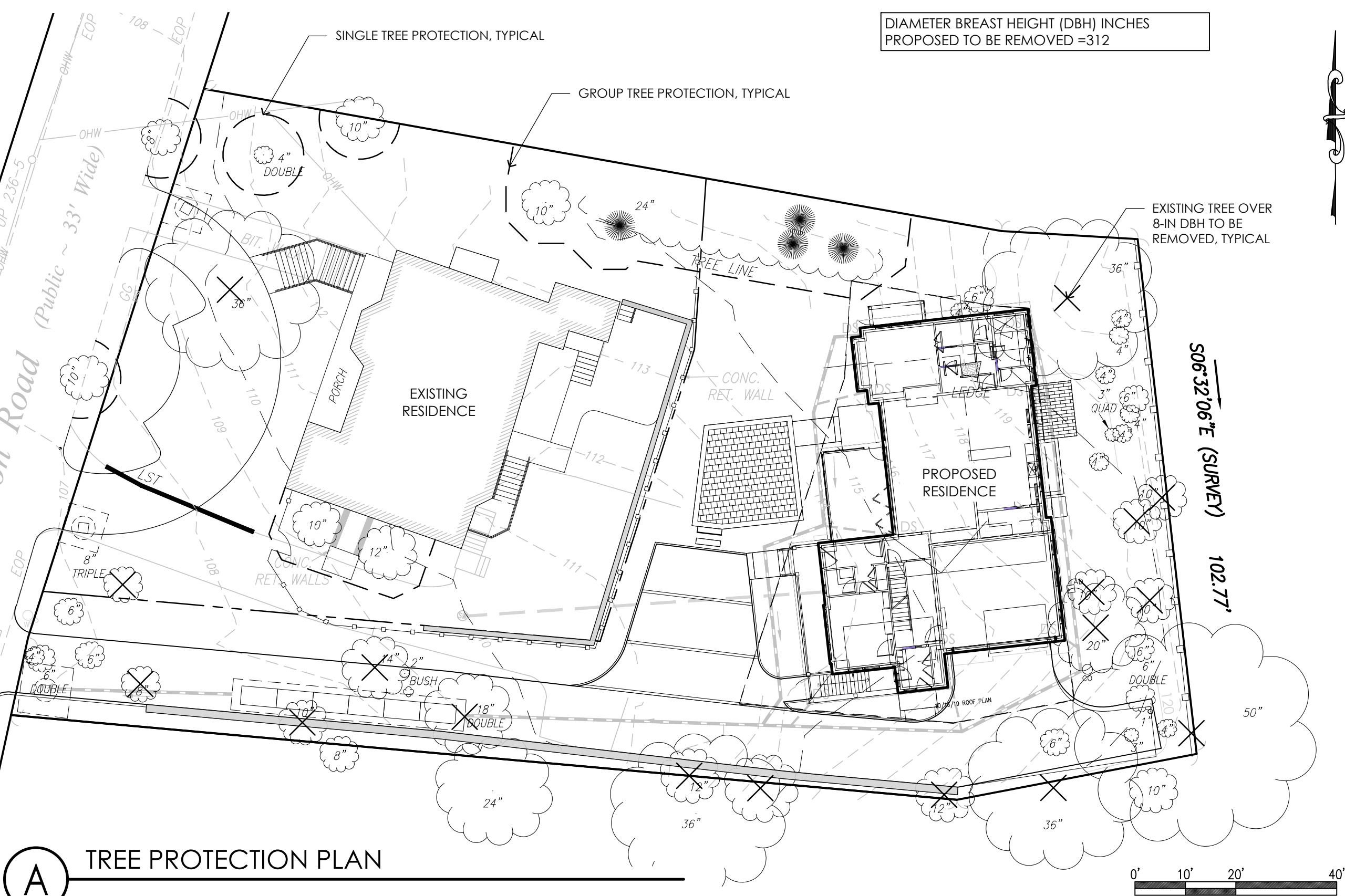
DIAMETER BREAST HEIGHT (DBH) INCHES PROPOSED TO BE REMOVED = 312 CALIPER INCHES PROPOSED TO BE INSTALLED: 29±



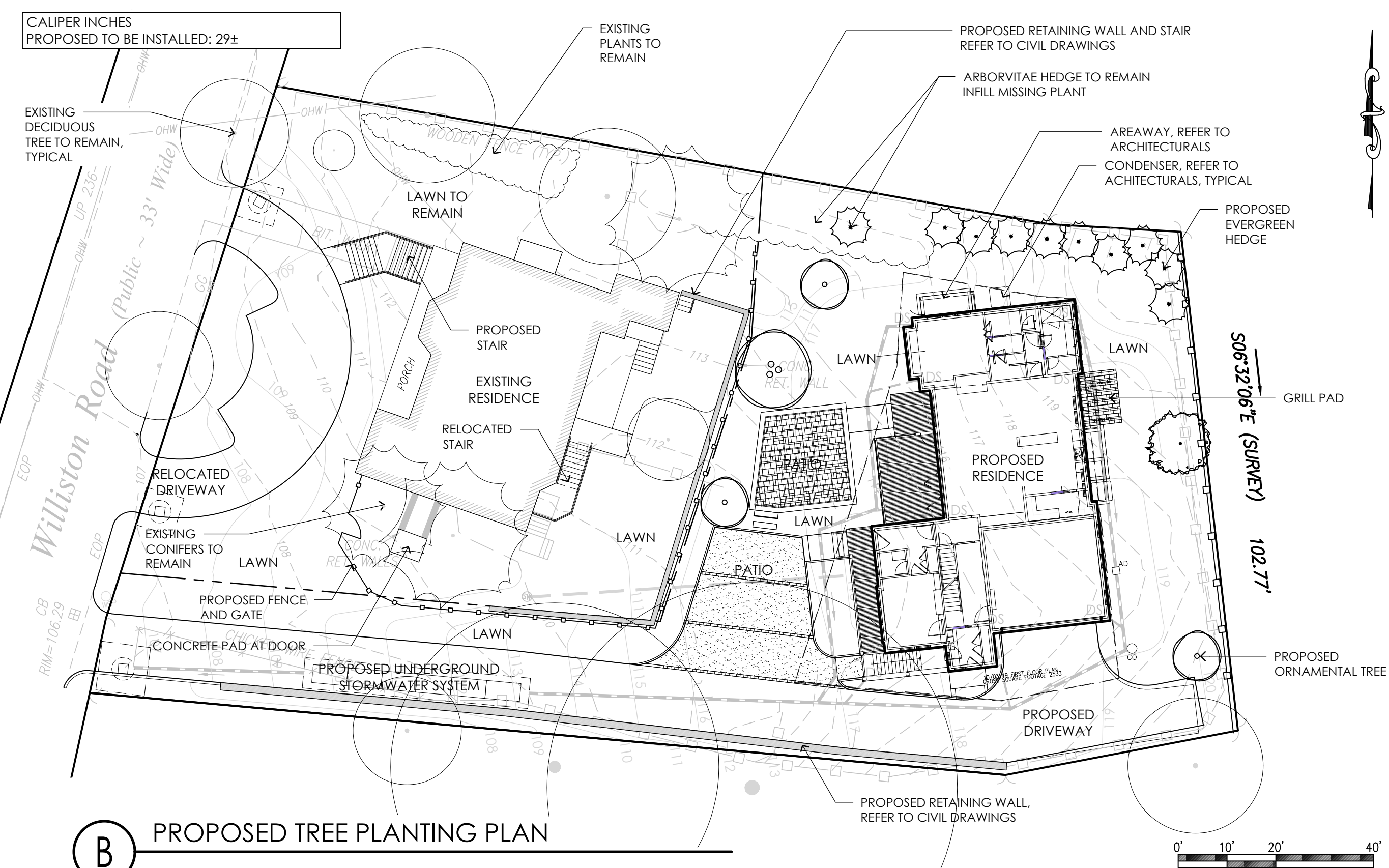
5 TYPICAL LAWN INSTALLATION

NOTES

- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.
- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY XXXXXXXX OF XXXXXXXX, XX AND IS DATED XX XXXX 20XX.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, CONSERVATION COMMISSION NOTICE OF INTENT, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHTS-OF-WAY SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE MUNICIPAL HIGHWAY DEPARTMENT AND DEPARTMENT OF PUBLIC WORKS STANDARDS.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- OWNER'S REPRESENTATIVE TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- SAFE USE OF MULCH IS REGULATED THROUGH 527 CMR 1.00, SECTION 10.13.10.4. THE REGULATION PROHIBITS THE NEW APPLICATION OF MULCH WITHIN 18" AROUND COMBUSTIBLE EXTERIORS OF BUILDINGS, SUCH AS WOOD OR VINYL, BUT NOT BRICK OR CONCRETE. RESIDENTIAL BUILDINGS WITH SIX UNITS OR LESS ARE EXEMPTED FROM THE REGULATION, BUT ENCOURAGED TO ADOPT THE PRACTICE. THE REGULATION APPLIES TO ALL OTHER BUILDINGS INCLUDING COMMERCIAL PROPERTIES. THE MAINTENANCE EDGE SHOWN IN THE PROJECT DETAIL SHEET SHALL BE USED IN PLANT BEDS WITHIN 18" OF A COMBUSTIBLE BUILDING SURFACE.
- PLANTING SOIL MIX SHALL BE COMPRISED OF LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER SHALL BE ADDED PER RATES RECOMMENDED IN SOILS ANALYSIS.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL AND SEEDED.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.



A TREE PROTECTION PLAN



B PROPOSED TREE PLANTING PLAN



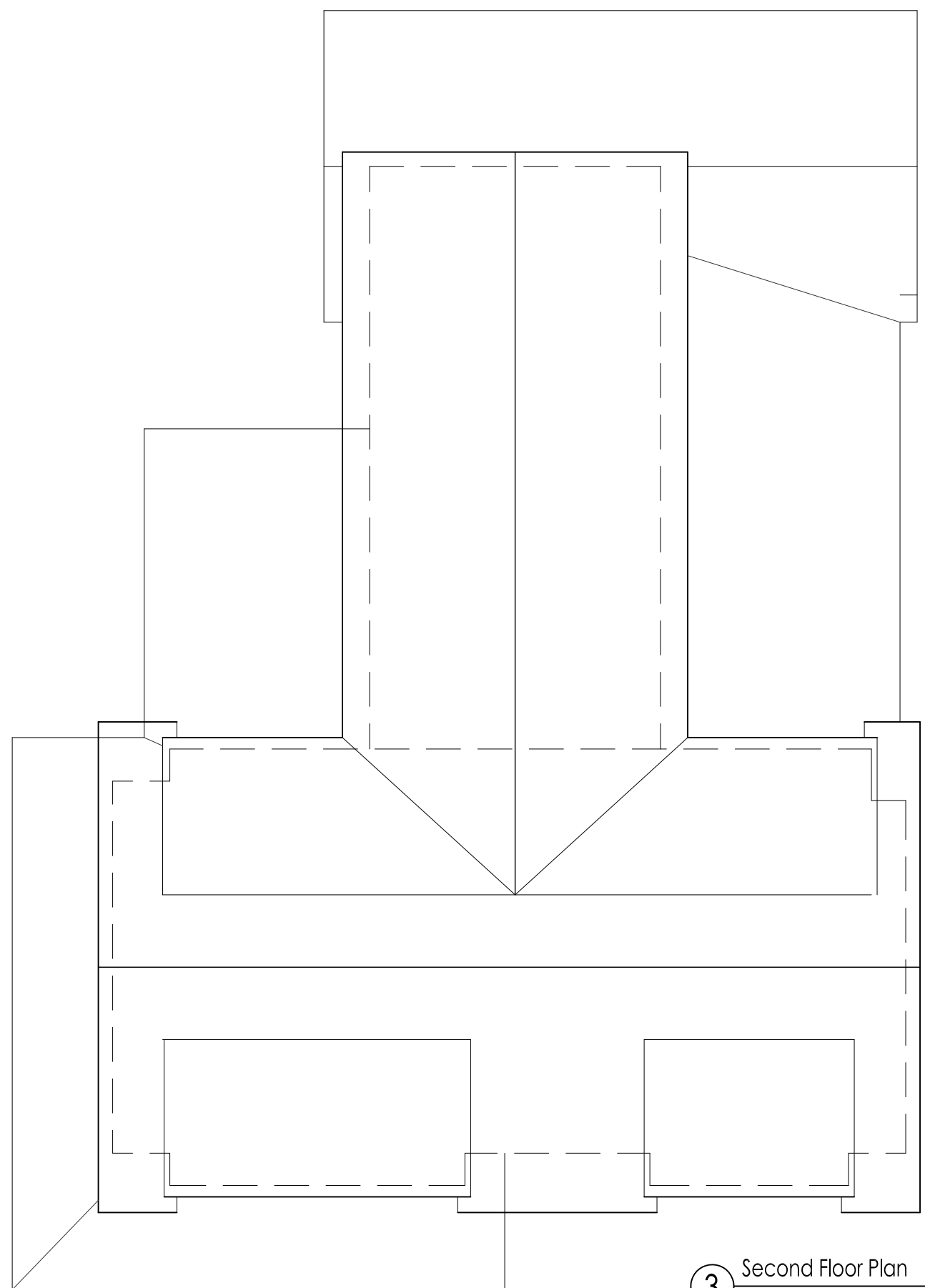
Imagery © Google

Single Family Residence

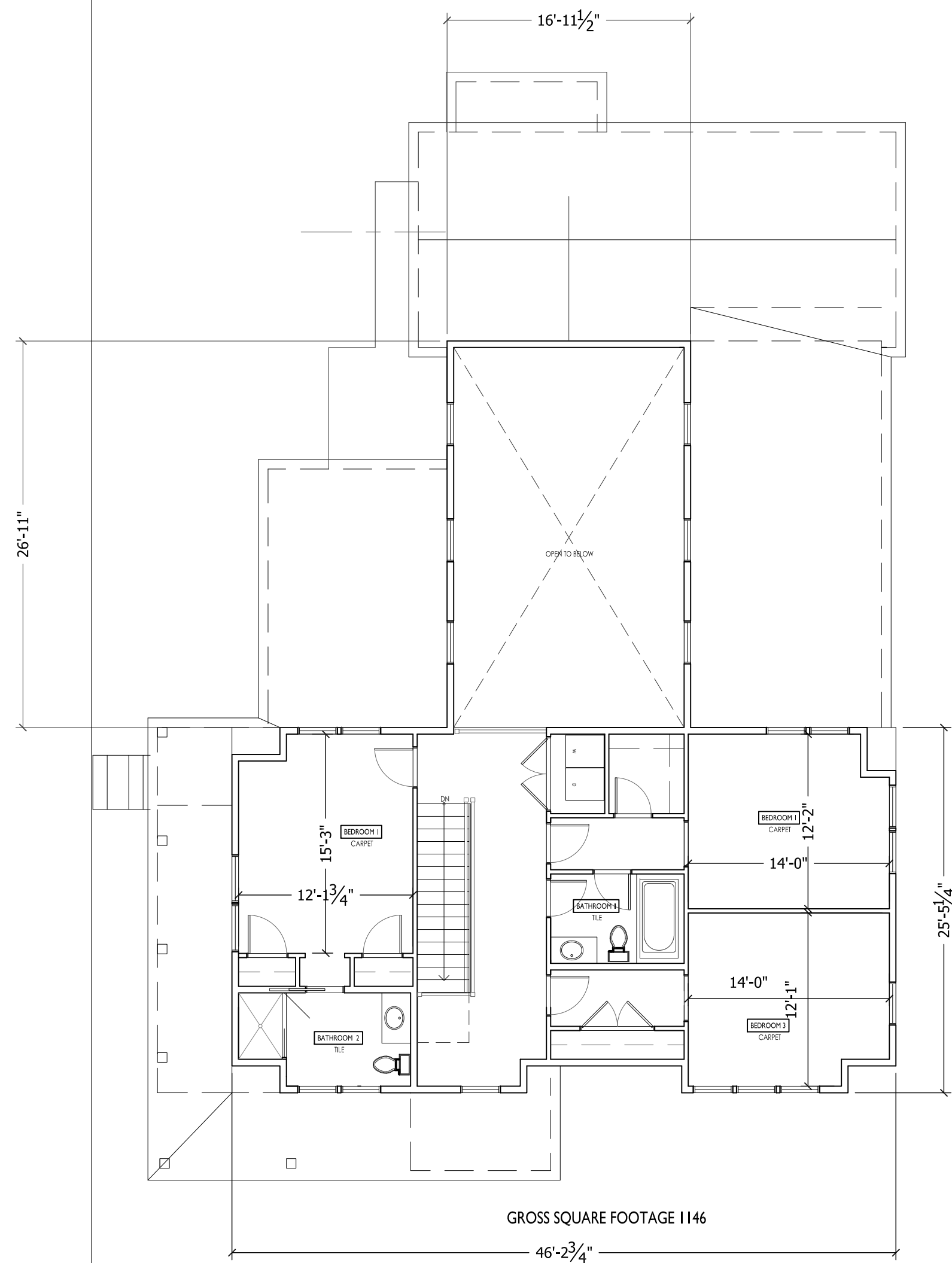
40 Williston Road, Newton, MA



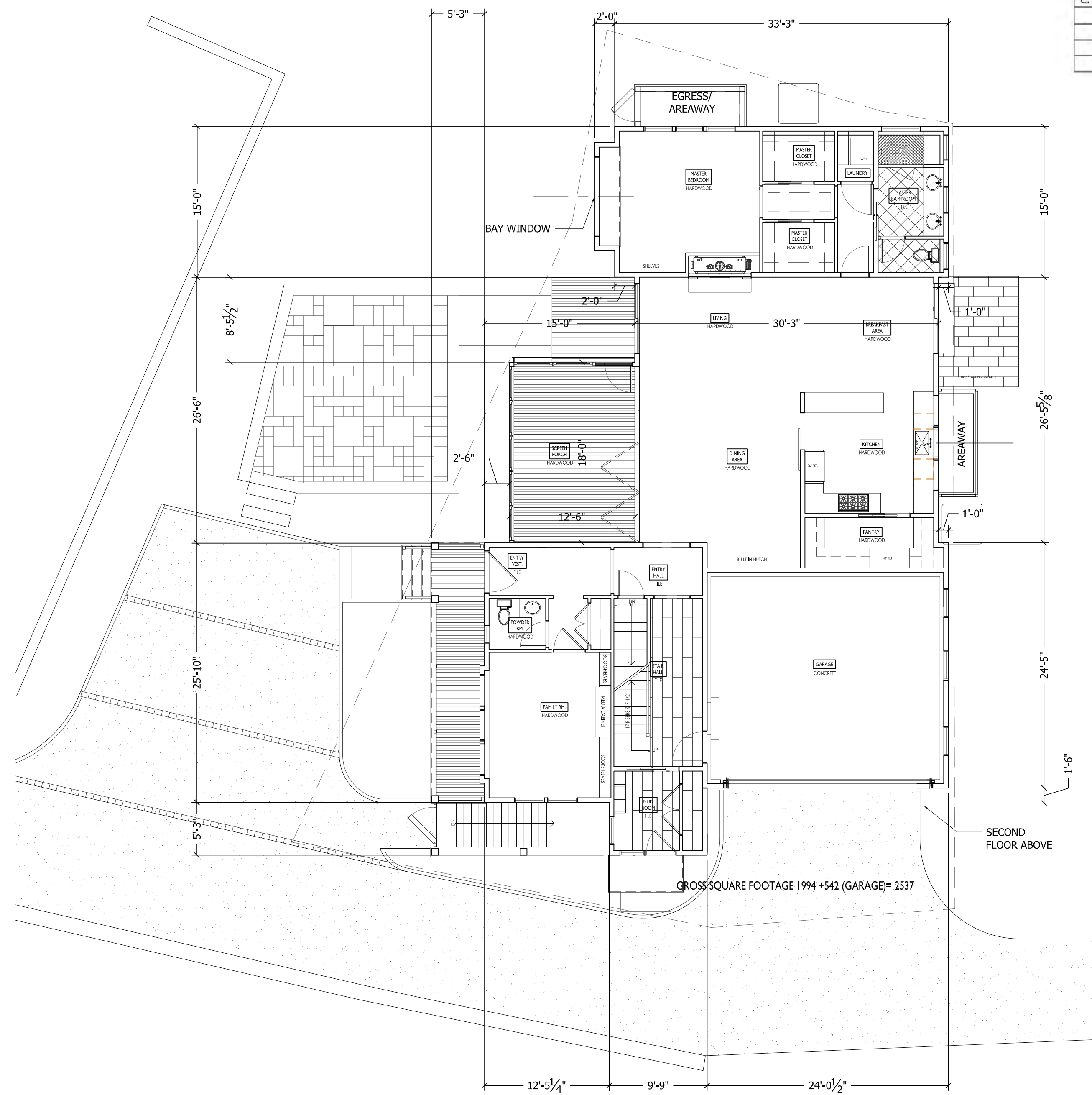
RBLA Design LLC
rbladesign.com * 781.686.4486



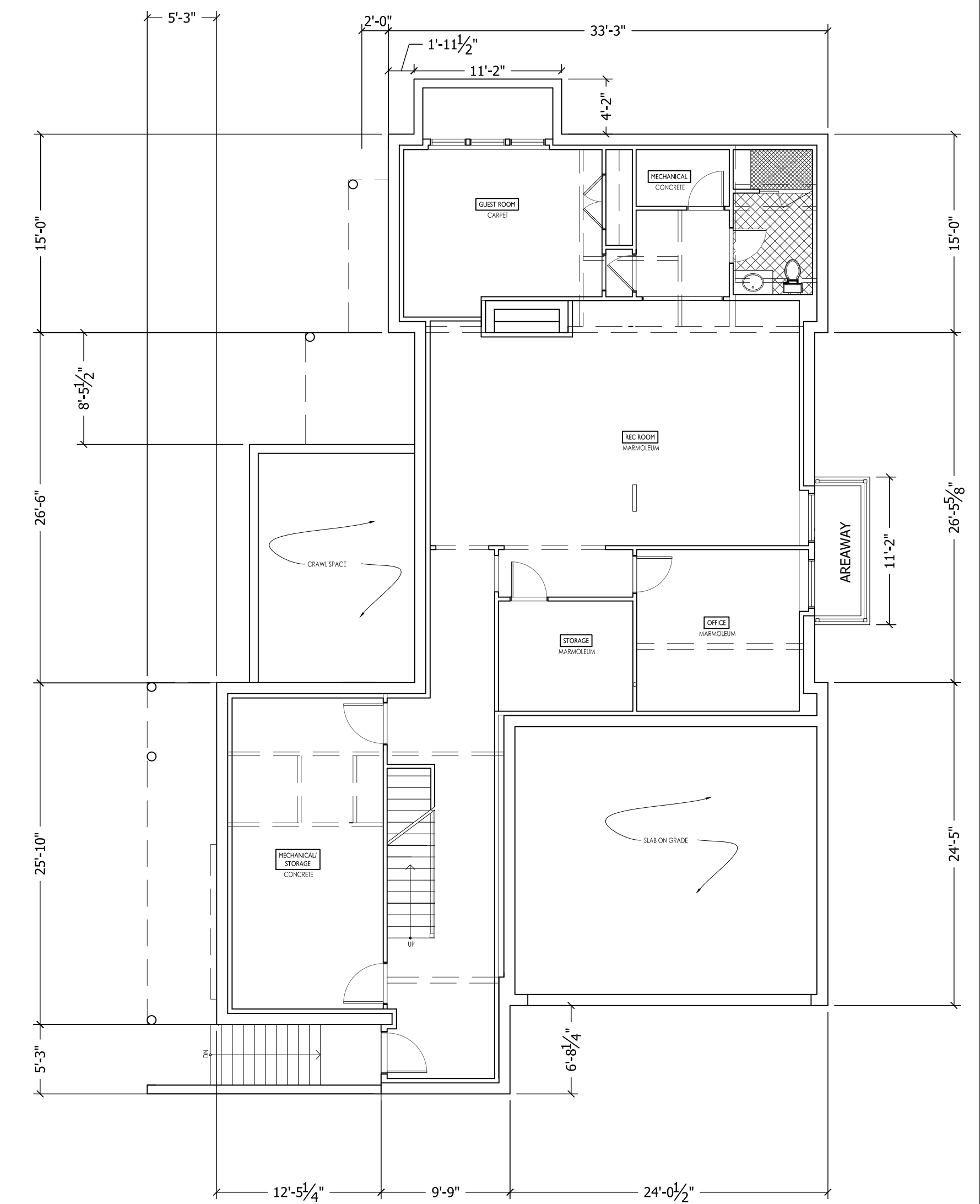
③ Second Floor Plan
Scale: 1/8"=1'-0"



③ Second Floor Plan
Scale: 1/8"=1'-0"



② First Floor Plan
Scale: 1/8"=1'-0"



① Basement Plan
Scale: 1/8"=1'-0"

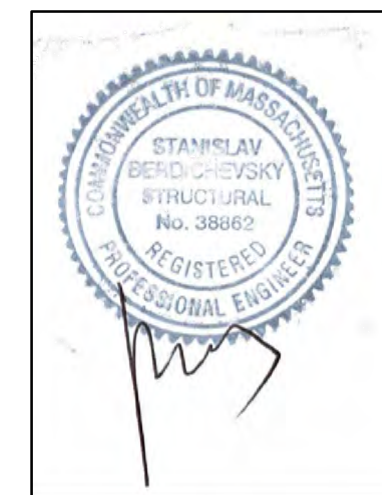


Seri D. Warren
Mayor

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Department of Inspectional Services
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John Lojek
Commissioner

SPECIAL PERMIT APPLICATION
SITE PLAN REVIEW



FLOOR AREA RATIO WORKSHEET

For Residential Single and Two Family Structures

Property address: 40 Williston Road- Proposed Rear Lot

Zoning District: SR3 Lot Size: 13949 SQ. FT.

FAR Calculations for Regulations Effective As Of October 15, 2011	
Inputs (square feet)	
1. First story	1994.4 sqft
2. Attached garage	541.7 sqft
3. Second story	1165 sqft
4. Atria, open wells, and other vertical spaces (if not counted in first/second story)	NA
5. Certain floor area above the second story ^{ab}	46 sf >75 sf- NA
6. Enclosed porches ^{ab}	NA
7. Mass below first story ^{ab}	NA
8. Detached garage	NA
9. Area above detached garages with a ceiling height of 7' or greater	NA
10. Other detached accessory buildings (one detached building up to 120 sq. ft. is exempt)	NA
FAR of Proposed Structure(s)	
A. Total gross floor area (sum of rows 1-9 above)	3701.1 sqft
B. Lot size	13,949 sqft
C. FAR = A/B	.26
Allowed FAR	
Allowable FAR	.24
Bonus of .02 if eligible ^{ab}	NA
TOTAL Allowed FAR	3463.2 sqft

SBW Design
phone 617-416-3184
email 617-416-3184
67 Hancock Street
Auburndale, Massachusetts
02466

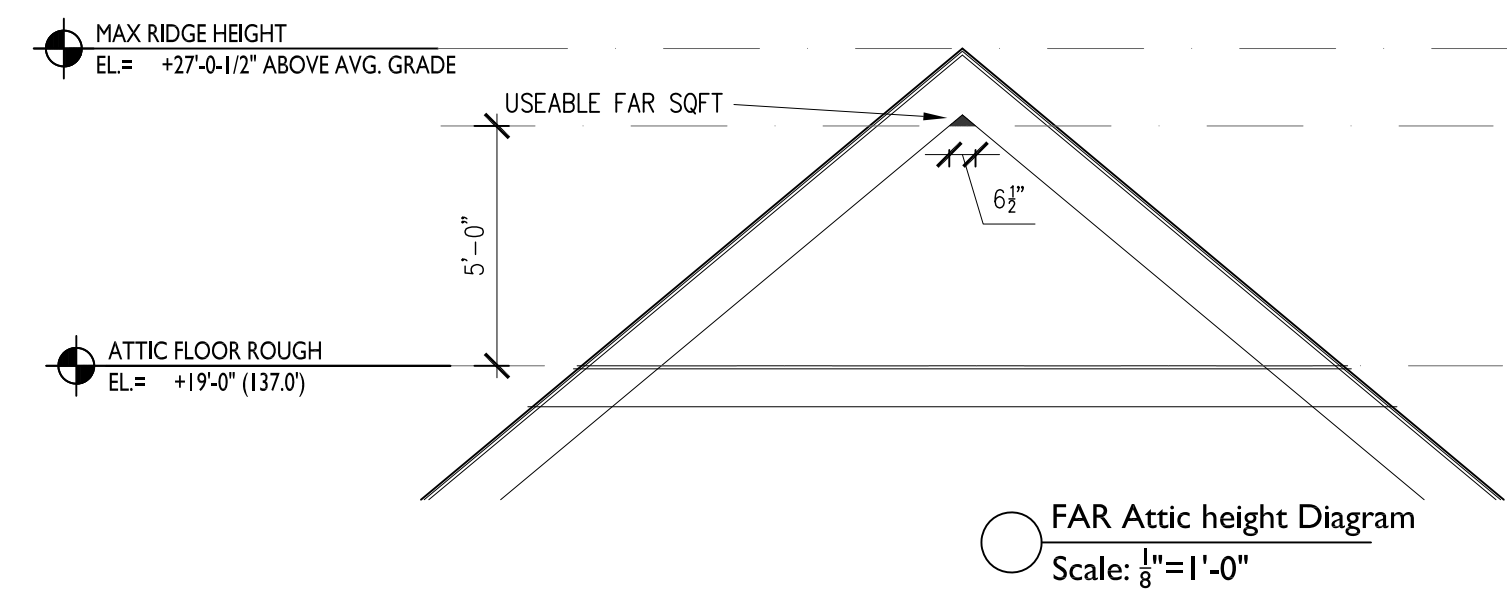
The Brooks Residence
40 Williston Road
Auburndale, MA 02466

Floor Plans
SCALE: 1/8"=1'-0" (U.O.N.)

ISSUED	11/20/19	Special Permit Application
1		
2		
3		
4		
5		
6		

A1.0

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MAX RIDGE HEIGHT
EL. = +36' ABOVE AVG. GRADE

MAX RIDGE HEIGHT
EL. = +27'-0-1/2" AVERAGE GRADE EL. 145.79

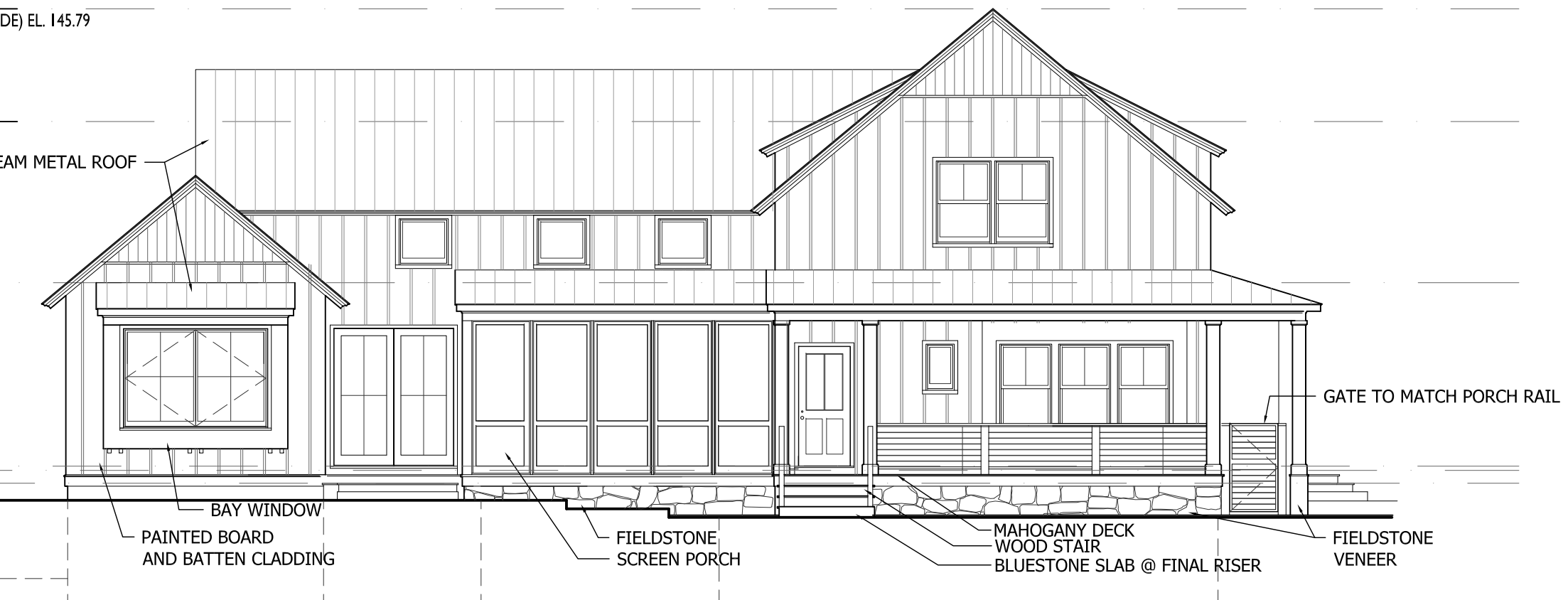
ATTIC FLOOR ROUGH
EL. = +19'-0" (139.0)

SECOND FLOOR ROUGH
EL. = +10'-9" (130.75)

FIRST FLOOR ROUGH
EL. = 0'-0" (120.0)

AVERAGE GRADE
EL. = 118.75

TOP OF GARAGE SLAB
EL. = (-1'-0") 119.0



1 Front Elevation
Scale: 1/8"=1'-0"

MAX RIDGE HEIGHT
EL. = +27'-0-1/2" AVERAGE GRADE EL. 145.79

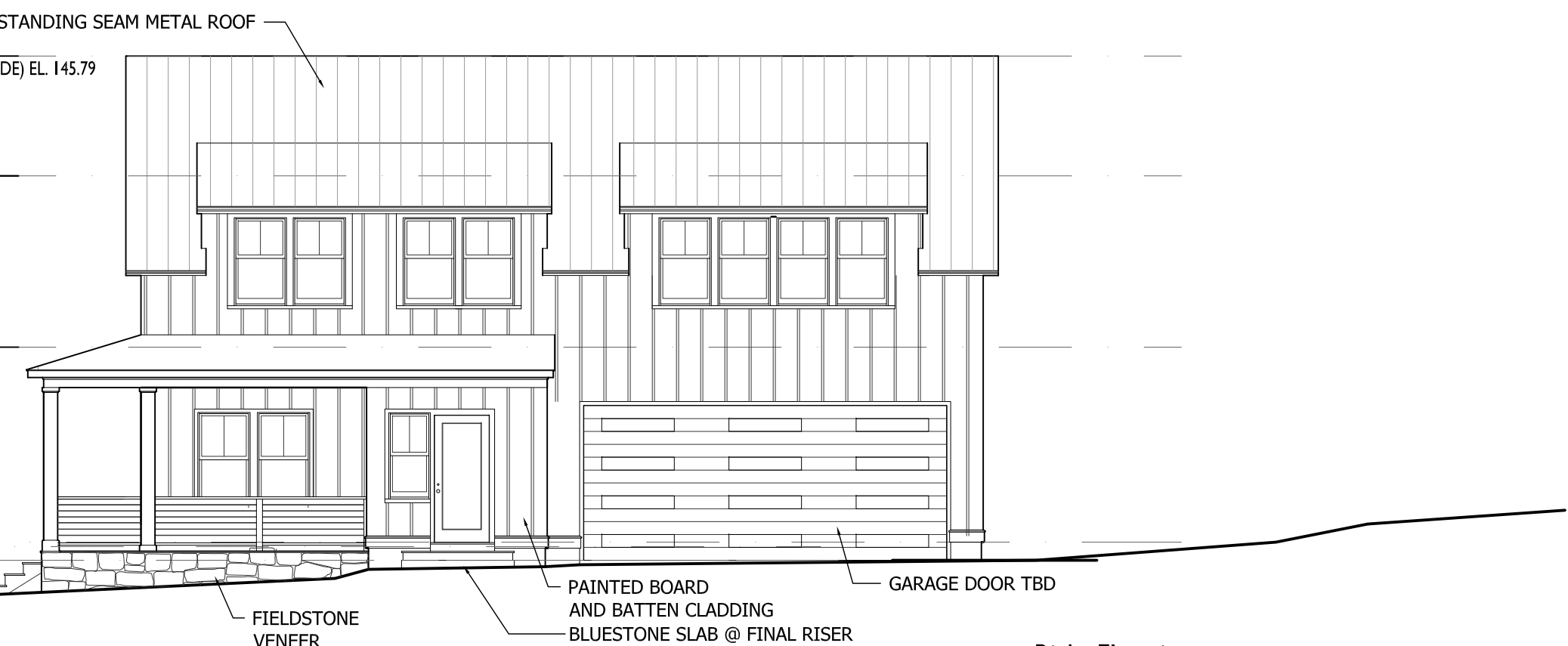
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SECOND FLOOR ROUGH
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FIRST FLOOR ROUGH
EL. = 0'-0" (120.0)

AVERAGE GRADE
EL. = 118.75

TOP OF GARAGE SLAB
EL. = (-1'-0") 119.0



2 Right Elevation
Scale: 1/8"=1'-0"

MAX RIDGE HEIGHT
EL. = +27'-0-1/2" AVERAGE GRADE EL. 145.79

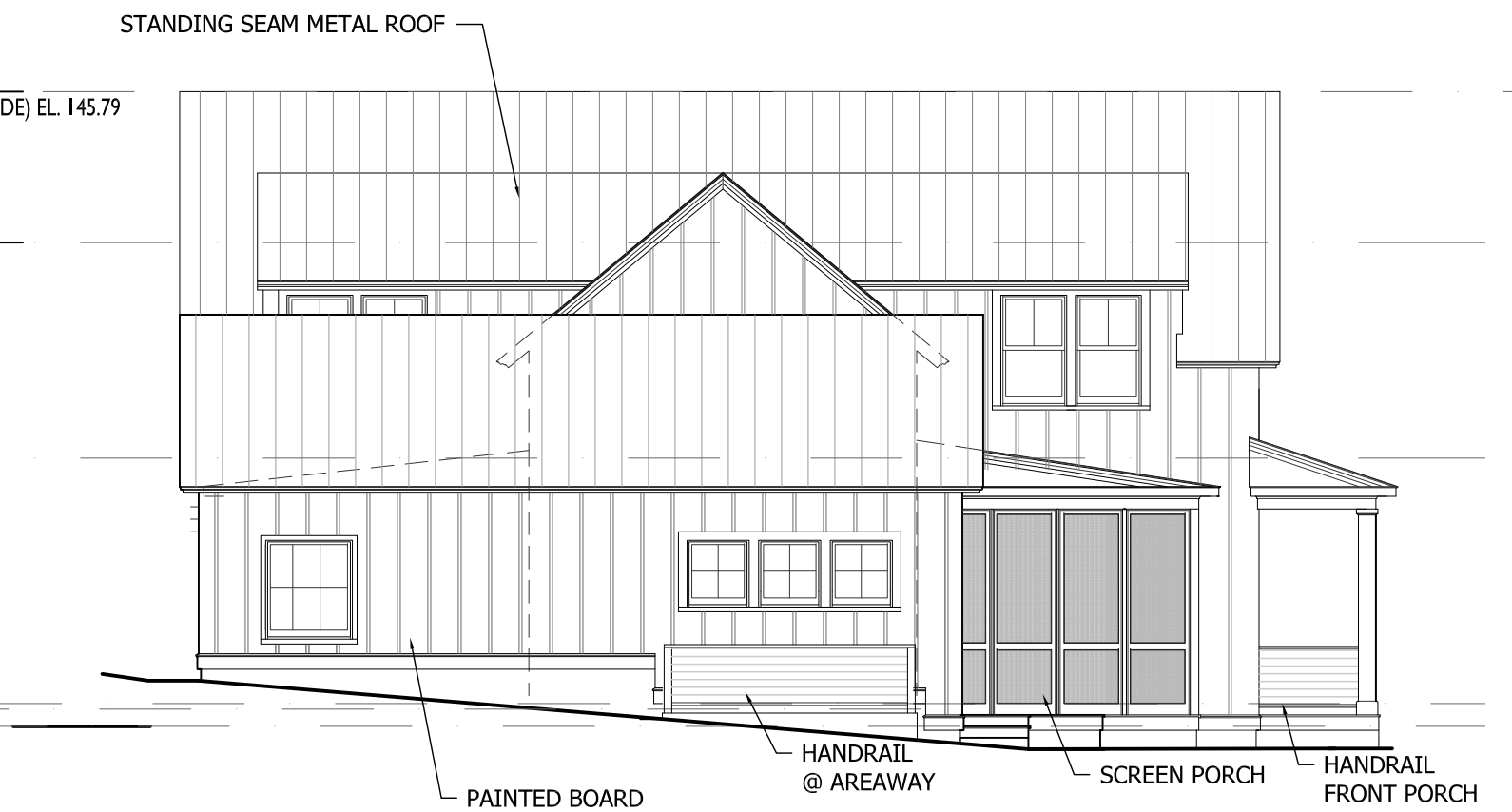
ATTIC FLOOR ROUGH
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SECOND FLOOR ROUGH
EL. = +10'-9" (130.75)

FIRST FLOOR ROUGH
EL. = 0'-0" (120.0)

AVERAGE GRADE
EL. = 118.75

TOP OF GARAGE SLAB
EL. = (-1'-0") 119.0



3 Left Elevation
Scale: 1/8"=1'-0"

MAX RIDGE HEIGHT
EL. = +27'-0-1/2" AVERAGE GRADE EL. 145.79

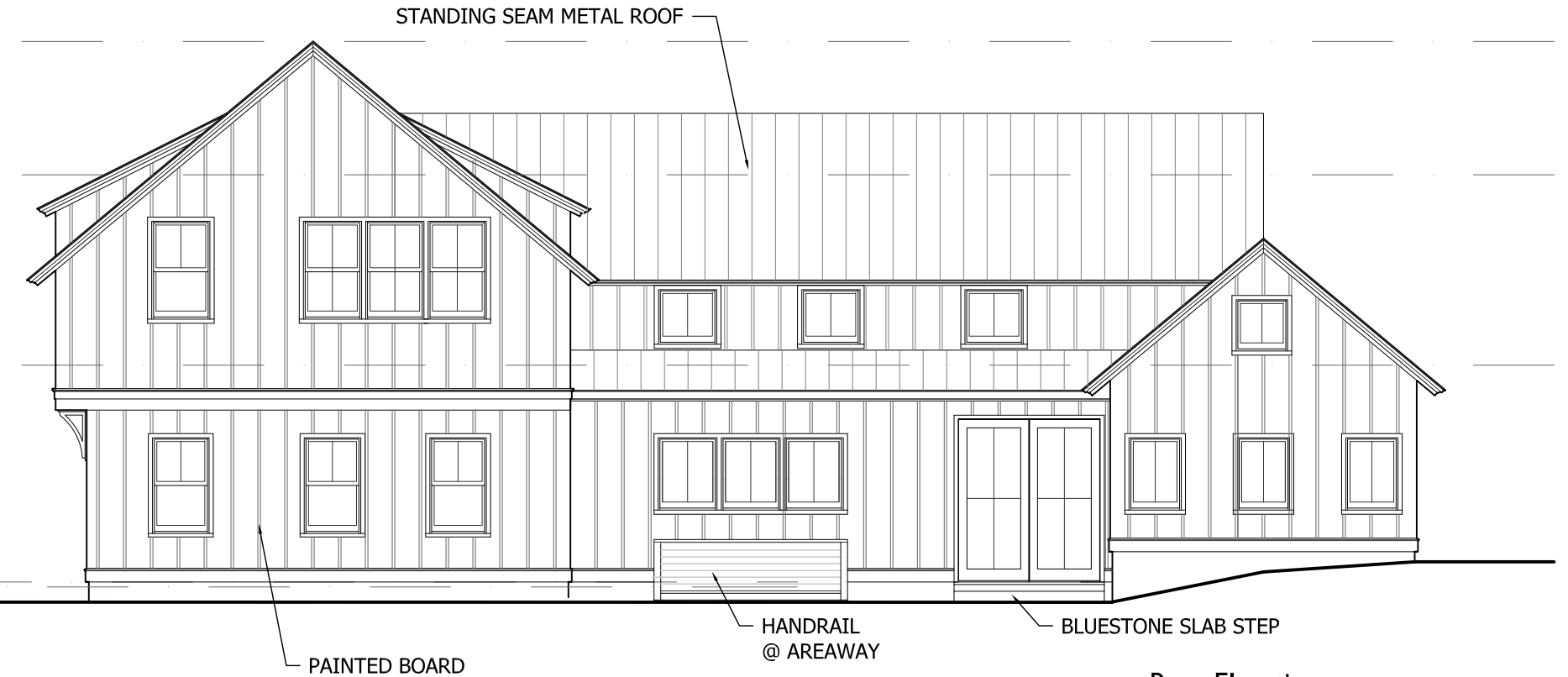
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SECOND FLOOR ROUGH
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FIRST FLOOR ROUGH
EL. = 0'-0" (120.0)

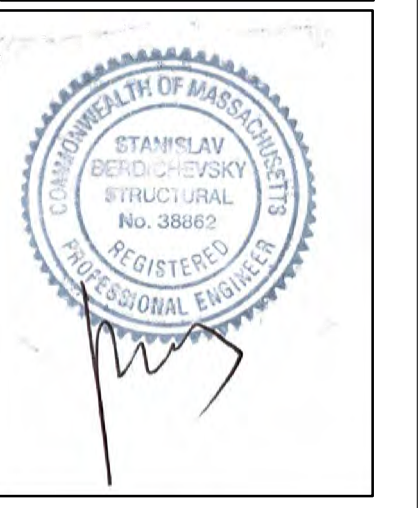
AVERAGE GRADE
EL. = 118.75

TOP OF GARAGE SLAB
EL. = (-1'-0") 119.0



4 Rear Elevation
Scale: 1/8"=1'-0"

SPECIAL PERMIT APPLICATION
SITE PLAN REVIEW



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phone 017-416-3184
email 017-416-3184
67 Hancock Street
Auburndale, Massachusetts
02466

The Brooks Residence
40 Williston Road
Auburndale, MA 02466

Exterior Elevations
SCALE: 1/8"=1'-0" (U.O.N.)

ISSUED	1	2	3	4	5	6
Special Permit Application						

A2.0

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Section 1-1



Section 2-2



Section 3-3

SBW Design
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email 617-416-3184
57 Hancock Street
Auburndale, Massachusetts
02466



BROOKS RESIDENCE
40 Williston Road
Auburndale, Massachusetts

Site Sections

ISSUE:
Site Plan Review

Revision:

Date:
Drawn By:

A001