

# ASCEND MASS DISPENSARY

1089 WASHINGTON STREET NEWTON, MA

**PERMITTING PLANS**

AUGUST 01, 2019

REVISED JANUARY 23, 2020

PREPARED FOR

**ASCEND MASS, LLC**  
500 TOTTEN POND ROAD  
WALTHAM, MA 02451  
857-303-6140



PREPARED BY

**FUSS & O'NEILL**

108 MYRTLE STREET, SUITE 502  
QUINCY, MA 02171  
617.282.4675  
www.fando.com

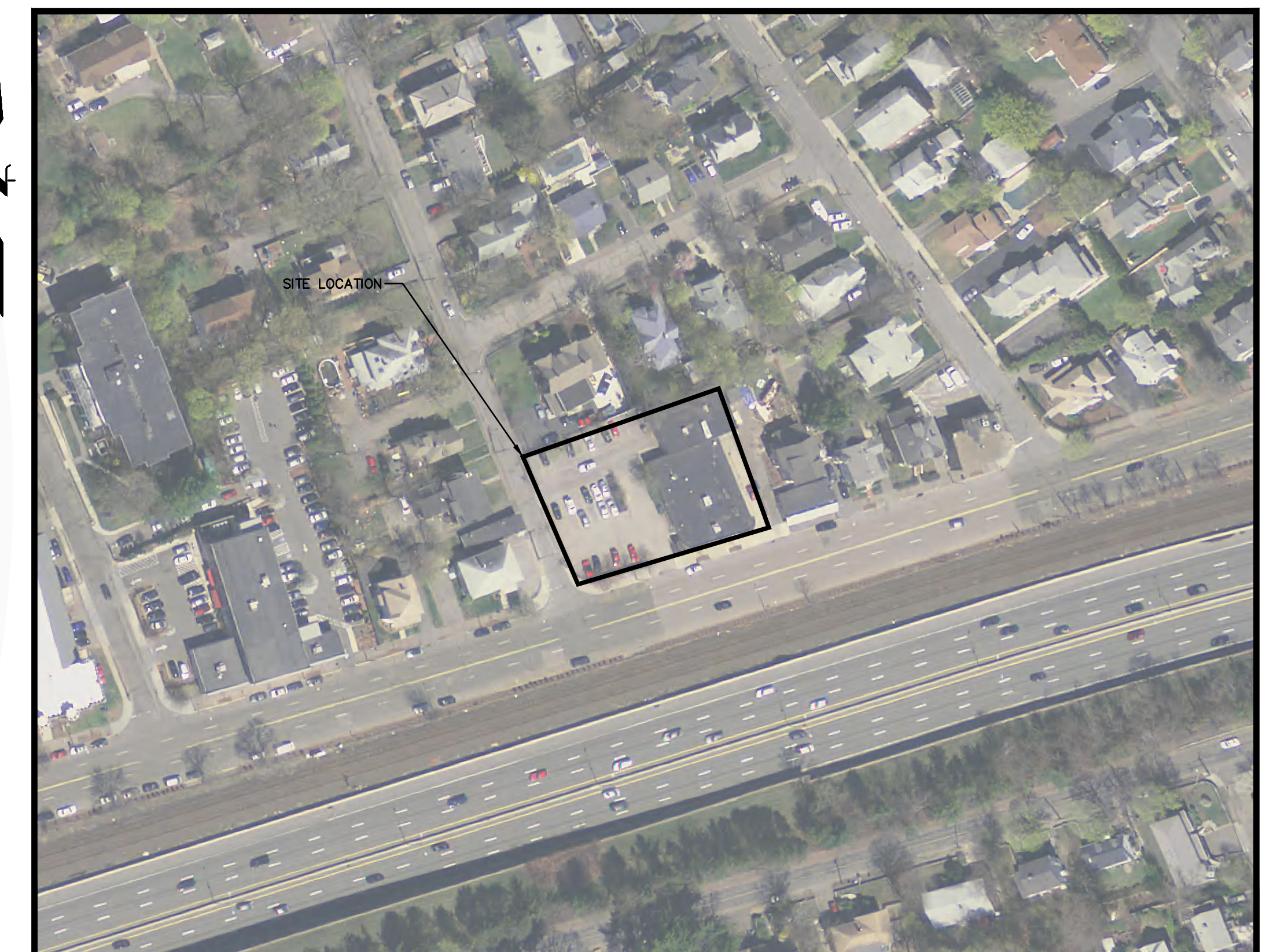
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## PROJECT TEAM

ARCHITECT  
BKA ARCHITECTS INC  
344 BOYLSTON STREET  
BOSTON, MA 02116  
508-728-3853

LAND SURVEYOR  
CONTROL POINT ASSOCIATES  
45 FRANKLIN STREET 5TH FLOOR  
BOSTON, MA 02110  
857-400-3311



**LOCATION MAP**

SCALE: 1" = 100'

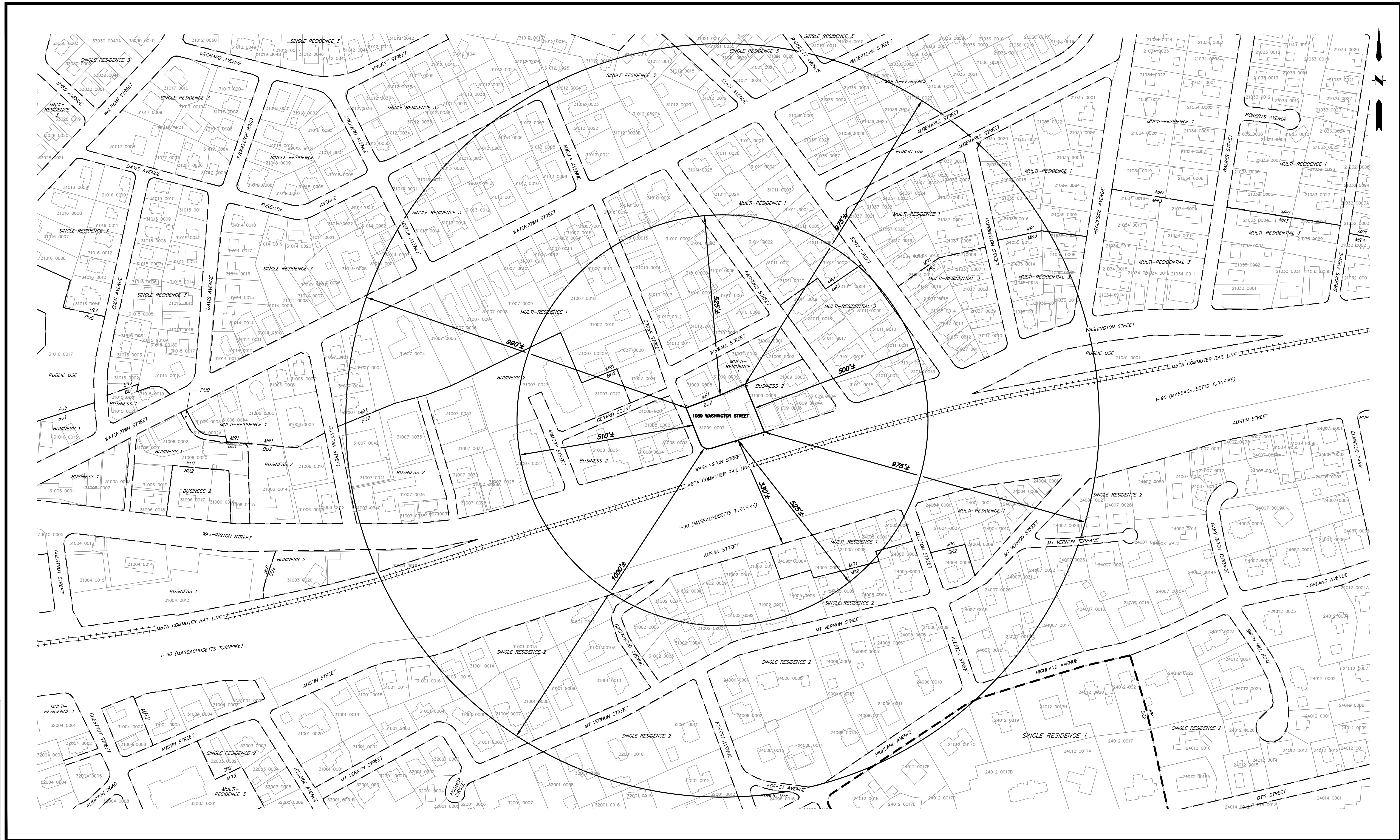


NOT FOR CONSTRUCTION

PROJ. No.: 20190241.A20  
DATE: 11/12/2019

**GI-001**





No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.			XX/XX	XX

SEAL



1 / 23 / 2020

SCALE:  
 HORZ.: 1" = 120'  
 VERT.:  
 DATUM:  
 HORZ.:  
 VERT.:  
 GRAPHIC SCALE

**f** **FUSS & O'NEILL**  
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 QUINCY, MA 02171  
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 www.fando.com

ASCEND MASS, LLC  
 CONTEXT MAP  
 1089 WASHINGTON STREET  
 NEWTON MASSACHUSETTS

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 DATE: AUGUST 1, 2019  
**GI-002**



**GENERAL**

- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
- PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
- SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDINGS AND ADJACENT SITE ELEMENTS INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- BASE PLAN: THE PROPERTY LINES, TOPOGRAPHY, AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED BY CONTROL POINT ASSOCIATES, FIELD OBSERVATIONS, AND RECORD PLANS.
- TOPOGRAPHIC ELEVATIONS ARE BASED ON NAVD88.
- FLOOD ZONE: THE SUBJECT SITE LIES WITHIN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 25017C0552E, EFFECTIVE DATE JUNE 4, 2010.
- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE FOR INSPECTION AT THE CONSTRUCTION SITE AT ALL TIMES.

**WORK RESTRICTIONS**

- DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
- WORK IS RESTRICTED TO THE HOURS OF 7 AM TO 5 PM ON MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

**REGULATORY REQUIREMENTS**

- WITHIN RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS.
- AT A MINIMUM, CONSTRUCT ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- SECURE THE PROJECT SITE AND PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
- DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

**DEMOLITION**

- THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED, PERFORM A PRE-BID SITE INSPECTION. COORDINATE DEMOLITION OF UNIDENTIFIED UTILITIES OR STRUCTURES WITH OWNER. DEMOLISH STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES.
- TREES, BRUSH AND STUMPS REMOVED BY CLEARING & GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
- ITEMS TO BE STOCKPILED ON-SITE FOR REUSE OR TO BE RELOCATED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED IN-KIND AT NO ADDITIONAL COST TO THE OWNER.

**EARTHWORK**

- NOTIFY THE FOLLOWING AT LEAST 72 HOURS BEFORE STARTING EXCAVATION EXCLUSIVE OF WEEKENDS AND HOLIDAYS.  
"DIG SAFE" AT 1-888-344-7233.
- WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, PERFORM EARTHWORK OPERATIONS TO SUBGRADE ELEVATIONS. SEE DRAWINGS BY OTHERS FOR WORK ABOVE SUBGRADE.

**SITE RESTORATION**

- PROVIDE 6 INCHES OF TOPSOIL AND SEED IN AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED AS IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED. SUPPLEMENT EXISTING TOPSOIL WITH IMPORTED TOPSOIL AS REQUIRED TO ACHIEVE DEPTH.
- REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
- RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.

**CONSTRUCTION LAYOUT**

- PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND DRAINAGE STRUCTURES BEFORE START OF CONSTRUCTION.
- PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
- IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
- DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
- BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

**EROSION AND SEDIMENT CONTROL**

- DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW AND LOCAL ORDINANCE. WORK SHALL COMPLY WITH THE FOLLOWING CRITERIA TO PREVENT OR MINIMIZE SOIL EROSION.
- INSTALL, INSPECT, MAINTAIN, AND REPAIR OR REPLACE TEMPORARY AND PERMANENT EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION IN A TIMELY MANNER THROUGHOUT THE LIFE OF THE PROJECT. MAINTAIN PERMANENT MEASURES UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETED OR UNTIL IT IS ACCEPTED BY THE OWNER. DISPOSE OF SEDIMENT IN AN UPLAND AREA.
- INSPECT EROSION AND SEDIMENT CONTROLS DAILY AND REMOVE ACCUMULATED SEDIMENTS AS NEEDED. REPAIR OR CORRECT ANY ISSUES.
- MAINTAIN A STOCKPILE OF ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES ON SITE AT ALL TIMES. AT A MINIMUM, MAINTAIN A STOCKPILE OF AT LEAST 100 FEET OR 10% OF THE TOTAL AMOUNT OF DEVICES CURRENTLY DEPLOYED AT THE SITE, WHICHEVER IS GREATER.
- CLEAN ROADS, CONTROL DUST, AND TAKE NECESSARY MEASURES TO ENSURE THAT THE SITE AND ALL ROADS BE MAINTAINED IN A MUD- AND DUST-FREE CONDITION AT ALL TIMES THROUGHOUT THE LIFE OF THE CONTRACT. DUST CONTROL SHALL INCLUDE, BUT IS NOT LIMITED TO, WATER AND/OR CRUSHED STONE OR COARSE GRAVEL, SUBJECT TO THE APPROVAL OF THE ENGINEER.
- INSTALL PERIMETER SEDIMENT CONTROL BARRIERS AS SHOWN ON THE SITE PLANS OR AS MAY BE REQUIRED TO PREVENT SEDIMENT FLOW TO STORM DRAINS OR SURFACE WATERS. A ROW OF STAKED HAYBALES OR A SILT FENCE SHALL ALSO BE INSTALLED AROUND ANY SOIL STOCKPILE AREAS. CLEANOUT OF ACCUMULATED SEDIMENT BEHIND PERIMETER SEDIMENT CONTROL BARRIER IS NECESSARY IF ONE-HALF THE ORIGINAL HEIGHT OF THE BARRIER BECOMES FILLED WITH SEDIMENT. REPLACE BARRIER IMMEDIATELY IF BARRIER DECOMPOSED OR BECOMES INEFFECTIVE.
- PERFORM CONSTRUCTION SEQUENCING IN SUCH A MANNER TO CONTROL EROSION AND TO MINIMIZE THE TIME THAT EARTH MATERIALS ARE EXPOSED BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED.
- IF FINAL GRADING IS TO BE DELAYED FOR MORE THAN THIRTY (30) DAYS AFTER LAND DISTURBANCES CEASE, TEMPORARY VEGETATION OR MULCH SHALL BE USED TO STABILIZE SOILS. OUTSIDE OF THE GROWING SEASON, ONLY WOOD MULCH SHALL BE USED.
- PERMANENT VEGETATIVE COVER SHALL BE APPLIED TO ALL DISTURBED AREAS THAT HAVE REACHED FINISHED GRADE AS SOON AS POSSIBLE, BUT NOT MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT AREA HAS PERMANENTLY CEASED. THE RECOMMENDED PERMANENT SEEDING DATES ARE APRIL 1 TO JUNE 15 AND AUGUST 15 TO SEPTEMBER 30.

LIMESTONE AND FERTILIZER SHALL BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS OFFERED BY THE UNIVERSITY OF MASSACHUSETTS SOIL TESTING LABORATORY. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11.5 POUNDS PER 1,000 SQUARE FEET OF 10-20-20 OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AS FOLLOWS: 4 TONS PER ACRE (OR 180 POUNDS PER 1,000 SQUARE FEET) FOR CLAY, CLAY LOAM AND HIGH ORGANIC SOIL; 3 TONS PER ACRE (OR 135 POUNDS PER 1,000 SQUARE FEET) FOR SANDY LOAM, LOAM, OR SILT LOAM; AND 2 TONS PER ACRE (OR 90 POUNDS PER 1,000 SQUARE FEET) LOAMY SAND OR SAND.

- EXISTING OR PROPOSED STORMWATER DRAINAGE STRUCTURES THAT MAY BE SUBJECT TO SEDIMENTATION SHALL BE PROTECTED WITH STAKED STRAW BALES, WATTLES, SILT FENCE, SILT SACKS, OR OTHER APPROVED MEASURES THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.
- WASTE DISPOSAL: MATERIALS WHICH COULD BE A POTENTIAL SOURCE OF STORMWATER POLLUTION SUCH AS GASOLINE, DIESEL FUEL, HYDRAULIC OIL, ETC., SHALL BE STORED AT THE END OF EACH DAY IN A STORAGE TRAILER OR COVERED LOCATION AND TAKEN OFF-SITE AND PROPERLY DISPOSED OF. ALL TYPES OF WASTE GENERATED AT THIS SITE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH STATE LAW AND/OR REGULATIONS.
- GOOD HOUSEKEEPING: THE PROJECT SITE SHALL PROVIDE FOR THE MINIMIZATION OF EXPOSURE OF CONSTRUCTION DEBRIS (INCLUDING, BUT NOT LIMITED TO, INSULATION, WIRING, PAINTS AND PAINT CANS, SOLVENTS, WALL BOARD, ETC.) TO PRECIPITATION BY MEANS OF DISPOSAL AND/OR PROPER SHELTER OR COVER. CONSTRUCTION WASTE MUST BE PROPERLY DISPOSED OF IN ORDER TO AVOID EXPOSURE TO PRECIPITATION AT THE END OF EACH WORKING DAY.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROL MEASURES. CLEAN SEDIMENT AND DEBRIS FROM TEMPORARY MEASURES AND FROM PERMANENT STORM DRAIN AND SANITARY SEWER SYSTEMS.

**UTILITIES**

- PERFORM EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND PRECAUTIONARY MEASURES ARE REQUIRED TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT NO EXPENSE TO THE OWNER EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
- NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. WATER, GAS, SEWER AND OTHER UTILITY SERVICES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- TERMINATE EXISTING UTILITIES IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. COORDINATE UTILITY SERVICE DISCONNECTS WITH UTILITY REPRESENTATIVES.
- THE TYPE, SIZE AND LOCATION OF DEPICTED UNDERGROUND UTILITIES ARE APPROXIMATE REPRESENTATIONS OF INFORMATION OBTAINED FROM FIELD LOCATIONS OF VISIBLE FEATURES, EXISTING MAPS AND PLANS OF RECORD, UTILITY MAPPING, AND OTHER SOURCES OF INFORMATION OBTAINED BY THE ENGINEER. ASSUME NO GUARANTEE AS TO THE COMPLETENESS, SERVICEABILITY, EXISTENCE, OR ACCURACY OF UNDERGROUND FACILITIES. FIELD VERIFY THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES.
- PAY ALL FEES AND COSTS ASSOCIATED WITH UTILITY MODIFICATIONS AND CONNECTIONS, REGARDLESS OF THE ENTITY THAT PERFORMS THE WORK.
- COORDINATE THE WORK AND WORK SCHEDULE WITH UTILITY COMPANIES. PROVIDE ADEQUATE NOTICE TO UTILITIES TO PREVENT DELAYS IN CONSTRUCTION.
- INTERIOR DIAMETERS OF STORM DRAIN AND SANITARY SEWER STRUCTURES SHALL BE DETERMINED BY THE PRECAST MANUFACTURER, BASED ON THE INDICATED PIPE SYSTEM LAYOUT AND LOCAL MUNICIPAL STANDARDS.  
  
MINIMUM INTERIOR DIAMETERS:  
0 TO 20 FEET DEEP: 4 FEET.  
20 FEET OR GREATER: 5 FEET.
- RIM ELEVATIONS FOR MANHOLES AND OTHER STRUCTURES ARE APPROXIMATE. SET OR RESET RIM ELEVATIONS AS FOLLOWS:  
  
IN PAVEMENTS AND CONCRETE SURFACES: FLUSH  
IN SURFACES ALONG ACCESSIBLE ROUTES: FLUSH  
IN LANDSCAPE, SEEDED, AND OTHER EARTH SURFACE AREAS:  
1 INCH ABOVE SURROUNDING AREA; TAPER EARTH TO RIM ELEVATION.

**PLANTING**

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS.
- SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT NO EXPENSE TO THE OWNER.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
- ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
- ANY DAMAGED VEGETATION SHALL BE REPLACED OR REPAIRED AT NO EXPENSE TO THE OWNER.
- ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" THICK.
- WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
- FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
- ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE SOIL MATERIALS, FINE RAKED, SCARIFIED AND STABILIZED WITH VEGETATION, AND/OR EROSION AND SEDIMENTATION CONTROLS.
- ADJUSTMENTS TO THE LOCATION OF THE PROPOSED PLANT MATERIALS AS A RESULT OF CONFLICTS WITH EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- MAINTAIN, REPLACE, AND REPAIR PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
- UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
- SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO CLEARING OPERATIONS.
- ALL DISTURBED AREAS ARE TO BE SEEDED WITH LAWN UNLESS OTHERWISE NOTED ON LANDSCAPE PLAN.
- PLANT MATERIAL WITHIN TRAFFIC SIGHT LINES AT INTERSECTIONS TO BE LESS THAN 3 FEET IN HEIGHT AND TREES ARE TO BE LIMBED UP TO A BRANCHING HEIGHT OF AT LEAST 7 FEET.
- TREES ALONG SIDEWALKS TO BE LIMBED TO A HEIGHT OF 7-8 FEET ABOVE GROUND.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.				
2.				
3.				
4.				
5.				
6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD
7.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
8.	11/02/2019	REVISED PERMITTING PLANS	JEV	DD
9.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
10.	8/30/2019	REVISED PERMITTING PLANS	JEV	DD



SCALE: HORIZ.: AS NOTED  
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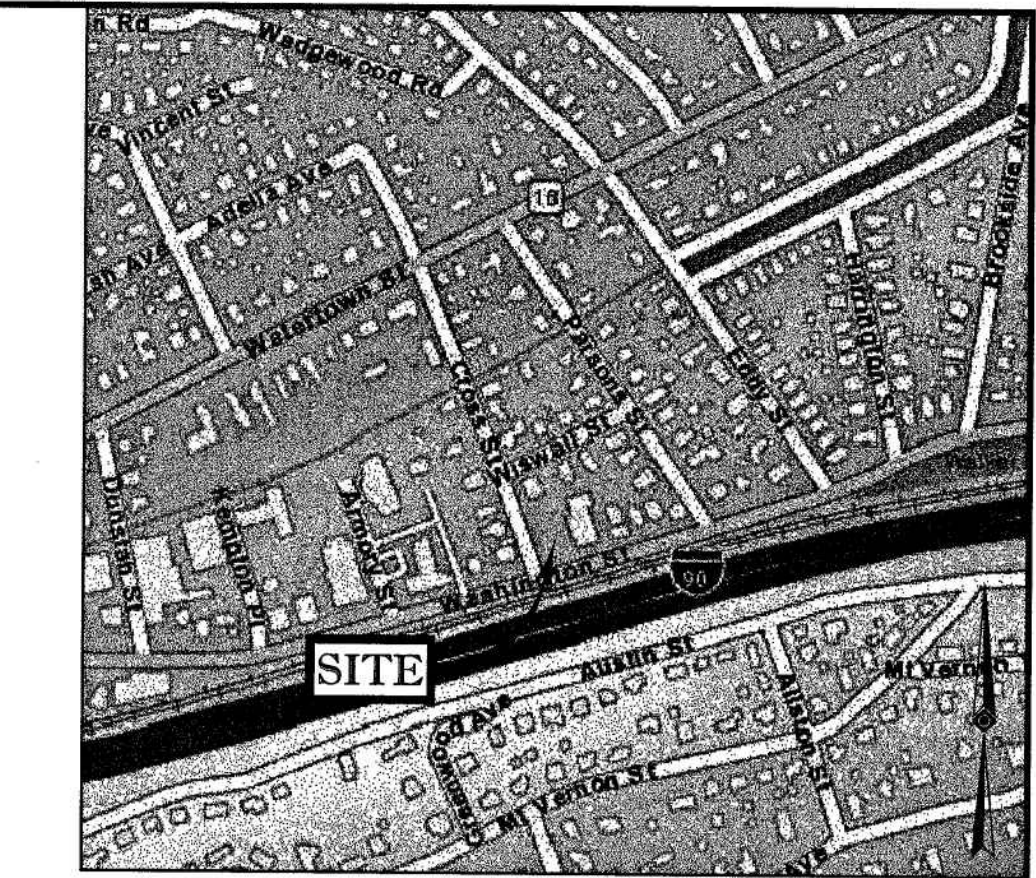
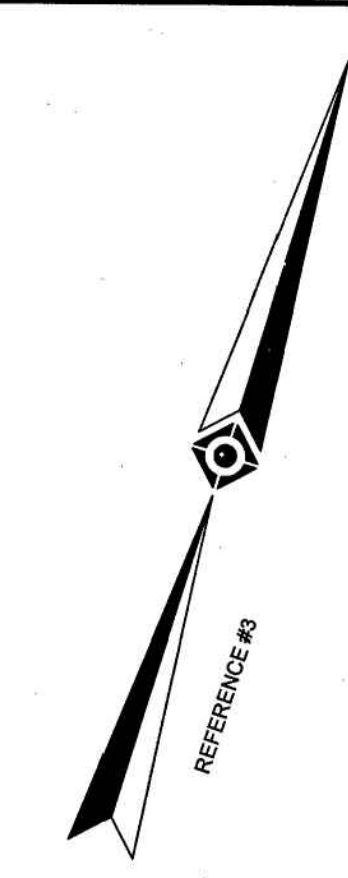
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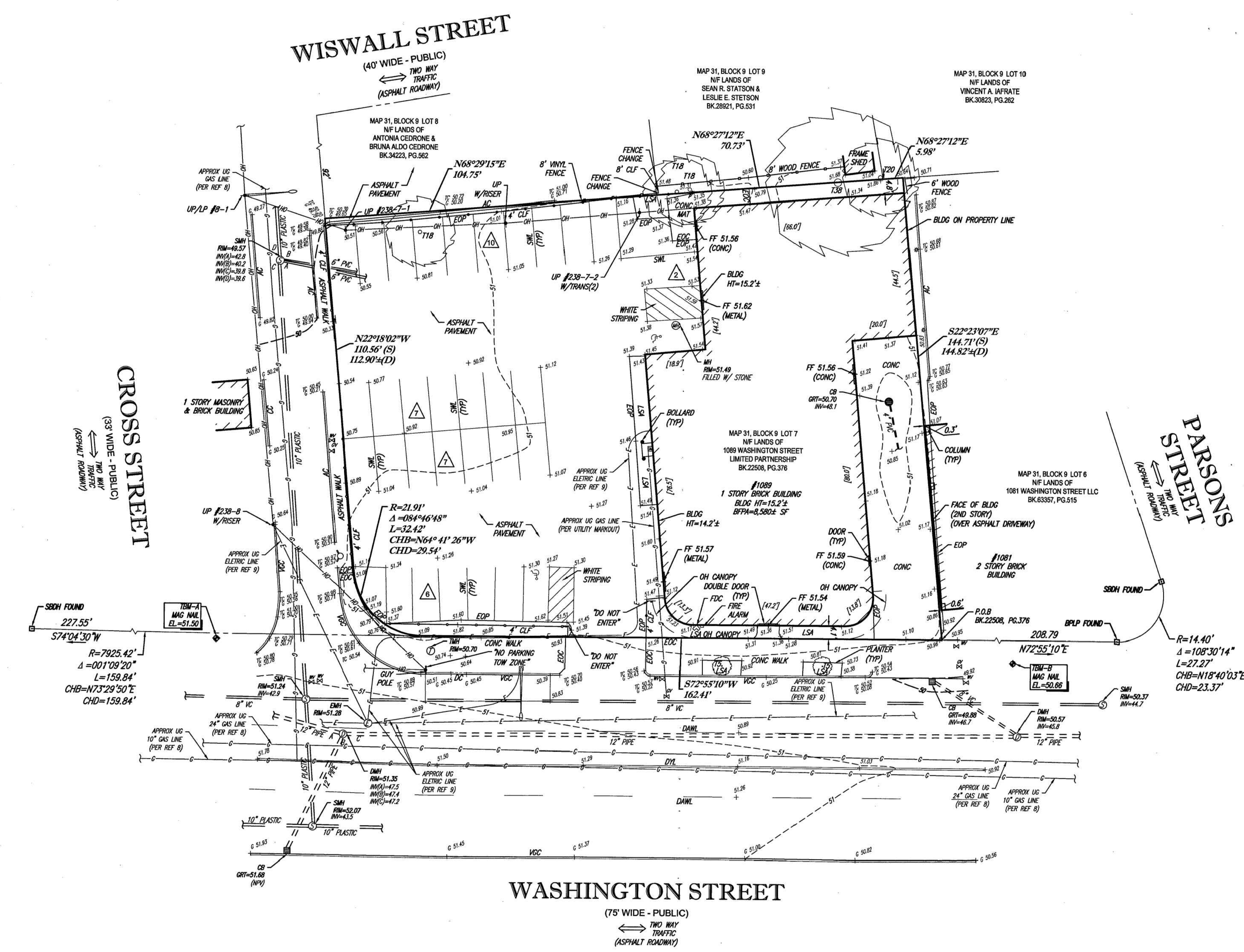
**CN-101**



- LEGEND**
- 124 --- EXISTING CONTOUR
  - 125 --- EXISTING SPOT ELEVATION
  - X 123.45 EXISTING TOP OF CURB ELEVATION
  - X C 122.85 EXISTING GUTTER ELEVATION
  - X W 123.45 EXISTING TOP OF WALL ELEVATION
  - X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
  - X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
  - HYDRANT
  - WATER VALVE
  - GAS VALVE
  - GAS METER
  - APPROX. LOC. UNDERGROUND ELECTRIC LINE
  - OVERHEAD WIRES
  - APPROX. LOC. UNDERGROUND GAS LINE
  - UTILITY POLE
  - UTILITY POLE/LIGHT POLE
  - STREET LIGHT
  - SIGN
  - BOLLARD
  - POST
  - LAMP
  - DMH DRAINAGE/STORM MANHOLE
  - EMH ELECTRIC MANHOLE
  - SMH SANITARY/SEWER MANHOLE
  - TMH TELEPHONE MANHOLE
  - CB CATCH BASIN OR INLET
  - TREE & TRUNK SIZE
  - PARKING SPACE COUNT
  - SWL SOLID WHITE LINE
  - SYL SOLID YELLOW LINE
  - DYL DOUBLE YELLOW LINE
  - HT HEIGHT
  - DAWL DASHED WHITE LINE
  - BLDG BUILDING
  - BFFA BUILDING FOOTPRINT AREA
  - NVP NO VISIBLE PIPE
  - PVC POLYVINYL CHLORIDE PIPE
  - VC VITRIFIED CLAY
  - INV INVERT ELEVATION
  - GRT GRATE ELEVATION
  - UG UNDER GROUND
  - SBPH STONE BOUND w/ DRILL HOLE
  - BPLP BRASS PIN w/ LEAD PLUG
  - CLF CHAIN LINK FENCE
  - DC DEPRESSED CURB
  - AC ASPHALT CURB
  - VGC VERTICAL GRANITE CURB
  - CC CONC CURB
  - EOC EDGE OF CONCRETE
  - EOP EDGE OF PAVEMENT
  - LSA LANDSCAPED AREA
  - (TYP) TYPICAL
  - 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
  - (S) SURVEY DIMENSION
  - (D) DEED DIMENSION



LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE



- NOTES:**
- PROPERTY KNOWN AS LOT 7, BLOCK 9 AS SHOWN ON THE TOWN OF NEWTON, MIDDLESEX COUNTY, COMMONWEALTH OF MASSACHUSETTS; MAP NO. 31.
  - AREA = 24,900 SQUARE FEET OR 0.572 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGUN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSSTONE VRS NETWORK (KEYNETGPS).
- TEMPORARY BENCH MARKS SET:  
TBM-A: MAG NAIL SET IN SIDEWALK AT ELEVATION 51.50.  
TBM-B: MAG NAIL SET IN SIDEWALK AT ELEVATION 50.66.
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

- REFERENCES:**
- THE TAX ASSESSOR'S MAP OF THE CITY OF NEWTON, MIDDLESEX COUNTY, MAP 31.
  - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, MIDDLESEX COUNTY, PANEL 552 OF 556," COMMUNITY-PANEL NUMBER 250208 0562 E, MAP EFFECTIVE DATE JUNE 4, 2010.
  - MAP ENTITLED "COMMONWEALTH OF MASSACHUSETTS METROPOLITAN DISTRICT COMMISSION WATER DIVISION, WESTON AQUEDUCT SUPPLY MAINS LAND IN NEWTON PLAN NO. 242 OF LAND TAKINGS" DATED APRIL 1931. RECORDED IN THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS AS PLAN 455 OF 1931.
  - MAP ENTITLED "PLAN OF LOTS AT NEWTON" DATED NOVEMBER 4, 1885. RECORDED IN THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 48, PLAN 33.
  - MAP ENTITLED "PLAN OF LAND IN NEWTON MASS." DATED FEBRUARY 1, 1982. RECORDED IN THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS AS PLAN NUMBER 337 OF 1892 IN BOOK 4582, PAGE 178.
  - MAP ENTITLED "PLAN OF LAND IN NEWTON MASS." DATED AUGUST 30, 1986. RECORDED IN THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS AS PLAN NUMBER 1228 OF 1986 IN BOOK 17383, PAGE EN.D.
  - MAP ENTITLED "PERIMETER PLAN OF LAND 1121 WASHINGTON STREET & 15 GERARD COURT NEWTON, MASSACHUSETTS" DATED MAY 8, 1999. RECORDED IN THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS AS PLAN NUMBER 512 OF 1999 IN BOOK 30174, PAGE 348.
  - GAS MAPPING PROVIDED BY NATIONAL GRID DATED MARCH 20, 2019.
  - ELECTRIC MAPPING PROVIDED BY EVERSOURCE DATED NOVEMBER 17, 2017.

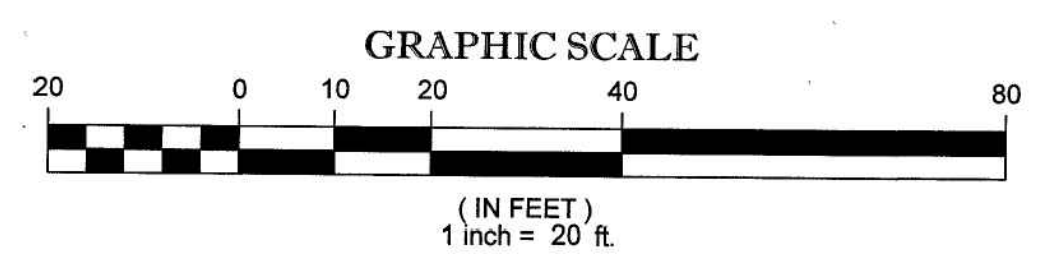
CONTROL POINT ASSOCIATES, INC. - ALL RIGHTS RESERVED. ORIGINAL SURVEY DATA IS PROTECTED BY COPYRIGHT. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.

UTILITIES:  
THE FOLLOWING COMPANIES WERE NOTIFIED BY MASSACHUSETTS ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. REQUEST NUMBER: 20191207224

UTILITY COMPANY	PHONE NUMBER
AT&T TRANSMISSION	(800) 331-0500
VERIZON	(800) 922-0204
ZAYO	(617) 619-8621
COMCAST - PEMBROKE	(800) 934-6489
LEVEL 3 COMMUNICATIONS	(877) 253-8353
MCI	(800) 436-4444
MASSACHUSETTS BAY TRANSPORTATION AUTH	(800) 392-6100
RCN	(800) 748-4726
EVERSOURCE - ELECTRIC	(800) 562-2000
NATIONAL GRID GAS-BOSTON	(800) 233-5325
ALGONQUIN GAS   SPECTRA ENERGY	(800) 728-8383
SPRINT/NEXTEL	(888) 211-4727
WELLESLEY MUNICIPAL LIGHTING PLT	(781) 235-7600
VERIZON	(800) 922-0204



THE COMMONWEALTH OF MASSACHUSETTS REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE COMMONWEALTH.



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

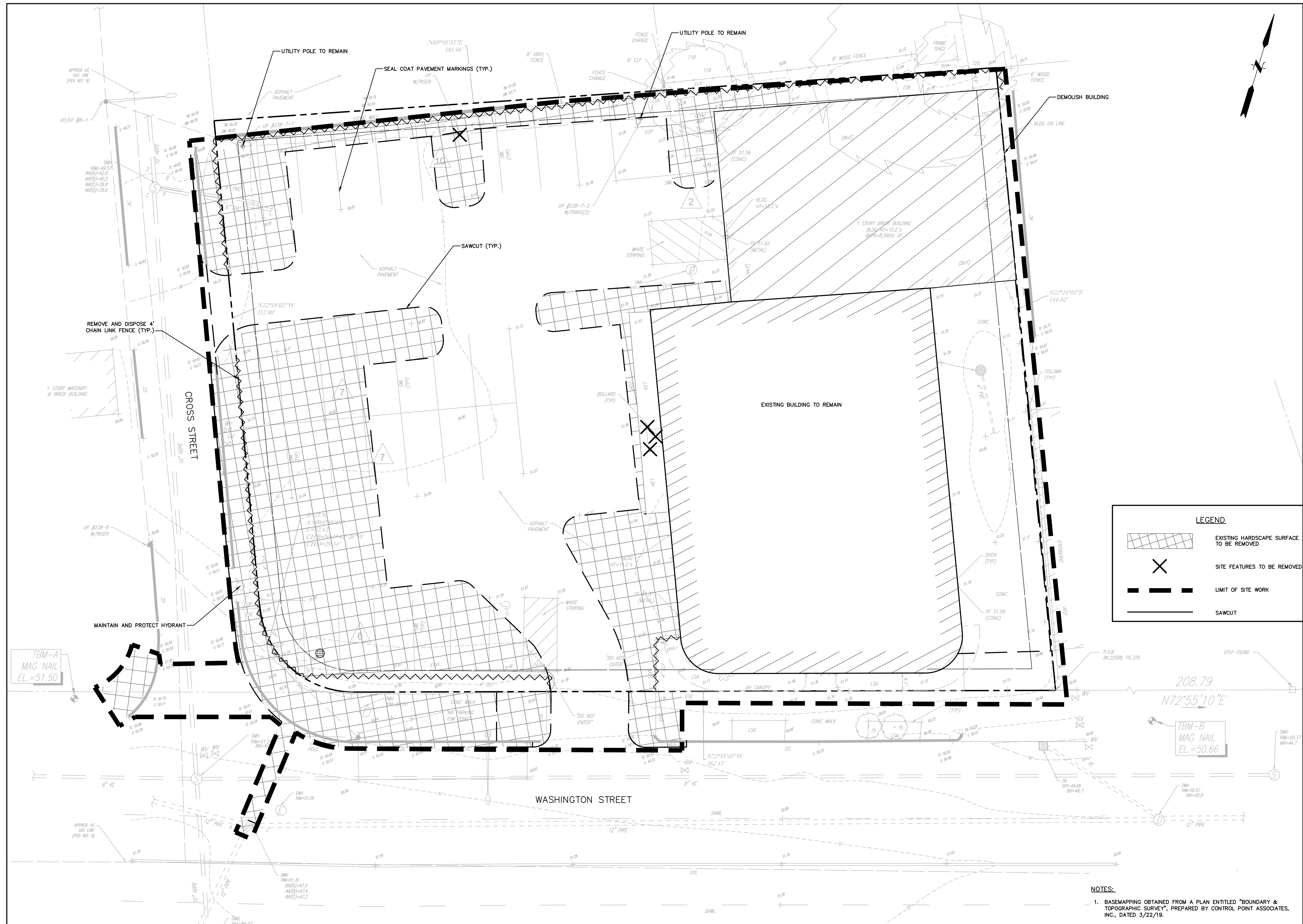
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

**GERRY L. HOLDRIGHT, PLS**  
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #49211

DATE: 3-26-19

FIELD DATE	3-21-19	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b> <b>FUSS &amp; O'NEILL, INC.</b> 1089 WASHINGTON STREET MAP 31, BLOCK 9, LOT 7 CITY OF NEWTON, MIDDLESEX COUNTY COMMONWEALTH OF MASSACHUSETTS							
FIELD BOOK NO	MA19-2								
FIELD BOOK PG.	121	 <b>CONTROL POINT ASSOCIATES, INC.</b> 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX ALBANY, NY 5182175010 CHALFONT, PA 2157128800 MANHATTAN, NY 6467904111 MT LAUREL, NJ 908572099 WARRKEN, NJ 908680099							
FIELD CREW	SBH								
DRAWN	PRIMA	DATE	3-26-19	SCALE	1"=20'	FILE NO.	06-190017	DWG. NO.	1 OF 1
REVIEWED	S.P.P.	APPROVED	G.L.H.						





**LEGEND**

- EXISTING HARDSCAPE SURFACE TO BE REMOVED
- SITE FEATURES TO BE REMOVED
- LIMIT OF SITE WORK
- SAWCUT

**NOTES:**  
 1. BASEMAPMING OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 3/22/19.

NOT FOR CONSTRUCTION

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
4.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
3.	11/12/2019	REVISED PERMITTING PLANS	JEV	DD
2.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
1.	8/30/2019	REVISED PERMITTING PLANS	JEV	DD



SCALE: HORIZ.: 1"=10'  
 VERT.:  
 DATUM: NAD83  
 HORIZ.: NAVD88  
 VERT.: NAVD88  
 GRAPHIC SCALE: 10, 5, 0, 5, 10

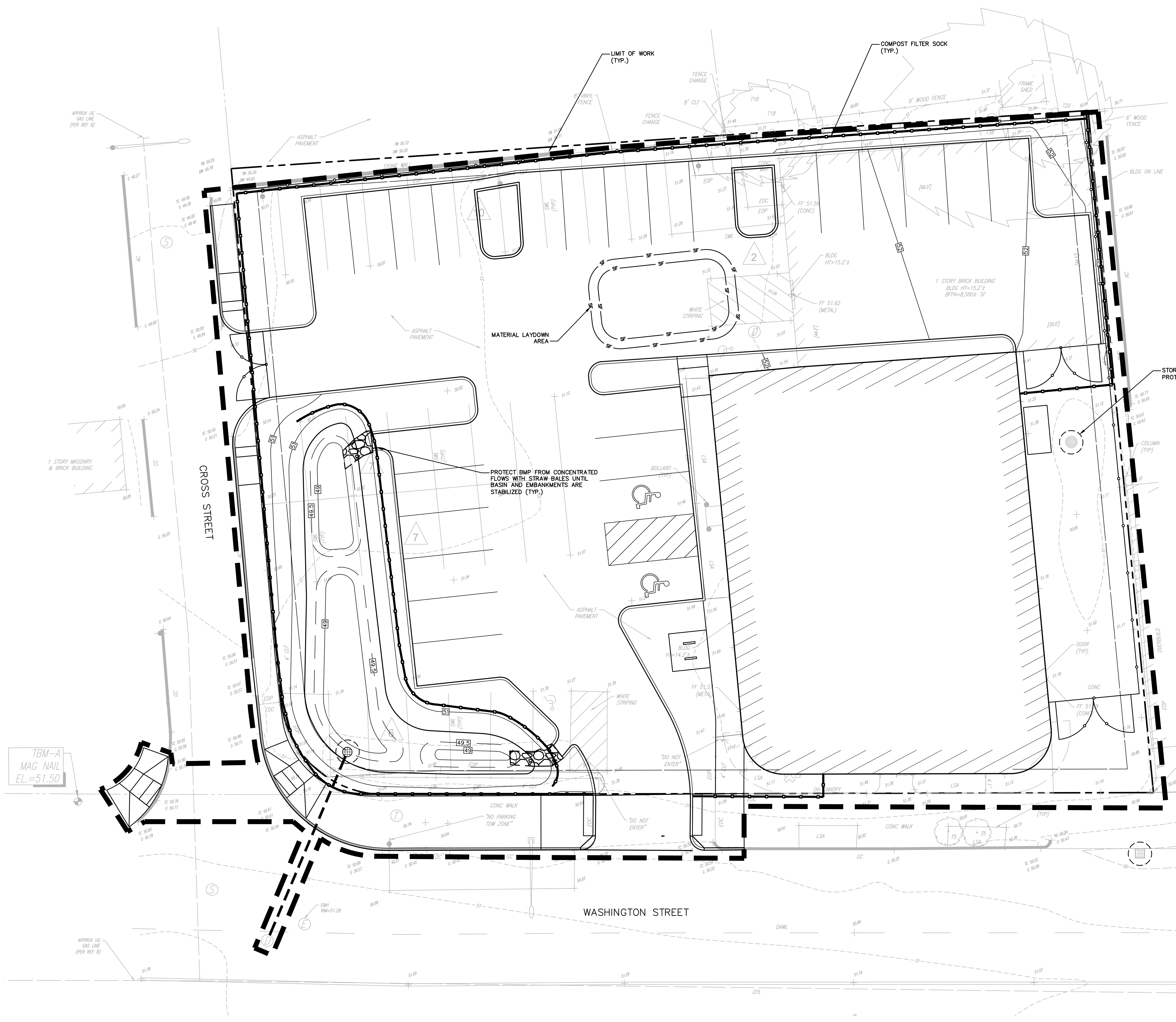
**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 NEWTON, MA 02459  
 www.fussandoneill.com

ASCEND MASS, LLC  
 SITE PREPARATION PLAN  
 1089 WASHINGTON STREET  
 NEWTON, MASSACHUSETTS

PROJ. No.: 20190241.A20  
 DATE: 11/12/2019

CP-101





**GENERAL CONSTRUCTION SEQUENCE:**

CONSTRUCTION IS A DYNAMIC OPERATION THAT IS AFFECTED BY WEATHER AND OTHER UNANTICIPATED CONDITIONS. THEREFORE, THE LAYOUT OF EROSION AND SEDIMENT CONTROLS SHOWN ON THESE PLANS WILL LIKELY BE MODIFIED TO BEST MANAGE CHANGING FIELD CONDITIONS. THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS RECOGNIZE THIS WORK WITH THE ENGINEER, OWNER, AND REGULATORY AGENCIES SO THAT THE INTENT OF THE GUIDELINES ARE MET UNTIL ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED. THE FOLLOWING IS A GENERAL SEQUENCE OF MAJOR CONSTRUCTION OPERATIONS.

CONSTRUCTION IS ANTICIPATED TO START IN THE SPRING OF 2020.

1. INSTALL EROSION AND SEDIMENT CONTROLS.
2. BEGIN GENERAL CONSTRUCTION.
  - 2.1. PERFORM SITE AND BUILDING DEMOLITION ACTIVITIES. ROUGH GRADE AND TEMPORARILY STABILIZE DISTURBED AREAS.
  - 2.2. CONSTRUCT STORMWATER MANAGEMENT SYSTEM.
  - 2.3. INSTALL CURBING AND PAVEMENT.
  - 2.4. INSTALL LOAM AND PERMANENT SEEDING.
  - 2.5. ADJUST EROSION AND SEDIMENT CONTROLS AS REQUIRED DURING CONSTRUCTION.
3. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED. SWEEP ROADS AND EMPLOY DUST CONTROL MEASURES AS NEEDED THROUGHOUT CONSTRUCTIONS.
4. REMOVE TEMPORARY CONTROL MEASURES AND ACCUMULATED SEDIMENT FROM PERMANENT STRUCTURES.

**NOTES:**

1. BASEMAPING OBTAINED FROM A PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED 3/22/19.

NOT FOR CONSTRUCTION

6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
4.	11/12/2019	REVISED PERMITTING PLANS	JEV	DD
3.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
2.	8/30/2019	REVISED PERMITTING PLANS	JEV	DD
1.				

1/23/2020

SCALE: HORIZ.: 1"=10'  
 VERT.: NAD83  
 DATUM: NAVD88  
 HORIZ.: NAVD88  
 VERT.: NAVD88

GRAPHIC SCALE

**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 CHARLESTON, MA 02111  
 www.fandoo.com

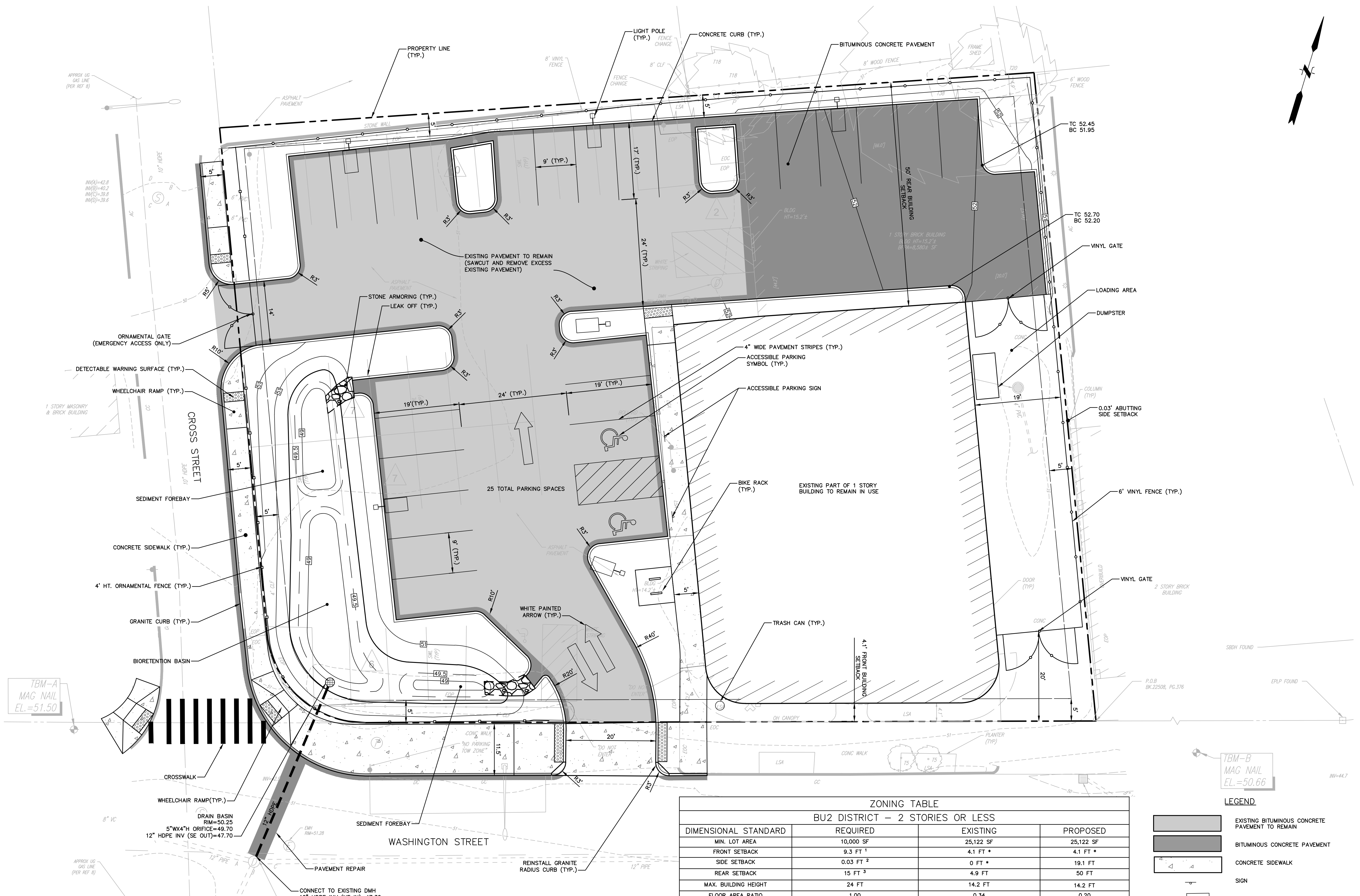
ASCEND MASS, LLC  
**EROSION AND SEDIMENT CONTROL PLAN**  
 1089 WASHINGTON STREET  
 NEWTON MASSACHUSETTS

PROJ. No.: 20190241.A20  
 DATE: 11/12/2019

**CE-101**



File Path: J:\DWG\2019\20190241A20\_Civil\Plan\20190241A20\_STP01.dwg Layout: CS-101 Plotted: Thu, January 23, 2020 - 5:53 PM User: jvaldez  
 MS VIEW: LAYER STATE: Plotter: DWG TO PDF.PC3 CTB File: FO.STB



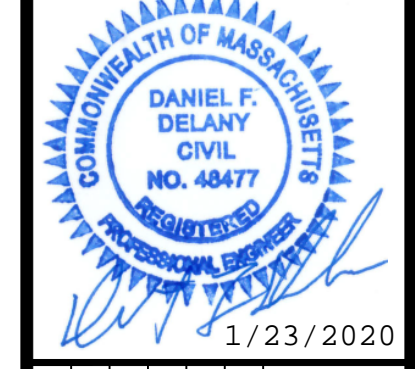
ZONING TABLE			
BU2 DISTRICT - 2 STORIES OR LESS			
DIMENSIONAL STANDARD	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000 SF	25,122 SF	25,122 SF
FRONT SETBACK	9.3 FT <sup>1</sup>	4.1 FT *	4.1 FT *
SIDE SETBACK	0.03 FT <sup>2</sup>	0 FT *	19.1 FT
REAR SETBACK	15 FT <sup>3</sup>	4.9 FT	50 FT
MAX. BUILDING HEIGHT	24 FT	14.2 FT	14.2 FT
FLOOR AREA RATIO	1.00	0.34	0.20
INTERNAL LANDSCAPING AREA	521 SF <sup>4</sup>	0 SF	964 SF

- NOTES:
- PER SECTION 1.5.3(A) OF THE TOWN OF NEWTON ZONING BYLAWS, NO BUILDING NEEDS TO BE SET BACK MORE THAN THE AVERAGE OF THE SETBACKS OF THE BUILDINGS ON THE NEAREST LOT ON EITHER SIDE. A VACANT LOT OR A LOT WHERE BUILDING IS SET BACK MORE THAN 10 FEET IS COUNTED AS THOUGH OCCUPIED BY A BUILDING SET BACK 10 FEET. ABUTTING PROPERTIES FRONT SETBACKS WERE ESTIMATED TO OBTAIN AVERAGE.
  - 1/2 BLDG HEIGHT OR ABUTTING SETBACK
  - GREATER 1/2 BLDG HEIGHT OR 15 FEET.
  - 5% OF TOTAL PARKING AREA. (10,428 X 0.05) = 521 SF.
- \* LEGALLY NONCONFORMING

**LEGEND**

- [Grey Box] EXISTING BITUMINOUS CONCRETE PAVEMENT TO REMAIN
- [Dark Grey Box] BITUMINOUS CONCRETE PAVEMENT
- [White Box with Border] CONCRETE SIDEWALK
- [Symbol] SIGN
- [Symbol] LIGHTING POLE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	8/30/2019	REVISED PERMITTING PLANS	JEV	DD
2.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
3.	11/12/2019	REVISED PERMITTING PLANS	JEV	DD
4.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD



SCALE: HORIZ.: 1"=10'  
 VERT.: NAVD83  
 DATUM: NAVD83  
 GRAPHIC SCALE: 10, 5, 0, 5, 10  
 1/23/2020

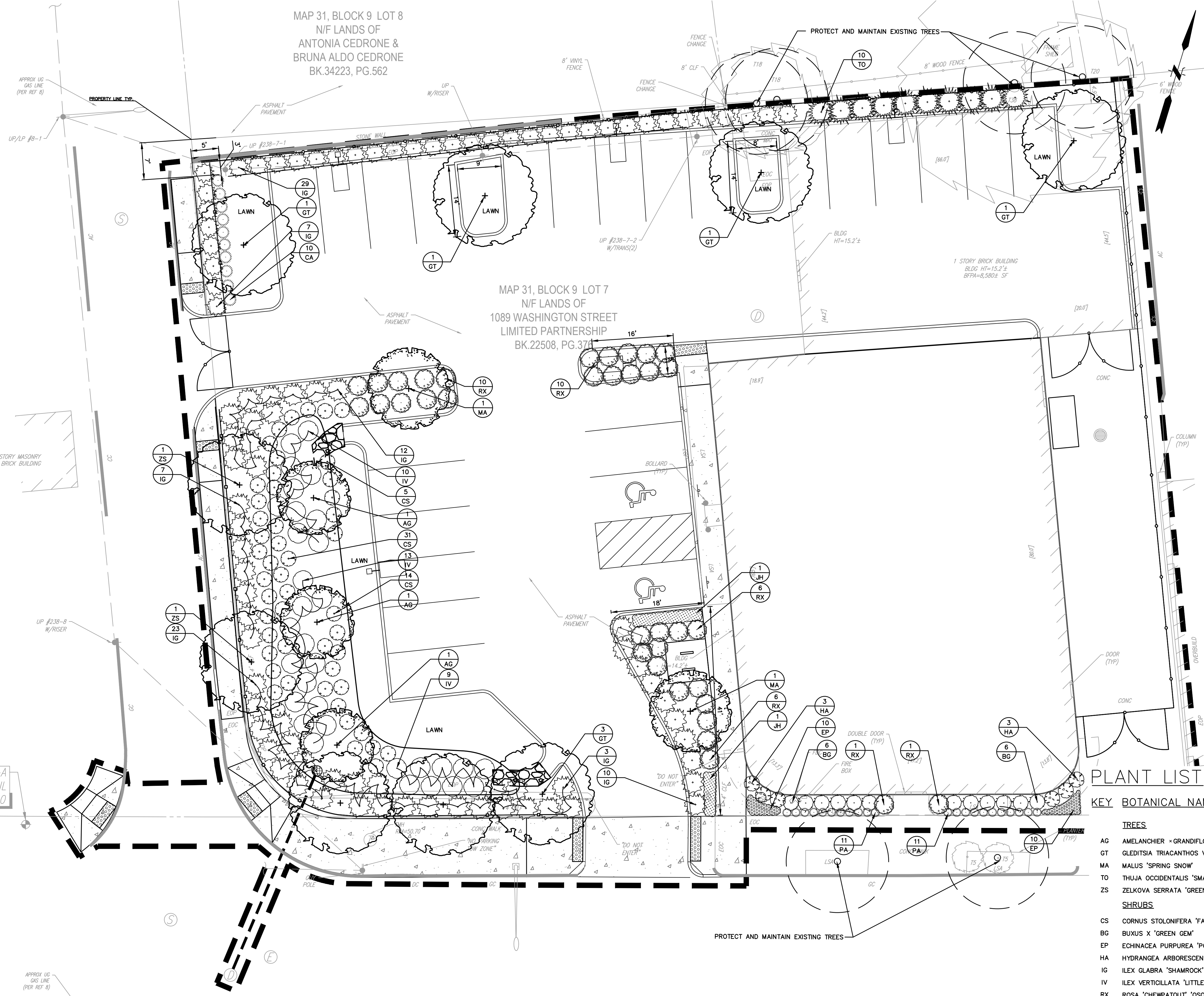
**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 NEWTON, MA 02459  
 (617) 552-4675  
 www.fussandoneill.com

ASCEND MASS, LLC  
**PROPOSED SITE PLAN**  
 1089 WASHINGTON STREET  
 MASSACHUSETTS  
 NEWTON

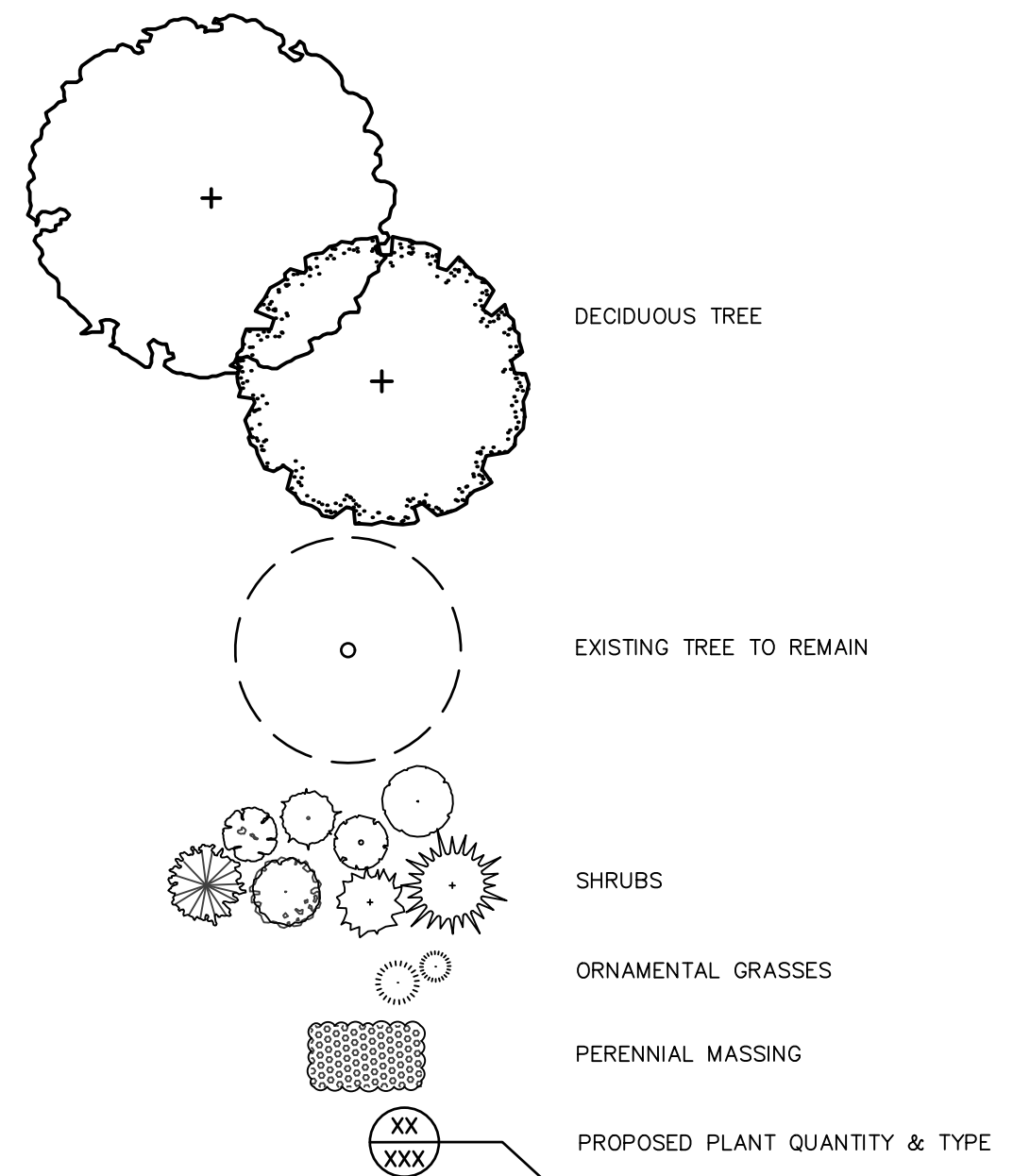
PROJ. No.: 20190241A20  
 DATE: 11/12/2019  
**CS-101**

NOT FOR CONSTRUCTION





LEGEND



PLANTING NOTES:

1. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS
2. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
3. ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT AND WHICH ARE SUBSEQUENTLY REQUESTED TO BE MOVED WILL BE DONE AT THE CONTRACTORS EXPENSE.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED CEDAR BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE. THE CONTRACTOR SHALL CONTACT "DIG SAFE" AT 811 OR 888-DIG-SAFE PRIOR TO CONSTRUCTION.
8. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
11. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND / OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
12. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
13. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
14. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
15. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
16. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
<b>TREES</b>				
AG	AMELANCHIER *GRANDIFLORA 'AUTUMN BRILLIANCE'	APPLE SERVICEBERRY	3	MULTI-STEMMED
GT	GLEDITSIA TRIACANTHOS VAR. INERMIS SHADEMASTER'	SHADEMASTER THORNLESS HONEYLOCUST	6	3"-3.5" CAL.
MA	MALUS 'SPRING SNOW'	'SPRING SNOW' CRABAPPLE	2	2"-2.5" CAL.
ZO	THUJA OCCIDENTALIS 'SMARAGD'	AMERICAN ARBORVITAE	10	3" - 4" HT.
TS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE JAPANESE ZELKOVA	2	3"-3.5" CAL.
<b>SHRUBS</b>				
CS	CORNUS STOLONIFERA 'FARROW'	'ARCTIC FIRE' RED TWIG DOGWOOD	50	3 GAL.
BG	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	12	2 GAL.
EP	ECHINACEA PURPUREA 'POWWOW WILD BERRY'	'POWWOW WILD BERRY' CONEFLOWER	20	1 GAL.
HA	HYDRANGEA ARBORESCENS 'INVINCIBELLE WEE WHITE'	'INVINCIBELLE WEE WHITE' HYDRANGEA	6	3 GAL.
IG	ILEX GLABRA 'SHAMROCK'	'SHAMROCK' INKBERRY	92	3 GAL.
IV	ILEX VERTICILLATA 'LITTLE GOBLIN ORANGE'	'LITTLE GOBLIN ORANGE' WINTERBERRY	32	3 GAL.
RX	ROSA 'CHEWPAOUT' 'OSO EASY URBAN LEGEND'	'OSO EASY URBAN LEGEND' ROSE	34	3 GAL.
<b>PERENNIALS/GRASSES/GROUNDCOVERS</b>				
CA	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS	10	1 GAL.
JH	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	'BAR HARBOR' CREEPING JUNIPER	2	1 GAL.
PA	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	22	2 GAL.

PLANTING NOTES:

1. 1 OUT OF EVERY 5 ILEX VERTICILLATA 'LITTLE GOBLIN ORANGE' (IV) MUST BE MALE POLLINATOR (APPROX. 7 - 'LITTLE GOBLIN GUY'). SPACED EQUIDISTANT THROUGHOUT THE 3 IV GROUPINGS

NOT FOR CONSTRUCTION

DESIGNER	REVIEWER	DATE	DESCRIPTION
6.	1/23/2020	REVISED PERMITTING PLANS	
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4.	12/19/2019	REVISED PERMITTING PLANS	
3.	11/12/2019	REVISED PERMITTING PLANS	
2.	10/25/2019	REVISED PERMITTING PLANS	
1.	8/30/2019	REVISED PERMITTING PLANS	

1/23/2020

SCALE: HORIZ: 1"=10'  
 VERT: 1"=4'  
 DATUM: NAD83  
 HORIZ: NAVD83  
 VERT: NAVD83  
 GRAPHIC SCALE

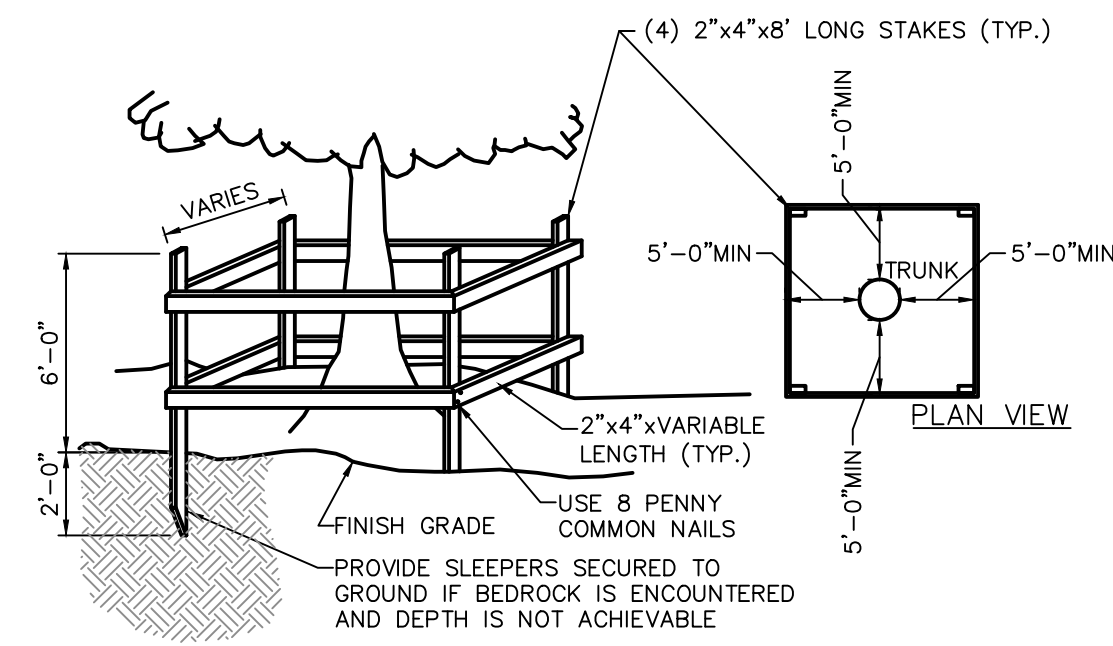
ASCEND MASS, LLC  
 SITE LANDSCAPE PLAN  
 1089 WASHINGTON STREET  
 NEWTON, MASSACHUSETTS

FUSS & O'NEILL  
 108 WYLLIS STREET, SUITE 502  
 WILMINGTON, MA 01827  
 (617) 282-4673  
 www.fussandoneill.com

PROJ. No.: 20190241.A20  
 DATE: 11/12/2019

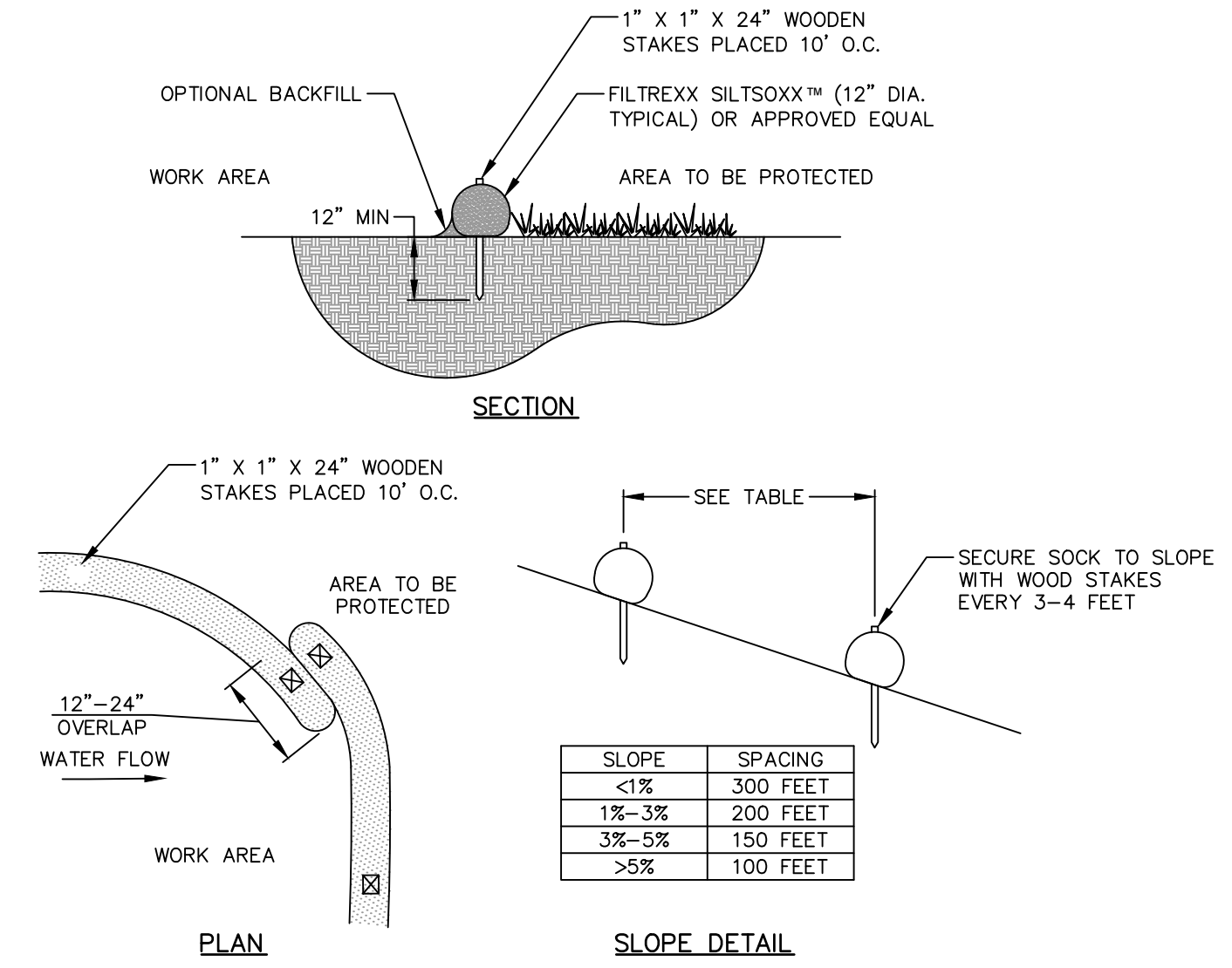
LP-101





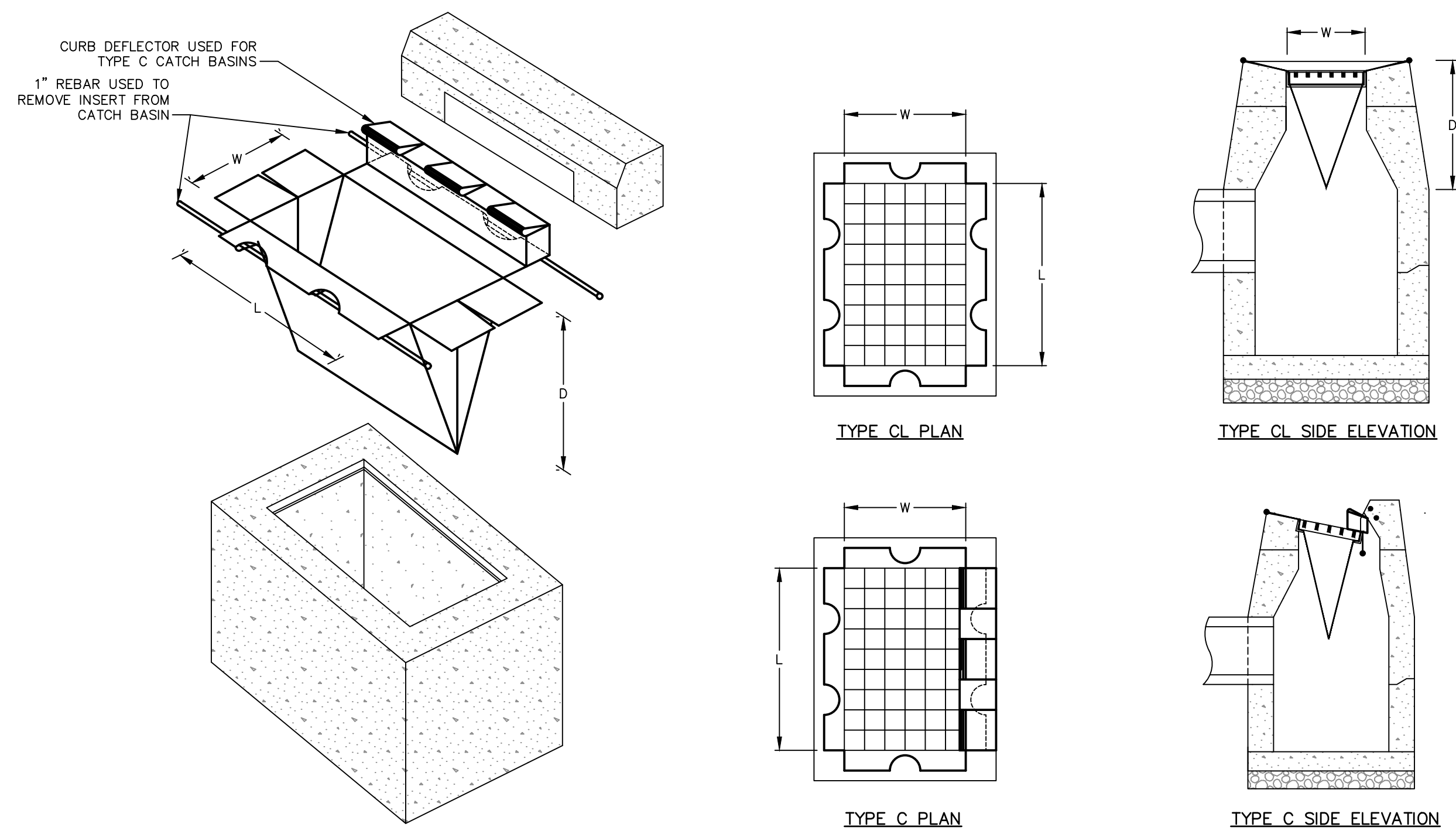
NOTES:  
 SEE LANDSCAPING PLAN FOR ADDITIONAL TREE PROTECTION NOTES.

**TEMPORARY TREE PROTECTION**  
 NOT TO SCALE



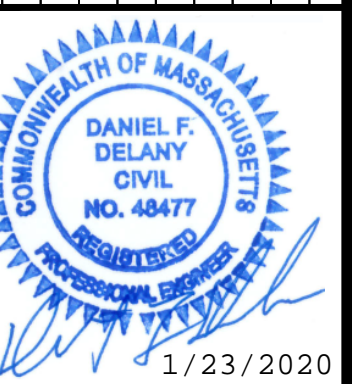
NOTES:  
 1. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.  
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.  
 3. SLOPE SPACING BASED ON "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" FOR TEMPORARY DIVERSIONS.

**COMPOST FILTER SOCK**  
 SCALE: N.T.S.



**STORMWATER INLET PROTECTION**  
 SCALE: N.T.S.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.	8/30/2019	REVISED PERMITTING PLANS	CEV	DD
2.	10/25/2019	REVISED PERMITTING PLANS	CEV	DD
3.	11/12/2019	REVISED PERMITTING PLANS	CEV	DD
4.	12/9/2019	REVISED PERMITTING PLANS	CEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	CEV	DD
6.	1/23/2020	REVISED PERMITTING PLANS	CEV	DD



SCALE: HORZ.: AS NOTED  
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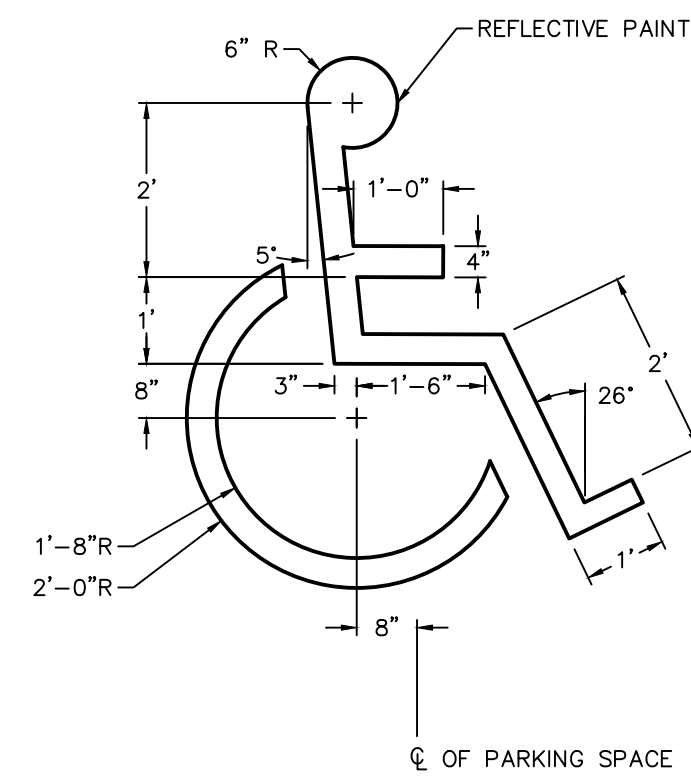
**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 QUINCY, MA 02171  
 (617) 284-4675  
 www.fandob.com

ASCEND MASS, LLC  
 DETAILS  
 1089 WASHINGTON STREET  
 NEWTON  
 MASSACHUSETTS

PROJ. No.: 20190241.A20  
 DATE: 11/12/2019

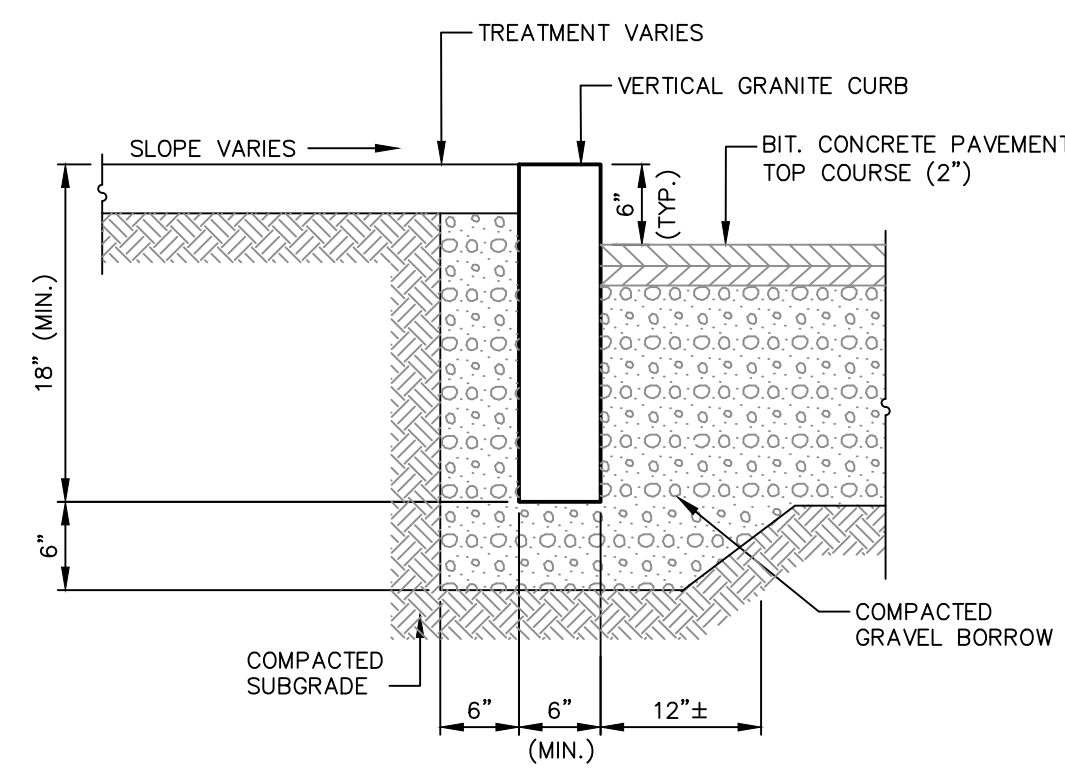
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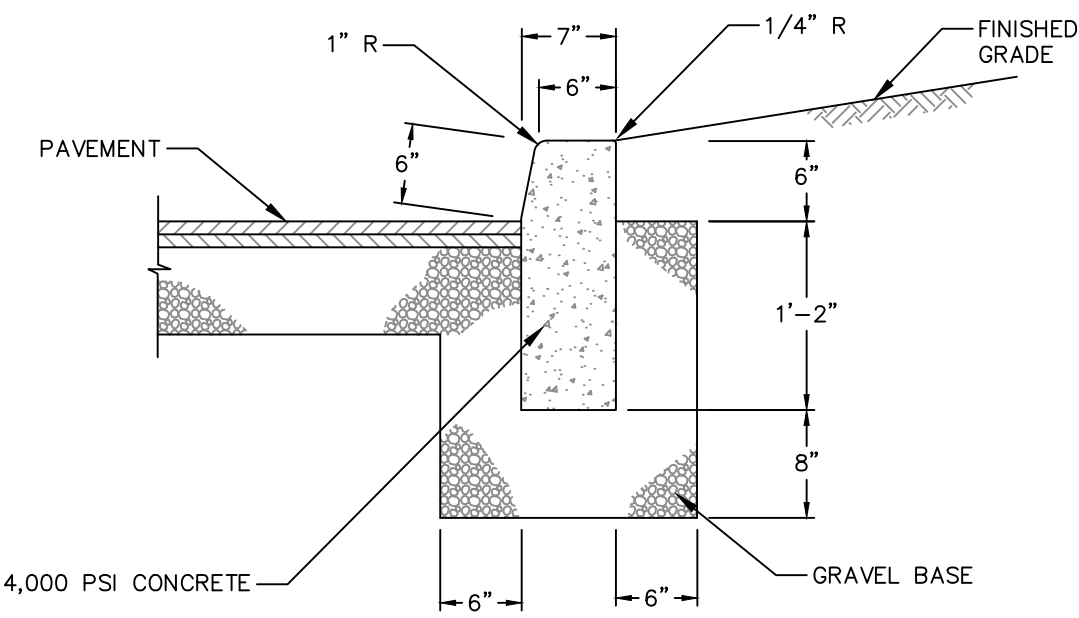


NOTES  
1. SYMBOL PAINTED HIGHWAY WHITE (TWO COATS)

**ACCESSIBLE PARKING SYMBOL**  
SCALE: NOT TO SCALE

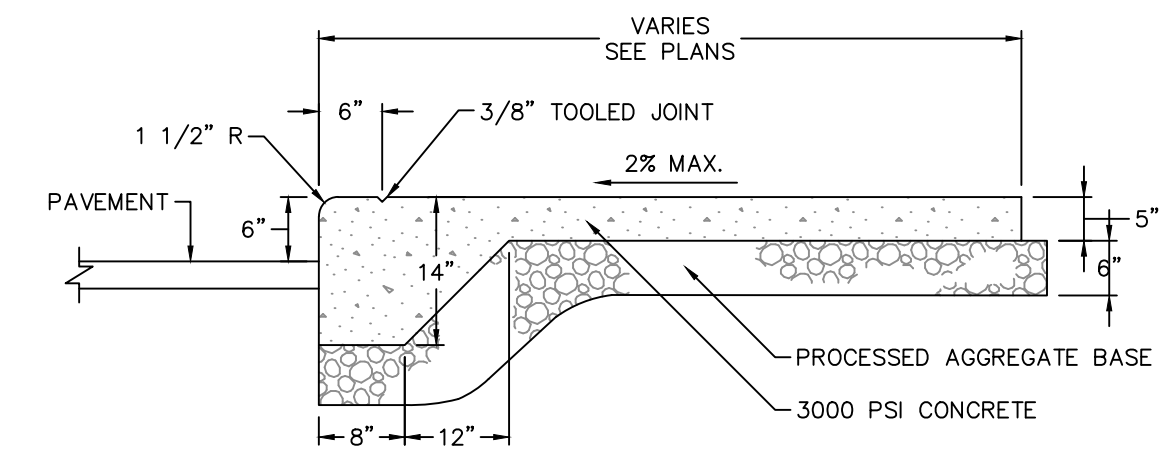


**GRANITE CURB**  
SCALE: NOT TO SCALE

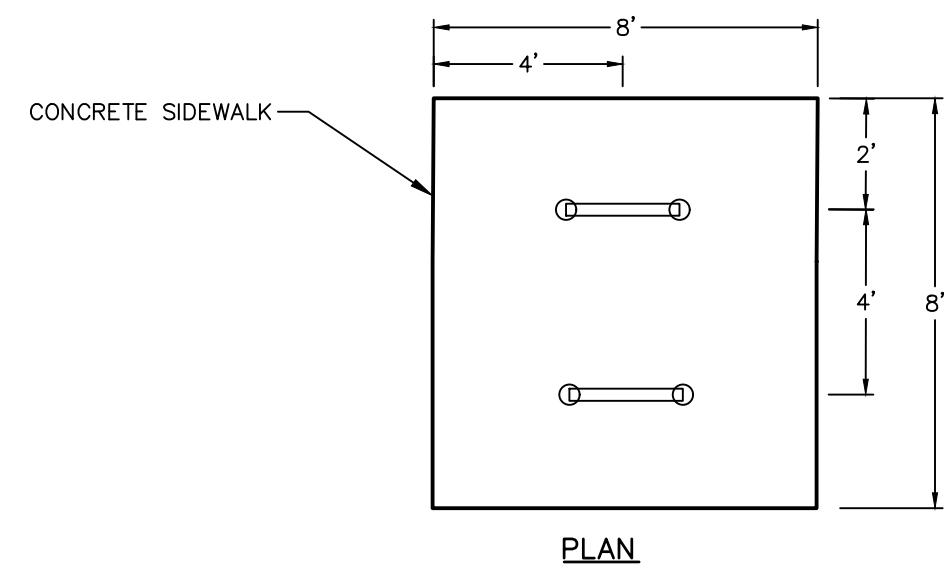


NOTES  
1. 1 INCH DEEP BEVELED JOINT AT TOP AND FACE OF CURB EVERY 10 FEET.  
2. 1/2 INCH EXPANSION JOINT AND FILLER EVERY 30 FEET.  
3. 1/2 INCH EXPANSION JOINT AND FILLER WHEN CURB IS ADJACENT TO CONCRETE SIDEWALK.

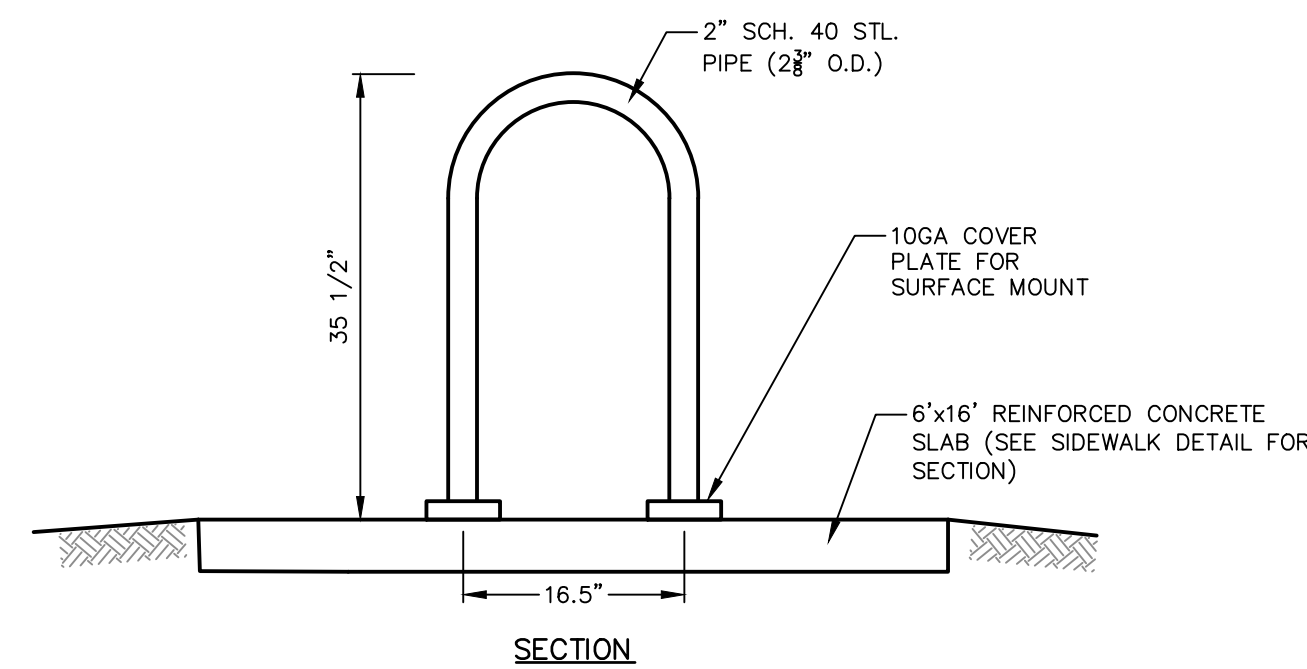
**CONCRETE CURB**  
SCALE: N.T.S.



**MONOLITHIC CONCRETE CURB AND WALK**  
NOT TO SCALE



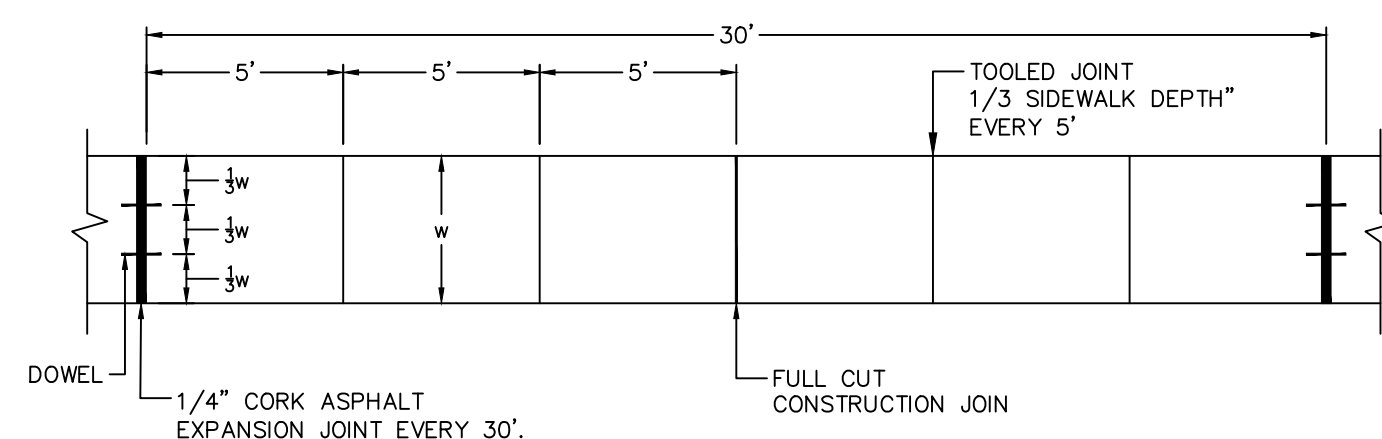
PLAN



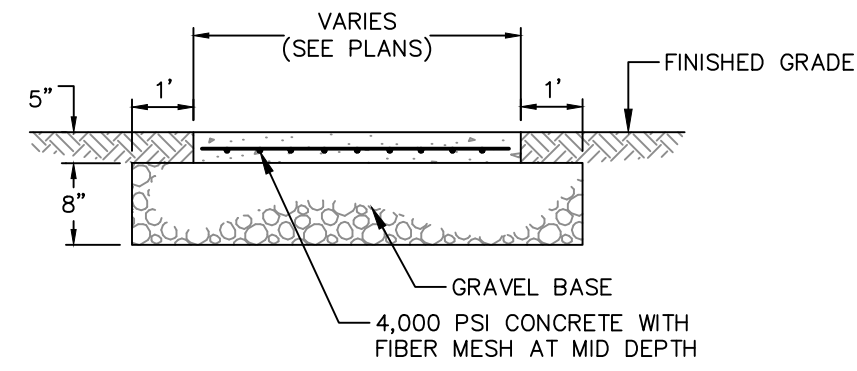
SECTION

NOTES:  
1.) BIKE RACK(S) SHALL BE BY DUMOR 83 SERIES, OR APPROVED EQUAL.  
2.) SURFACE MOUNT INSTALLATION SHALL BE WITH 1/2" X 3-3/4" EXPANSION ANCHOR BOLTS. POST SET OPTION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.  
3.) BIKE RACK SHALL BE COATED WITH ZINC RICH EPOXY THEN FINISHED WITH POLYESTER POWDER COATING, COLOR BLACK.

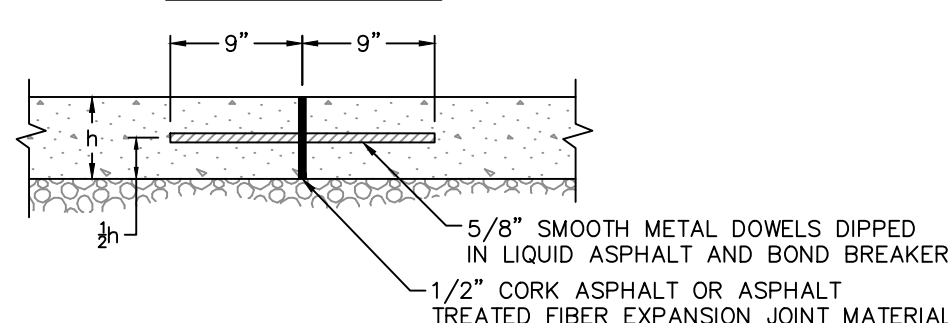
**BIKE RACK**  
SCALE: NOT TO SCALE



PLAN



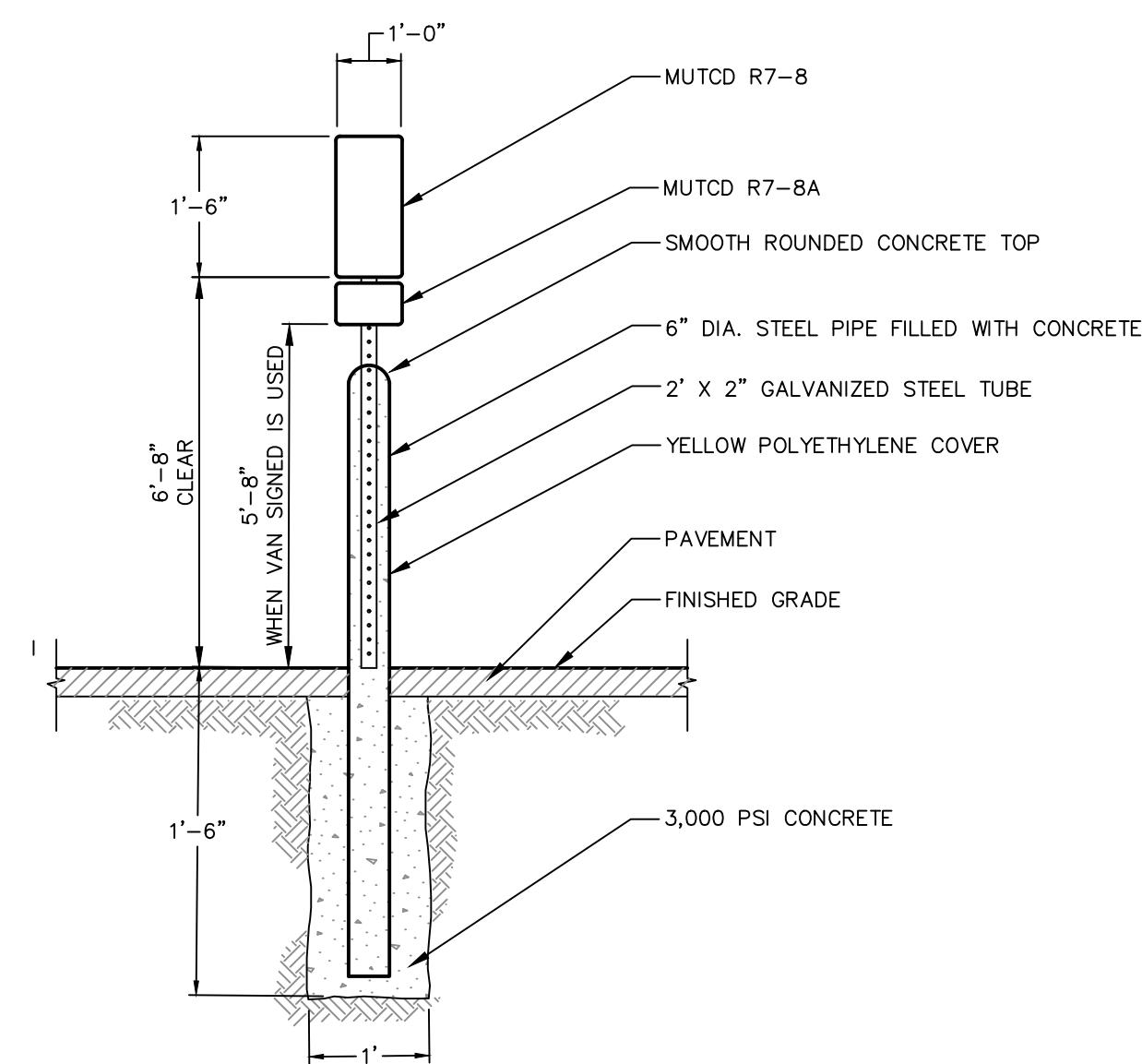
SIDEWALK SECTION



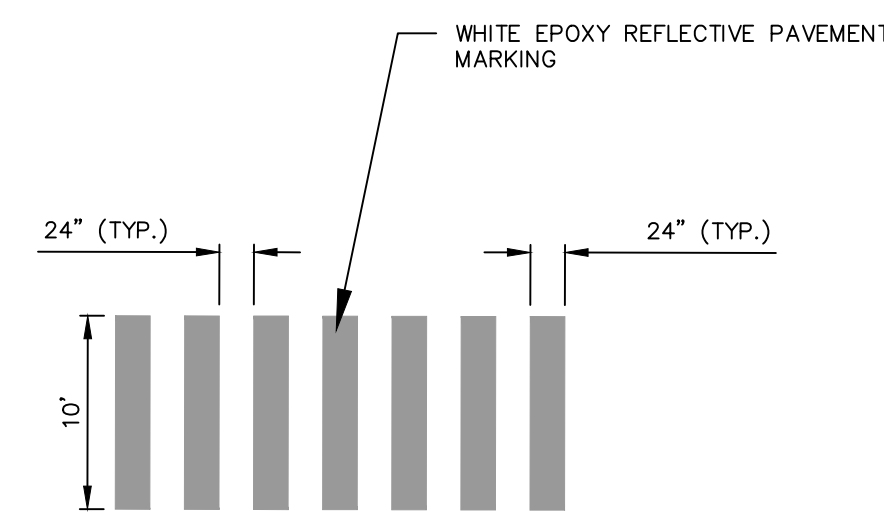
EXPANSION JOINT SECTION

NOTES:  
1. PROVIDE DEEP DUMMY JOINT EVERY 5' (1/3 DEPTH OF SLAB)  
2. REPLACE 1/4" EXPANSION JOINT IF EXISTING JOINT FALLS WITHIN RECONSTRUCTION.

**CONCRETE SIDEWALK**  
SCALE: N.T.S.

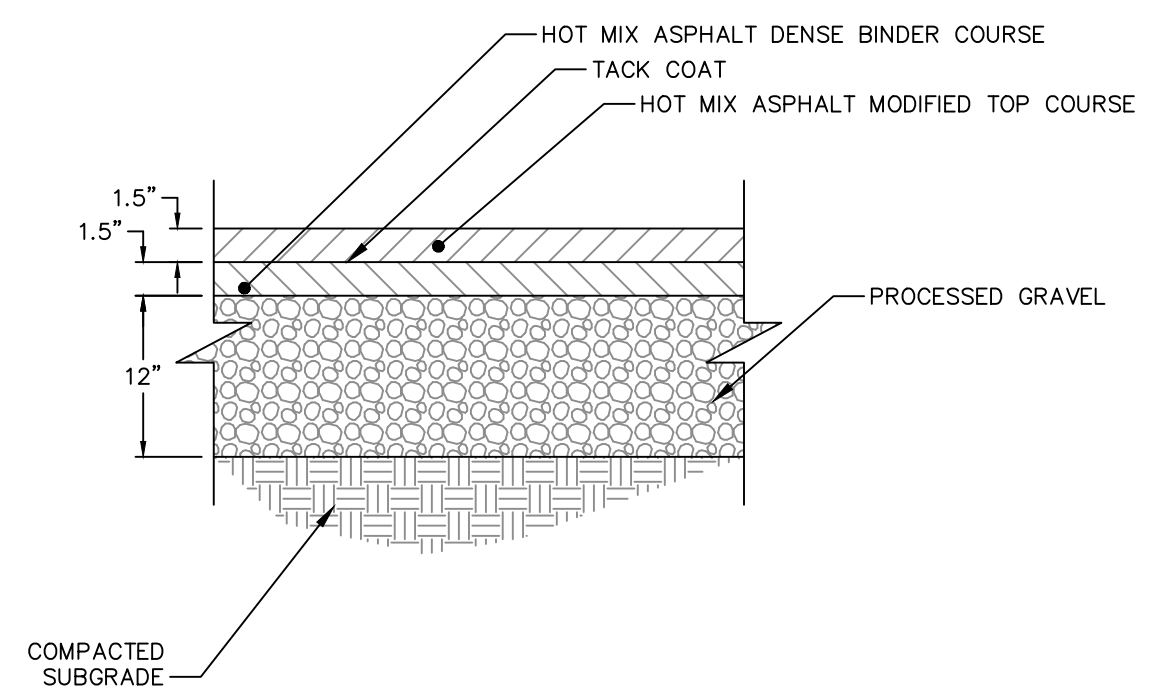


**ACCESSIBLE PARKING SIGN POST**  
SCALE: N.T.S.



NOTE: STOP LINES SHALL BE NO LESS THAN 4 FEET BEHIND ADJACENT CROSSWALK LINES.

**CROSSWALK**  
SCALE: NOT TO SCALE



**BITUMINOUS CONCRETE PAVEMENT**  
SCALE: NOT TO SCALE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
4.	12/9/2019	REVISED PERMITTING PLANS	JEV	DD
3.	11/12/2019	REVISED PERMITTING PLANS	JEV	DD
2.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
1.	8/30/2019	REVISED PERMITTING PLANS	JEV	DD



SCALE:	HORIZ.:	AS NOTED
	VERT.:	
	DATUM:	
	HORIZ.:	
	VERT.:	

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108 MYRTLE STREET, SUITE 502  
CAMBRIDGE, MA 02171  
617.282.4473  
www.fandoh.com

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DETAILS  
1089 WASHINGTON STREET  
NEWTON MASSACHUSETTS

PROJ. No.: 20190241.A20  
DATE: 11/12/2019

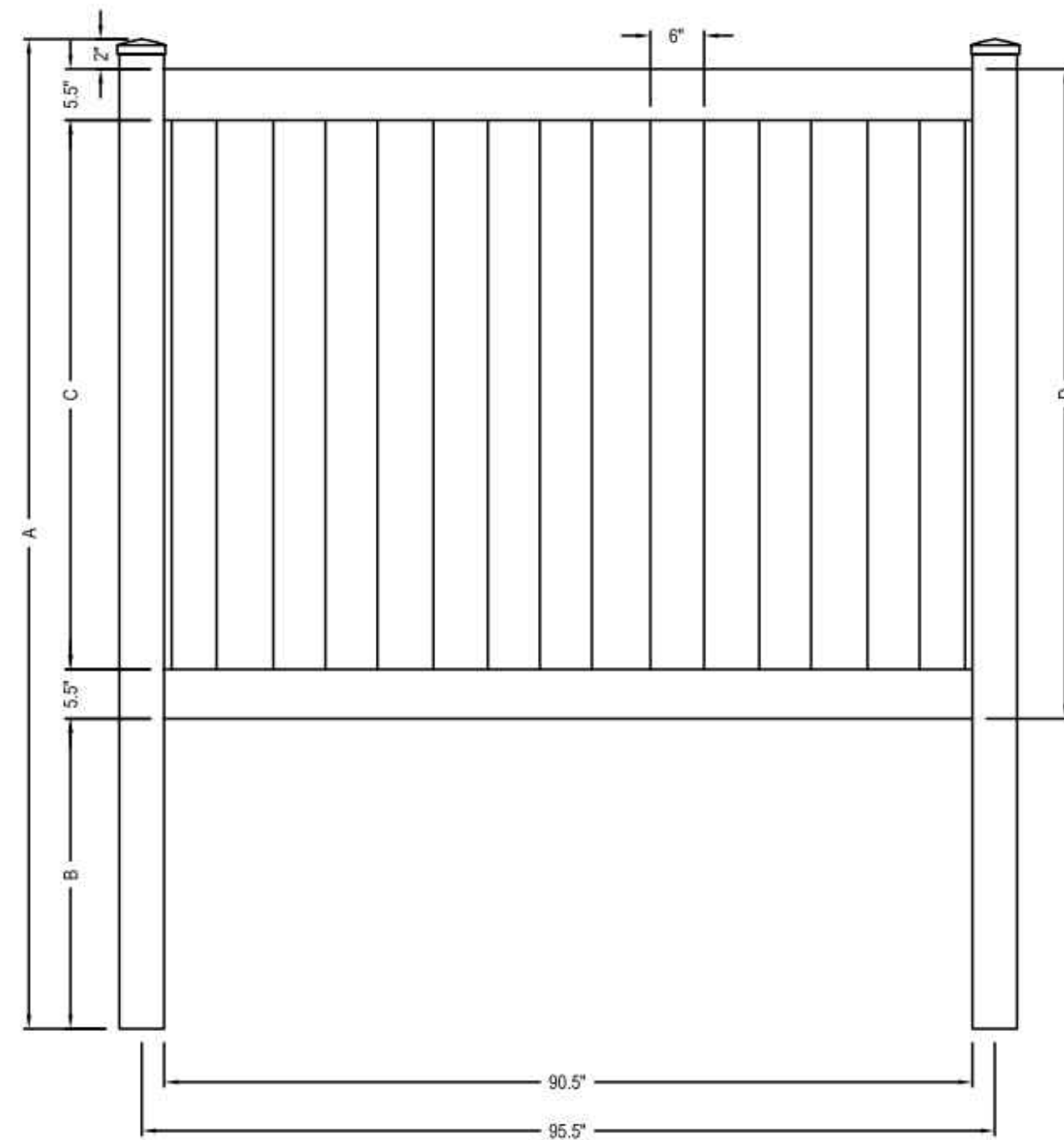
**CD-502**





ILLUSIONS VINYL FENCE  
 MEDFORD, NY 11763  
 www.illusionsfence.com  
 TOLL FREE: 1-800-339-3362

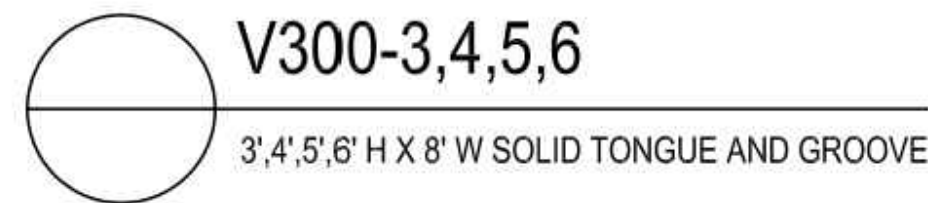
- SELECT DESIRED POST CAP MODEL
- FRENCH GOTHIC - V55FG
  - TEARDROP - V55TD
  - COACHMAN - V55CM
  - BALL - V55BC
  - SOLAR - V55P
  - SOLAR - V55O
  - NEW ENGLAND - V55NE
  - FLAT - V55FO
- SELECT DESIRED POST OPTIONS:
- 5" X 5" - .140 WALL
  - 5" X 5" H.D. - .250 WALL
  - MAJESTIC™ 8" X 8" - .250 WALL



FRONT ELEVATION

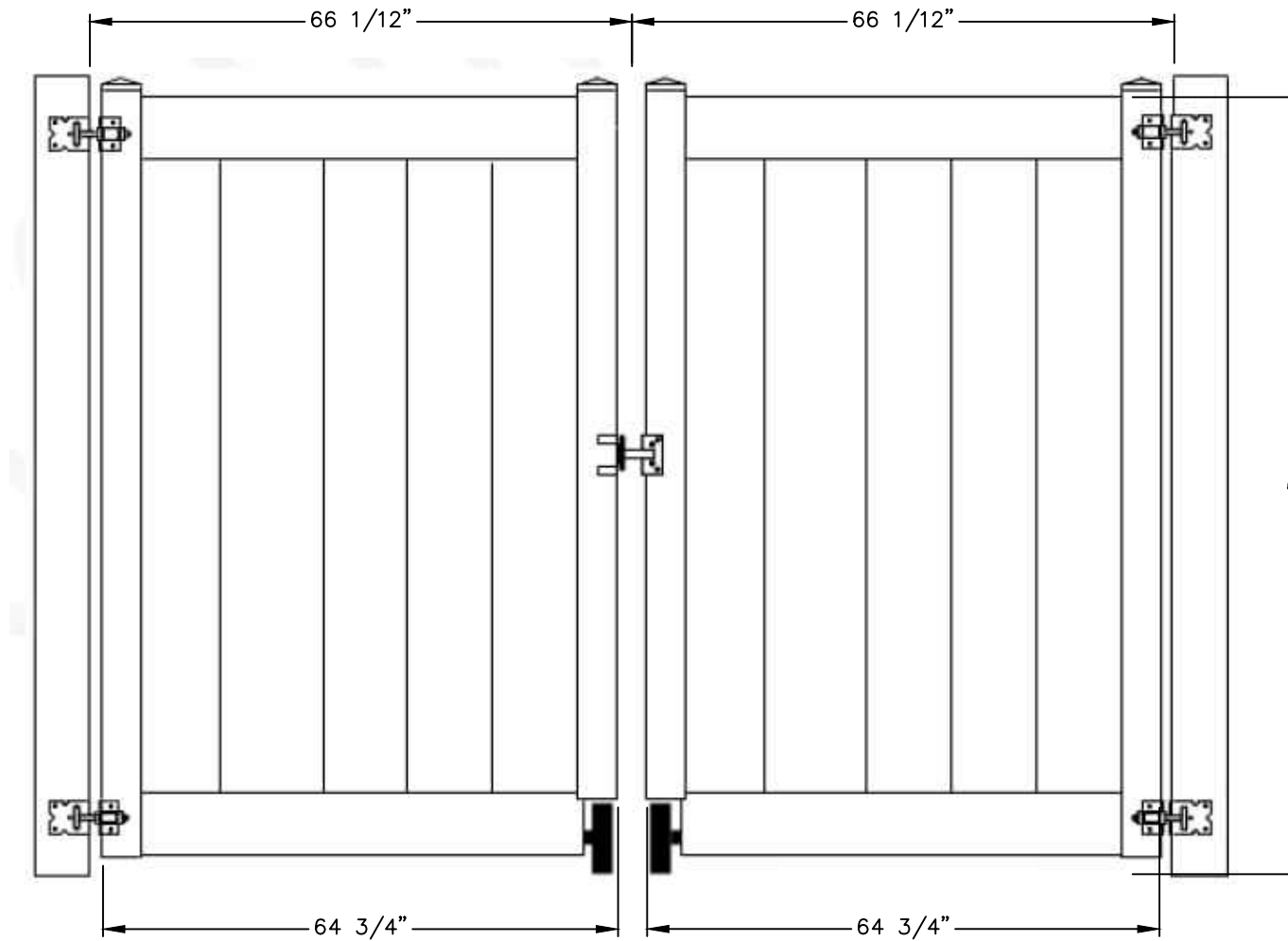
	A		B		C		D	
H(FT)	INCHES	H(FT)	INCHES	H(FT)	INCHES	H(FT)	INCHES	
3	60	3	22	3	25	3	36	
4	84	4	34	4	37	4	48	
5	96	5	34	5	49	5	60	
6	108	6	34	6	61	6	72	

- NOTES:
- ALL ILLUSIONS VINYL FENCES ARE ASTM F964-09 COMPLIANT
  - AVAILABLE IN GRAND ILLUSIONS COLOR SPECTRUM (35 COLORS) AND GRAND ILLUSIONS VINYL WOODBOND (5 AUTHENTIC WOODGRAINS)
  - INCLUDES METAL REINFORCEMENT BOTTOM RAIL

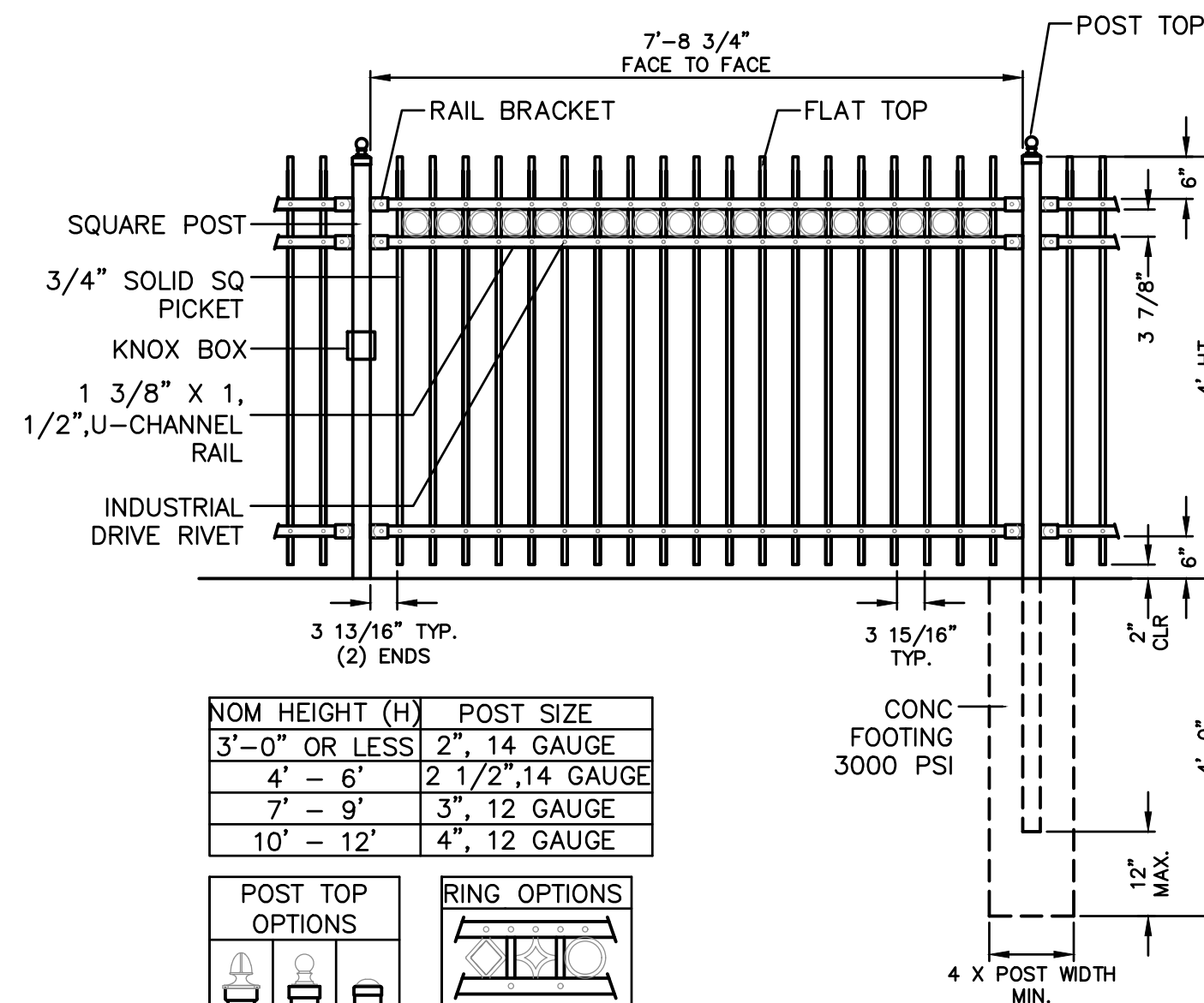


3708-101 SEE ACCOMPANYING SPECIFICATIONS FOR MORE INFORMATION. REVISION DATE 05/22/2012  
 PROTECTED BY COPYRIGHT ©2012 CADdetails.com LTD. www.CADdetails.com

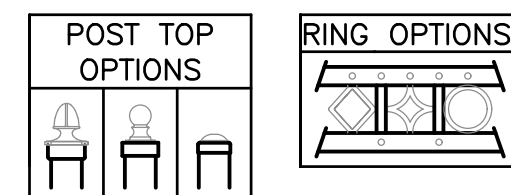
VINYL FENCE  
 SCALE: NOT TO SCALE



VINYL DOUBLE SWING GATE  
 SCALE: NOT TO SCALE

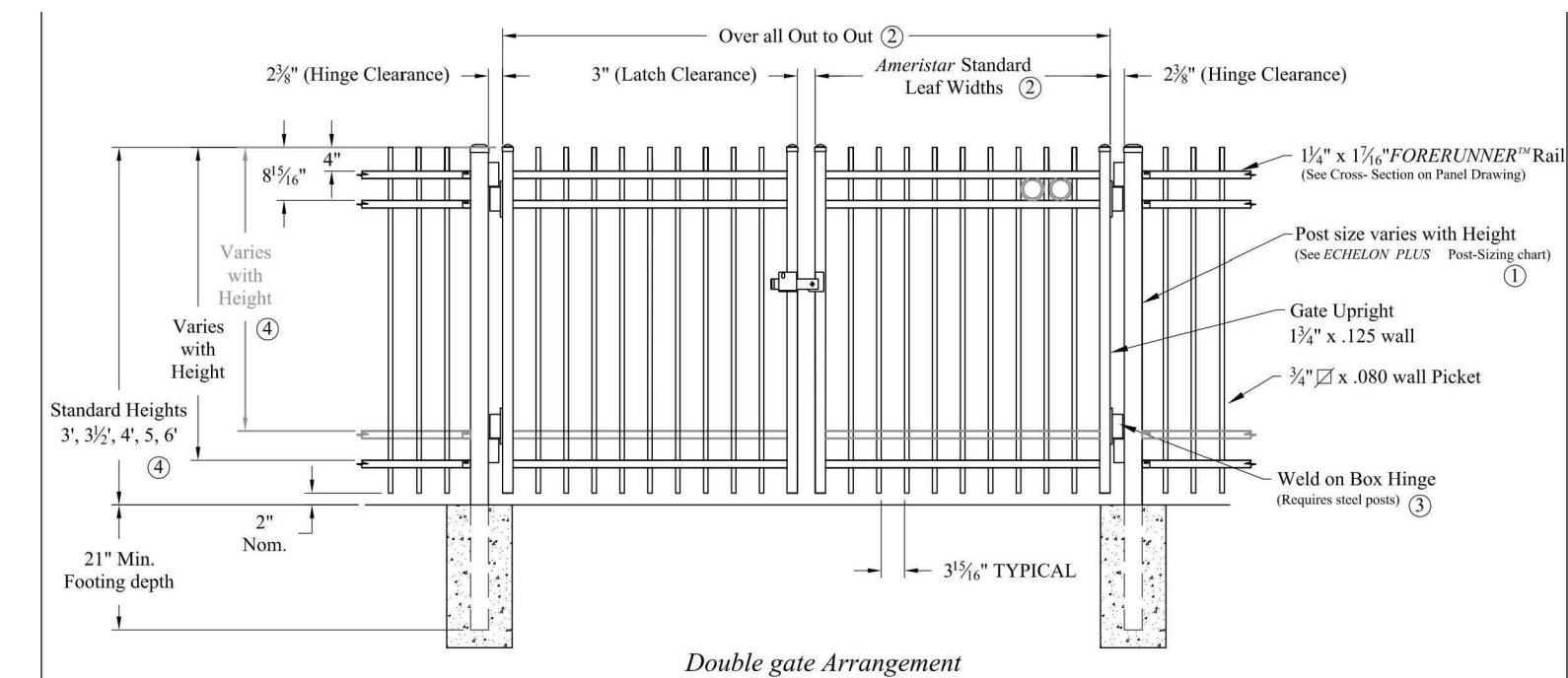


NOM HEIGHT (H)	POST SIZE
3'-0" OR LESS	2", 14 GAUGE
4' - 6'	2 1/2", 14 GAUGE
7' - 9'	3", 12 GAUGE
10' - 12'	4", 12 GAUGE



PRODUCT: ECHELON PLUS GENESIS  
 3-RAIL WITH RING OR APPROVED EQUAL  
 COLOR: BLACK  
 HEIGHT: 4'  
 MANUFACTURER:  
 AMERISTAR  
 1555 N. MINGO  
 TULSA, OK 74116  
 888.333.3422  
 WWW.AMERISTARFENCE.COM

ORNAMENTAL METAL FENCE - 4'  
 SCALE: N.T.S.



COMMERCIAL STRENGTH ALUMINUM

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements. AGISDC

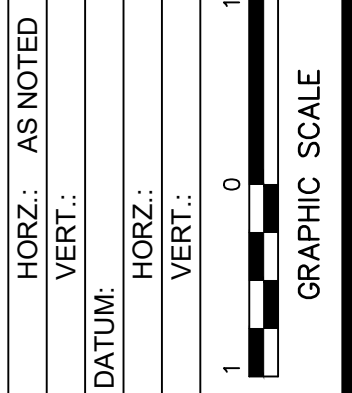
THE ECHELON PLUS GENESIS 3/4-RAIL SGL & DBL GATE  
 DR: NJB SH: 1 of 1 SCALE: DO NOT SCALE  
 CK: CI Date 6/17/10 REV: b



1555 N. MINGO  
 TULSA, OK 74116  
 1-888-333-3422  
 www.ameristarfence.com

ORNAMENTAL DOUBLE SWING GATE  
 SCALE: NOT TO SCALE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
4.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
3.	11/12/2019	REVISED PERMITTING PLANS	JEV	DD
2.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
1.	8/30/2019	REVISED PERMITTING PLANS	JEV	DD



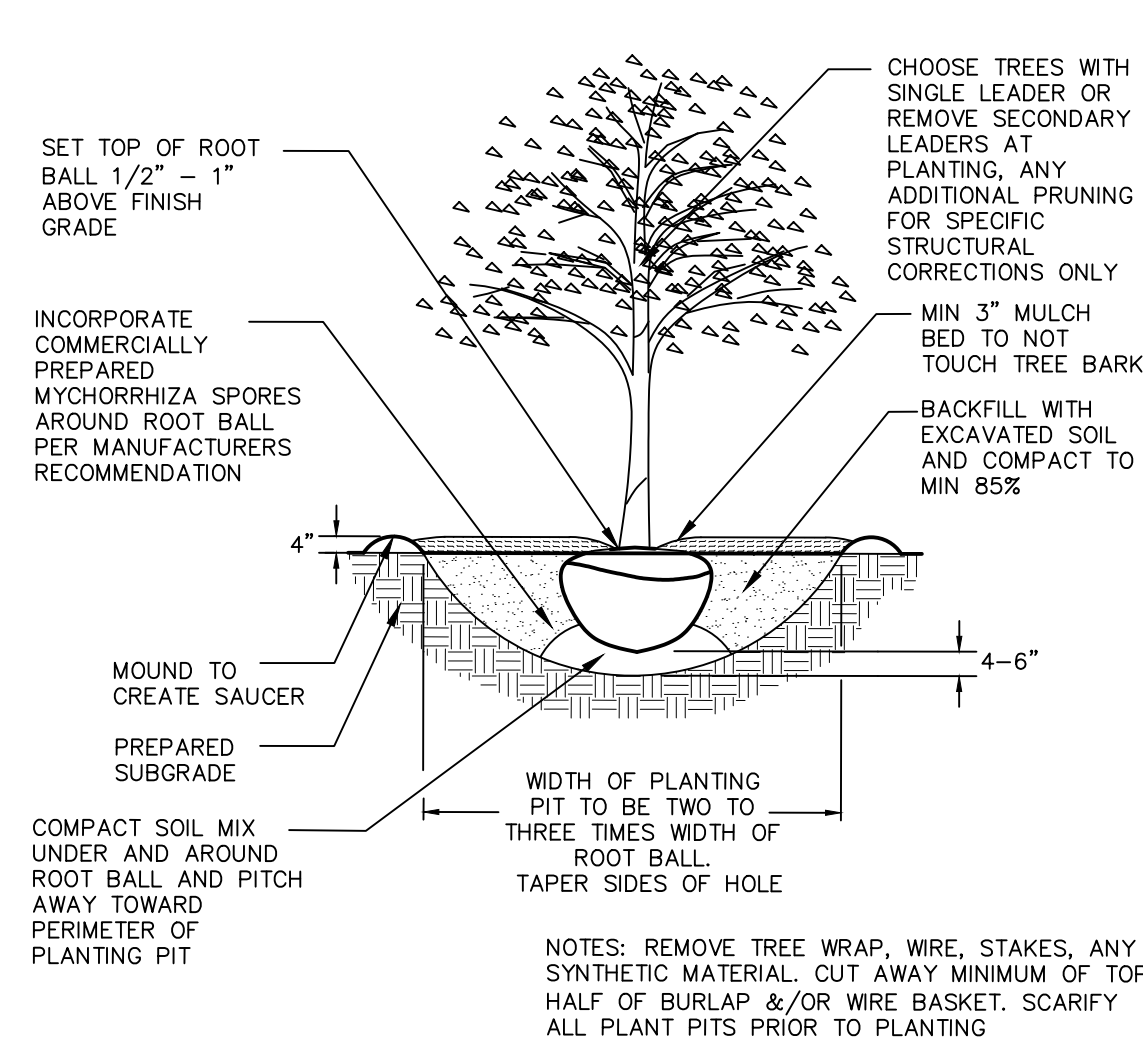
ASCEND MASS, LLC  
 DETAILS  
 1089 WASHINGTON STREET  
 NEWTON, MASSACHUSETTS

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 DETAILS  
 1089 WASHINGTON STREET  
 NEWTON, MASSACHUSETTS

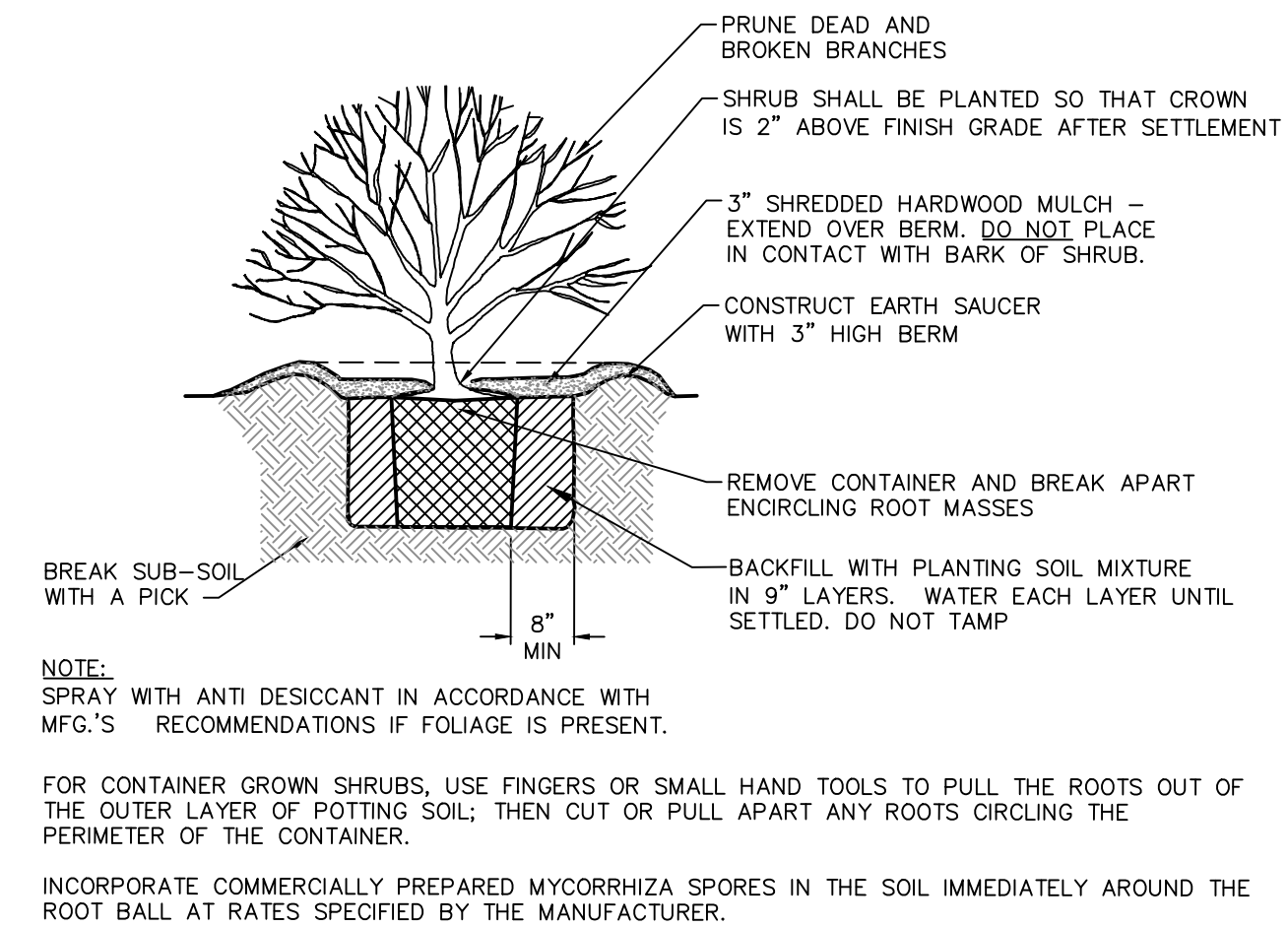
PROJ. No.: 20190241.A20  
 DATE: 11/12/2019

CD-503

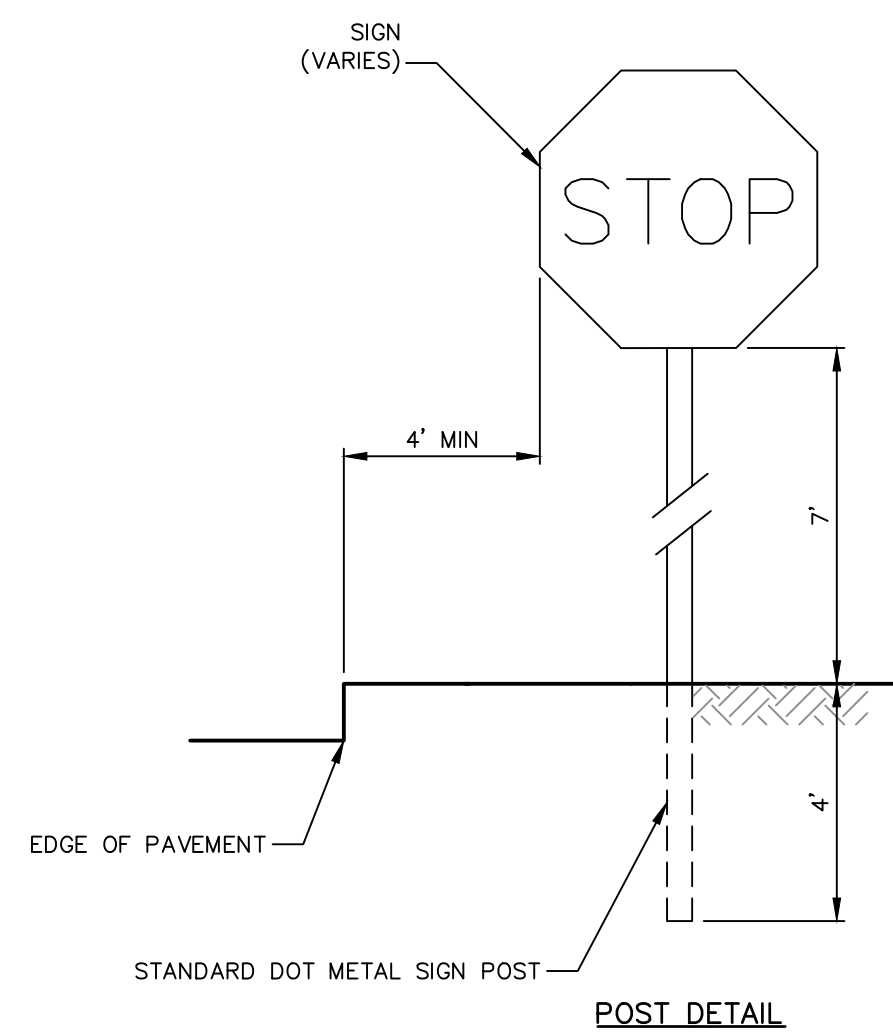




**TREE PLANTING**  
 SCALE: N.T.S.



**SHRUB PLANTING FOR CONTAINERIZED SHRUBS**  
 NOT TO SCALE



**SIGNS**  
 SCALE: NOT TO SCALE

SIGN GRAPHIC	SIGN NAME	SIZE	MUTCD REFERENCE
	ACCESSIBLE PARKING	12"x18"	R7-8
	VAN ACCESSIBLE	18"x9"	R7-8P
	LEFT TURN ONLY	30"x36"	R3-5L
	DO NOT ENTER SIGN	24"x24"	R5-1
	EXIT ONLY SIGN	24"x24"	N/A
	ENTER ONLY SIGN	24"x24"	N/A

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
4.	12/9/2019	REVISED PERMITTING PLANS	JEV	DD
3.	11/12/2019	REVISED PERMITTING PLANS	JEV	DD
2.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
1.	8/20/2019	REVISED PERMITTING PLANS	JEV	DD



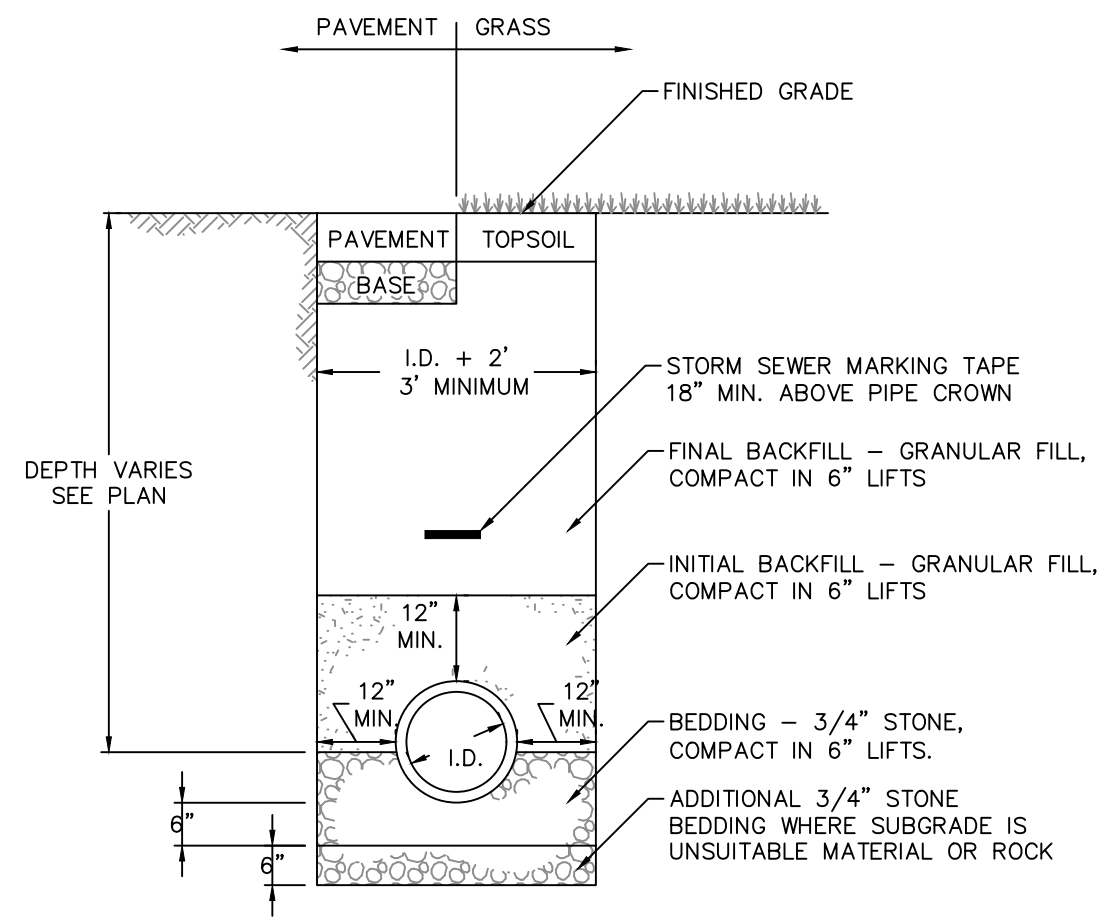
**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 NEWTON, MA 02459  
 (617) 552-4675  
 www.fandob.com

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 1089 WASHINGTON STREET  
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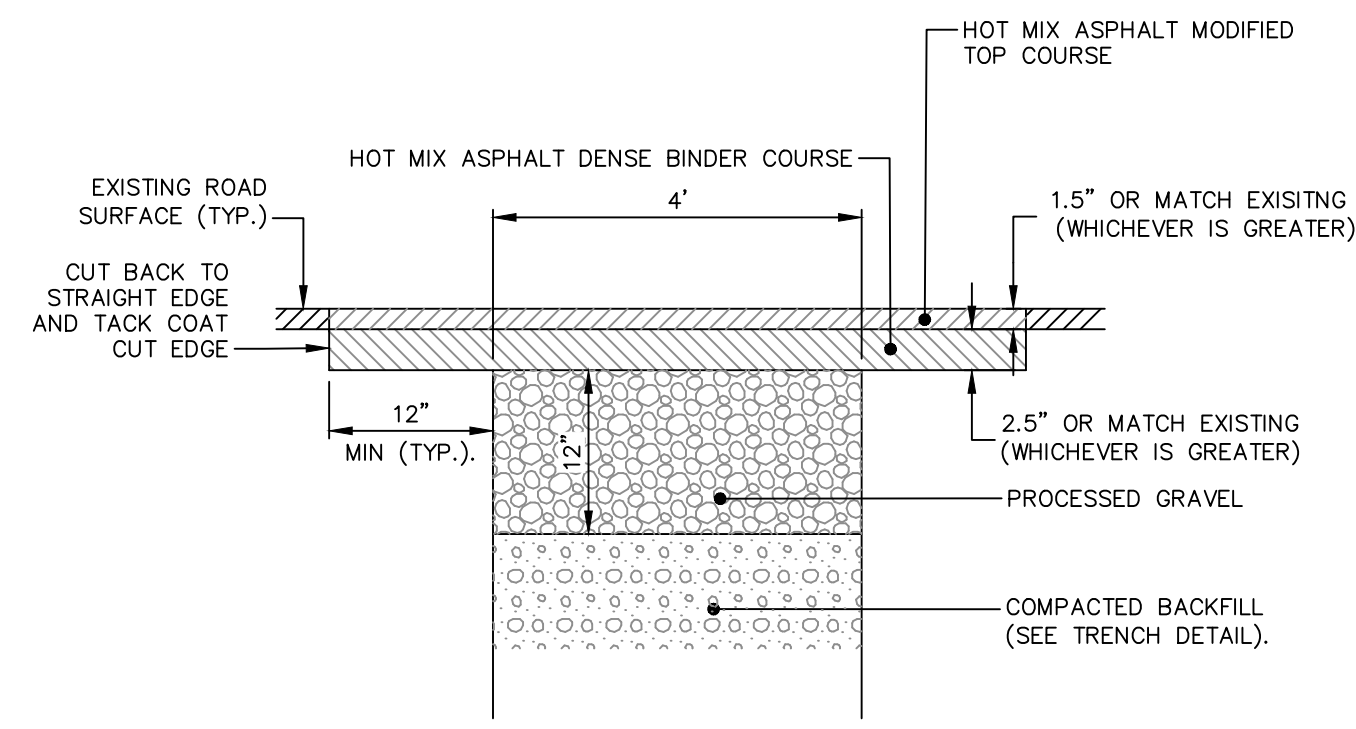
PROJ. No.: 20190241.A20  
 DATE: 11/12/2019

**CD-504**



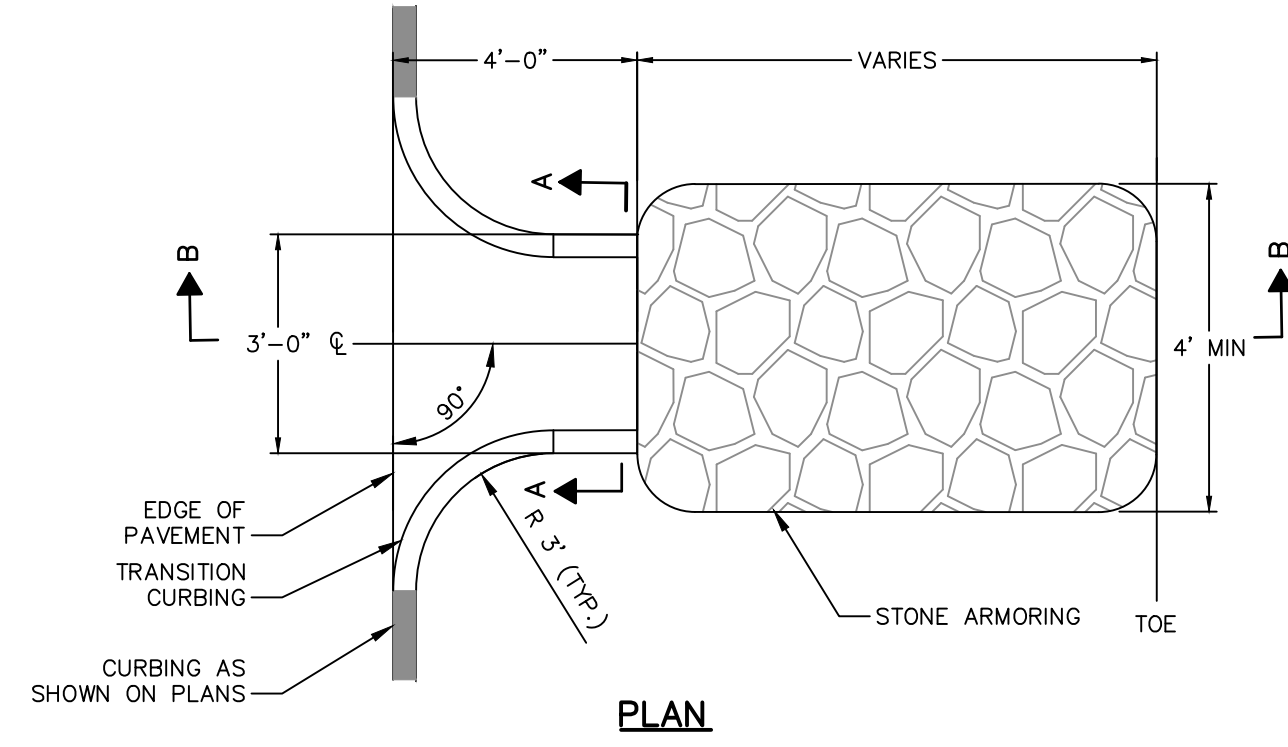


**STORM SEWER TRENCH**  
 SCALE: NOT TO SCALE



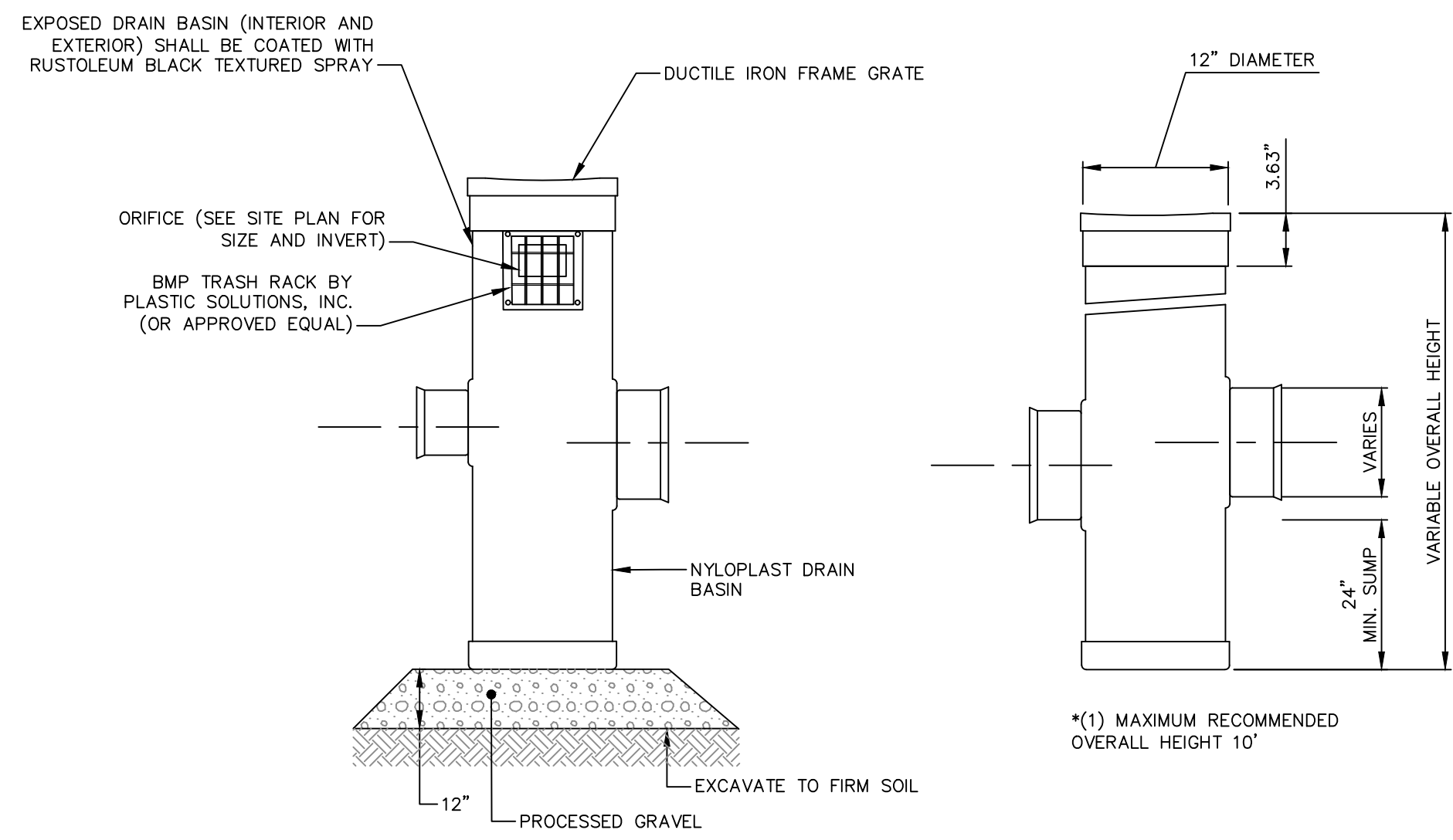
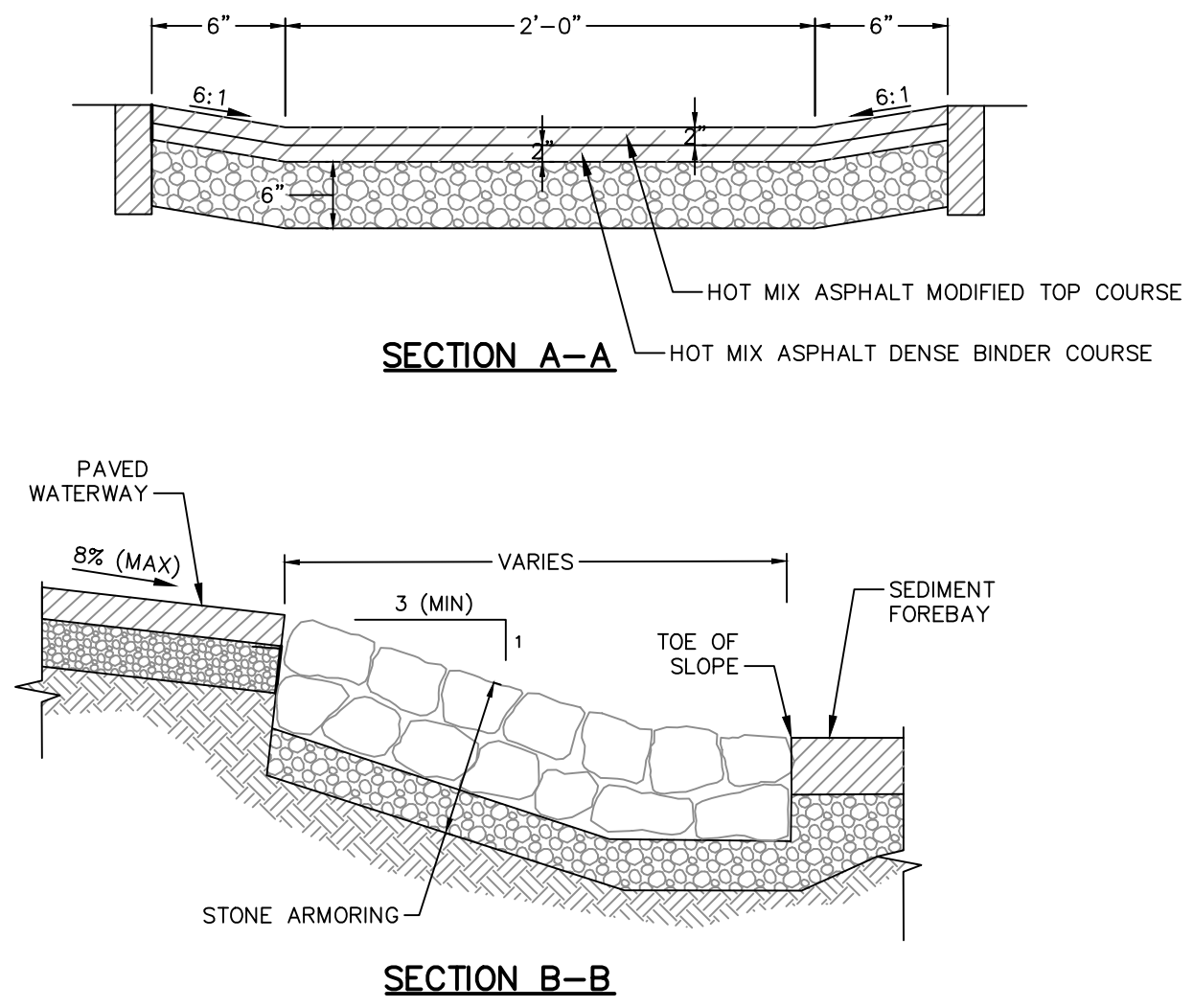
NOTES:  
 UNSUITABLE MATERIAL WITHIN SUBGRADE SHALL BE REMOVED AND REPLACED WITH PROCESSED GRAVEL.

**PAVEMENT REPAIR**  
 SCALE: NOT TO SCALE



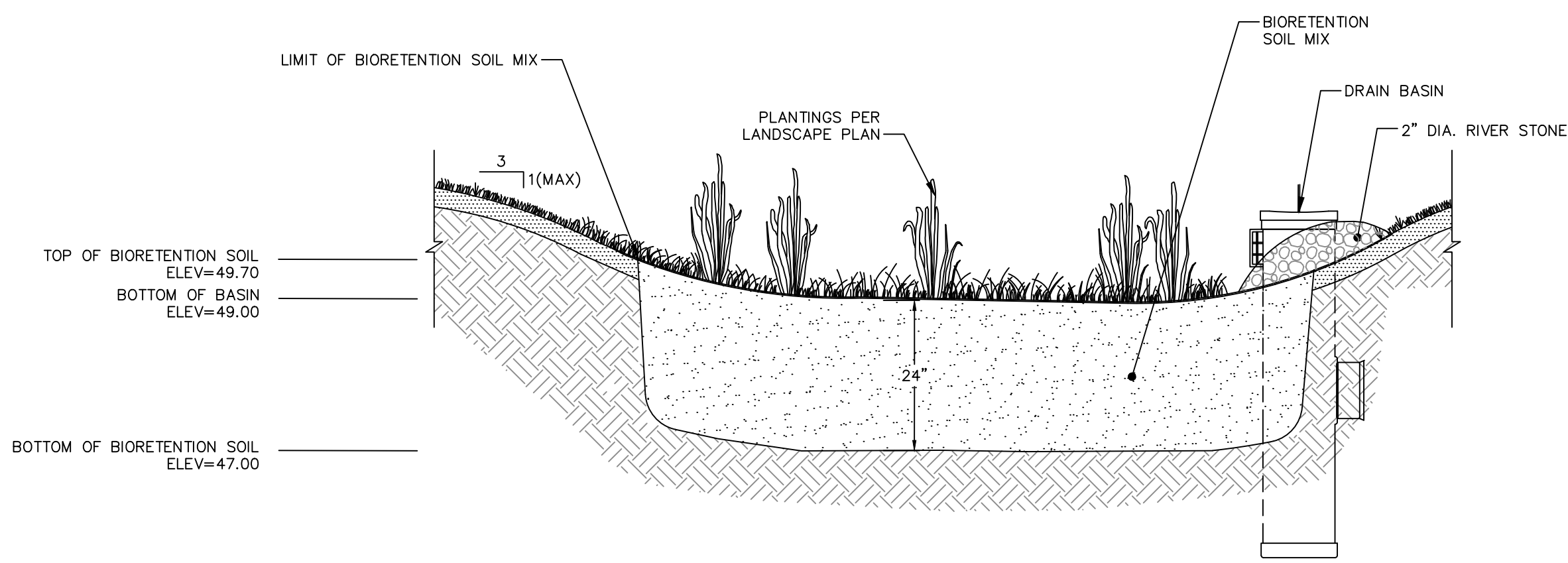
NOTES:  
 STONE SHALL BE 2"-4" ROUNDED RIVER STONE.

**LEAKOFF**  
 SCALE: NOT TO SCALE



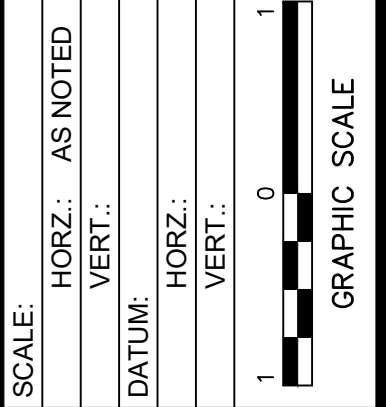
NOTES:  
 1. SEE SITE PLAN FOR PIPE SIZE, PIPE MATERIAL, AND INVERTS.  
 2. PROCESSED GRAVEL SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.

**DRAIN BASIN**  
 SCALED SCALE



**BIORETENTION BASIN**  
 SCALE: NOT TO SCALE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
6.	1/23/2020	REVISED PERMITTING PLANS	JEV	DD
5.	12/19/2019	REVISED PERMITTING PLANS	JEV	DD
4.	12/9/2019	REVISED PERMITTING PLANS	JEV	DD
3.	11/12/2019	REVISED PERMITTING PLANS	JEV	DD
2.	10/25/2019	REVISED PERMITTING PLANS	JEV	DD
1.	8/30/2019	REVISED PERMITTING PLANS	JEV	DD



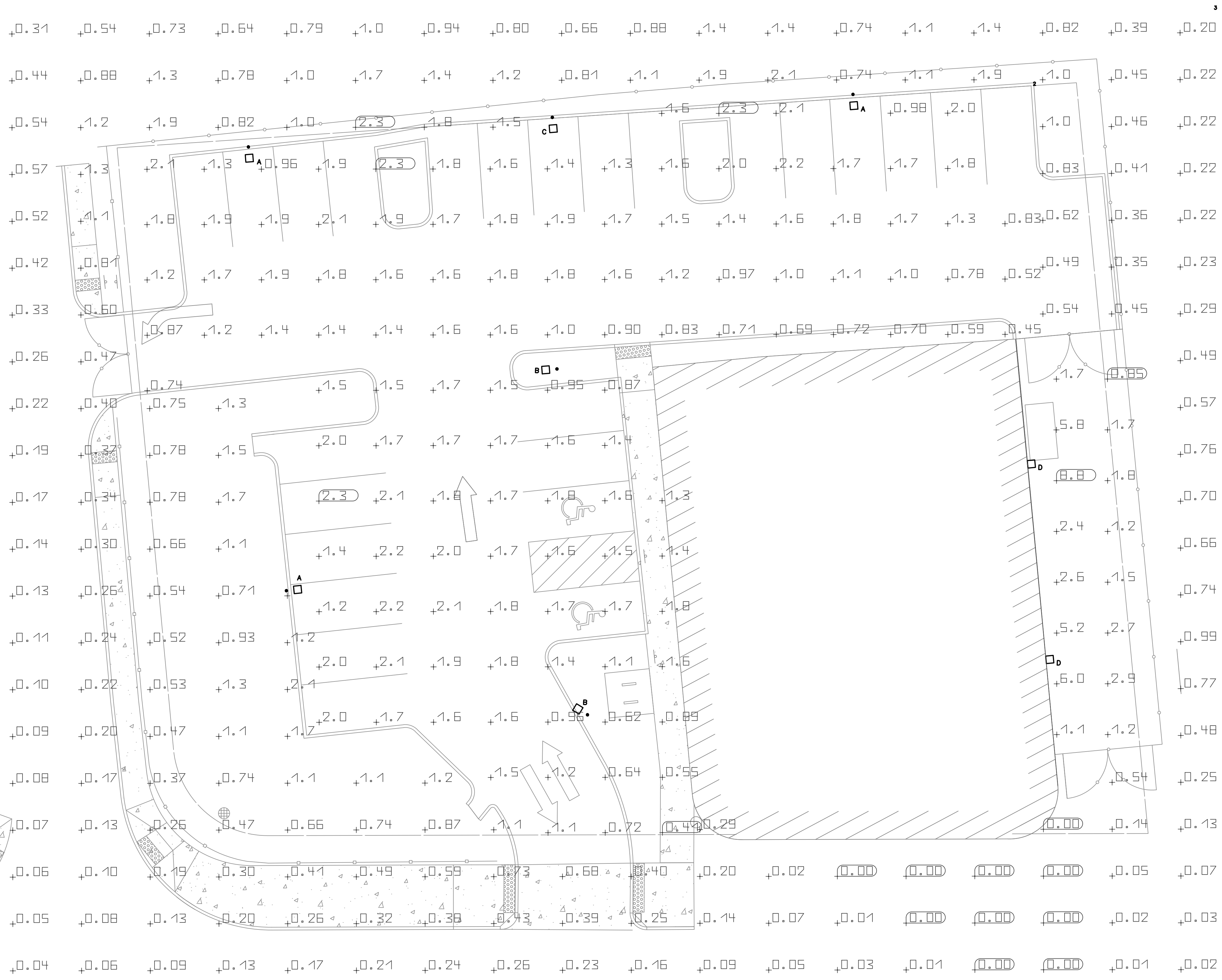
**FUSS & O'NEILL**  
 108 MYRTLE STREET, SUITE 502  
 QUINCY, MA 02171  
 (617) 285-4675  
 www.fandou.com

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 MASSACHUSETTS

PROJ. No.: 20190241.A20  
 DATE: 11/12/2019

**CD-505**





#	Name	Parameter	Min	Max	Average	Mean/Min	Max/Min
1	LOADING AREA	Horizontal Illuminance	0.85 fc	8.78 fc	2.97 fc	3.48	10.29
2	Parking Lot	Horizontal Illuminance	0.41 fc	2.32 fc	1.48 fc	3.65	5.71
3	Overflow	Horizontal Illuminance	0.000 fc	2.29 fc	0.57 fc	/	/

**NOTE:**

- CALCULATIONS FOR TYPES A, B, C ARE BASED ON 20' HEIGHT.
- CALCULATIONS FOR TYPE D ARE BASED ON 10' MOUNTING HEIGHT.

LUMINAIRE LIST								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	Quantity
A1	PHILIPS GARDCO	Pureform COMFORT Area (P26), 140 LED's, 3000K CCT, TYPE 3 OPTIC,	P26-140L-2100-WW-G2-3-UNV	1x(1) Square Light Guide Plate DRIVEN AT 700mA	9641 lm	0.80	95.8 W	3
B	PHILIPS GARDCO	Pureform COMFORT Area (P26), 140 LED's, 3000K CCT, TYPE 3 OPTIC,	P26-140L-1150-WW-G2-3-UNV	1x(1) Square Light Guide Plate DRIVEN AT 500mA	5801 lm	0.80	52.2 W	2
C	PHILIPS GARDCO	Pureform COMFORT Area (P26), 140 LED's, 5000K CCT, TYPE 3 OPTIC,	P26-140L-450-CW-G2-3-UNV	1x(1) Square Light Guide Plate DRIVEN AT 450mA	2579 lm	0.80	22.3 W	1
D	SIGNIFY	STONCOSTONCO TRADITIONAL WALL PACK LED	WP50-NW-G1-8	1x	5552 lm	0.80	49 W	2

SCALE: HORZ.: 1"=10' VERT.: 1"=10'		DATE: 11/12/2019	
DATUM: NAD83		DESIGNER: JVALDEZ	
HORZ.: NAD83		REVIEWER: JVALDEZ	
VERT.: NAVD83		REVISOR: JVALDEZ	
GRAPHIC SCALE: 10, 5, 0, 5, 10		REVISOR: JVALDEZ	
ASCEND MASS, LLC		REVISOR: JVALDEZ	
SITE LIGHTING - PHOTOMETRIC		REVISOR: JVALDEZ	
1089 WASHINGTON STREET		REVISOR: JVALDEZ	
NEWTON, MASSACHUSETTS		REVISOR: JVALDEZ	
PROJECT No.: 20190241.A20		REVISOR: JVALDEZ	
DATE: 11/12/2019		REVISOR: JVALDEZ	
SL-101		REVISOR: JVALDEZ	