

Dig Safe
 Excavators
 Before you dig contact the Dig Safe Center.
 To prevent damage to telephone, gas or
 electric underground facilities of member
 utilities, call toll free
 Massachusetts state law requires
 notification at least three business days
 before you start digging operations. In an
 emergency, call immediately.



Zoning	Required	Existing	Proposed
SR-3 Old			
Min. Lot Area	7,000 sf	6,377 sf	—
Setbacks			
Front	25.0'	17.2'	17.2' (No Change)
Side	7.5'	9.0'	9.0' (No Change)
Rear	15.0'	34.2'	17.8'
	%	%	%
Lot Coverage	30.0%	22.70%	28.45%
Open Space	50.0%	67.11%	58.00%
Floor Area Ratio			
	0.48/**0.50	0.565	0.72
Bld Height			
	35'	32.08	32.47
Stories			
	2.5	3	3

**Existing Lot was created prior to December 7, 1953.
 Therefore, an additional FAR Bonus of 0.02 is allowed.

Zoning District: SR-3
 Old Lot Status

Allowed/Required
 Lot Coverage=30.0%
 Open Space=50.0%

Existing
 Lot Coverage=22.70%
 Open Space=67.11%

Proposed
 Lot Coverage=28.45%
 Open Space=58.00%

Allowed FAR=0.48 (3061 sf)
 **Allowed FAR w/Bonus=0.50 (3188.5)

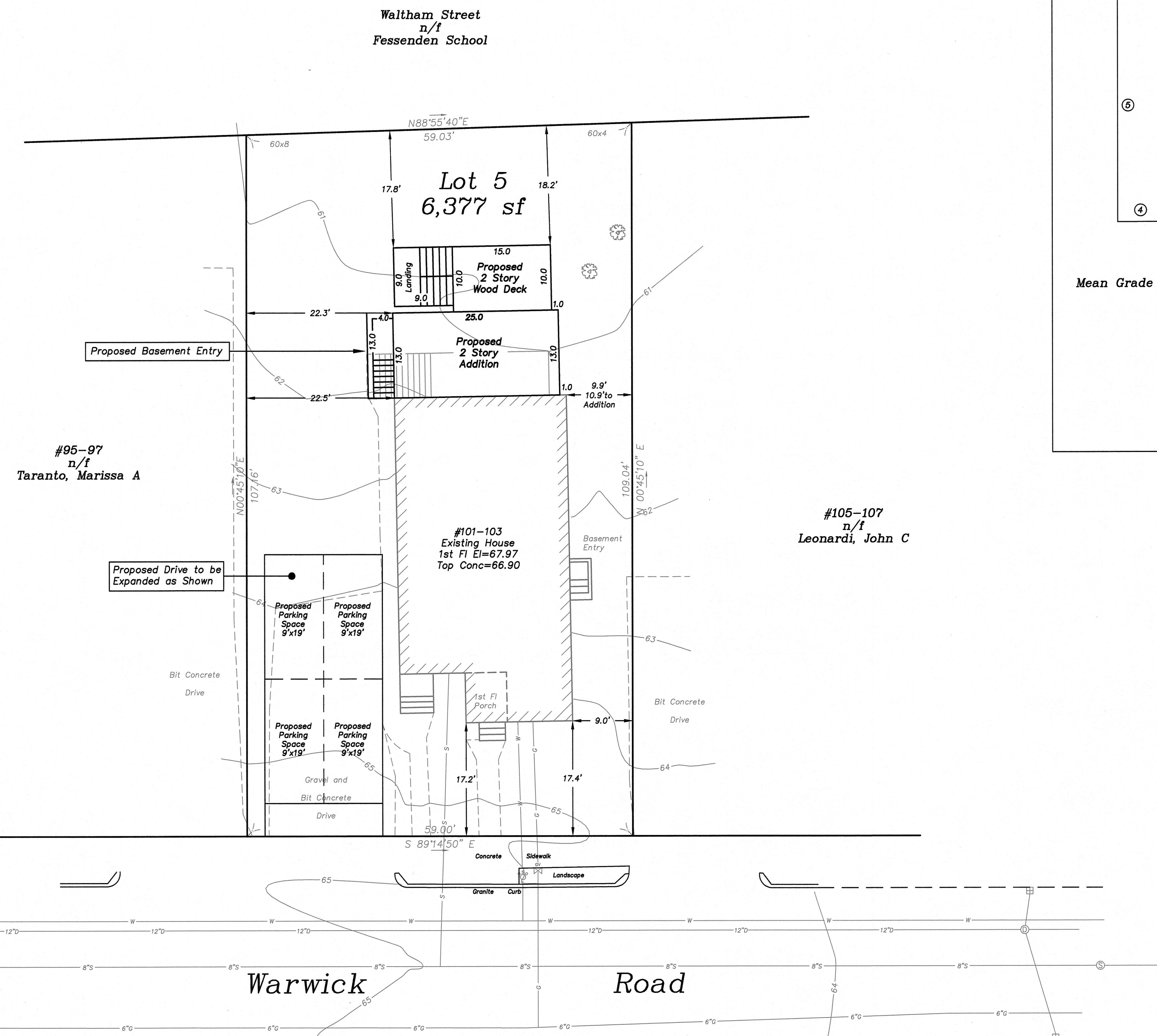
Existing FAR=0.565 (3606 sf)
 Proposed FAR=0.720 (4596 sf)

Existing FAR Calculation
 Lower Level=1186 sf
 Main Floor=1186 sf
 Top Floor=1234 sf
 Attic=0
 Total=3606 sf

Proposed FAR Calculation
 Lower Level=1516 sf
 Main Floor=1516 sf
 Top Floor=1564 sf
 Attic=0
 Total=4596 sf

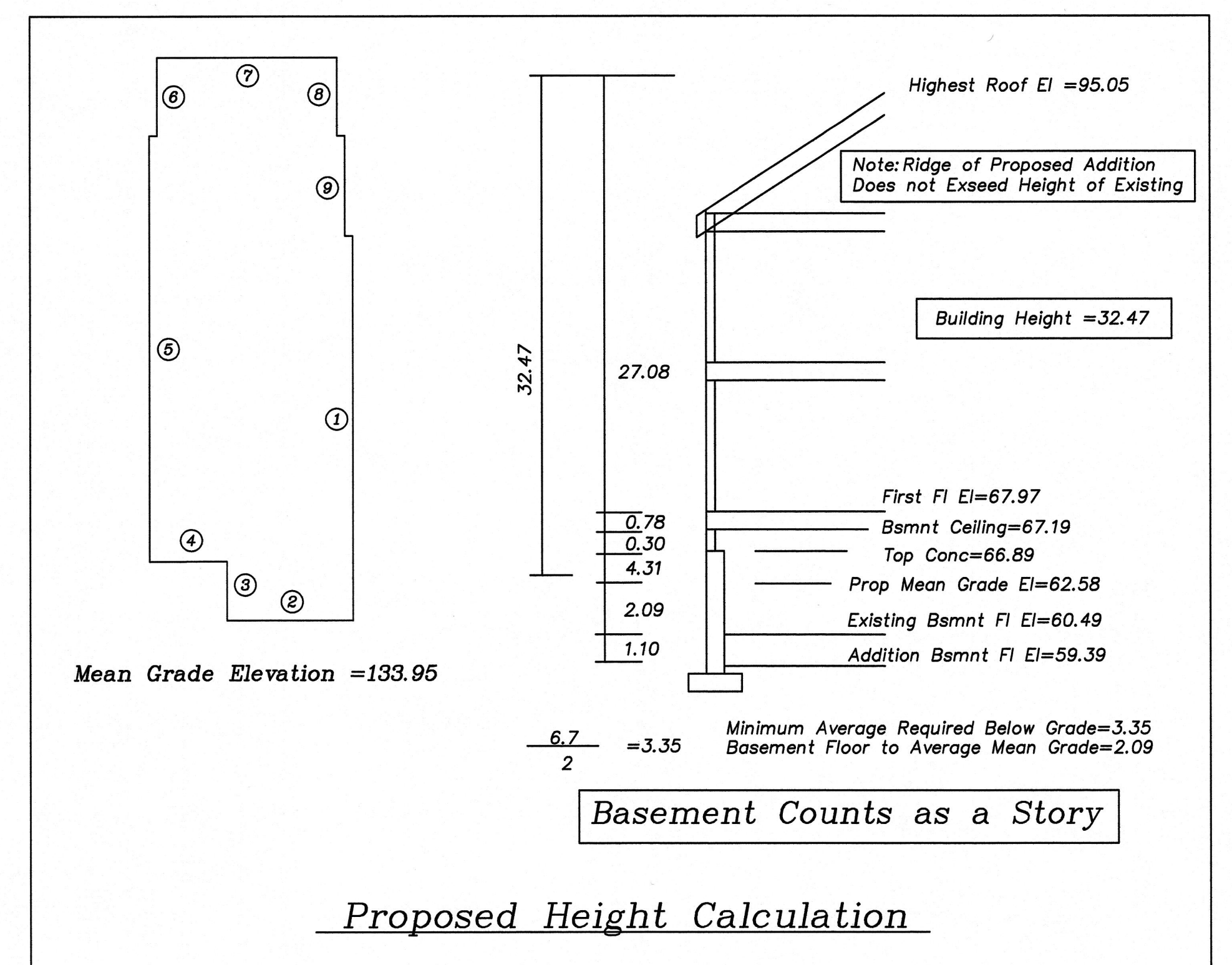
Zoning Notes:
 1. Existing Basement (Lower Level) counts as a story.
 See Existing Height Calculation.

2. Existing zoning district information and lot status is based on information obtained from the City of Newton on-line data base and property deeds and plans obtained from Middlesex South District Registry of Deeds. Final zoning district and lot status to be determined by the City of Newton Inspectional Services Department.



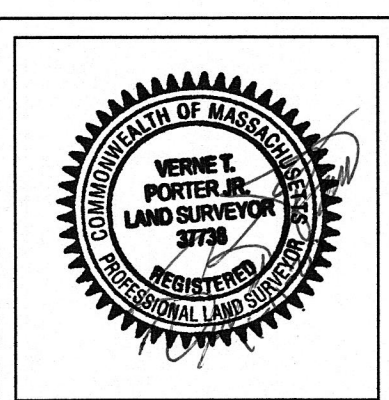
Increase of Impervious Surface=680± sf

Existing utilities shown are from field locations and available plans of record and may or may not be correct. Field verify all locations prior to any excavation.



- Notes:
- Upon City of Newton Special Permit/Variance approval the Applicant will need to apply for a separate Building Permit with Inspectional Services.
 - In association with the proposed addition, and after City of Newton Engineering Division review, it may be determined that the Applicant install an on-site drainage system that meets City of Newton requirements.
 - In association with the proposed addition, and after City of Newton Engineering Division review, it may be determined that the Applicant update/replace the existing water and sewer services.
 - The utilities shown are from field locations and available plans of utility companies and may or may not be correct. Contractor is to contact Dig Safe, all local utility companies and field verify all locations as required prior to any excavation.
 - An erosion control barrier shall be in place prior to any construction and all materials must be contained on site.
 - No excavation is allowed within any City right of way between November 15th and April 15th. If an emergency exists or there are extenuating circumstances, Applicant may seek permission for such work from the City DPW Commissioner via City Engineer. If permission is granted, special construction standards will be applied. Applicant or Applicant's representative must contact the City Engineering Department prior to start of work for clarification.
 - As of January 1, 2009, all trench excavation contractors shall comply with M.G.L. Chapter 82A, Trench Excavation Safety Requirements, to protect the general public from unauthorized access to unattended trenches. Trench Excavation Permit required. This applies to all trenches on public and private property.
 - Any tree removed from site must comply with City of Newton Tree Ordinance.

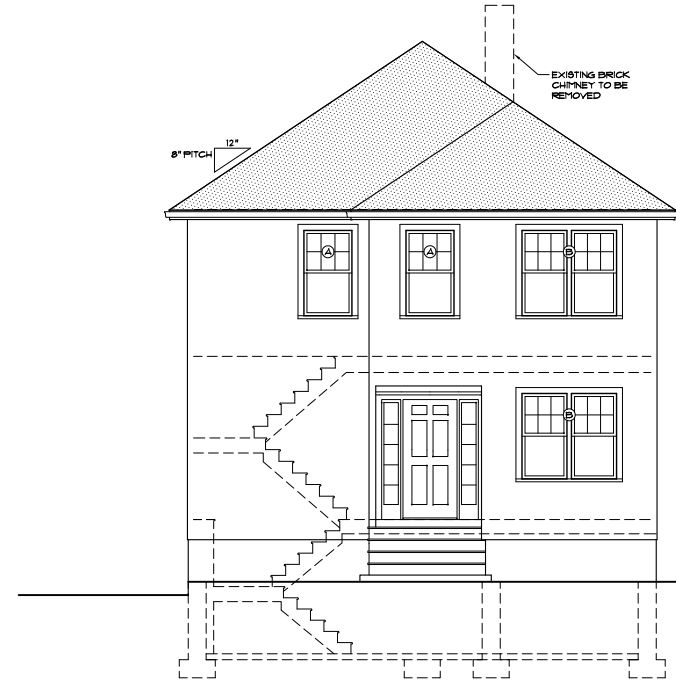
REVISIONS	
DATE	DESCRIPTION
11-11-20	CITY COMMENTS/DECK SIZE



101-103 Warwick Road
 Newton, Massachusetts
Proposed Conditions Site Plan
 Scale: 1"=10' September 11, 2020
VERNE T. PORTER Jr., PLS
 Land Surveyors - Civil Engineers
 354 Elliot Street Newton, Massachusetts 02464

Project: 20011
 Checked By: V. Porter Jr.
 Drawn By: R. Jardine Jr.

Sheet 2 of 2



GENERAL NOTES:

ALL WORK TO CONFORM TO MASS. STATE BUILDING CODE CMR 180 NINTH EDITION AND APPLICABLE PLUMBING & ELECTRICAL CODES.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS. CONTRACTOR TO HAVE WORKMANS COMP. AND LIABILITY INSURANCE AND CONSTRUCTION SUPERVISOR'S LICENSE, AND IS RESPONSIBLE FOR CODE COMPLIANCE AND WORKMANSHIP OF ALL WORK PERFORMED, INCLUDING THAT OF SUBCONTRACTORS.

CONTRACTOR TO REMOVE AND PROPERLY DISPOSE OF ALL CONSTRUCTION AND DEMOLITION DEBRIS IN WORKMANLIKE FASHION.

CONTRACTOR TO CHECK AND VERIFY ROUGH OPENING SIZES FOR WINDOWS AND DOORS WITH MANUFACTURER'S REPRESENTATIVES.

CONTRACTOR'S BIDS TO INCLUDE SPECIFIC INFORMATION REGARDING WOODWORK, FLOORING, FINISHES, DOOR STYLES, AND PLUMBING FIXTURES, WITH ALLOWANCES FOR TILE WORK, CABINETRY, COUNTERTOPS, LIGHTING, AND APPLIANCES INCLUDED WITH PROPOSED WORK.

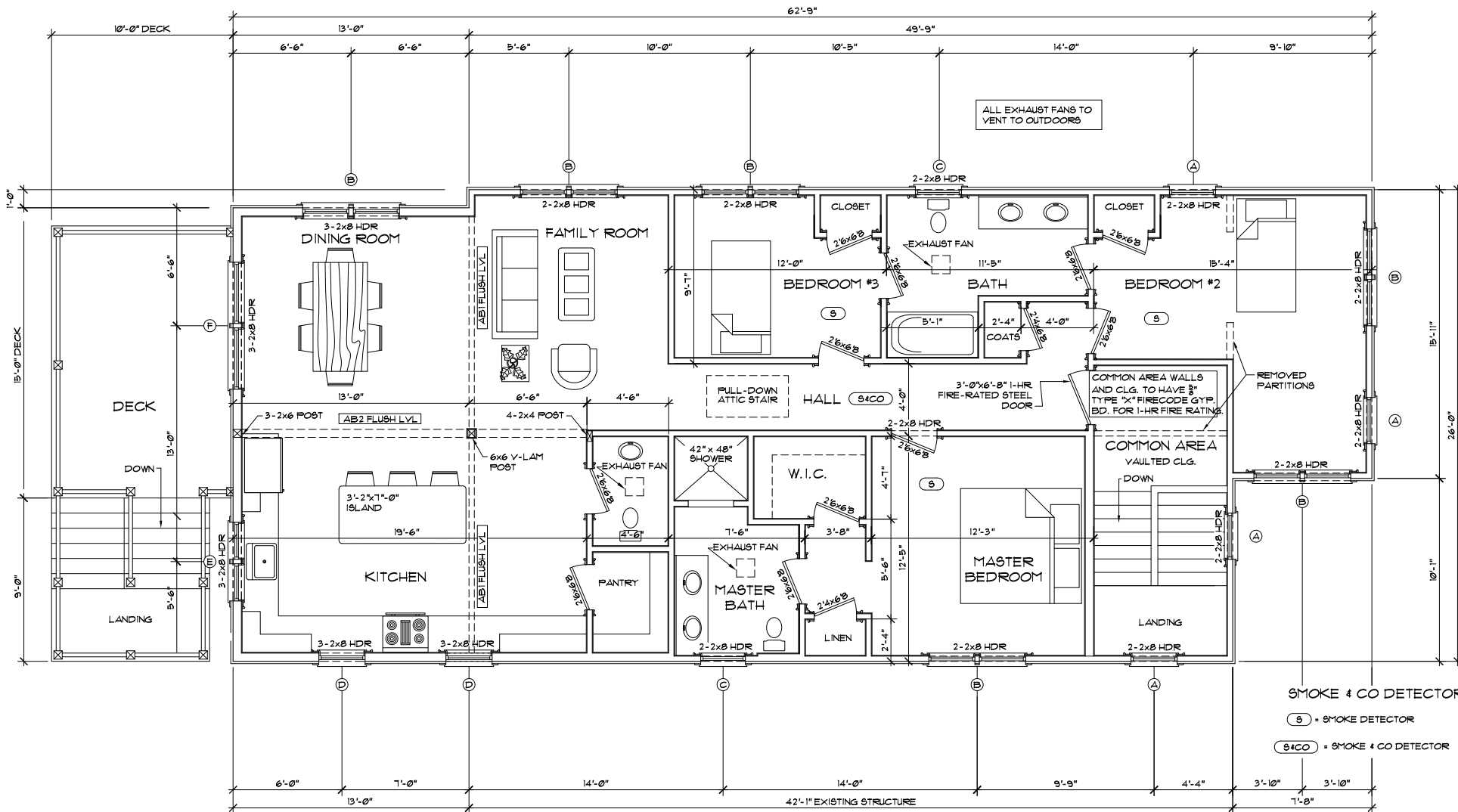
REV.: 11-09-2020 REVISED REAR DECK PER ZBA APPROVAL

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WINDOW SCHEDULE			
ANDERSEN CATALOG	UNIT SIZE W x H	ROUGH OPENING W x H	NOTES
TW2646	2'-7 ³ / ₈ " x 4'-0 ³ / ₈ "	2'-8 ¹ / ₂ " x 4'-0 ³ / ₈ "	SINGLE DOUBLE HUNG
TW2446-2	4'-11 ¹ / ₂ " x 4'-0 ³ / ₈ "	4'-11 ¹ / ₂ " x 4'-0 ³ / ₈ "	DOUBLE-WIDE DOUBLE HUNG
TW2442	2'-5 ³ / ₈ " x 4'-4 ³ / ₈ "	2'-6 ¹ / ₂ " x 4'-4 ³ / ₈ "	SINGLE DOUBLE HUNG
CW135	2'-4 ³ / ₈ " x 3'-4 ³ / ₈ "	2'-4 ³ / ₈ " x 3'-5 ³ / ₈ "	CASEMENT WINDOW
CN235	3'-4 ³ / ₈ " x 3'-4 ³ / ₈ "	3'-5 ¹ / ₂ " x 3'-5 ³ / ₈ "	CASEMENT WINDOW
FWG6068	5'-11 ¹ / ₂ " x 6'-7 ¹ / ₂ "	6'-0" x 6'-8"	PATIO SLIDERS

- ... VERIFY THAT WINDOW MEETS BEDROOM EGRESS REQUIREMENT OF MIN. 24"W x 20"H CLEAR OPENING.
- ... TEMPERED GLASS REQUIRED OVER BATH TUB
- VERIFY MIN. 2'-8" WIDE FOR REQUIRED EGRESS

F. A. R. AREAS: 1,515.5 SF FIRST FLOOR 1,563.4 SF SECOND FLOOR 3,078.9 SF TOTAL F. A. R. AREA 3,122.0 SF MAX. ALLOWABLE F. A. R. W/BONUS	101-103 WARWICK ROAD NEWTON, MA		
			COVER PAGE DATE: 03-16-2020 EXISTING CONDITIONS REV.: 05-18-2020 DESIGN DEVELOPMENT REV.: 06-22-2020 FOR CONSTRUCTION
DRAWING LIST: C COVER SHEET A1 FIRST FLOOR PLAN A2 SECOND FLOOR PLAN A3 ATTIC FLOOR PLAN A4 BASEMENT FLOOR PLAN A5 FRONT ELEVATION A6 BUILDING SECTION 2 A7 RIGHT SIDE ELEVATION A8 REAR ELEVATION A9 LEFT SIDE ELEVATION F1 FIRST & SECOND FLOOR FRAMING F2 ATTIC & ROOF FRAMING	101-103 WARWICK_NEWTON_1.dwg	PROJECT DESIGN: SCOTT LEWIS 365 GROVE STREET WEST ROXBURY, MA 02132 (617) 293-6311	CLIENT: JOSEPH DeNUCCI 119-121 WARWICK ROAD WEST NEWTON, MA 02465 (617) 999-0653



SMOKE & CO DETECTORS:
 (S) = SMOKE DETECTOR
 (S&CO) = SMOKE & CO DETECTOR

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101-103 WARWICK ROAD
 NEWTON, MA

SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

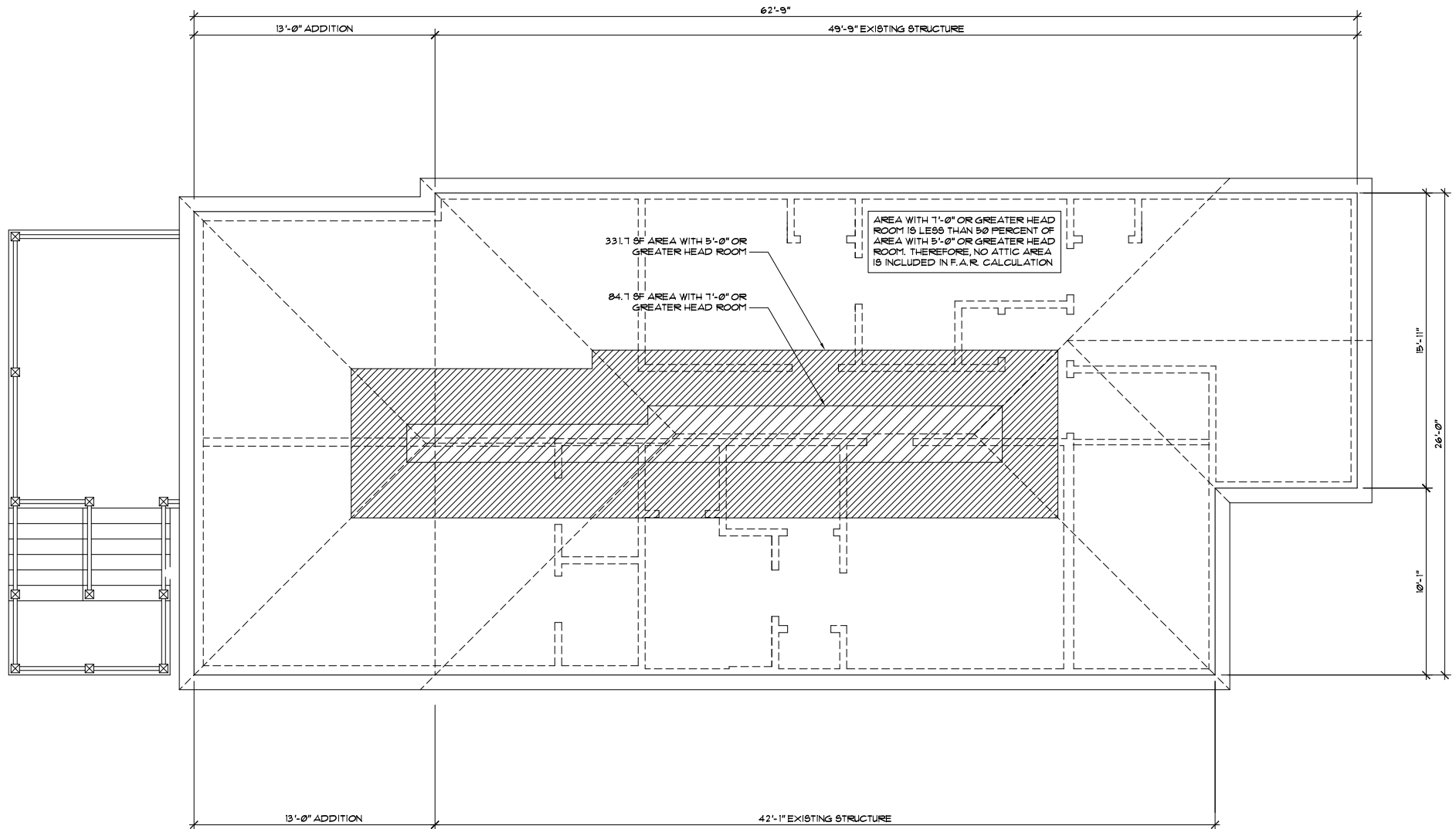
SCOTT LEWIS
 365 GROVE STREET
 WEST ROXBURY, MA 02466

DATE: 11-09-2020

101-103 WARWICK_NEWTON_1.dwg

SHEET

A2



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101-103 WARWICK ROAD
 NEWTON, MA

ATTIC FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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DATE: 11-09-2020

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SHEET

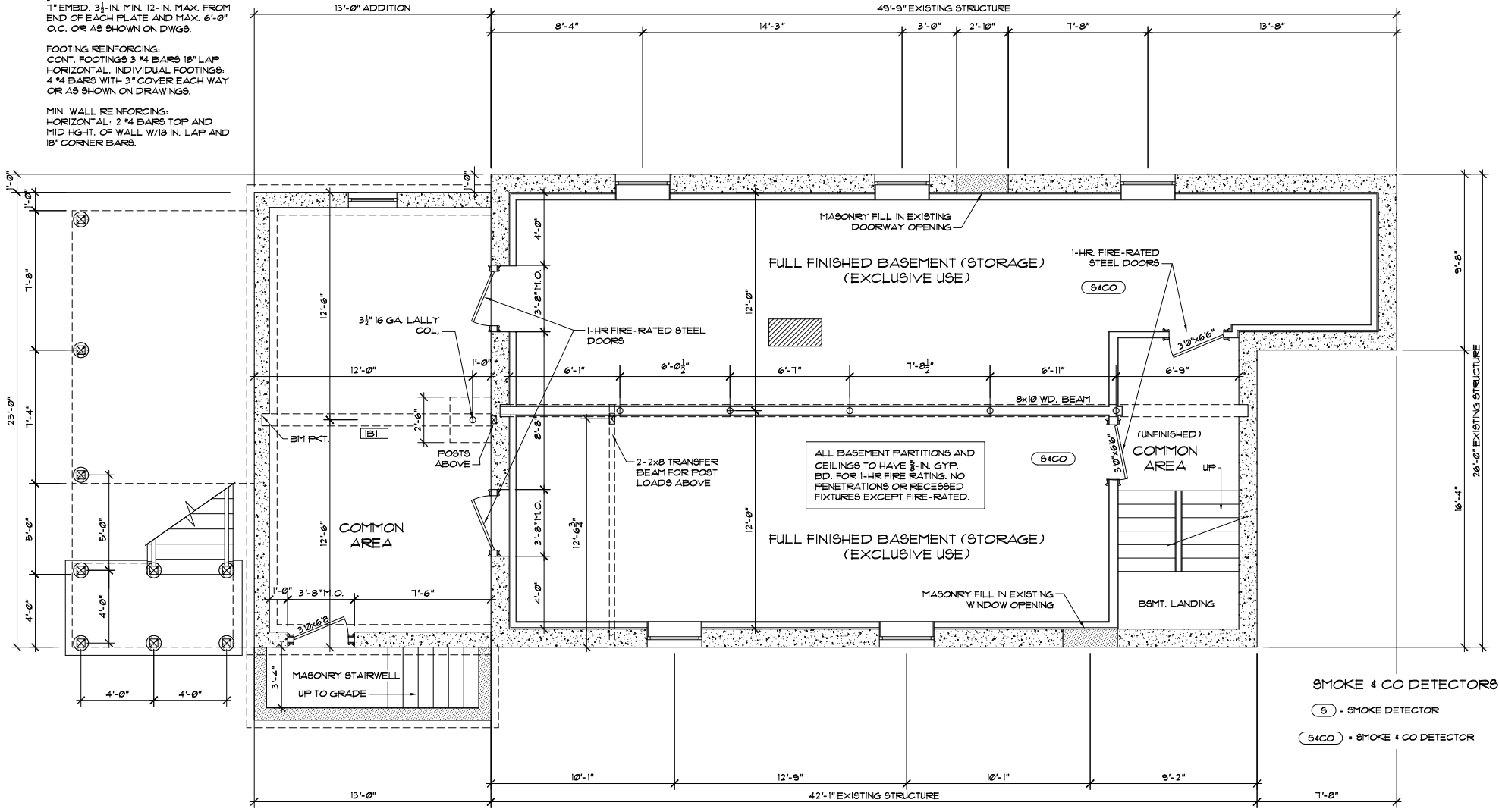
A3

FOUNDATION NOTES:

1/2-IN. DIA. ANCHOR BOLTS W/WASHER
 1" EMBED, 3/4-IN. MIN. 12-IN. MAX. FROM
 END OF EACH PLATE AND MAX. 6'-0"
 O.C. OR AS SHOWN ON DWGS.

FOOTING REINFORCING:
 CONT. FOOTINGS 3 #4 BARS 18" LAP
 HORIZONTAL. INDIVIDUAL FOOTINGS:
 4 #4 BARS WITH 3" COVER EACH WAY
 OR AS SHOWN ON DRAWINGS.

MIN. WALL REINFORCING:
 HORIZONTAL: 2 #4 BARS TOP AND
 MID HGT. OF WALL W/18 IN. LAP AND
 18" CORNER BARS.



SMOKE & CO DETECTORS:

- S = SMOKE DETECTOR
- S4CO = SMOKE & CO DETECTOR

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 NEWTON, MA

BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

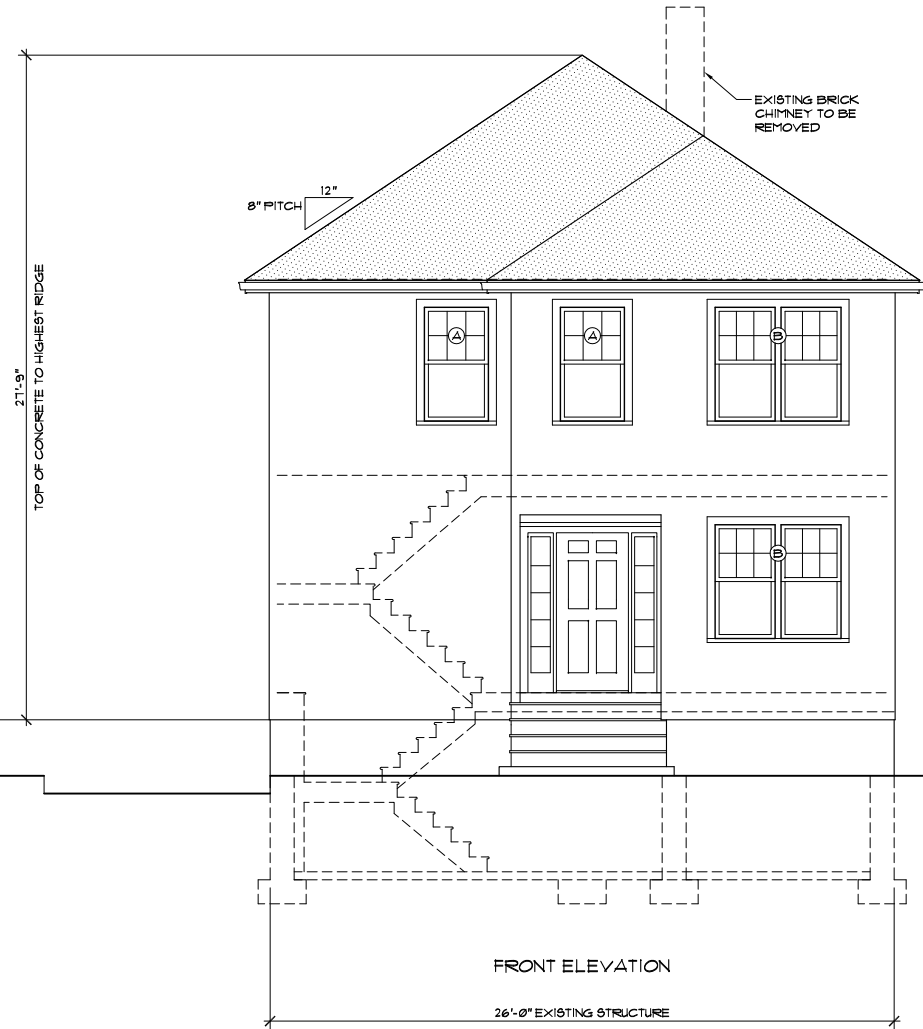
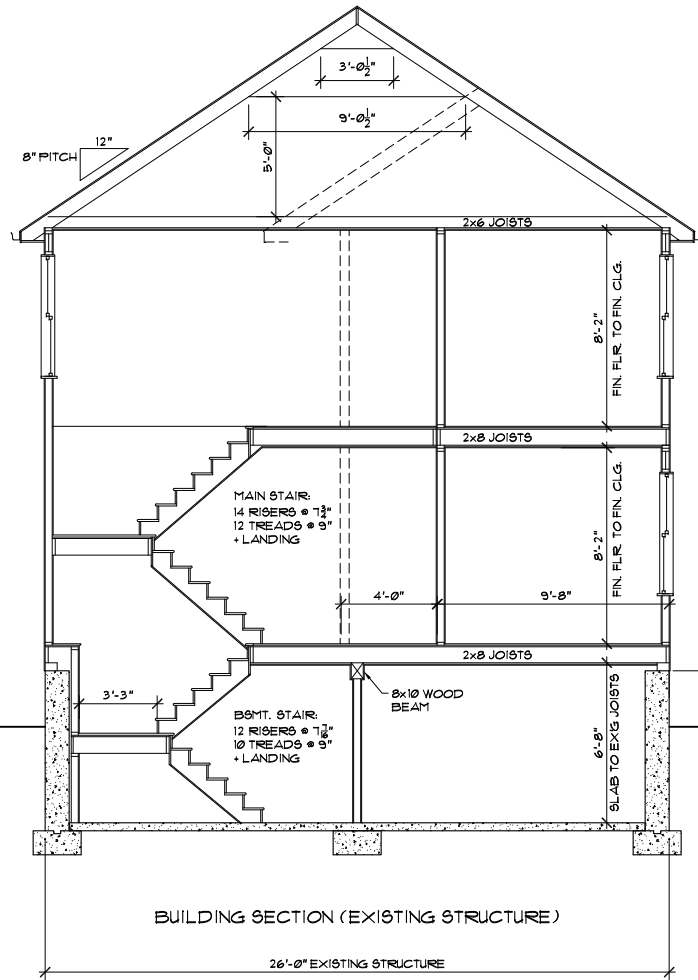
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101-103 WARWICK ROAD
NEWTON, MA

BUILDING SECTION 1 & FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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DATE: 11-09-2020

101-103 WARWICK_NEWTON_1.dwg

SHEET

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NOTE: VENTILATION DETAILS (RIDGE AND SOFFIT VENTS, Baffles, ETC.) MAY BE OMITTED IF USING FOAM INSULATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS NOT REQUIRING VENTILATION COMPONENTS.

INSULATION SPECIFICATIONS AND R-VALUES TO BE DETERMINED BY H.E.R.S. RATER IN ACCORDANCE WITH CURRENT STRETCH ENERGY CODE REQUIREMENTS.

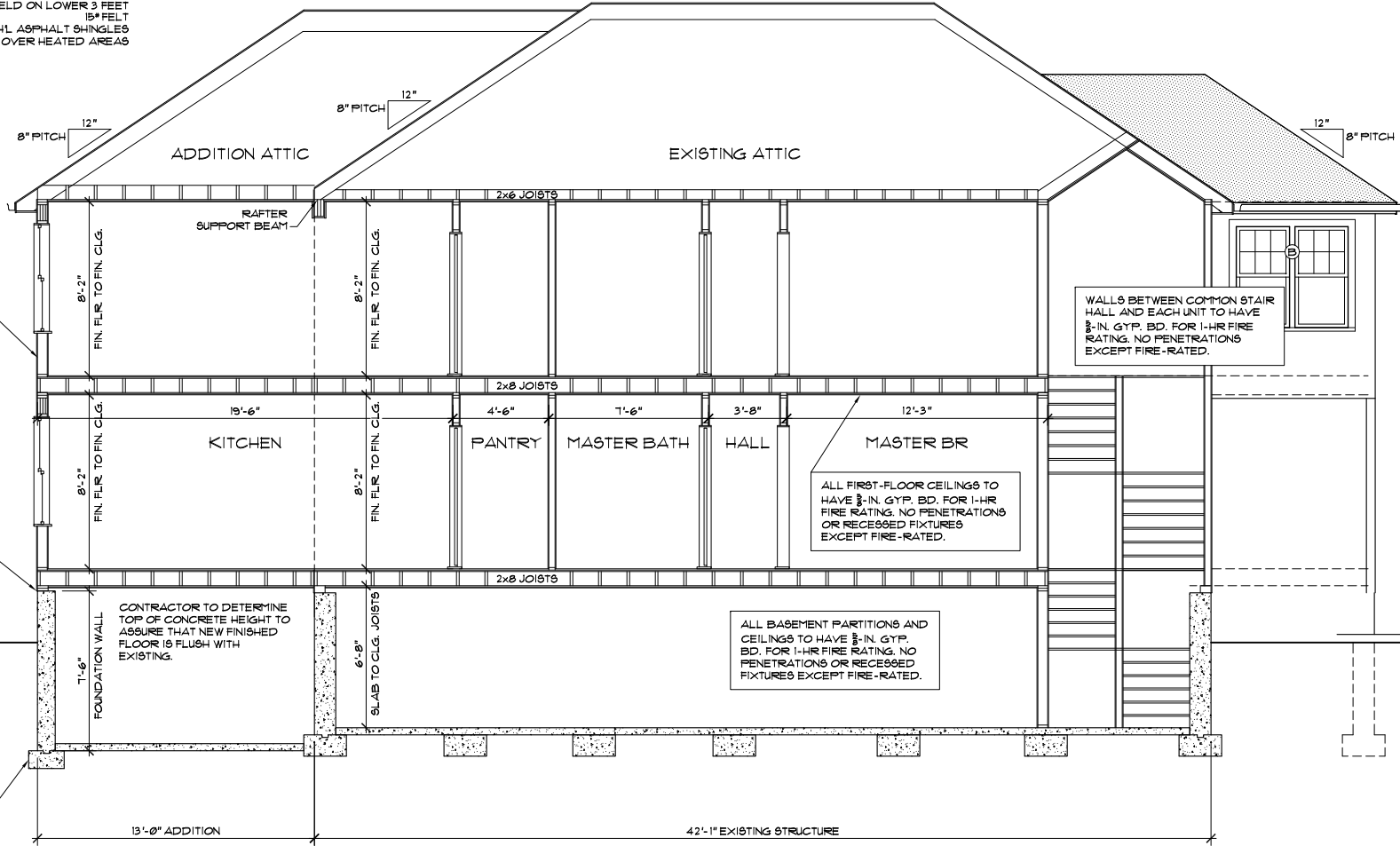
NEW ROOF CONSTRUCTION:

- RAFTERS 16" O.C. PER FRAMING PLAN
- 5/8" EXT. GRADE PLYWOOD SHEATHING
- ICE/WATER SHIELD ON LOWER 3 FEET
- 15# FELT
- 30-YR. ARCH'L ASPHALT SHINGLES
- 12" (R30) FIBERGLASS INSUL OVER HEATED AREAS

- NEW FRAME WALL CONSTRUCTION:
- 2x6 STUDS 16" O.C.
 - 1/2" CDX PLYWOOD
 - 5/8" (R21) FIBERGLASS INSUL.
 - BLUEBOARD GYP. BD. 4 9KIM COAT PLASTER

- NEW SILL CONSTRUCTION:
- DOUBLE 2x6 SILL (BOTTOM SILL PRESSURE-TREATED)
 - CONTINUOUS SILL SEALER TAPE
 - 1/2" ANCHOR BOLTS 6'-0" O.C. (NOT MORE THAN 12" FROM ENDS OF WALLS)

- TYPICAL FOOTING:
- MIN 10"x20" CONCRETE
 - 2x4 KEYWAY
 - 3-#4 REBAR



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101-103 WARWICK ROAD
NEWTON, MA

BUILDING SECTION -- LONGITUDINAL
SCALE: 1/4" = 1'-0"

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101-103 WARWICK ROAD
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RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

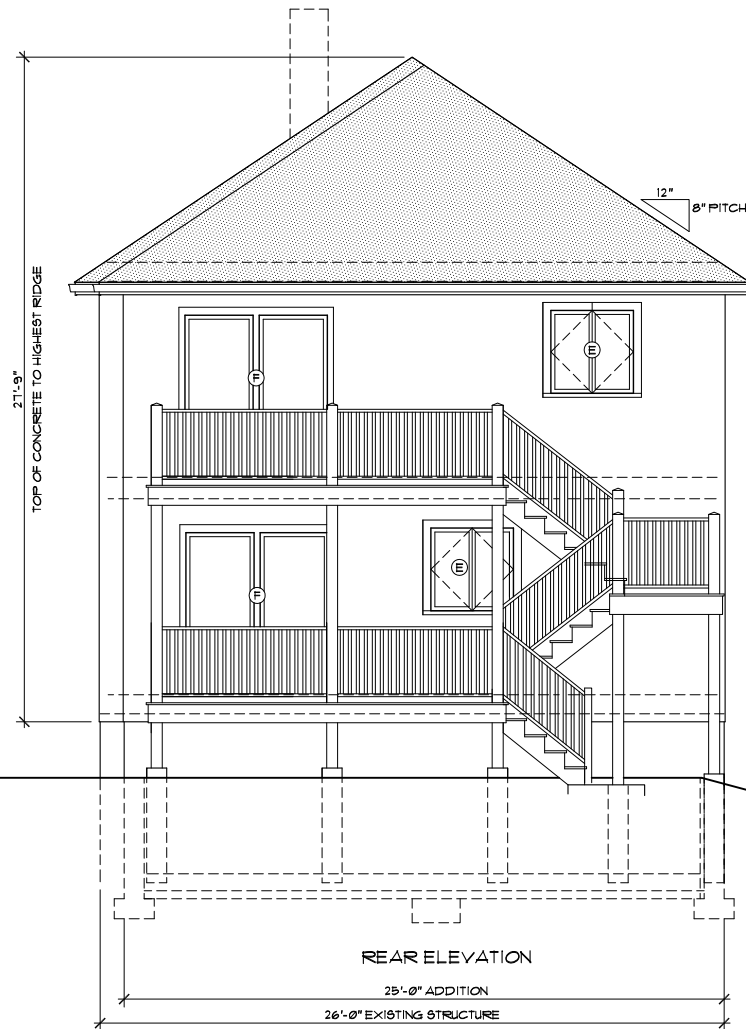
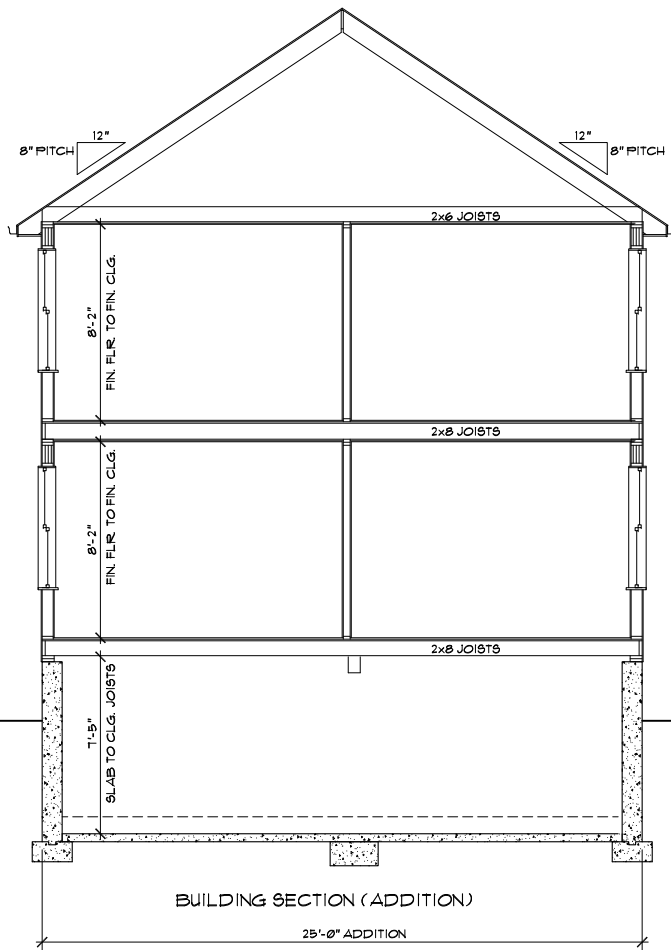
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A7



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101-103 WARWICK ROAD
NEWTON, MA

REAR ELEVATION
SCALE: 1/4" = 1'-0"

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101-103 WARWICK ROAD
 NEWTON, MA

LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

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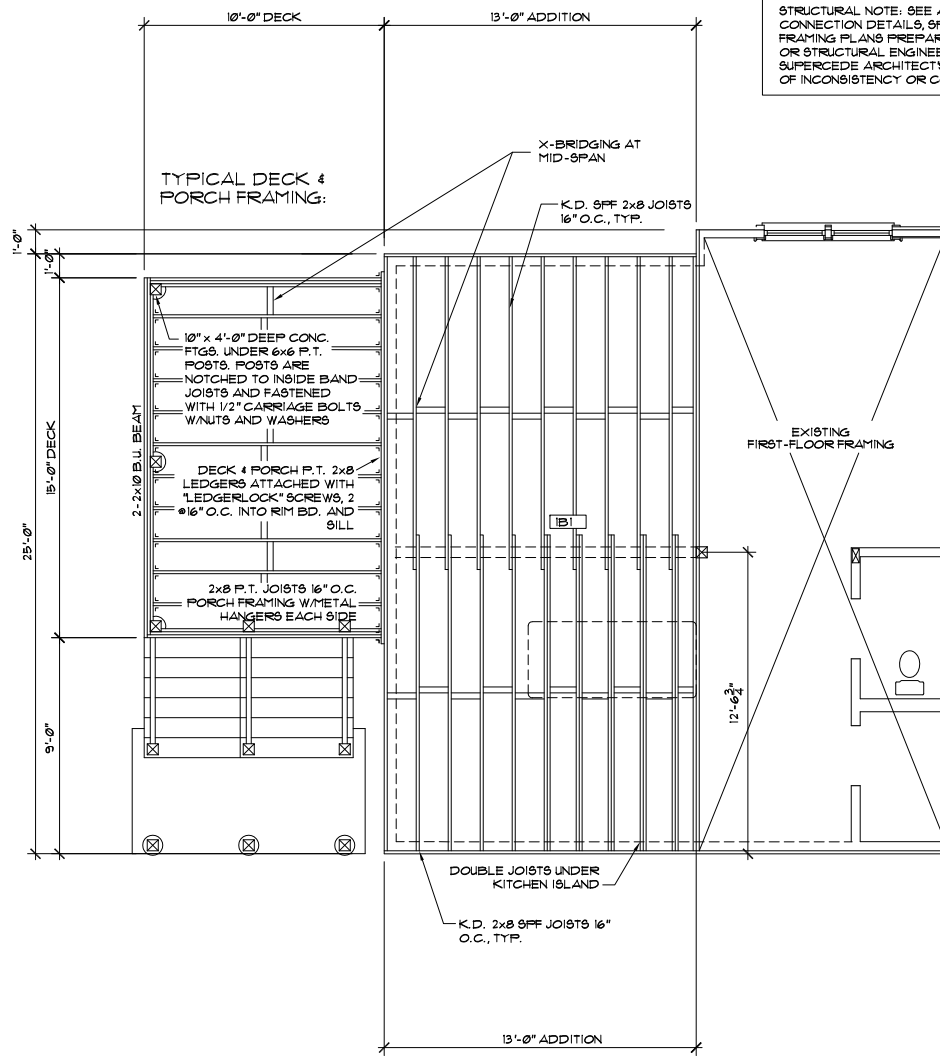
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101-103 WARWICK_NEWTON_1.dwg

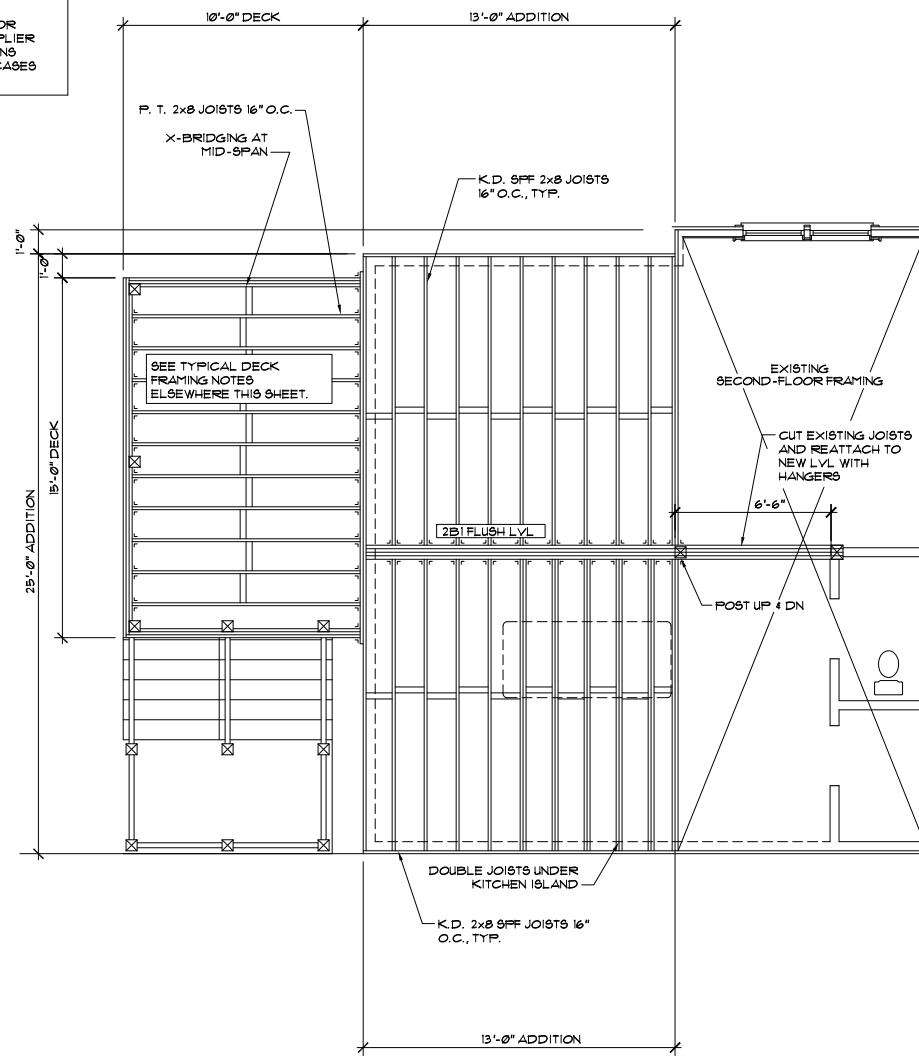
SHEET

A9

STRUCTURAL NOTE: SEE ALSO CALCULATIONS, CONNECTION DETAILS, SPECIFICATIONS, AND/OR FRAMING PLANS PREPARED BY LUMBER SUPPLIER OR STRUCTURAL ENGINEER. ENGINEERED PLANS SUPERCEDE ARCHITECTS DRAWINGS IN ALL CASES OF INCONSISTENCY OR CONFLICT.



FIRST FLOOR FRAMING



SECOND FLOOR FRAMING

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 NEWTON, MA

FIRST & SECOND FLOOR FRAMING
 SCALE: 1/4" = 1'-0"

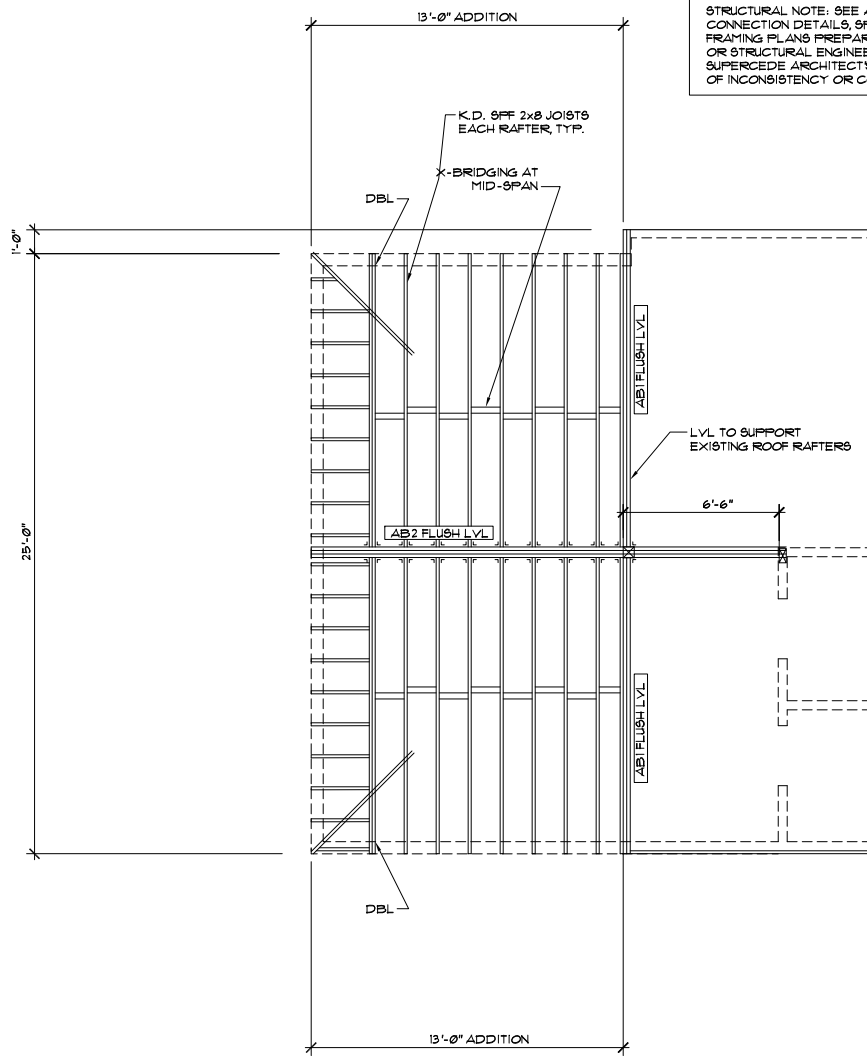
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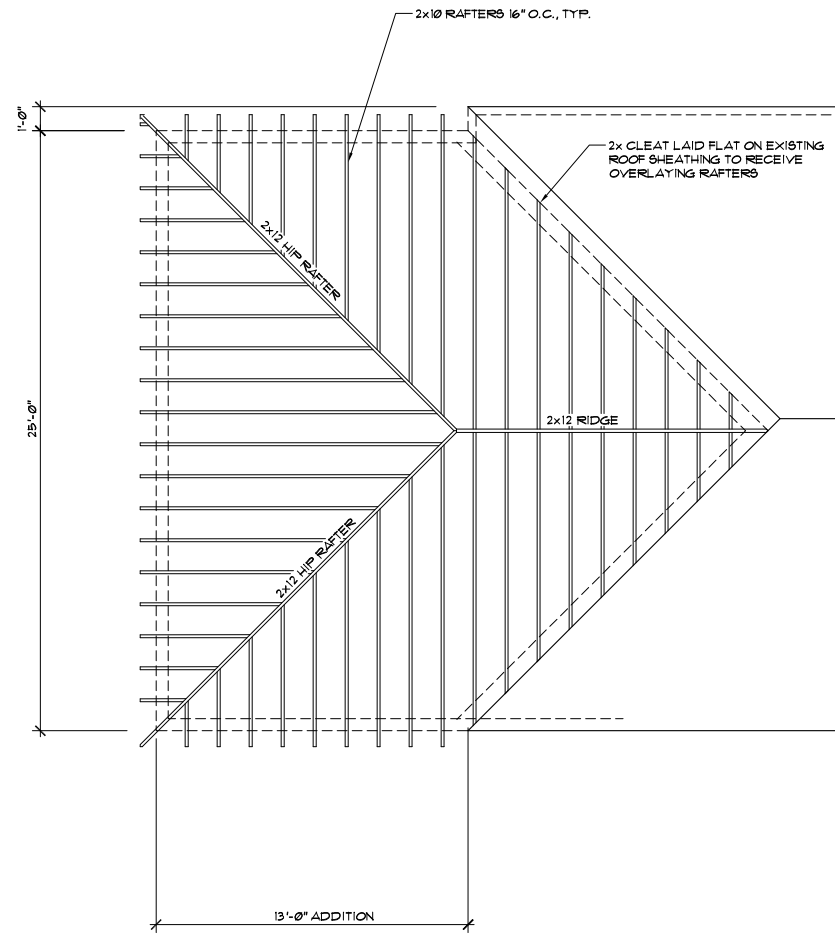
101-103 WARWICK_NEWTON_1.dwg

SHEET

F1



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ATTIC FLOOR FRAMING

ROOF FRAMING

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 NEWTON, MA

ATTIC FLOOR & ROOF FRAMING
 SCALE: 1/4" = 1'-0"

SCOTT LEWIS
 365 GROVE STREET
 WEST ROXBURY, MA 02466

DATE: 11-09-2020

101-103 WARWICK_NEWTON_1.dwg

SHEET

F2