



CITY OF NEWTON, MASSACHUSETTS

Newton Historical Commission

* AGENDA *

Date: February 5th, 2020
Time: 7:00 p.m.
Place: Room B17, Basement Level City Hall,
1000 Commonwealth Ave., Newton, MA

Ruthanne Fuller
Mayor

Barney S. Heath
Director
Planning & Development

1. **13-17 Gardner Street—Waiver Amendment Request (Ward 1)**
2. **66 Hartman Road—Waiver Request (Ward 8)**
3. **15 Howley Avenue—Waiver Request (Ward 8)**
4. **499 Winchester Street—Waiver Request (Ward 8)**

Members

Nancy Grissom, Chairman
Mark Armstrong
Peter Dimond
Katie Kubie
Doug Cornelius
Ellen Klapper, Alternate
Deborah Budd, Alternate
Jennifer Bentley-Houston, Alt.

1000 Commonwealth Ave.
Newton, MA 02459
T 617-796-1120
F 617-796-1142

www.newtonma.gov

*Supplementary materials are available for public review at http://www.newtonma.gov/gov/planning/histpres/agenin/histage/2020_agendas_n_minutes.asp For more information **contact the Planning and Development Department at 617-796-1120**. The location of this meeting is wheelchair accessible and reasonable accommodations will be provided to persons with disabilities who require assistance. If you need a reasonable accommodation, please contact the City of Newton's ADA/Sec. 504 Coordinator, Jini Fairley, at least two business days in advance of the meeting: jfairley@newtonma.gov or (617) 796-1253. The city's TTY/TDD direct line is: 617-796-1089. For the Telecommunications Relay Service (TRS), please dial 711.



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
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(617) 796-1086
www.newtonma.gov

Barney Heath
Director

REQUEST FOR DEMOLITION REVIEW

DATE RECEIVED: 3/5/19 PROJECT #: 19030003
PROJECT ADDRESS: 13 Gardner Street

PROJECT INFORMATION

TYPE OF DEMOLITION: PARTIAL ** TOTAL

(** "Partial" demolition of a structure is the alteration or removal of over 50% of any single exterior wall surface or roof structure. Each is calculated by square footage.)

STRUCTURE TO BE DEMOLISHED (Check all that apply):

HOUSE GARAGE SHED NON-RESIDENTIAL BUILDING OTHER

IF OTHER, PLEASE DESCRIBE: _____

WHAT YEAR WAS THE STRUCTURE BUILT: 1831

IS THE STRUCTURE LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES? YES NO

DESCRIPTION OF THE DEMOLITION REQUEST BELOW (Briefly describe the project):

Demo existing two family

IF KNOWN, BRIEFLY DESCRIBE THE KNOWN HISTORY OF THE PROPERTY:

N/A

Surveyed

THE REVIEW APPLICATION SHOULD INCLUDE THE FOLLOWING INFORMATION

REQUIRED DOCUMENTATION:

- _____ PROOF OF OWNERSHIP OF RECORD
- _____ PHOTOGRAPHS OF THE AFFECTED STRUCTURE FROM THE FRONT, REAR, AND SIDES AND STREET
- _____ ASSESSOR'S MAP SHOWING PROPERTY LOCATION
- _____ BUILDING ELEVATION PLANS 11" X 17" OR SMALLER (FOR PARTIAL DEMOLITIONS ONLY).

SUGGESTED DOCUMENTS:

- _____ BUILDING ELEVATION PLANS OR SKETCHES 11" X 17" OR SMALLER
- _____ SITE PLAN
- _____ BUILDING PRODUCT/MATERIAL INFORMATION
- _____ PHOTOS OF NEIGHBORHOOD

APPLICATION AUTHORIZATION

PROPERTY OWNER: David Oliveri [Signature] 3/5/19
(Print name) (Signature name) (Date)

(All plans MUST be dated, drawn to scale, and clearly labeled. An inaccurate or incomplete application will NOT be accepted. Please review the reverse of this form for additional information.)

13 Gardner Street



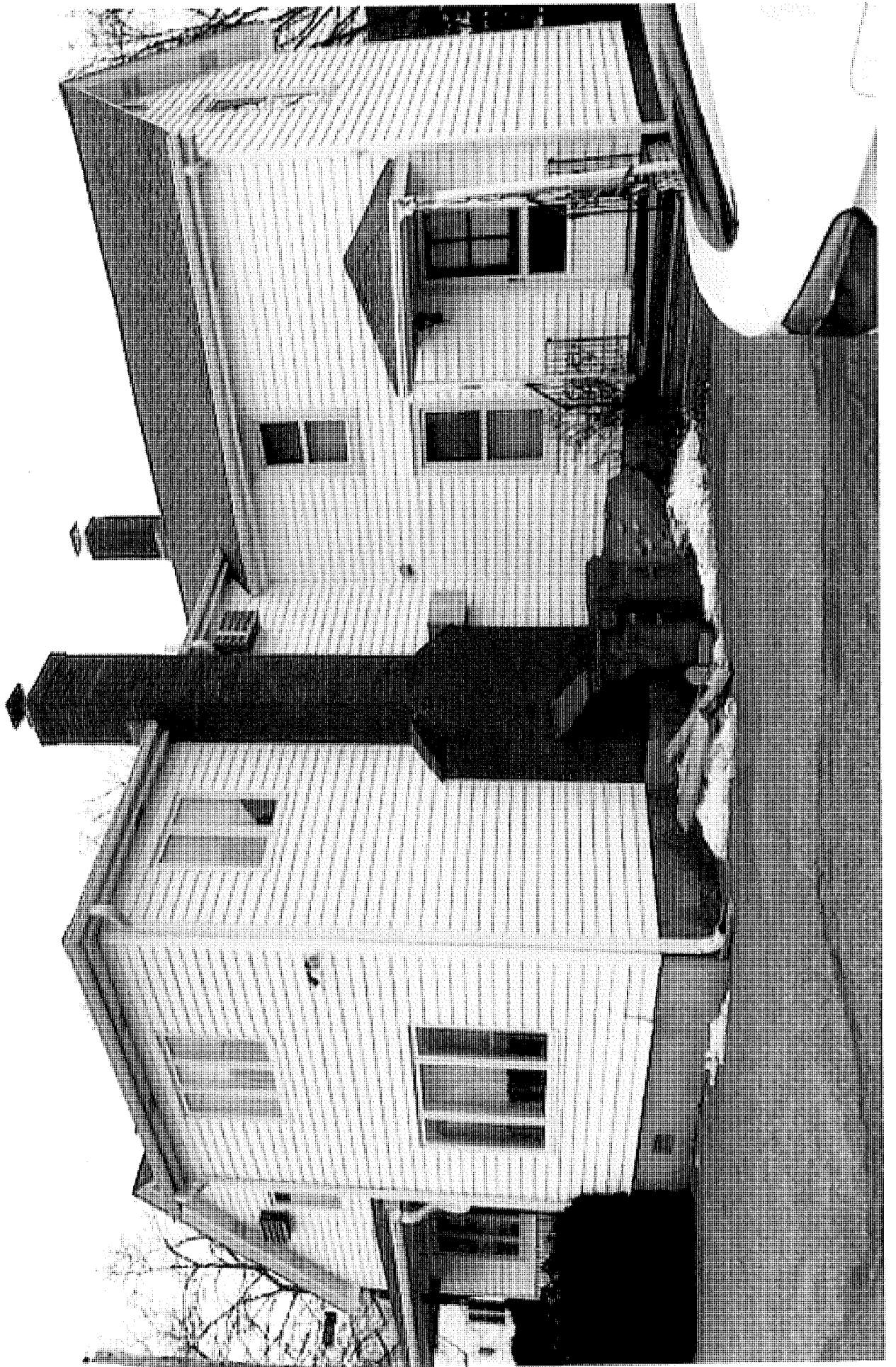
MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

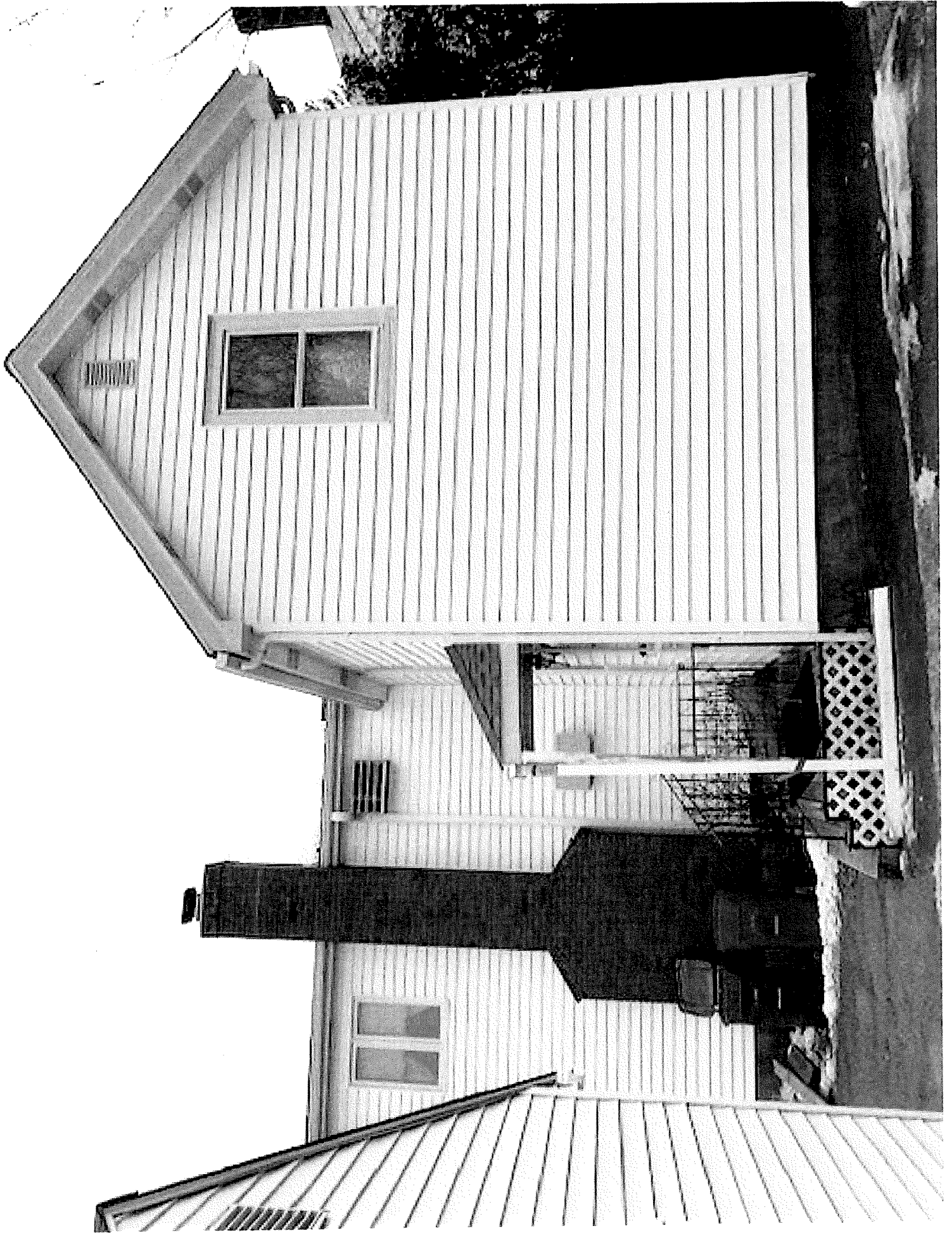
City of Newton, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/09/2018
Data updated 11/14/2018

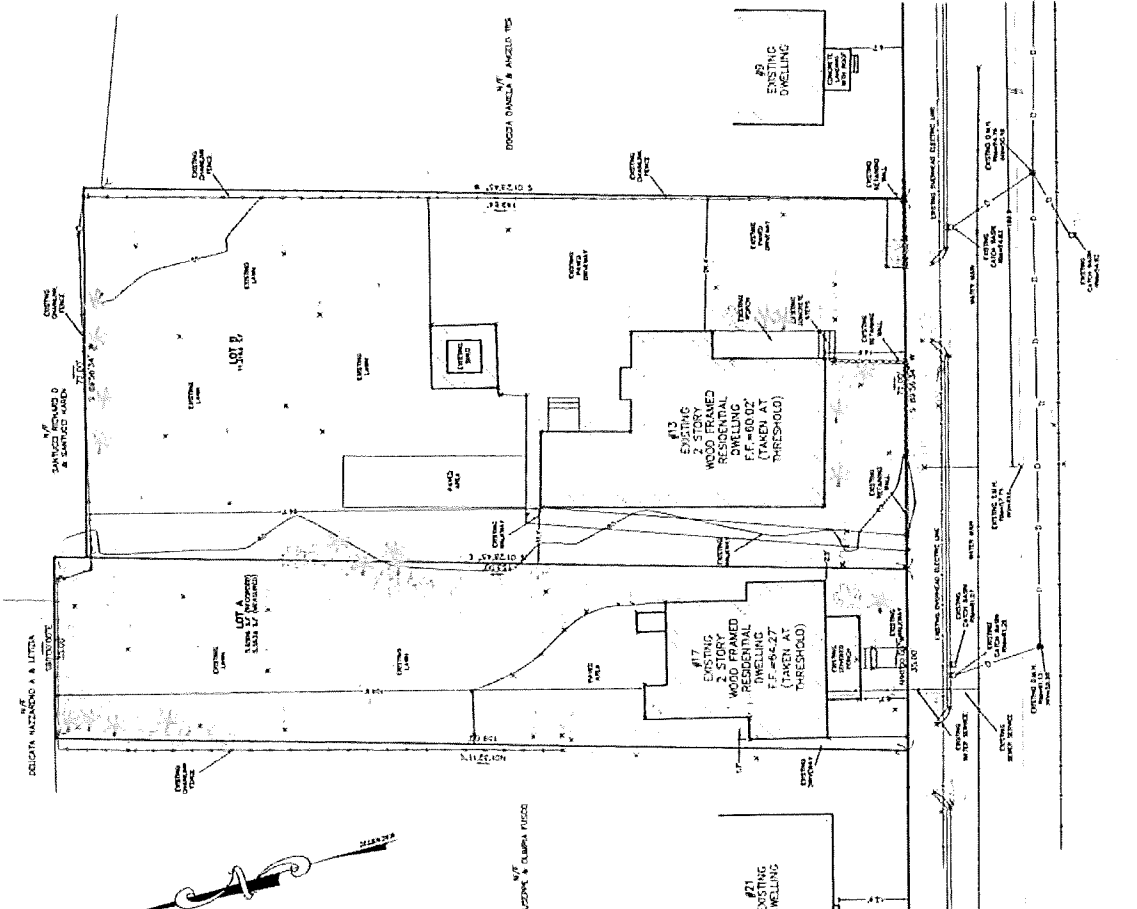






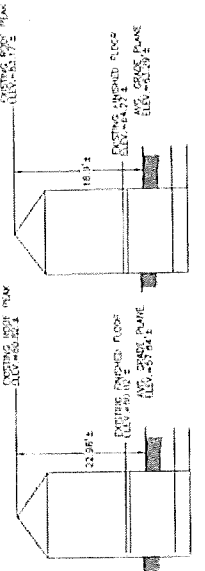


EXISTING LEGEND	
○	SEWER MANHOLE
○	WATER LINE
○	GAS LINE
○	UTILITY POLE
○	OVERHEAD ELECTRIC SERVICE
○	WATER VALVE
○	GAZEBO
○	FENCE
○	CONTROL LINE (NAP)
○	CONTROL LINE (DWP)
○	SPOT GRADE
○	DRAIN MANHOLE
○	HYDRANT
○	TREE



- NOTES:
1. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

SPACE ALLOTTED FOR
 POINT STRIKING (S) - 8.72
 ADDRESS (234537)/2-1151



EXISTING PROFILE #13
 NOT TO SCALE

EXISTING PROFILE #17
 NOT TO SCALE

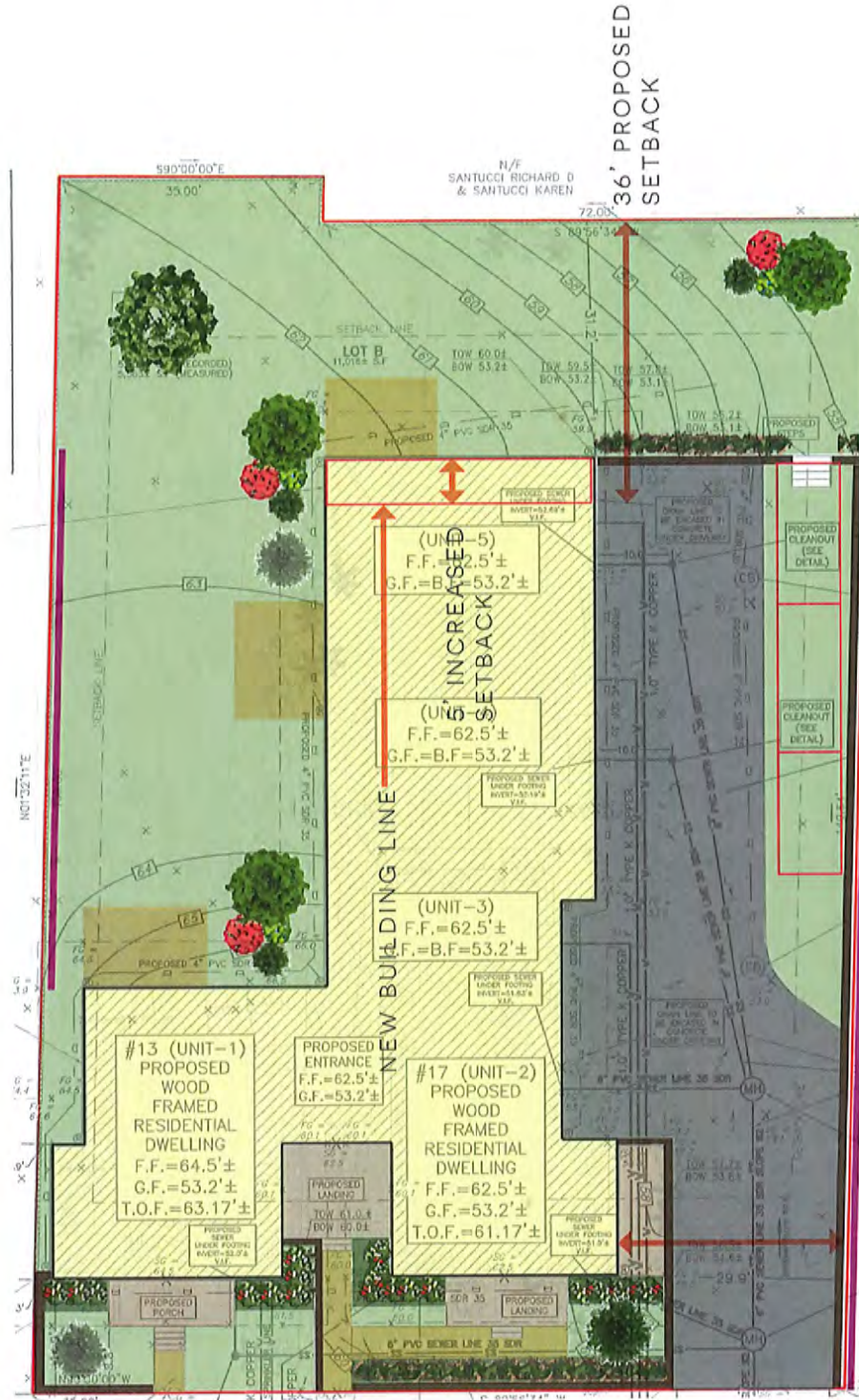
SCALE	
DATE	
DESIGNER	
CLIENT	
PROJECT	13-17 GARBNER STREET NEWTON MASSACHUSETTS
DESIGNED BY	
CHECKED BY	
DATE	
PROJECT NO.	
SCALE NO.	1



PETER NOLAN & ASSOCIATES, LLC
 LAND SURVEYORS/ENGINEERS/CONSULTANTS
 87 DUNDON STREET, SUITE 101
 NEWTON, MASSACHUSETTS 02459
 TEL: 617.552.1100
 FAX: 617.552.1101
 EMAIL: PETER@PETERNOLAN.COM

CHANGES

- DECREASED # OF UNITS
- INCREASED SETBACKS
- INCREASED PARKING



3 ADDED VISITOR PARKING SPACES

31' PROPOSED SETBACK

NEIGHBORHOOD CONCERNS

- NUMBER OF UNITS (5 UNITS TOTAL)
- LACK OF PARKING 9 SPACES FOR 5 UNITS (1.8 PER UNIT)

CIVICO RESPONSE

- REDUCED ONE UNIT (4 UNITS TOTAL)
- PROVIDING 11 SPACES FOR 4 UNITS (2.75 PER UNIT)

BENEFITS OF PROPOSED PROJECT

- PROVIDING A 25' BUILDING HEIGHT VS 36' BUILDING HEIGHT
- PROVIDING A 36' REAR SETBACK VS 25' OR 15' UNDER SINGLE/TWO FAMILY BY RIGHT
- PROVIDING A 31' SIDE SETBACK VS 11.3' (AVERAGE ALIGNMENT)
- REBUILDING TWO HISTORIC HOMES TO MAINTAIN EXISTING CHARACTER AND SCALE
- PROVIDING A 1 1/2 STORY STRUCTURE VS 2 1/2 STORY STRUCTURE UNDER SINGLE/TWO FAMILY BY RIGHT
- PROVIDING 4 HOME OWNERSHIP UNITS (EXISTING IS 3 RENTAL UNITS)

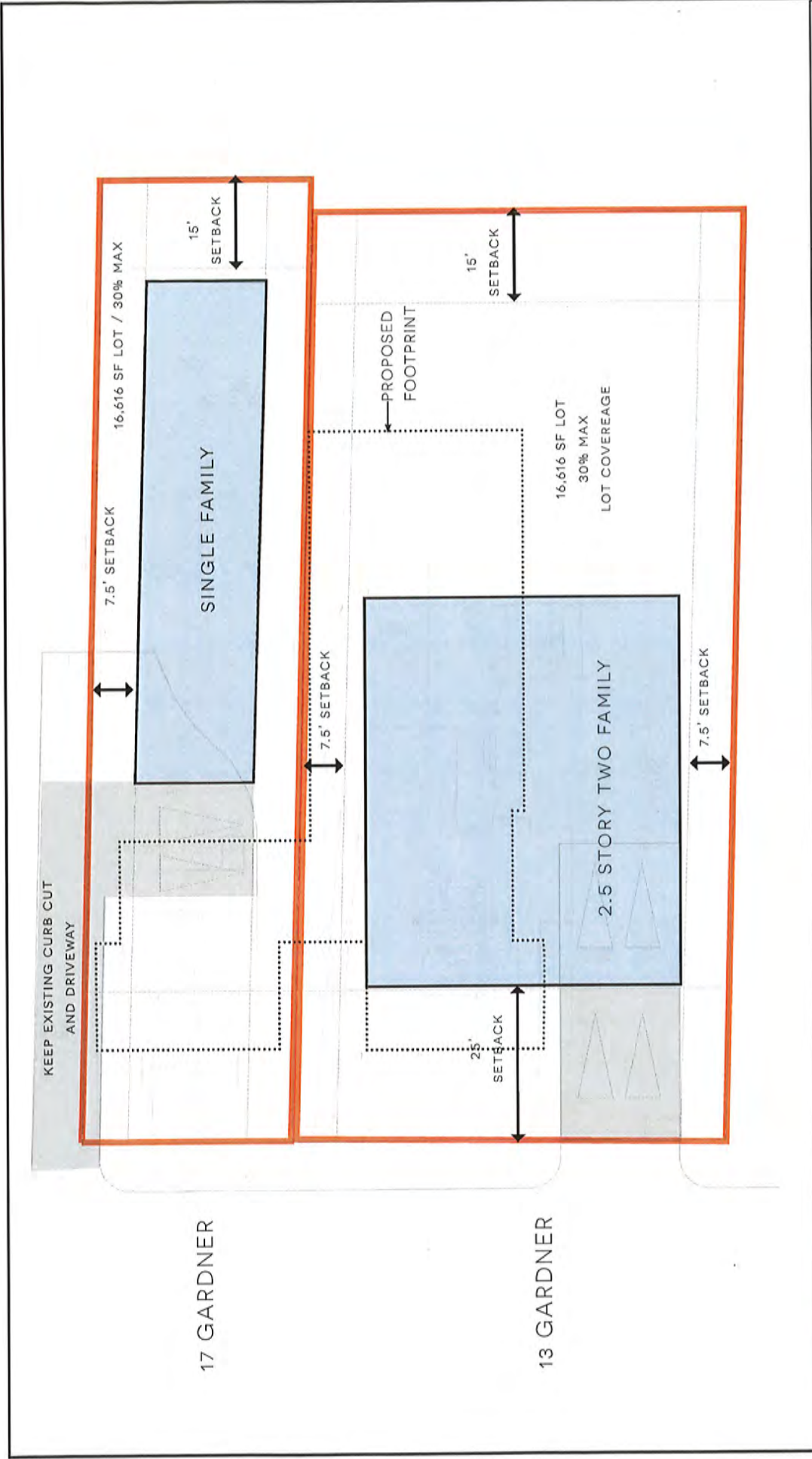


A-Front Elevation



B-Side Elevation





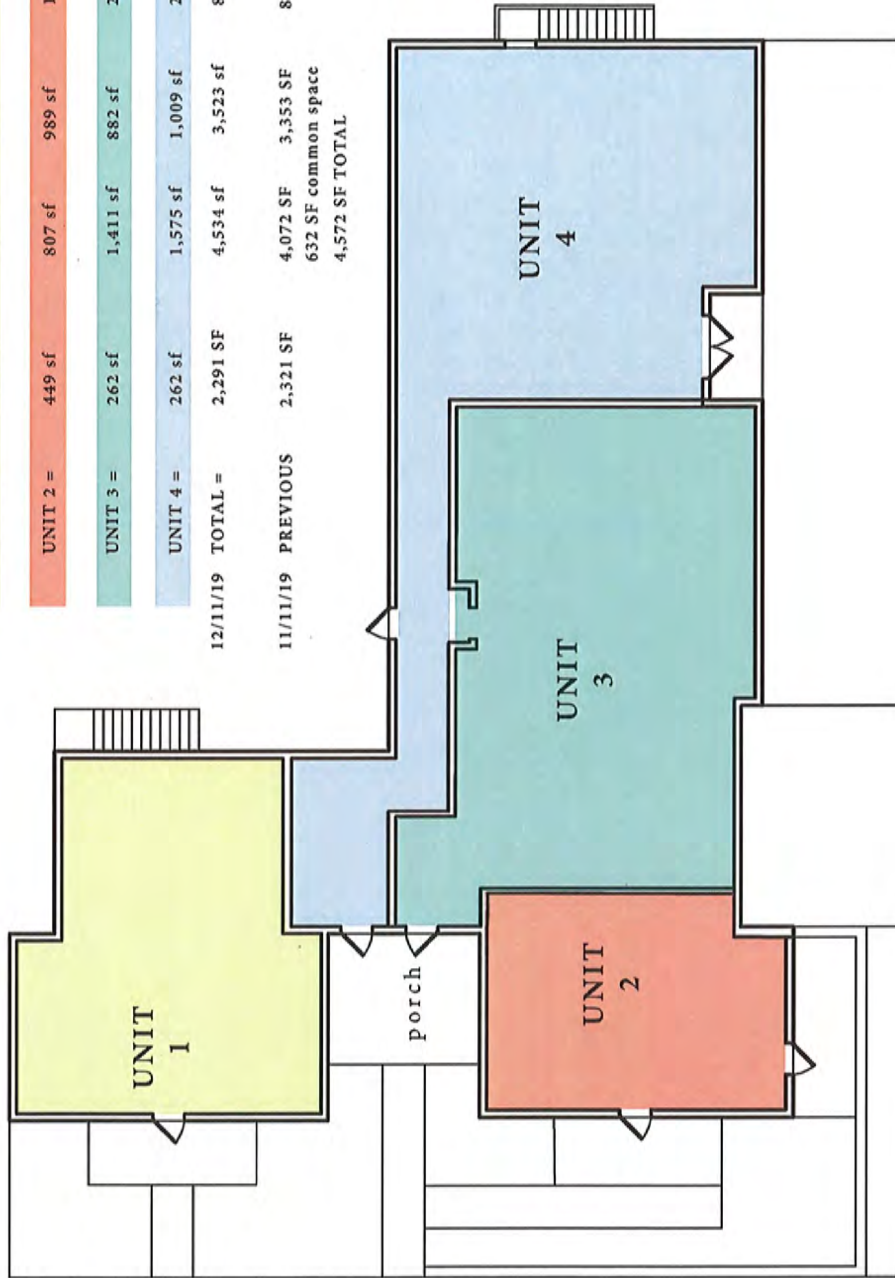


SHEET NUMBER
A-5

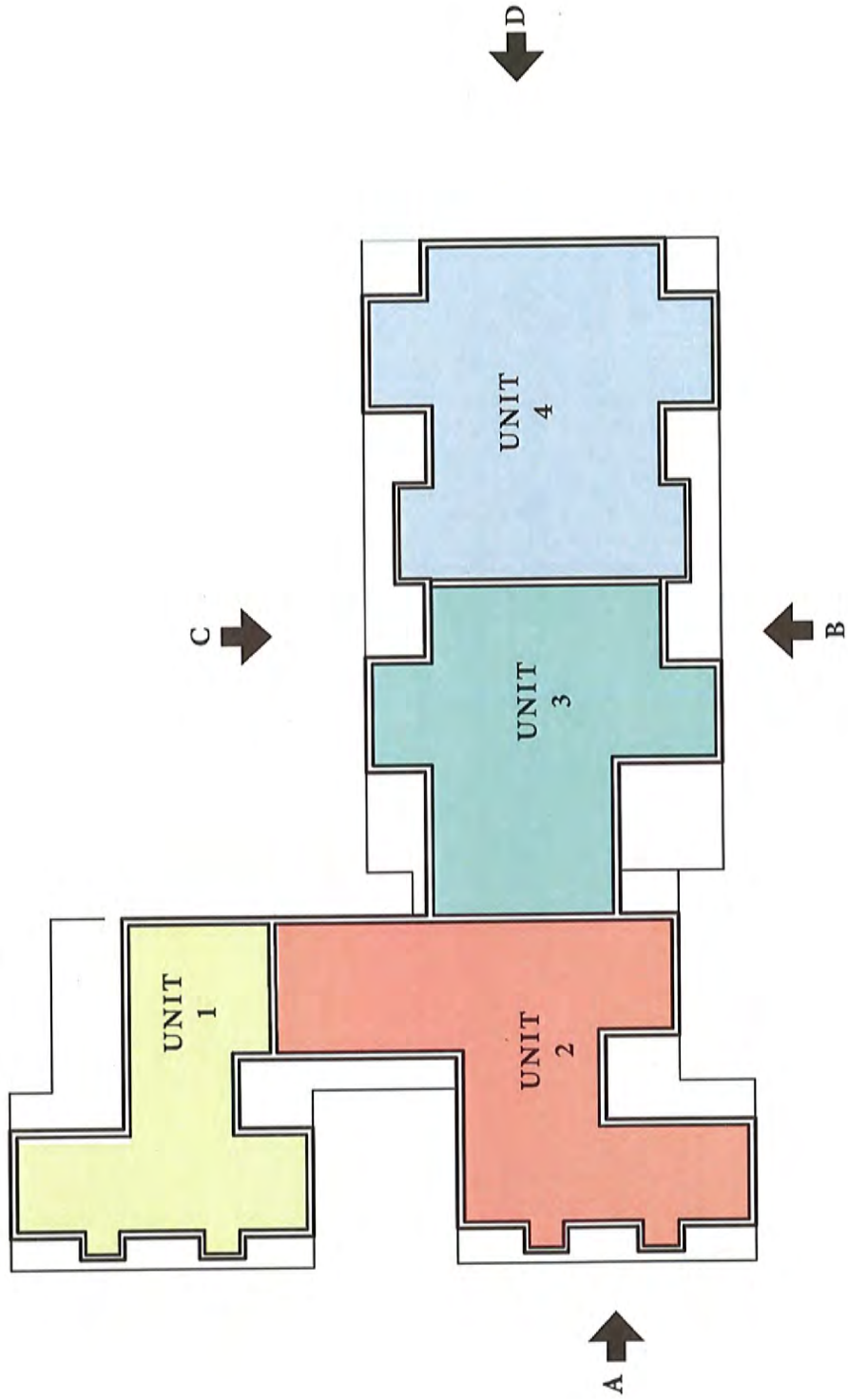
GARAGE/BASEMENT LEVEL

13-17 GARDNER ST, NEWTON, MA 02458
December 11, 2019





UNIT	BASEMENT	STREET	UPPER	TOTAL LIVING	BEDS
UNIT 1 =	1318 sf	918 sf	643 sf	1,561 sf	2 BED
UNIT 2 =	449 sf	807 sf	989 sf	1,796 sf	2 BED
UNIT 3 =	262 sf	1,411 sf	882 sf	2,293 sf	3 BED
UNIT 4 =	262 sf	1,575 sf	1,009 sf	2,584 sf	3 BED
12/11/19 TOTAL =	2,291 SF	4,534 sf	3,523 sf	8,057 sf	10 BEDS
11/11/19 PREVIOUS	2,321 SF	4,072 SF	3,353 SF	8,057 SF	10 BEDS
		632 SF common space			
		4,572 SF TOTAL			





Ruthanne Fuller
Mayor

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Barney S. Heath
Director

Newton Historical Commission Demolition Review Decision

Date: 7/30/19 Zoning & Dev. Review Project# 19070003

Address of structure: 66 Hartman Road

Type of building : House

If partial demolition, feature to be demolished is _____



The building or structure:

is _____ is not in a National Register or local historic district not visible from a public way.

is _____ is not on the National Register or eligible for listing.

is _____ is not importantly associated with historic person(s), events, or architectural or social history

is is not _____ historically or architecturally important for period, style, architect, builder, or context.

is _____ is not located within 150 feet of a historic district and contextually similar.

is _____ **NOT HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance.

Demolition is not delayed and no further review is required.

is **HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance (See below).

The Newton Historical Commission staff:

_____ **APPROVES** the proposed project based upon materials submitted see below for conditions (if any).

Demolition is not delayed, further staff review may be required.

DOES NOT APPROVE and the project requires
Newton Historical Commission review (See below).

Final review of construction plans required

The Newton Historical Commission finds the building or structure:

is _____ **NOT PREFERABLY PRESERVED**

Demolition is not delayed and no further review is required.

Owner of Record:

is **PREFERABLY PRESERVED – (SEE BELOW).**

Please Note: if demolition does not occur within two years of the date of expiration of the demolition delay, the demolition will require a resubmittal to the Historical Commission for review and may result in another demolition delay.

Delay of Demolition:

is in effect until 7/25/2020

_____ has been waived - see attached for conditions

Determination made by:



City of Newton, Massachusetts
 Department of Planning and Development
 1000 Commonwealth Avenue Newton, Massachusetts 02459

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Barney S. Heath
 Director

Ruthanne Fuller
 Mayor

RECORD OF ACTION

DATE: July 30, 2019

SUBJECT: 66 Hartman Road

At a scheduled meeting and public hearing on July 25th, 2019, the Newton Historical Commission, by a vote of 6-0:

RESOLVED to preferably preserve the property at 66 Hartman Road.

Voting in the Affirmative: Voting in the Negative: Recused:

- Nancy Grissom, Chairman
- Peter Dimond, Member
- Doug Cornelius, Member
- Ellen Klapper, Alternate
- Deborah Budd, Alternate
- Jennifer Bentley-Houston, Alternate

Title Reference:

Owner of Property:

Robert K. & Esther Z. Rosenthal

Deed recorded at:

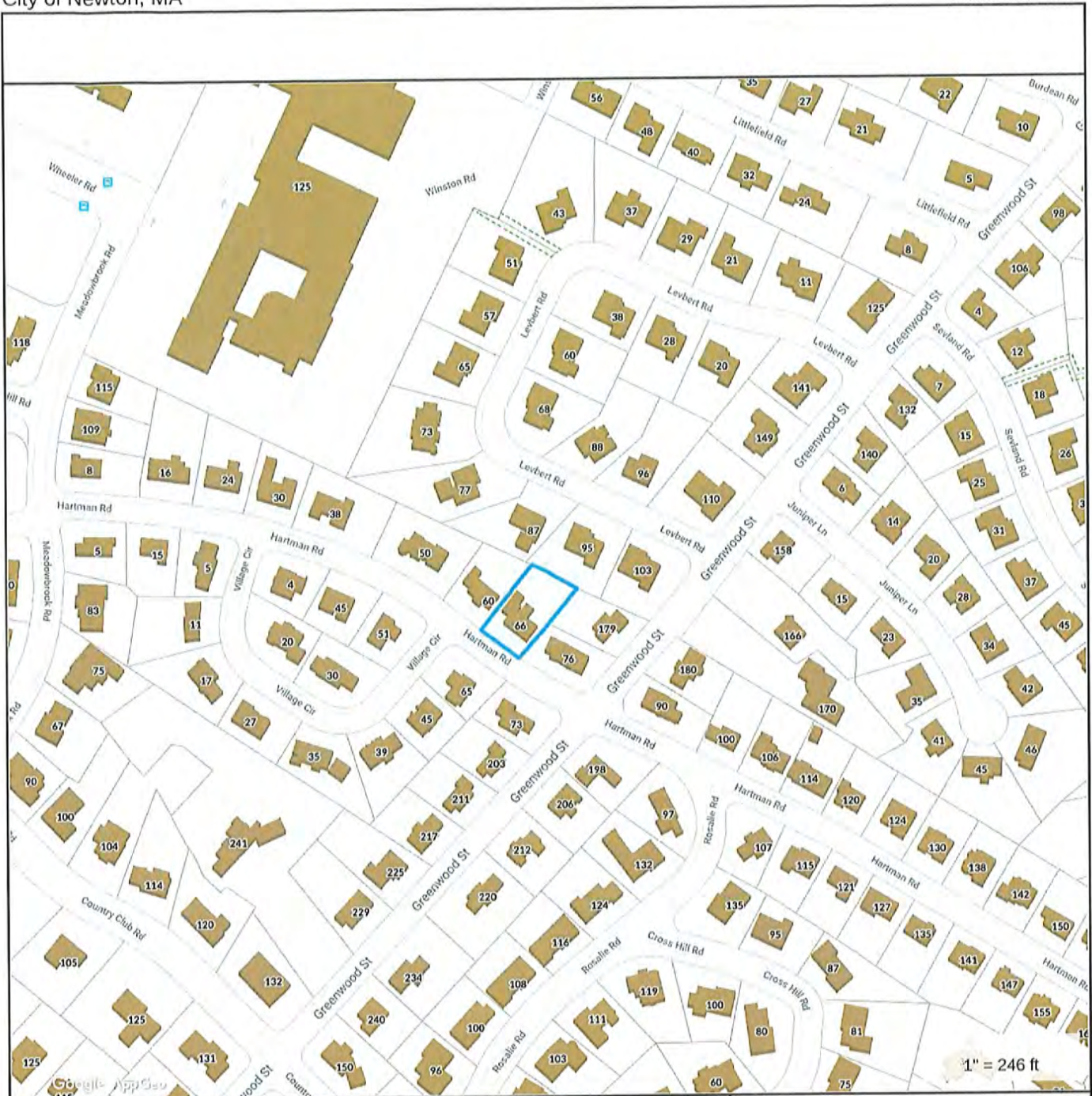
Middlesex (South) Registry of Deeds

Book 65935, Page 590

Date 8/19/2015

Katy Hax Holmes

 Katy Hax Holmes, Staff



1" = 246 ft

Property Information

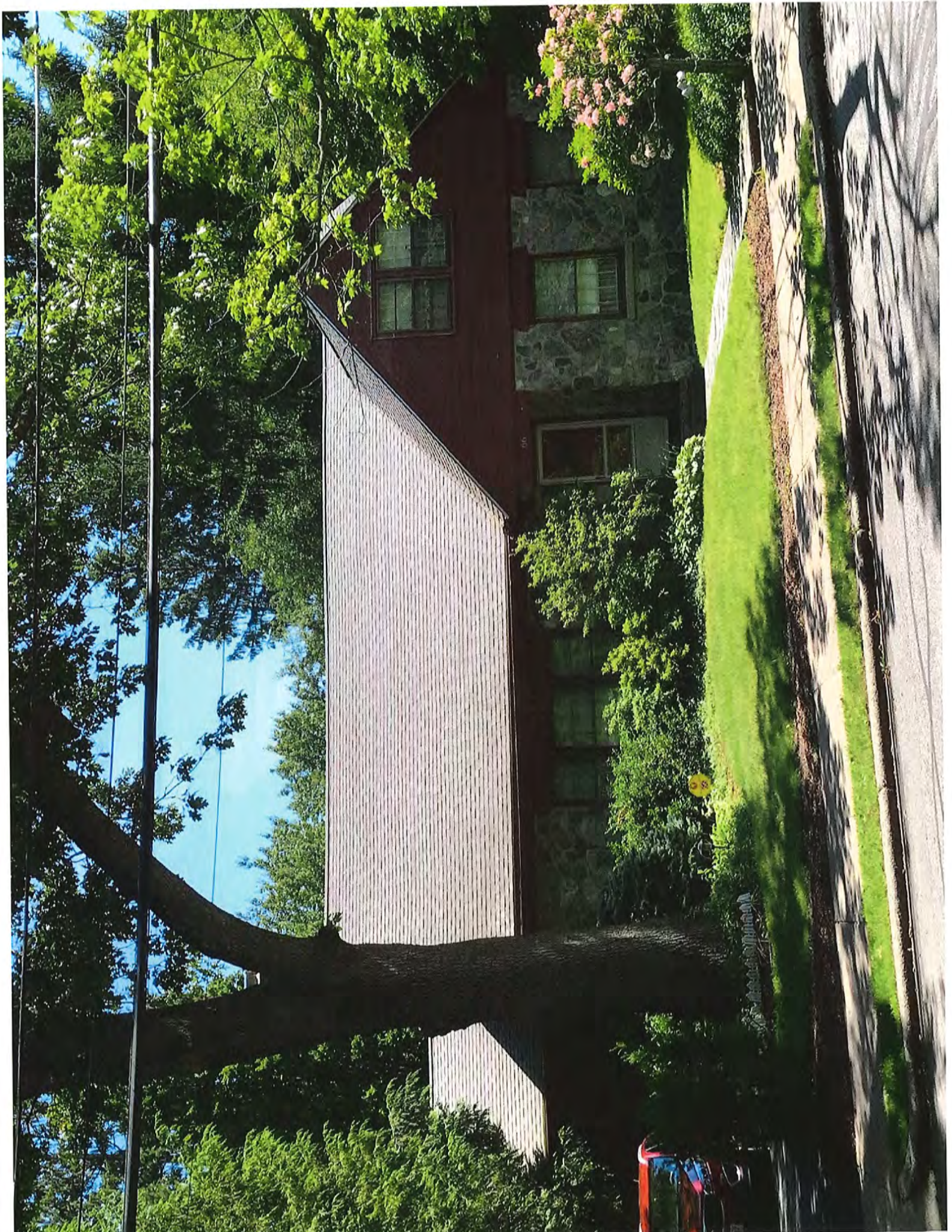
Property ID 81005 0021
 Location 66 HARTMAN RD
 Owner ROSENTHAL ROBERT K & ESTHER Z TRS



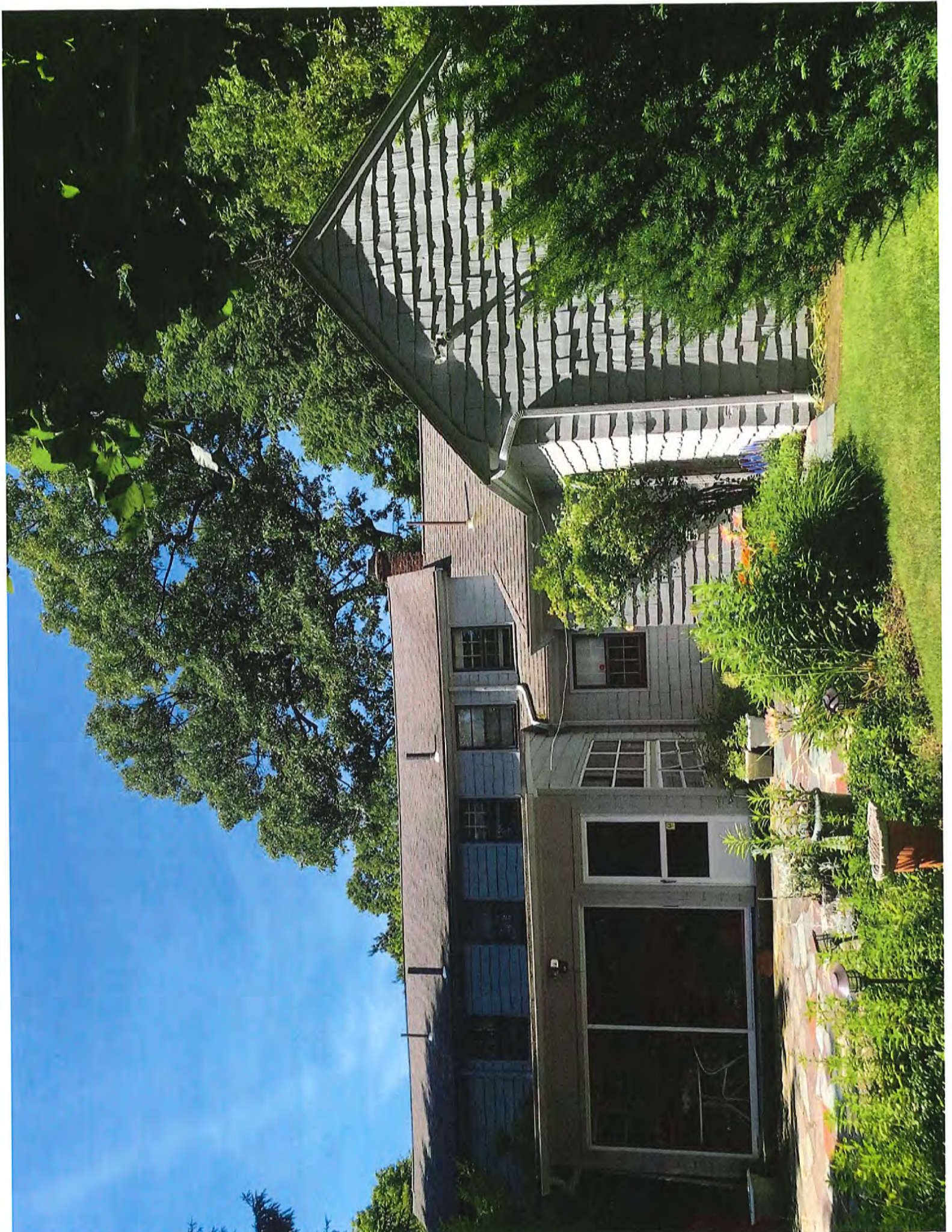
**MAP FOR REFERENCE ONLY
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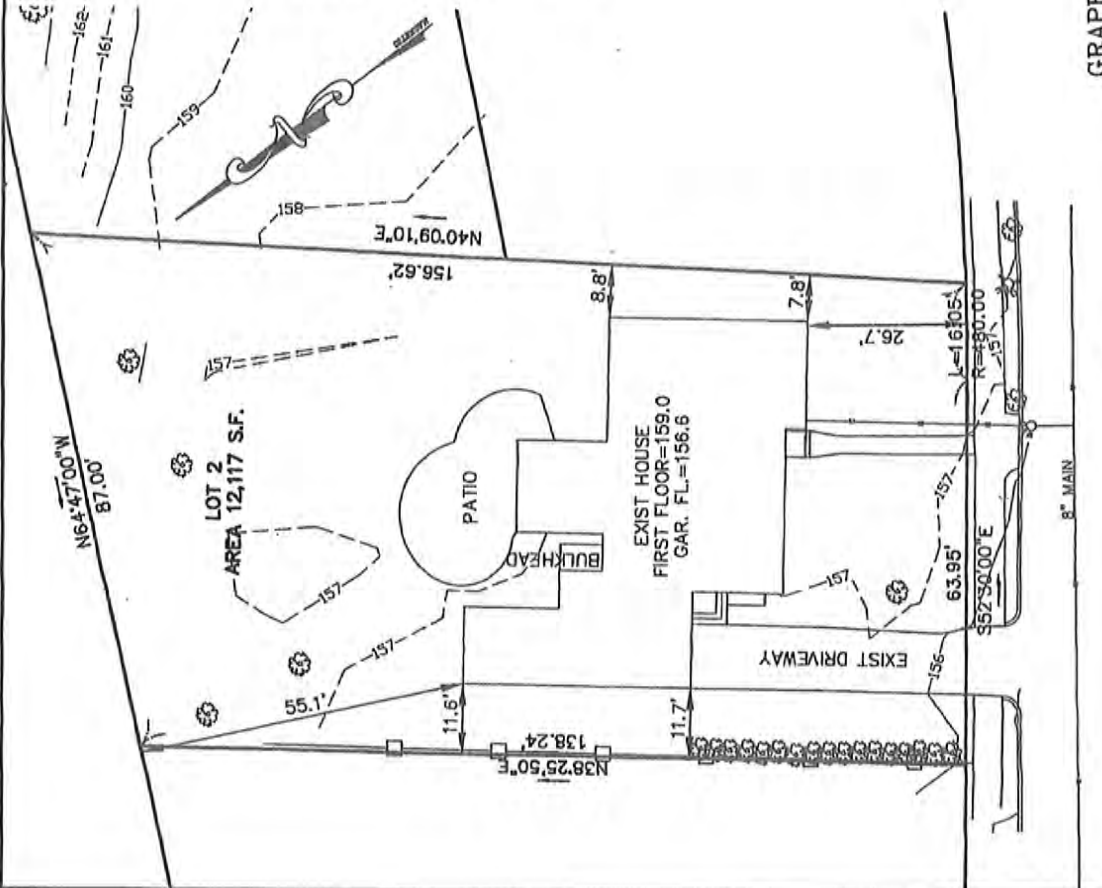
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Geometry updated 11/09/2018
Data updated 11/14/2018









THE SURFACE EVIDENCE OF THE UTILITIES SHOWN HAS BEEN LOCATED BY FIELD SURVEY. THE LINEWORK REPRESENTING ALL UNDERGROUND STRUCTURES AND PIPES HAS BEEN SHOWN HEREON IN ITS APPROXIMATE LOCATION BASED ON AVAILABLE RECORD PLANS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

REFERENCES:

- MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS; DEED BOOK 21390 PAGE 104.
- BOOK 6910 END.

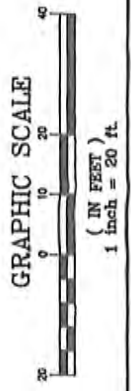
ZONING - SR2 DISTRICT (OLD)
 MINIMUM LOT AREA: 10,000 SF
 MINIMUM LOT WIDTH: 25FT
 MINIMUM DEPTH OF FRONT YARD: 25FT
 MINIMUM WIDTH OF SIDE YARD: 7.5 FT
 MINIMUM DEPTH OF REAR YARD: 15 FT
 TOTAL AREA 12,117 S.F. 100%
 ASSESSOR'S MAP 147NE
 SECTION 81
 BLOCK 5
 LOT 21
 NEIGHBORHOOD 4C

TOTAL AREA 12,117 S.F. 100%
 LOT COVERAGE = 18.5% < 30% (REQUIRED)
 OPEN SPACE = 77.6% > 50% (REQUIRED)

EXISTING CONDITIONS PLAN

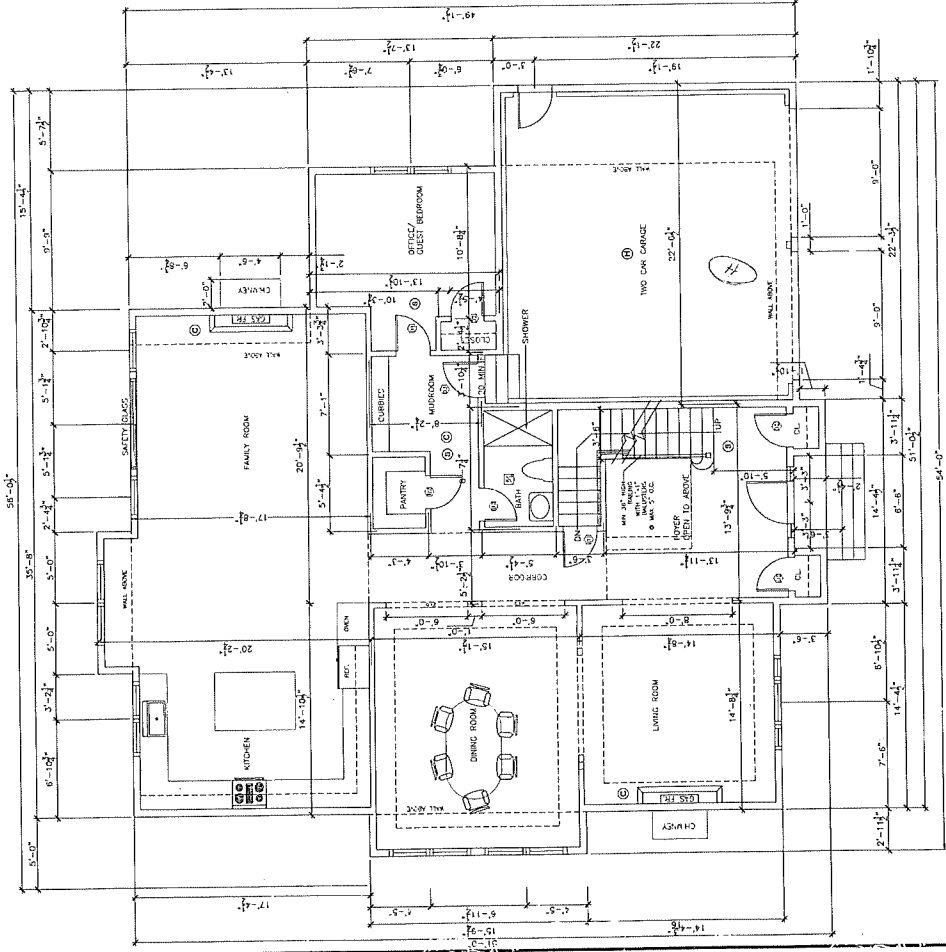
66 HARTMAN ROAD
 NEWTON, MA 02459

SCALE: 1"=20' DATE: JULY 20, 2020



©RM=154.4 INV.=VERIFY
 ©RM=156.4 INV.=MERY
HARTMAN (PUBLIC-45' WIDE) ROAD

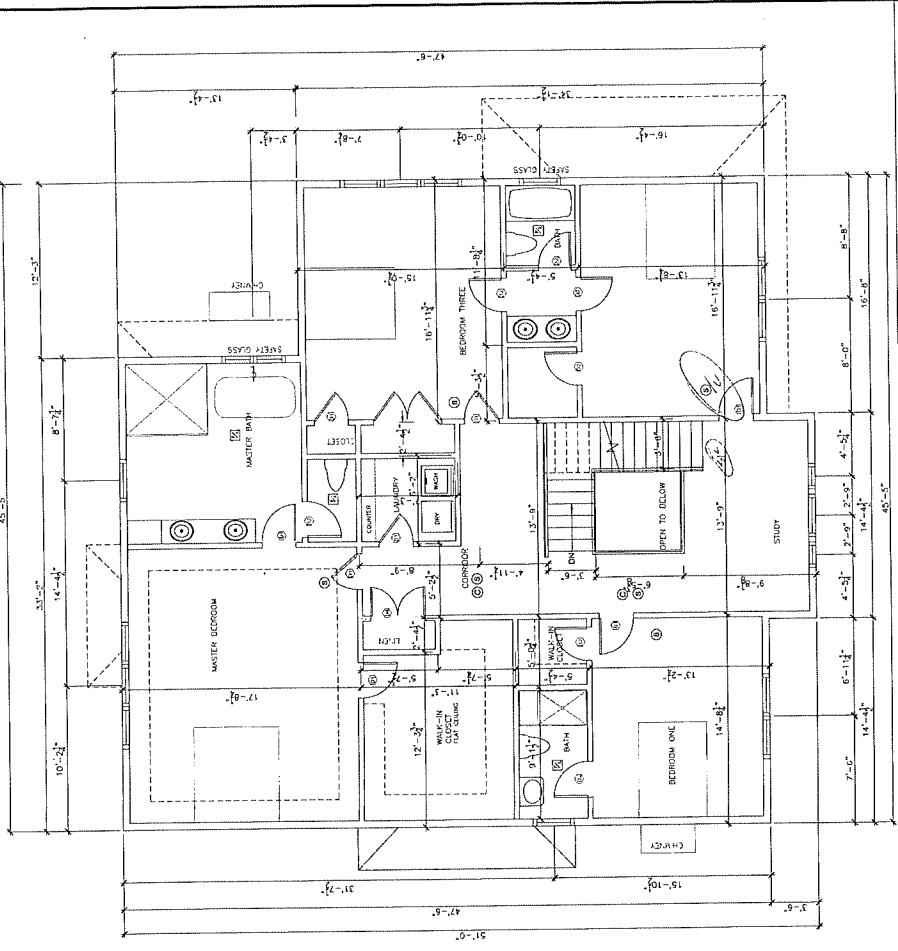
A. MATTHEW BELSKI JR. P.L.S. No. 37557



FIRST FLOOR PLAN

FLOOR AREA RATIO (F.A.R.) CALCULATION:

ZONING DISTRICT: NEWTON, MA - SINGLE RESIDENCE 2
 EXISTING 12,117 SF LOT CREATED PRIOR TO 12/07/1993
 ALLOWABLE F.A.R.: 0.367
 ALLOWABLE FLOOR AREA: 12,117 X 0.367 = 4,468 SF
 PROPOSED FLOOR AREA OF THE BUILDING:
 1. FIRST FLOOR: 2,305 SF
 2. SECOND FLOOR: 2,044 SF
 3. BASEMENT: NA
 4. ATTIC: NA
 TOTAL PROPOSED FLOOR AREA OF THE BUILDING:
 2,305 (1ST FL.) + 2,044 (2ND FL.) = 4,349 SF
 F.A.R. 4,349 SF < 4,362 SF

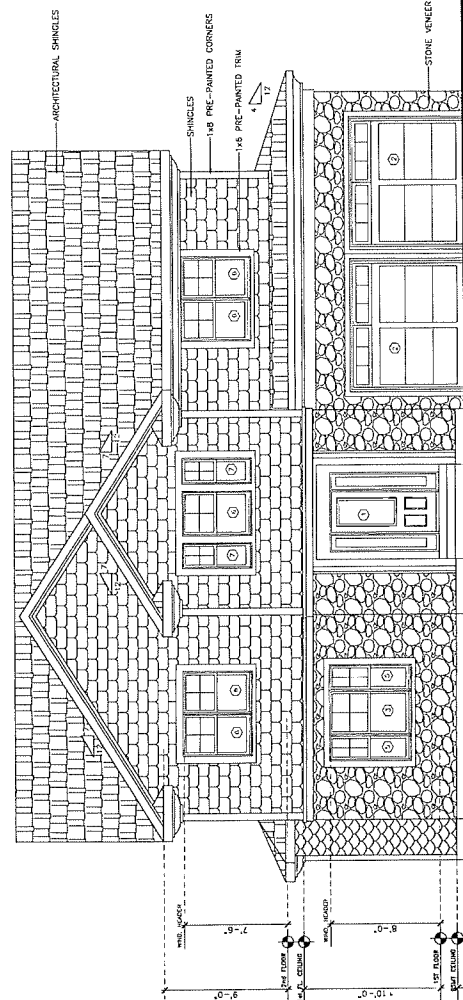


SECOND FLOOR PLAN

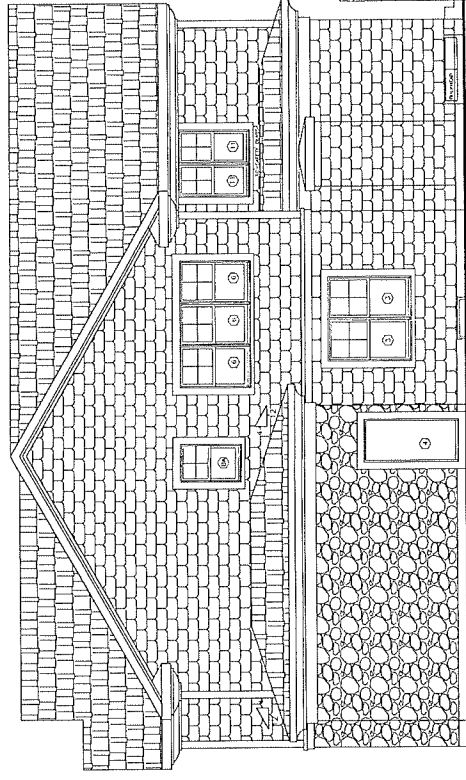
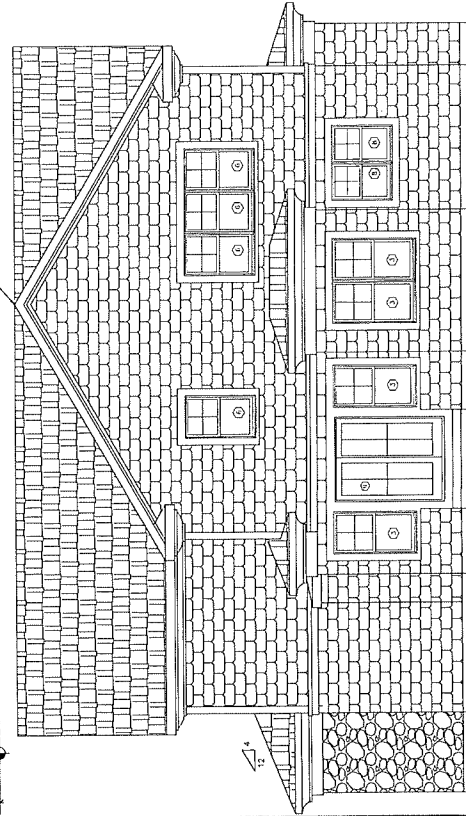
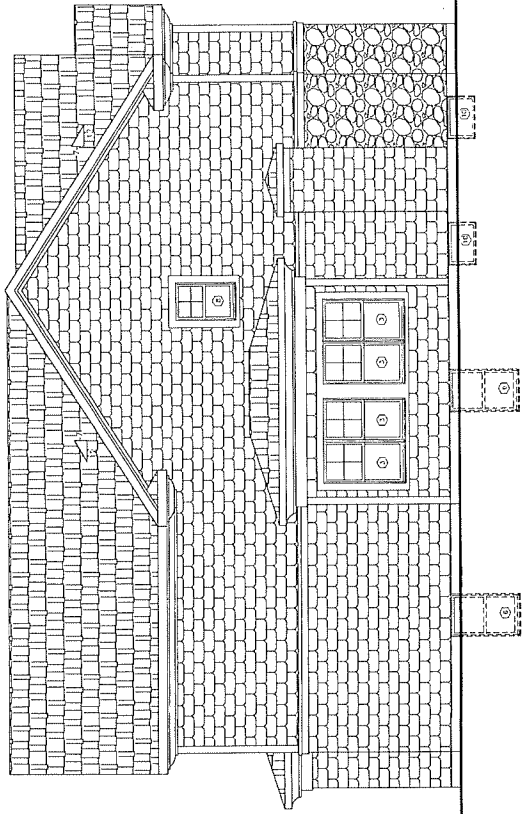
- LEGEND:
- ⊙ PHOTO-ELECTRIC HARD WIRE, SMOKE DETECTOR FROM MONITORED BATTERIES
 - ⊠ PAN/LIGHT TO BE VENTED DIRECTLY TO OUTSIDE
 - ⊕ CARBON MONOXIDE DETECTOR
 - ⊛ HEAT DETECTOR

DATE	REVISION
<p>IN THIS OPEN PROJECT, THE OWNER HAS THROUGH THE ARCHITECT AND ENGINEER REVIEWED THE PLAN, SPECIFICATIONS, CONTRACT DOCUMENTS, AND ALL OTHER DOCUMENTS, AND HAS AGREED TO BE BOUND BY THE SAME. THE ARCHITECT AND ENGINEER HAS REVIEWED THE SAME AND HAS AGREED TO BE BOUND BY THE SAME. THE ARCHITECT AND ENGINEER HAS REVIEWED THE SAME AND HAS AGREED TO BE BOUND BY THE SAME.</p>	
<p>FIRST & SECOND FLOOR PLANS 66 HARTMAN ROAD NEWTON, MASSACHUSETTS</p>	
<p>RAY & ASSOC., Inc. 21 HIGHLAND AVENUE BOSTON, MASSACHUSETTS 02116 TELEPHONE: (781) 452-5555 FAX: (781) 459-8225</p>	
APPROVED BY: RAY	DESIGNED BY: I.M.
DATE: 10/27/79	CHECKED BY: B.A.V.
SCALE: 1/4" = 1'-0"	DRAWING NO. A-1 OF A-3





FRONT ELEVATION



11/25/14 RUCED EXTERIOR FINISHES
 9/27/16 RELOCATED GARAGE

DATE

REVISION

All specifications and materials shall be as shown on the drawings, unless otherwise noted. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

ELEVATIONS

66 HARTMAN ROAD
 NEWTON, MASSACHUSETTS

RAY & ASSOC., INC.

100 HARTMAN ROAD
 NEWTON, MASSACHUSETTS 02459

TELEPHONE: (781) 443-8200 FAX: (781) 448-8205

SCALE: 1/4" = 1'-1"

APPROVED: R.A.V.

DESIGNED BY: I.M.

DRAWN BY: I.M.

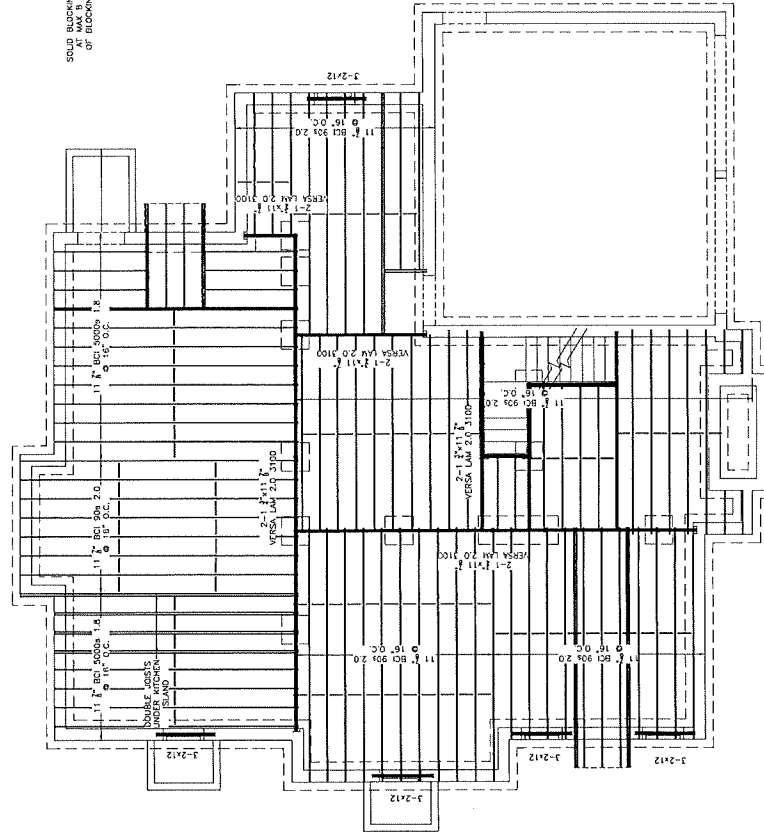
DATE: 10/22/19

DRAWING No.

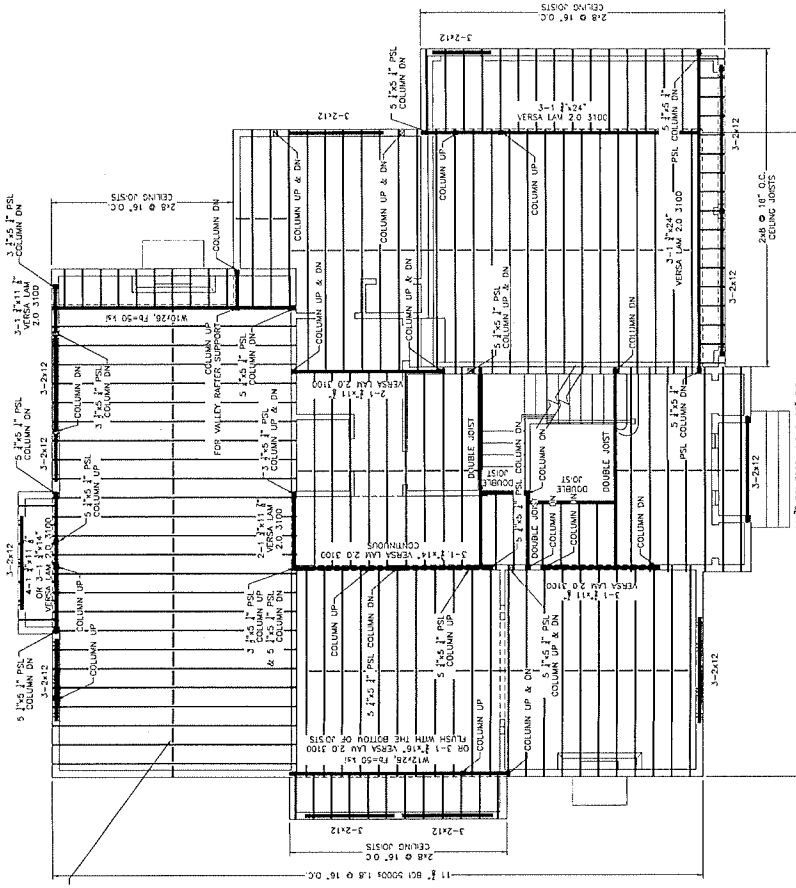
A-3 OF A-3

CHECKED BY: R.A.V.

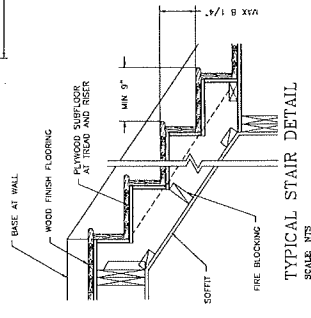
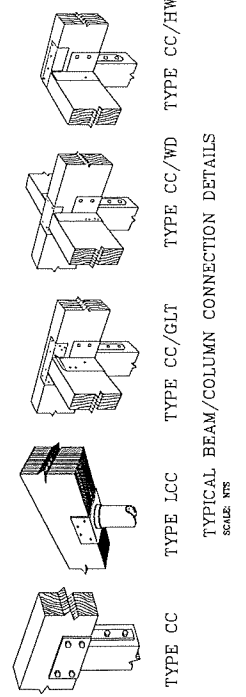




FIRST FLOOR FRAMING



SECOND FLOOR FRAMING

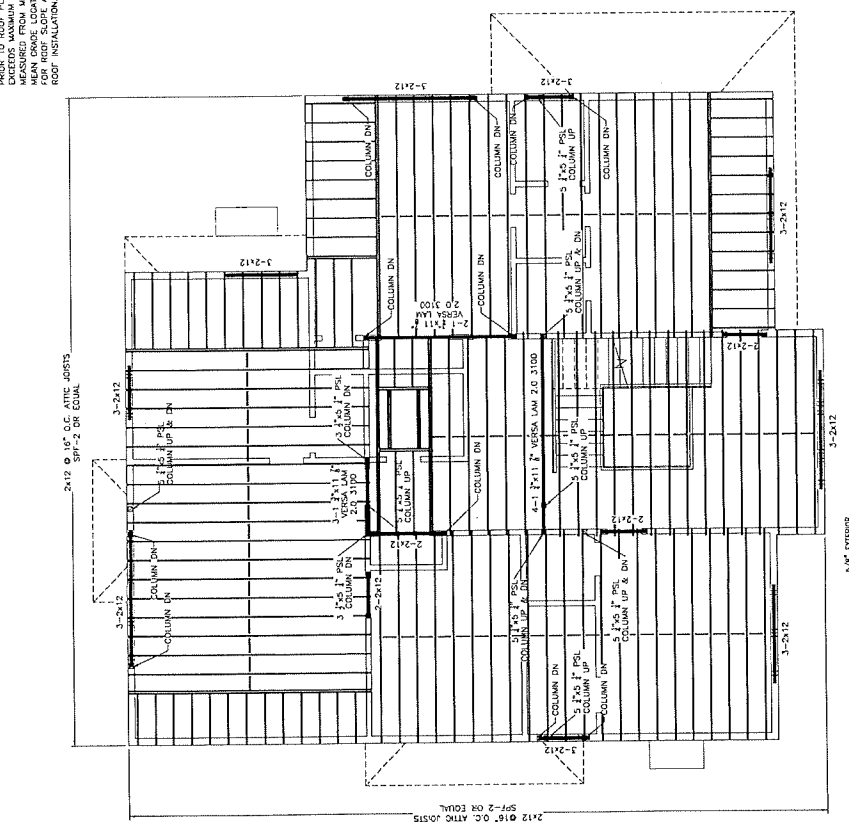
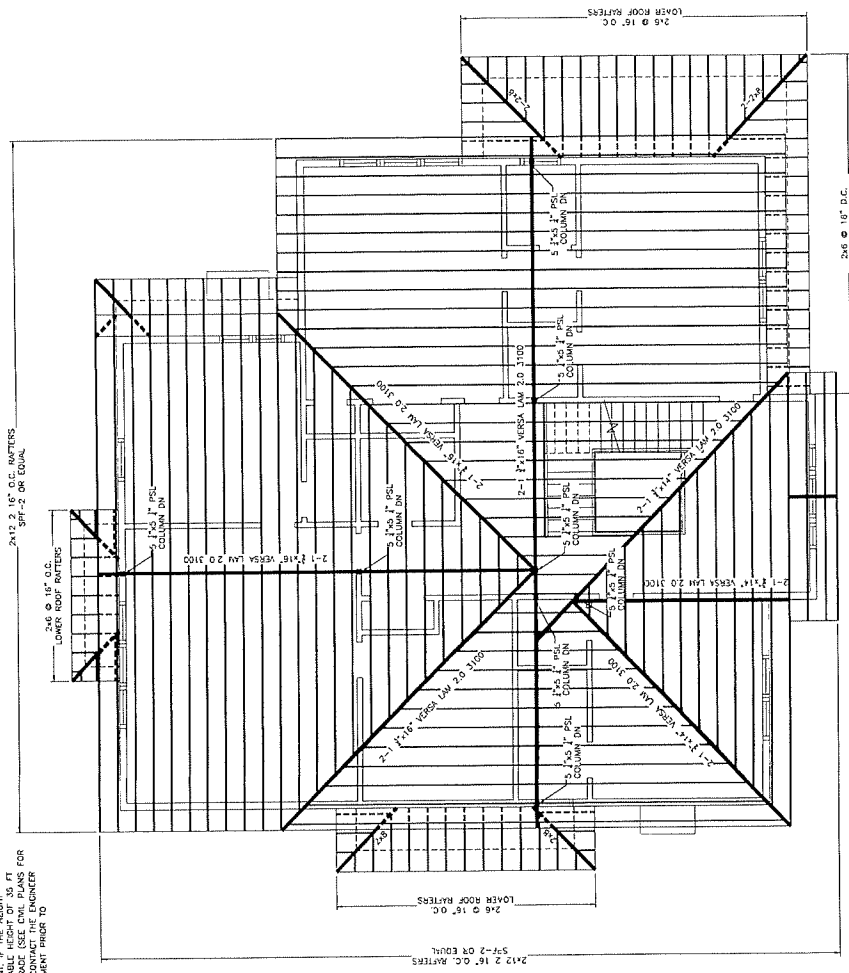


NOTES:
 ALL EXPOSED WOOD AND WOOD IN CONTACT WITH CONCRETE MUST BE PRESERVE TREATED.
 THE PROPERTIES OF WOOD MUST BE AS DESIGNATED ON BETADEX.
 ALL DIMENSIONS MUST BE USED UNLESS OTHERWISE SPECIFIED WITH THE MANUFACTURER'S SPECIFICATIONS.
 CONTRACTOR MUST VERIFY ALL DIMENSIONS IN FIELD. IF ADJUSTMENTS ARE NECESSARY, CONTACT THE ENGINEER.

DATE: _____ REVISION: _____
 DRAWING NO. S-2 OF S-5
 DRAWN BY: R.A.V.
 CHECKED BY: R.A.V.
 DATE: 10/22/19
 DESIGNED BY: I.M.
 SCALE: 1/4" = 1'
 APPROVED: R.A.V.
 TELEPHONE: (781) 448-8200
 FAX: (781) 448-8205
 NEEDHAM, MASSACHUSETTS 02464
RAY & ASSOC. INC.
 66 HARTMAN ROAD
 NEWTON, MASSACHUSETTS
FRAMING PLAN
TYPICAL DETAILS



NOTE:
 CONTRACTOR MUST VERIFY BUILDING HEIGHT
 PRIOR TO ROOF PLACEMENT. IF BUILDING HEIGHT IS
 MEASURED FROM MEAN GRADE (SEE CIVIL PLANS FOR
 MEAN GRADE LOCATION), CONTACT THE ENGINEER
 FOR ROOF INSTALLATION.

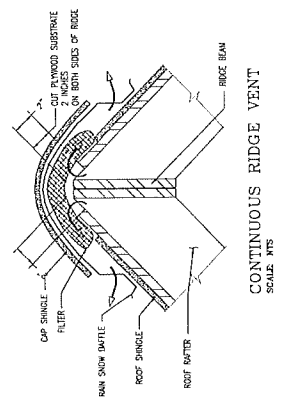
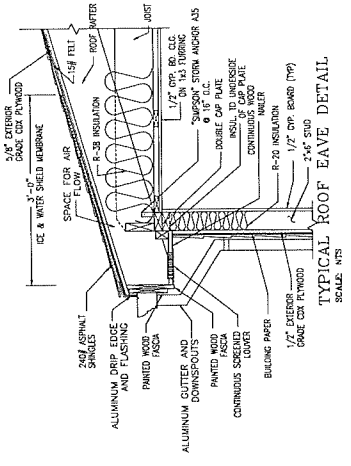


ROOF FRAMING

NOTE:
 COLUMNS OR BUILD-UP STUDS
 MUST BE INSTALLED UNDER
 SUPPORT (TYP) WHETHER IT IS SHOWN
 OR NOT ON THE PLANS. THESE
 STUDS MUST BE SETTING AND
 DOWN TO THE FOUNDATION OR
 BEAM BELOW.

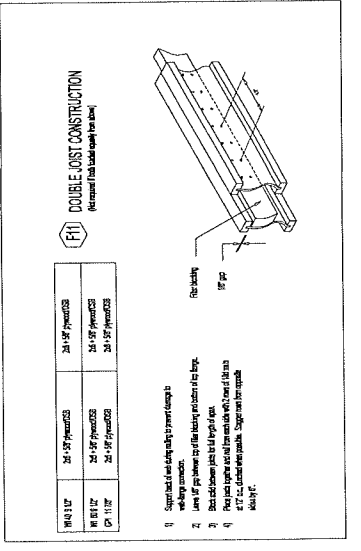
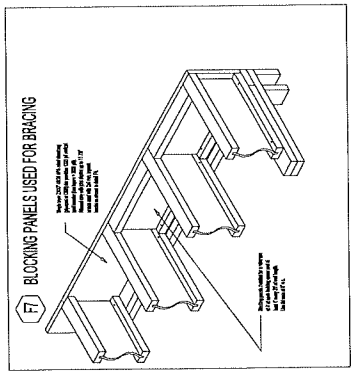
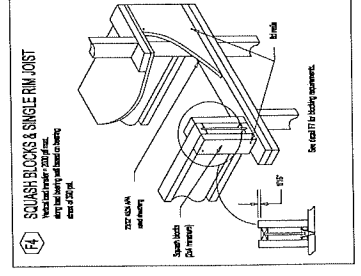
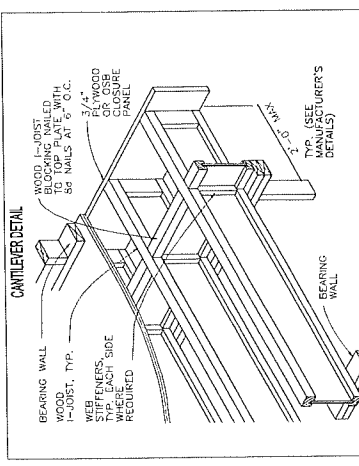
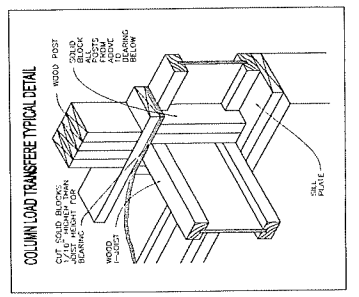
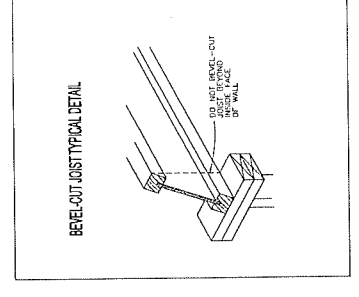
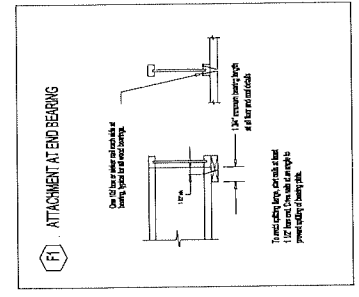
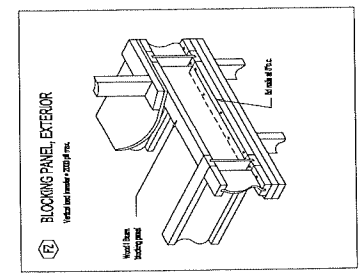
NOTE:
 NO ROOF VENT IS REQUIRED
 IF CLOSED CELL FOAM INSULATION IS USED.

ATTIC FRAMING



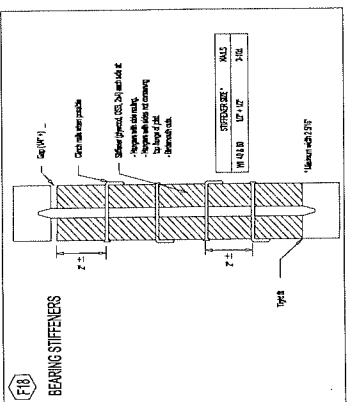
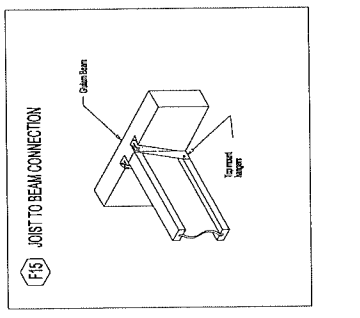
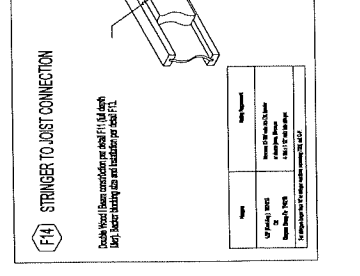
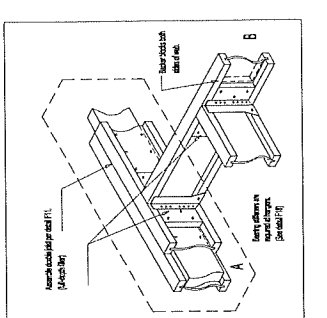
DATE	REVISION
<p>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF RAY & ASSOCIATES, INC. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF RAY & ASSOCIATES, INC. IS STRICTLY PROHIBITED. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO RAY & ASSOCIATES, INC. BY OTHERS.</p>	
<p>FRAMING PLAN TYPICAL DETAILS 66 HARTMAN ROAD NEWTON, MASSACHUSETTS</p>	
<p>RAY & ASSOC., Inc. 66 HARTMAN ROAD NEWTON, MASSACHUSETTS 02459 TELEPHONE: (781) 449-8230 FAX: (781) 449-8225</p>	
<p>SCALE: 1/4"=1'-1" APPROVED BY: L.M. DRAWN BY: L.M. DATE: 10/27/18 CHECKED BY: R.A.V.</p>	
<p>DRAWING NO. S-3 OF S-5</p>	





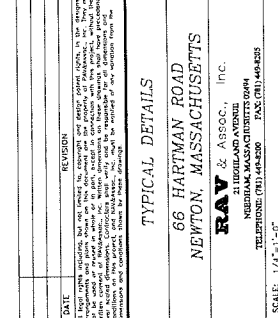
JOIST	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post

JOIST	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post



JOIST	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post

JOIST	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post
W4x12	2x4x8 ft post	2x4x8 ft post	2x4x8 ft post



TYPICAL DETAILS

66 HARTMAN ROAD
NEWTON, MASSACHUSETTS

RAV & ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
TELEPHONE: (617) 452-8200 FAX: (617) 452-8205



SCALE: 1/4" = 1'-0"

APPROVED: S.A.V.

DESIGNED BY: L.M.

DRAWN BY: L.M.

DATE: 10/22/79

CHECKED BY: S.A.V.

DRAWING NO. S-5 OF S-5

REVISION

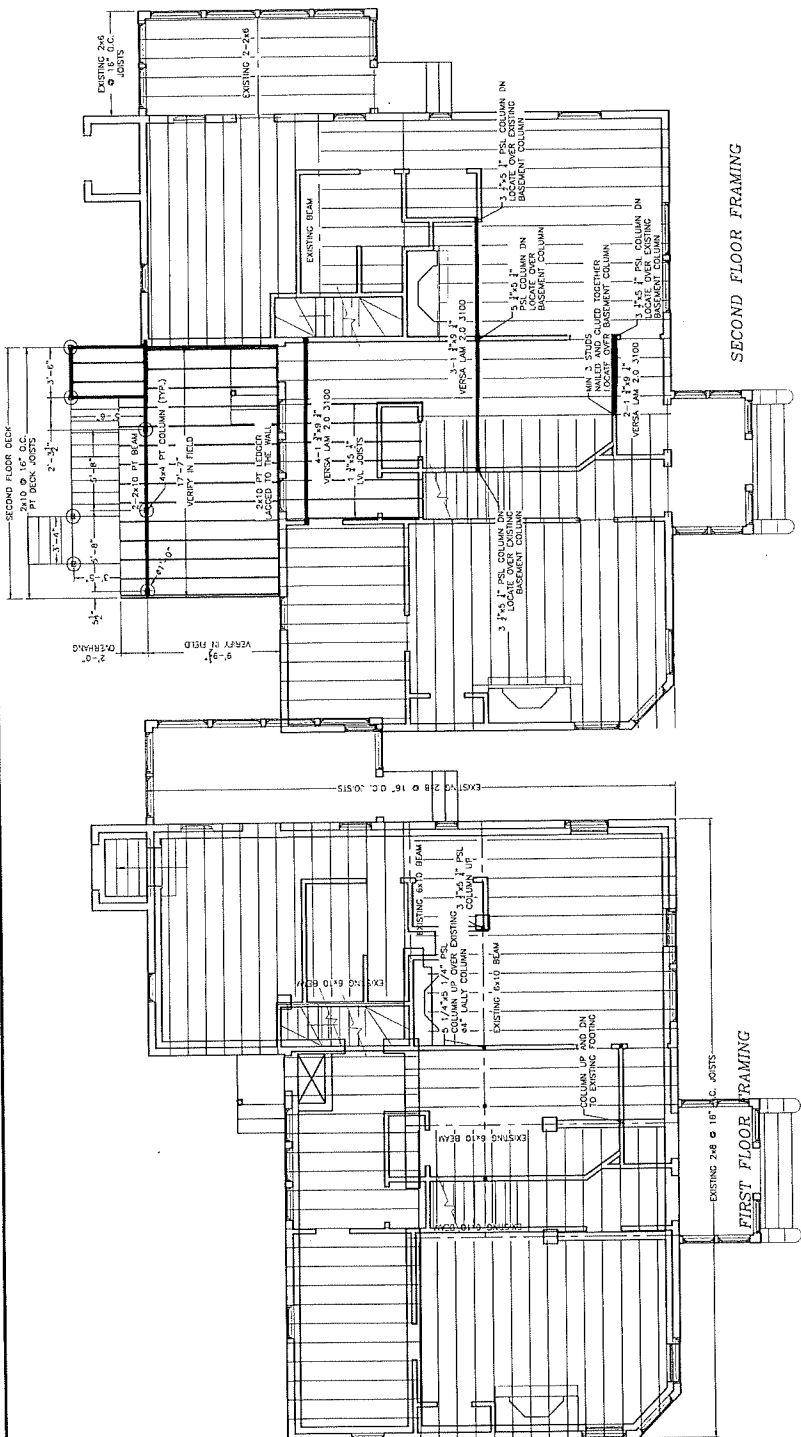
DATE

DESCRIPTION

NOTES:

CARPENTRY:

ALL WOOD CARPENTRY SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS AND WITH ALL REVISIONS ACCORDING TO THE DRAWINGS AND WITH ALL REVISIONS. ALL WOOD SHALL BE SELECTED TO MEET THE REQUIREMENTS OF THE DRAWINGS AND WITH ALL REVISIONS. ALL WOOD SHALL BE DRY KILN DRIED TO A MAXIMUM MOISTURE CONTENT OF 15% AT THE TIME OF INSTALLATION. ALL WOOD SHALL BE PROTECTED AGAINST ROT AND INSECT DAMAGE BY APPLYING AN APPROPRIATE PRESERVATIVE TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST FIRE BY APPLYING AN APPROPRIATE FIRE RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST WEAR AND TEAR BY APPLYING AN APPROPRIATE WEAR RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST DISCOLORATION BY APPLYING AN APPROPRIATE DISCOLORATION RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST STAINING BY APPLYING AN APPROPRIATE STAIN RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST CRACKING BY APPLYING AN APPROPRIATE CRACK RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST DELAMINATION BY APPLYING AN APPROPRIATE DELAMINATION RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST SWELLING AND SHRINKING BY APPLYING AN APPROPRIATE SWELLING AND SHRINKING RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST ROT AND INSECT DAMAGE BY APPLYING AN APPROPRIATE PRESERVATIVE TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST FIRE RESISTANCE BY APPLYING AN APPROPRIATE FIRE RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST WEAR AND TEAR BY APPLYING AN APPROPRIATE WEAR RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST DISCOLORATION BY APPLYING AN APPROPRIATE DISCOLORATION RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST STAINING BY APPLYING AN APPROPRIATE STAIN RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST CRACKING BY APPLYING AN APPROPRIATE CRACK RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST DELAMINATION BY APPLYING AN APPROPRIATE DELAMINATION RESISTANT FINISH TO ALL EXPOSED SURFACES. ALL WOOD SHALL BE PROTECTED AGAINST SWELLING AND SHRINKING BY APPLYING AN APPROPRIATE SWELLING AND SHRINKING RESISTANT FINISH TO ALL EXPOSED SURFACES.

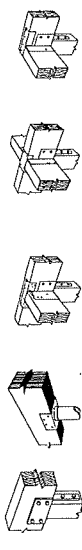
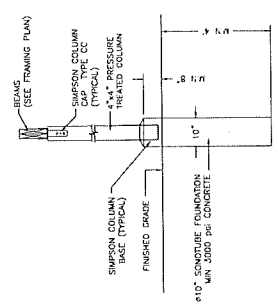


GENERAL NOTES

- All work shall conform to Massachusetts Building Code and all Federal, State and City of Watertown laws, codes and regulations as each may apply.
- All structural plans are prepared based on floor plans prepared by Danny Sweeney Architects, 10 Park Street, Suite 200, Salem, MA 01970. The specifications shall be brought to the attention of the Engineer prior to the start of such work. Working drawings and/or specifications shall be brought to the attention of the Engineer prior to the start of such work.
- The contractor shall be responsible for coordinating the sequencing and work of all trades and shall verify all dimensions and locations of structural elements, etc. in field. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work.
- The Contractor shall advance and erect the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to bracing and shoring.
- The Contractor shall be responsible for coordinating with all applicable agencies and authorities having jurisdiction. The Contractor shall assume full and sole responsibility for the job site conditions during the course of construction, including the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
- All work shall be performed in a neat, clean and workmanlike manner in conformity with the plans and specifications, and shall be in good usable condition at the completion of the Project.
- The Contractor shall coordinate with all applicable agencies and authorities having jurisdiction, utility locations and check-out placement, prior to start of the work. The Contractor shall obtain all necessary permits and shall be responsible for obtaining all necessary permits and shall be responsible for obtaining all necessary permits and shall be responsible for obtaining all necessary permits.
- Prior to bidding the work the Contractor shall visit the site and thoroughly verify himself as to the actual conditions and shall be responsible for obtaining all necessary permits and shall be responsible for obtaining all necessary permits.
- The Contractor shall be responsible for obtaining all necessary permits and shall be responsible for obtaining all necessary permits.
- The Contractor shall be responsible for obtaining all necessary permits and shall be responsible for obtaining all necessary permits.

TYPICAL DECK FOUNDATION

SCALE: 1/2\"/>



TYPICAL BEAM/COLUMN CONNECTION DETAILS

SCALE: NTS

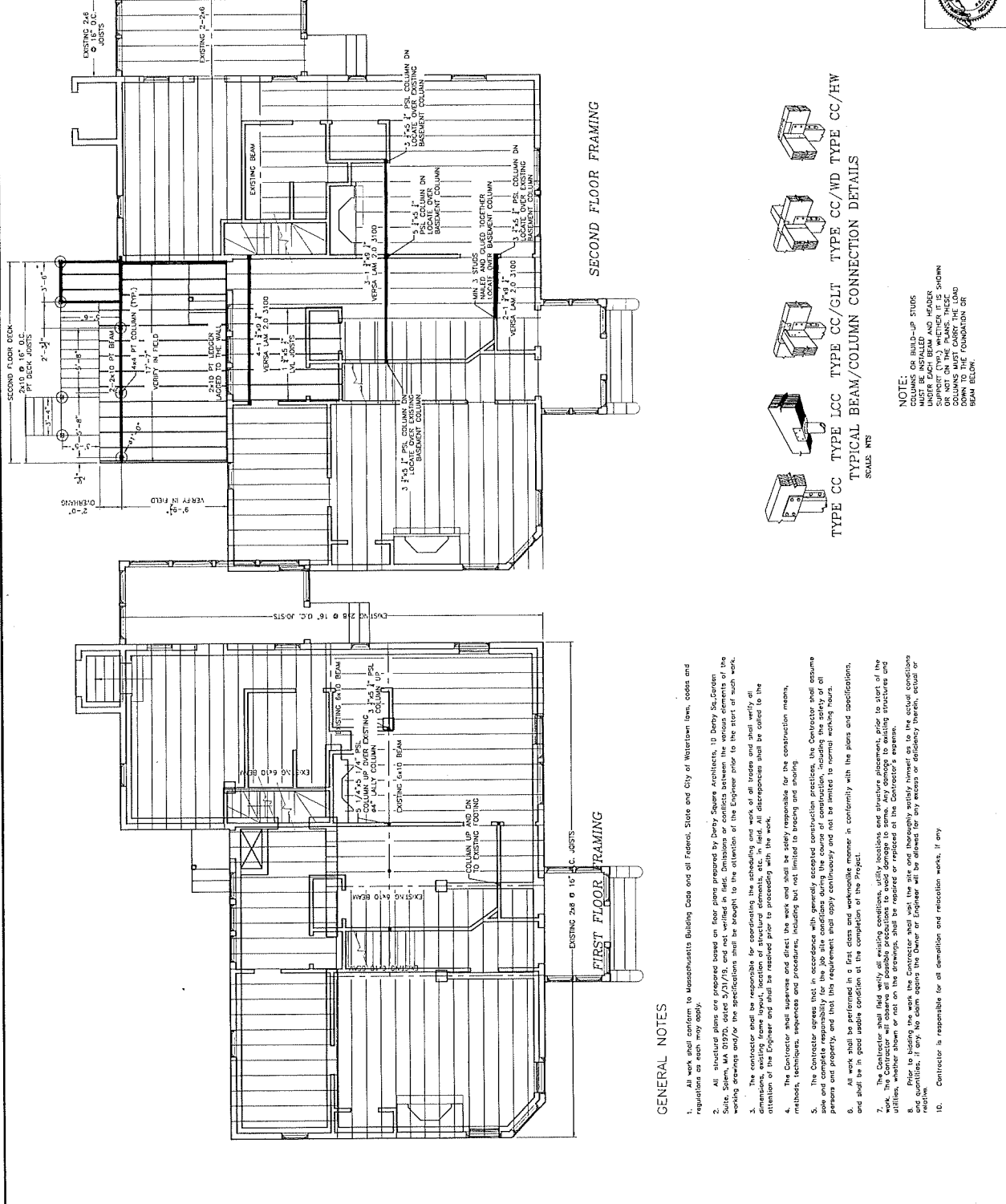
NOTE:
COLUMNS OR BUILD-UP STUDS MUST BE USED TO SUPPORT EACH BEAM AND HEADER SUPPORT (TYPE) WHETHER IT IS SHOWN OR NOT. THIS SUPPORT SHALL BE DOWN TO THE FOUNDATION OR BEAM BELOW.

DATE	REVISION

FRAMING PLANS AS-BUILT
TYPICAL DETAILS
36 COOLIDGE HILL ROAD,
WATERBURY, MASSACHUSETTS
RAY & ASSOC., INC.
 REGISTERED PROFESSIONAL ENGINEER
 REGISTRATION NO. 100000
 TELEPHONE: (781) 444-8200 FAX: (781) 444-8205
 SCALE: 1/4\"/>



APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING NO. S-1 OF S-1
DATE: 11/25/2019	CHECKED BY: R.A.V.	



NOTES:
 CARPENTRY:
 ALL MEMBER CONNECTIONS SHALL BE MADE WITH ALL JOISTS ACCUMULATED ACCORDING TO THE DRAWINGS, AND WITH ALL PERTINENT CODES AND REGULATIONS. SELECT ALL MEMBERS. SELECT INDIVIDUAL PIECES SO THAT JOISTS AND EFFECTS WILL NOT INTERFERE WITH FRAMING JOISTS OR IMPAIR BEAMS OR DAMEN CONNECTIONS. FOR EXCESSIVE MOISTURE, USE CHAINS, WOODS, FINISHES, OR JOISTS AS WELL AS OTHER METHODS TO PROTECT THE JOISTS FROM MOISTURE. DO NOT SHIM JOISTS, BEAMS, OR JOISTS. DO NOT SHIM JOISTS, BEAMS, OR JOISTS. MAKE SURE THAT THE JOISTS ARE CONTACTED WITH CONCRETE. MAKE SURE THAT THE JOISTS ARE CONTACTED WITH CONCRETE. MAKE SURE THAT THE JOISTS ARE CONTACTED WITH CONCRETE.

... THE JOISTS SHALL BE 2x8 IN THICKNESS (NOMINAL) BY THE FULL WIDTH OF THE JOIST. MAKE SURE THAT THE JOISTS ARE CONTACTED WITH CONCRETE. MAKE SURE THAT THE JOISTS ARE CONTACTED WITH CONCRETE. MAKE SURE THAT THE JOISTS ARE CONTACTED WITH CONCRETE.

GENERAL NOTES

1. All work shall conform to Massachusetts Building Code and all Federal, State and City of Watertown laws, codes and regulations as each may apply.
2. All subcontract plans are prepared based on floor plans prepared by Perry Square Architects, 10 Deedy St, Garden State, NJ 07020, dated 2/17/15, and not written in field. Dimensions or conflicts between the various elements of working drawings and/or the specifications shall be brought to the attention of the Engineer prior to the start of such work.
3. The contractor shall be responsible for coordinating the scheduling and work of all trades and shall verify all dimensions, existing frame layout, location of structural elements, etc. in field. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work.
4. The Contractor shall supervise and direct the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to loading and unloading.
5. The Contractor agrees that in accordance with generally accepted construction practices, the Contractor shall assume sole and complete responsibility for the job site conditions during the course of construction, including the safety of all persons on property, and that the requirement shall apply continuously and not be limited to normal working hours.
6. All work shall be performed in a first class and workmanlike manner in conformity with the plans and specifications, and shall be in good usable condition at the completion of the Project.
7. The Contractor shall field verify all existing conditions, utility locations and structure placement prior to start of the work. The Contractor will observe all possible precautions to avoid damage to same. Any damage to existing structures and utilities, whether shown or not on the drawings, shall be repaired or replaced at the contractor's expense. The contractor shall obtain written permission from the Owner/Engineer prior to any work. No claim shall be allowed for any extra or deficiency therein, actual or reworked.
8. Contractor is responsible for all demolition and relocation work, if any.

TYPICAL DECK FOUNDATION DETAIL
SCALE: 1/8" = 1'-0"

DATE	REVISION

FRAMING PLANS, AS-BUILT
TYPICAL DETAILS
36 COOLIDGE HILL ROAD,
WATEROWN, MASSACHUSETTS
RAV & ASSOC., INC.
 100 HIGHLAND AVENUE, SUITE 200
 WATEROWN, MASSACHUSETTS 02478
 TEL: (508) 488-8200 FAX: (508) 488-8205

SCALE: 1/4" = 1'-0"
 APPROVED: R.A.V.
 DATE: 11/29/2010
 DESIGNED BY: L.M.
 DRAWN BY: H.M.
 CHECKED BY: R.A.V.
 DRAWING NO.: S-1 OF S-1





Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
Telefax
(617) 796-1142
TDD/TTY
(617) 796-1089
www.newtonma.gov

Barney S. Heath
Director

Newton Historical Commission Demolition Review Decision

Date: 7/30/19 Zoning & Dev. Review Project# 19070010

Address of structure: 15 Howley Avenue



Type of building : House

If partial demolition, feature to be demolished is _____

The building or structure:

is _____ is not in a National Register or local historic district not visible from a public way.

is _____ is not on the National Register or eligible for listing.

is _____ is not importantly associated with historic person(s), events, or architectural or social history

is is not _____ historically or architecturally important for period, style, architect, builder, or context.

is _____ is not located within 150 feet of a historic district and contextually similar.

is _____ **NOT HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance.

Demolition is not delayed and no further review is required.

is **HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance (See below).

The Newton Historical Commission staff:

_____ **APPROVES** the proposed project based upon materials submitted see below for conditions (if any).

Demolition is not delayed, further staff review may be required.

DOES NOT APPROVE and the project requires
Newton Historical Commission review (See below).

Final review of construction plans required

The Newton Historical Commission finds the building or structure:

is _____ **NOT PREFERABLY PRESERVED**

Demolition is not delayed and no further review is required.

is **PREFERABLY PRESERVED – (SEE BELOW).**

Owner of Record:

Delay of Demolition:

is in effect until 7/25/2020

_____ has been waived - see attached for conditions

Determination made by:

Please Note: if demolition does not occur within two years of the date of expiration of the demolition delay, the demolition will require a resubmittal to the Historical Commission for review and may result in another demolition delay.



City of Newton, Massachusetts
 Department of Planning and Development
 1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
 (617) 796-1120
 Telefax
 (617) 796-1142
 TDD/TTY
 (617) 796-1089
 www.newtonma.gov

Barney S. Heath
 Director

Ruthanne Fuller
 Mayor

RECORD OF ACTION

DATE: July 30, 2019

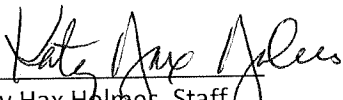
SUBJECT: 15 Howley Avenue

At a scheduled meeting and public hearing on July 25th, 2019, the Newton Historical Commission, by a vote of 5-1:

RESOLVED to preferably preserve the property at 15 Howley Avenue.

<u>Voting in the Affirmative:</u>	<u>Voting in the Negative:</u>	<u>Recused:</u>
Nancy Grissom, Chairman Peter Dimond, Member	Doug Cornelius, Member	
Ellen Klapper, Alternate Deborah Budd, Alternate Jennifer Bentley-Houston, Alternate		

<u>Title Reference:</u>	<u>Owner of Property:</u>	<u>Simin Niu</u>
	<u>Deed recorded at:</u>	Middlesex (South) Registry of Deeds
	Book <u>26715</u> , Page <u>79</u>	
	Date <u>9/1/1996</u>	


 Katy Hax Holmes, Staff

Pictures attached below on following pages:

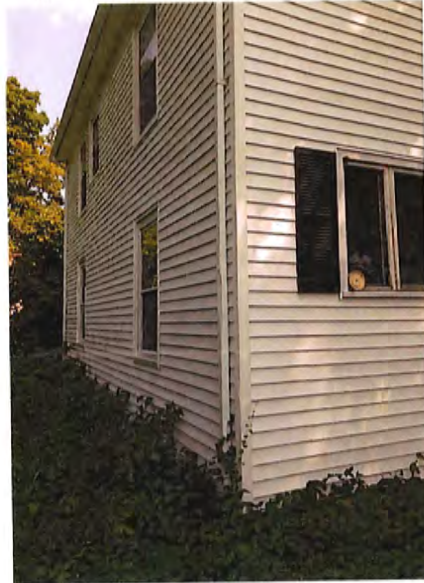
1. The house is facing the wrong direction



2. Main staircase is not up to code.



3. Vinyl siding



4. Many additions made to existing structure.



5. Built on a stone ledge



13 15 HOWLEY AVE RIGHT SIDE



① 15 HOWLEY AVE RIGHT SIDE FRONT



② 15 HOWLEY AVE LEFT SIDE



④ 15 HOWLEY AVE BACUS





15 HOWLEY AVE
 NEWTON, MA 02459
 JANUARY 7, 2020

FRONT ELEVATION

30 YEAR ARCHITECTURAL SHINGLE BLACK (TYP.)



4 1/2" EXPOSURE
CLAPBOARD WHITE (TYP.)
SCL ALUM. CLAD WINDOW
WITH PVC TRIM AND SILL (TYP.)

FIBERGLASS / WOOD DOOR (TRD)

ATTIC SUB-FLOOR

SECOND TOP PLATE

SECOND SUB-FLOOR

FIRST TOP PLATE

FIRST WINDOW HEAD

FIRST SUB-FLOOR

± 32'-8"

9'-1 1/4"

8'-0"

10'-1 1/4"

FRONT ELEVATION



15 HOWLEY AVE
 NEWTON, MA 02459
 JANUARY 7, 2020

30 YEAR ARCHITECTURAL SHINGLE BLACK (TYP.)

4 1/2" EXPOSURE
CLAPBOARD WHITE (TYP.)
SCL. ALUM. CLAD WINDOW
WITH PVC TRIM AND SILL (TYP.)

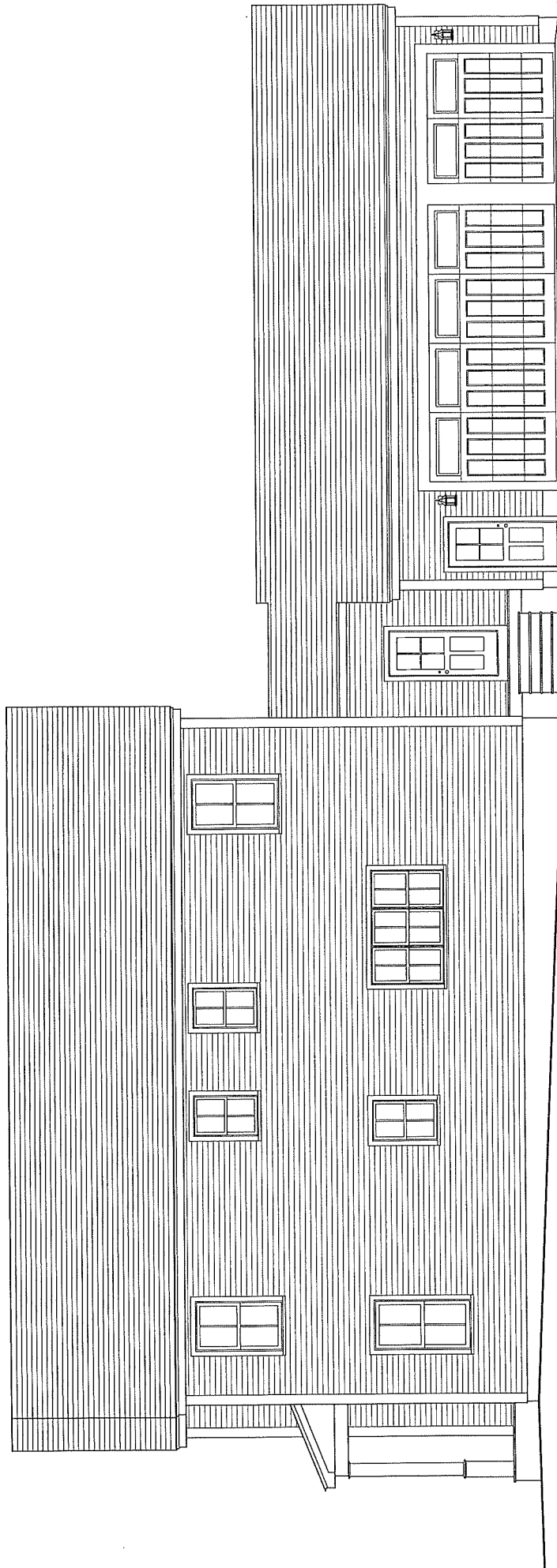
FIBERGLASS / WOOD DOOR (TBD)



15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020

FRONT ELEVATION

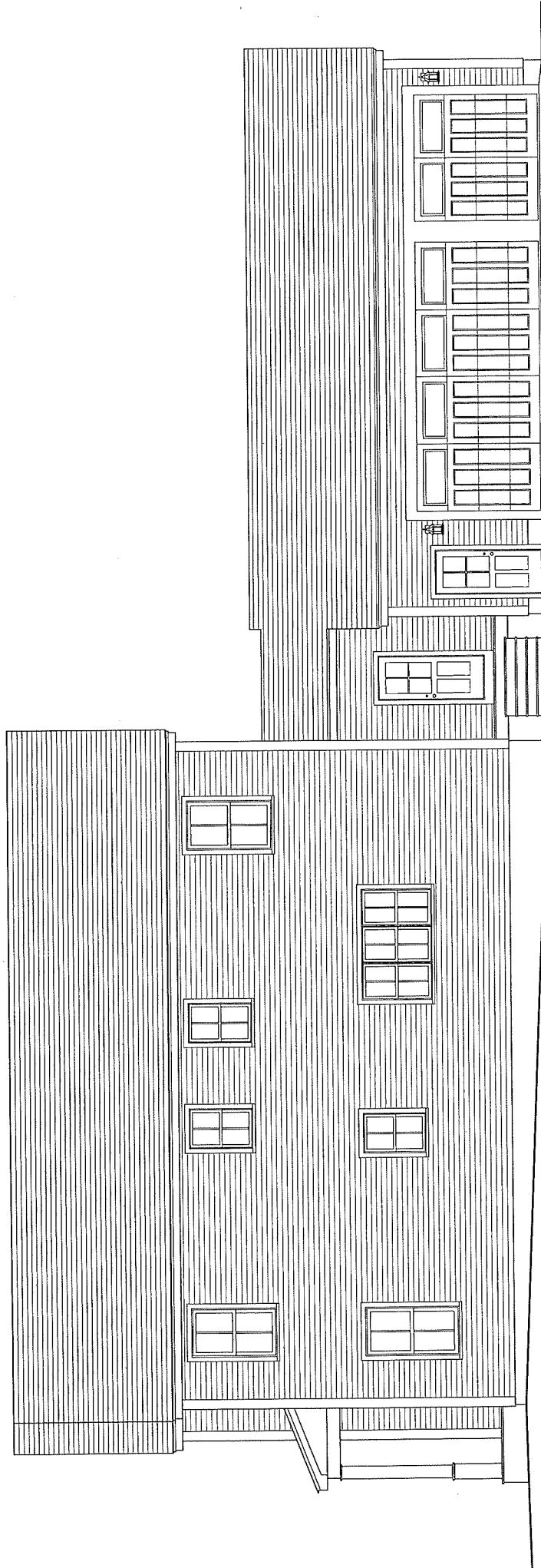




15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020

RIGHT SIDE ELEVATION

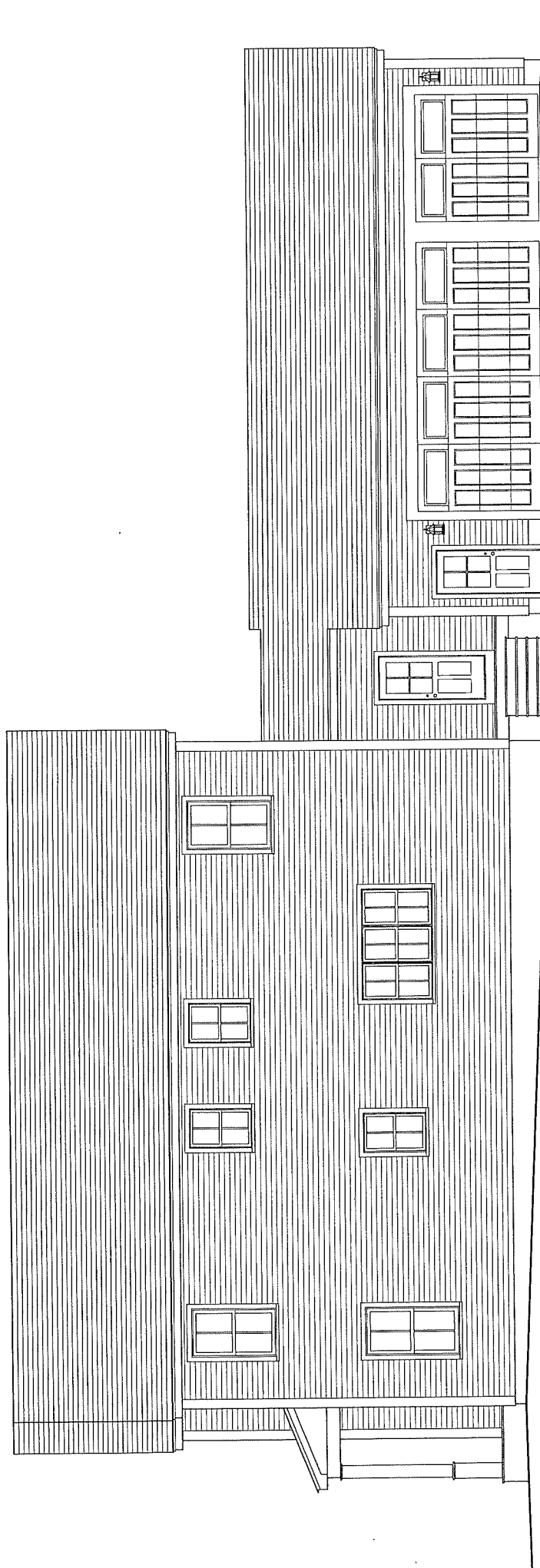




15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020

RIGHT SIDE ELEVATION

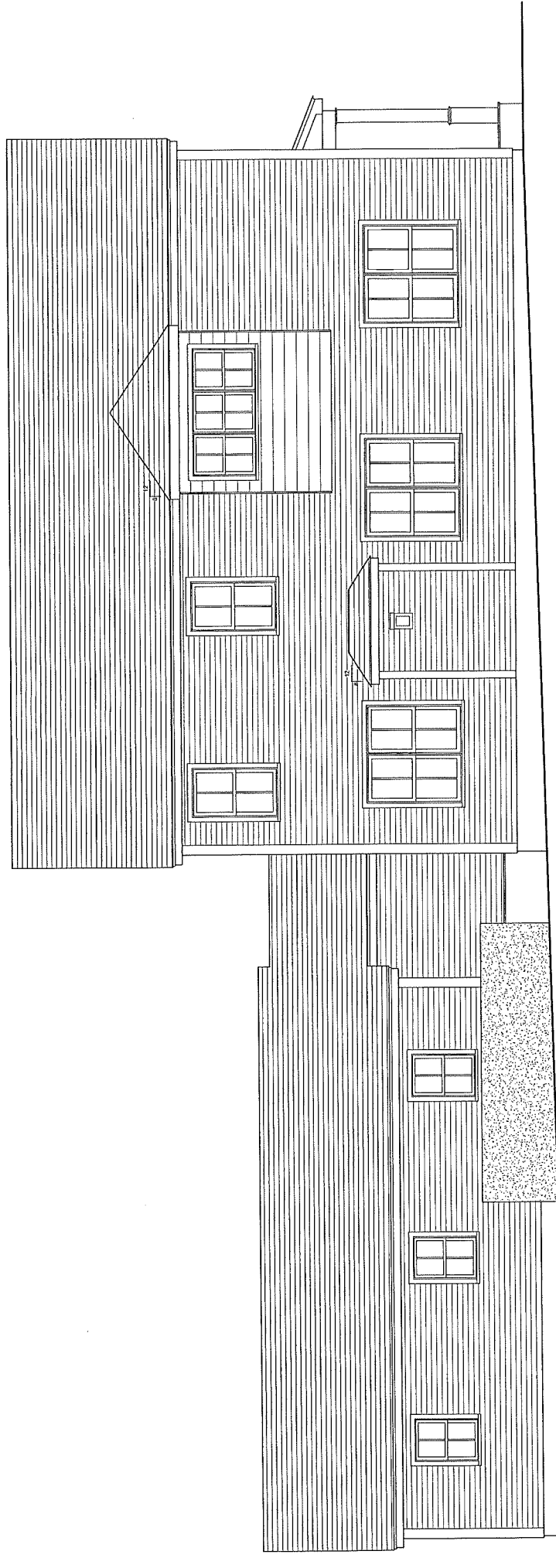




15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020

RIGHT SIDE ELEVATION

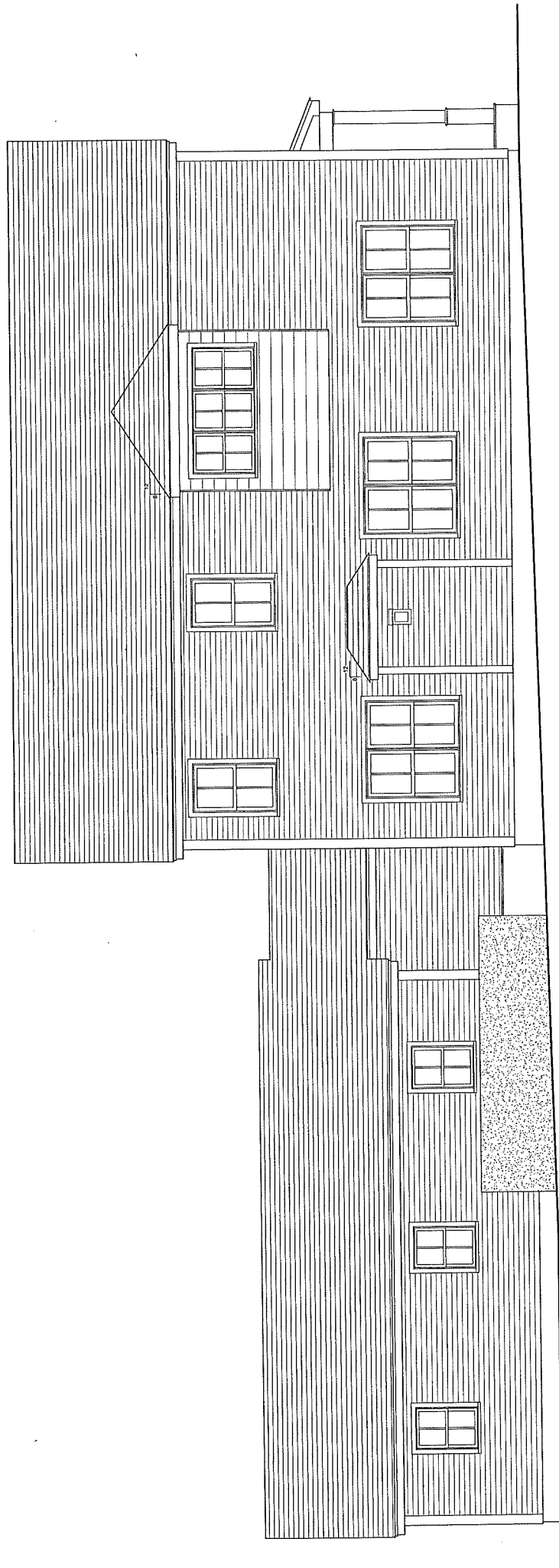




LEFT SIDE ELEVATION

SCALE: 0 1 2 4 8

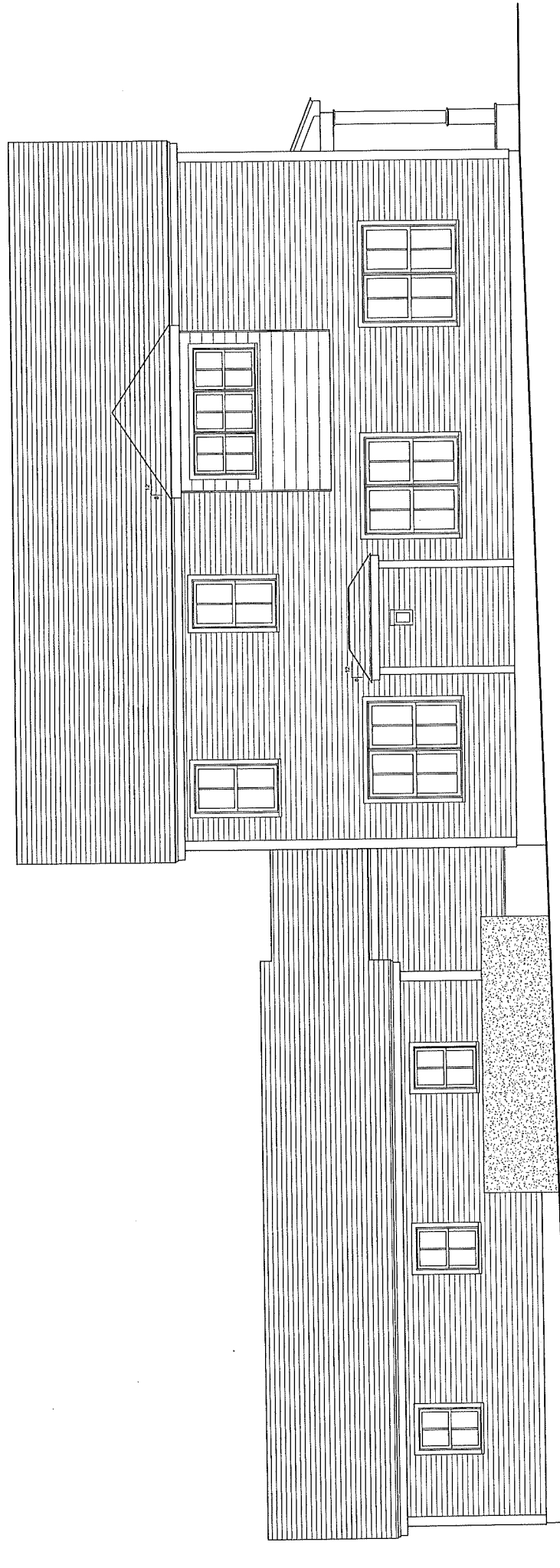
**15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020**



LEFT SIDE ELEVATION

SCALE: 0 1 2 4 8

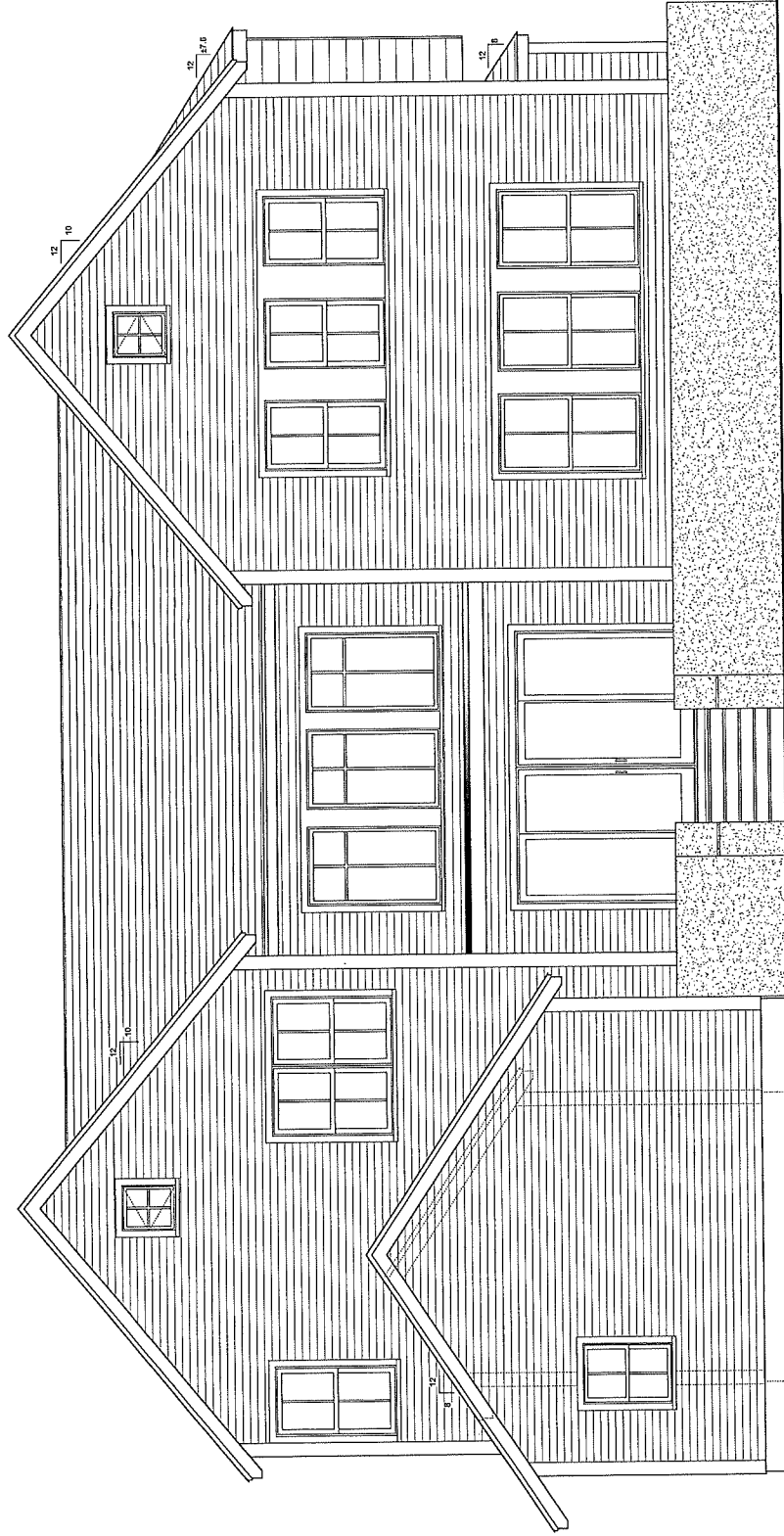
**15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020**



LEFT SIDE ELEVATION

SCALE: 0 1 2 4 8

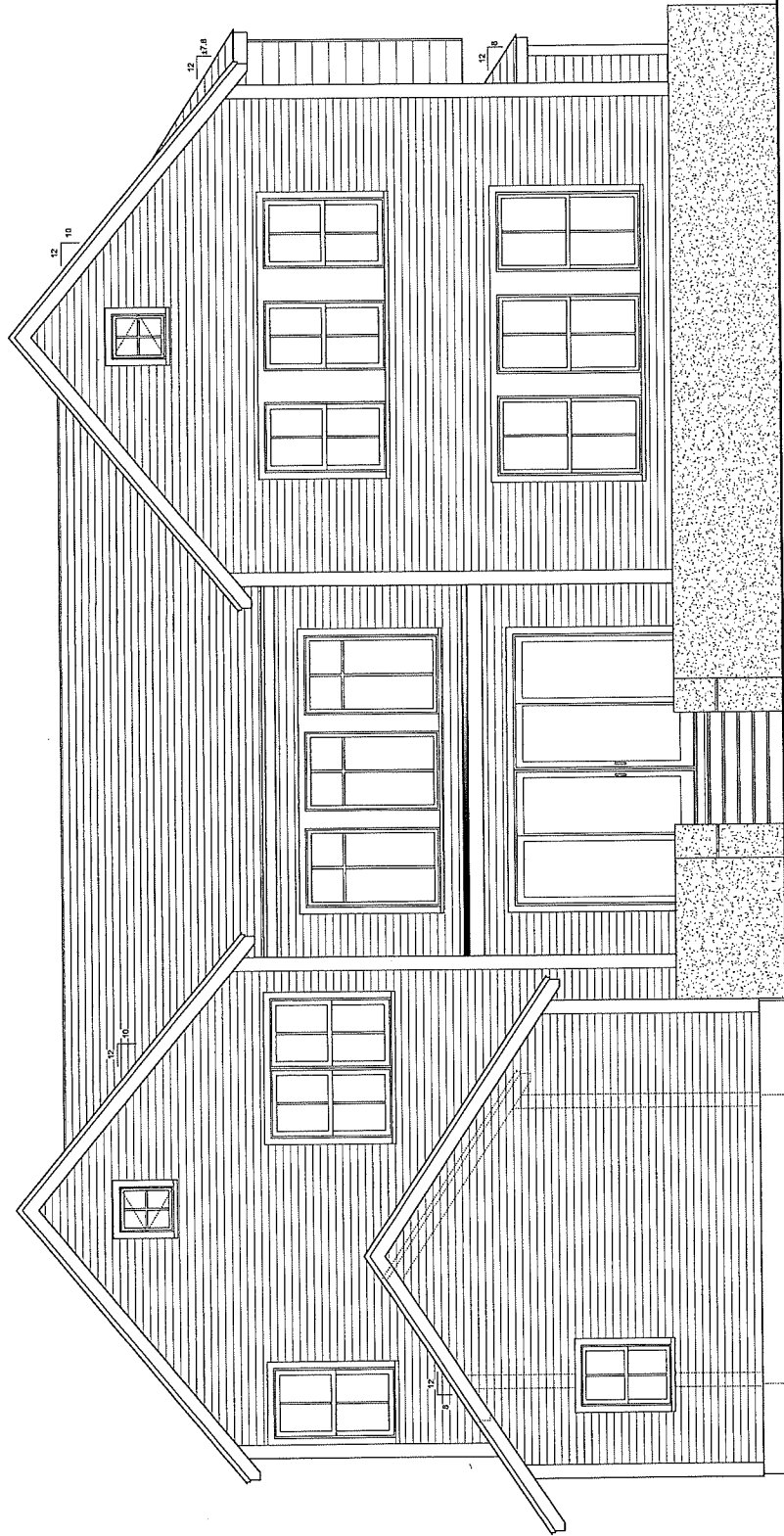
**15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020**



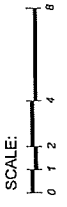
REAR ELEVATION

SCALE:
0 1 2 4 8

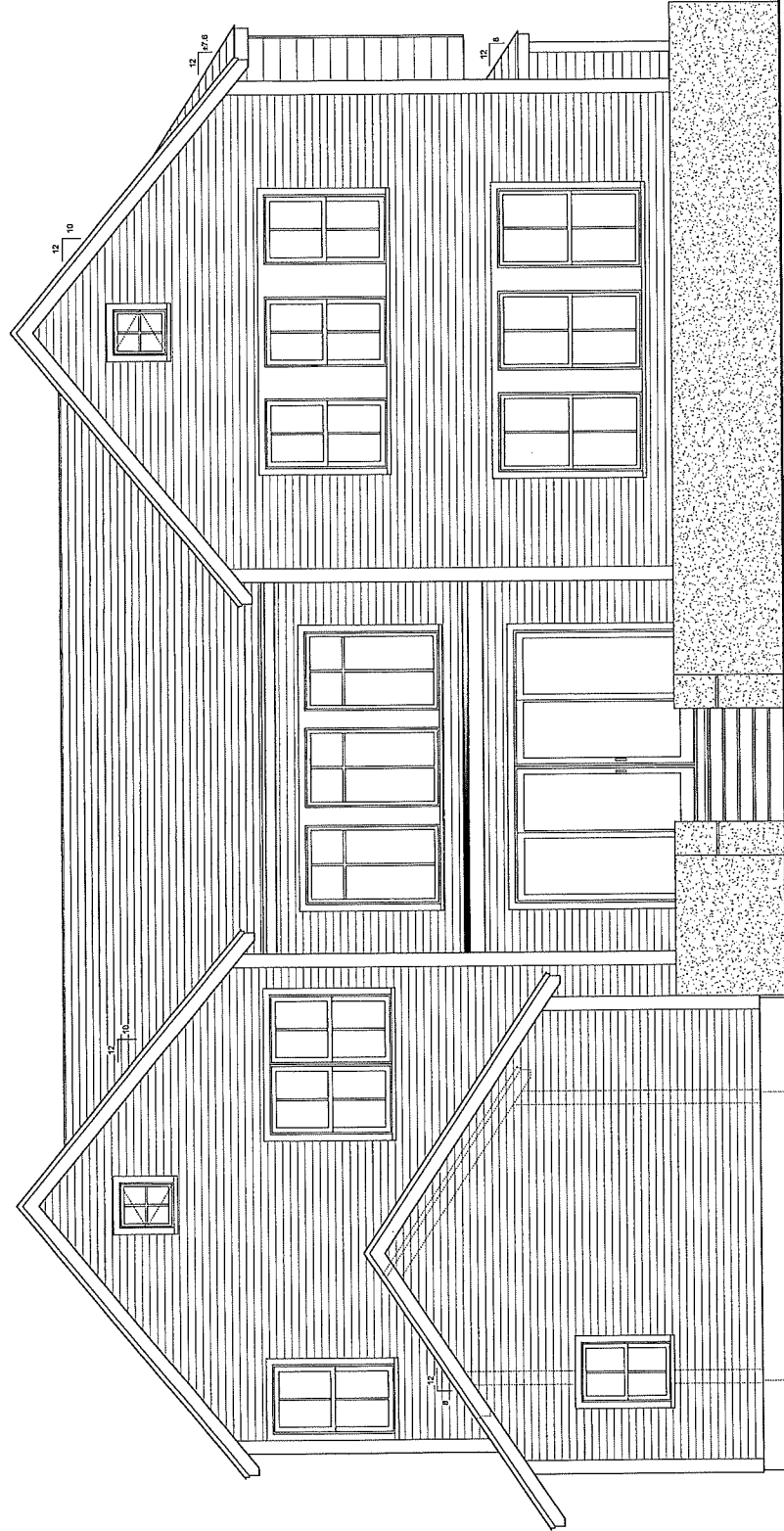
15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020



REAR ELEVATION



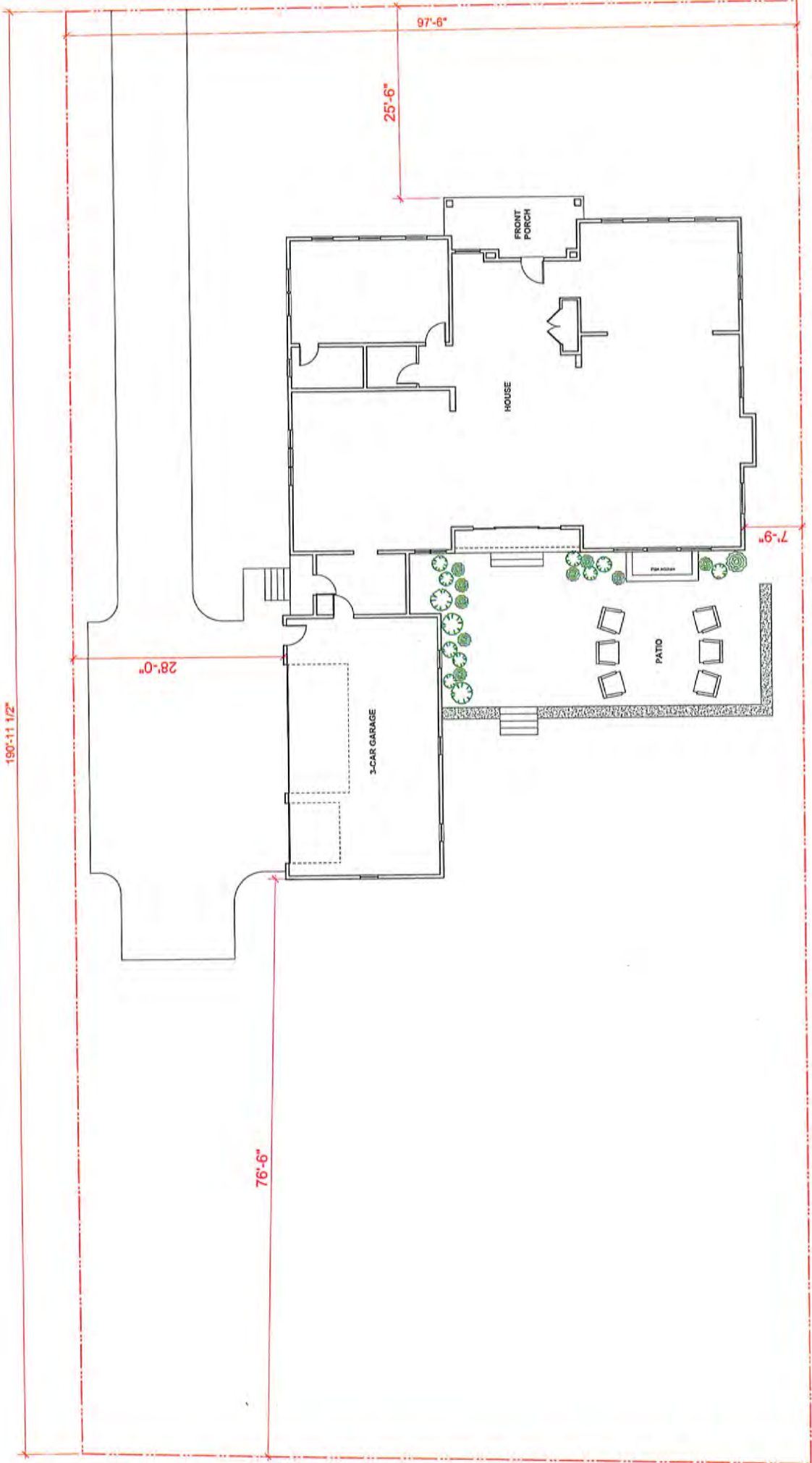
**15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020**



REAR ELEVATION



15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020



15 HOWLEY AVE
 NEWTON, MA 02459
 JANUARY 7, 2020

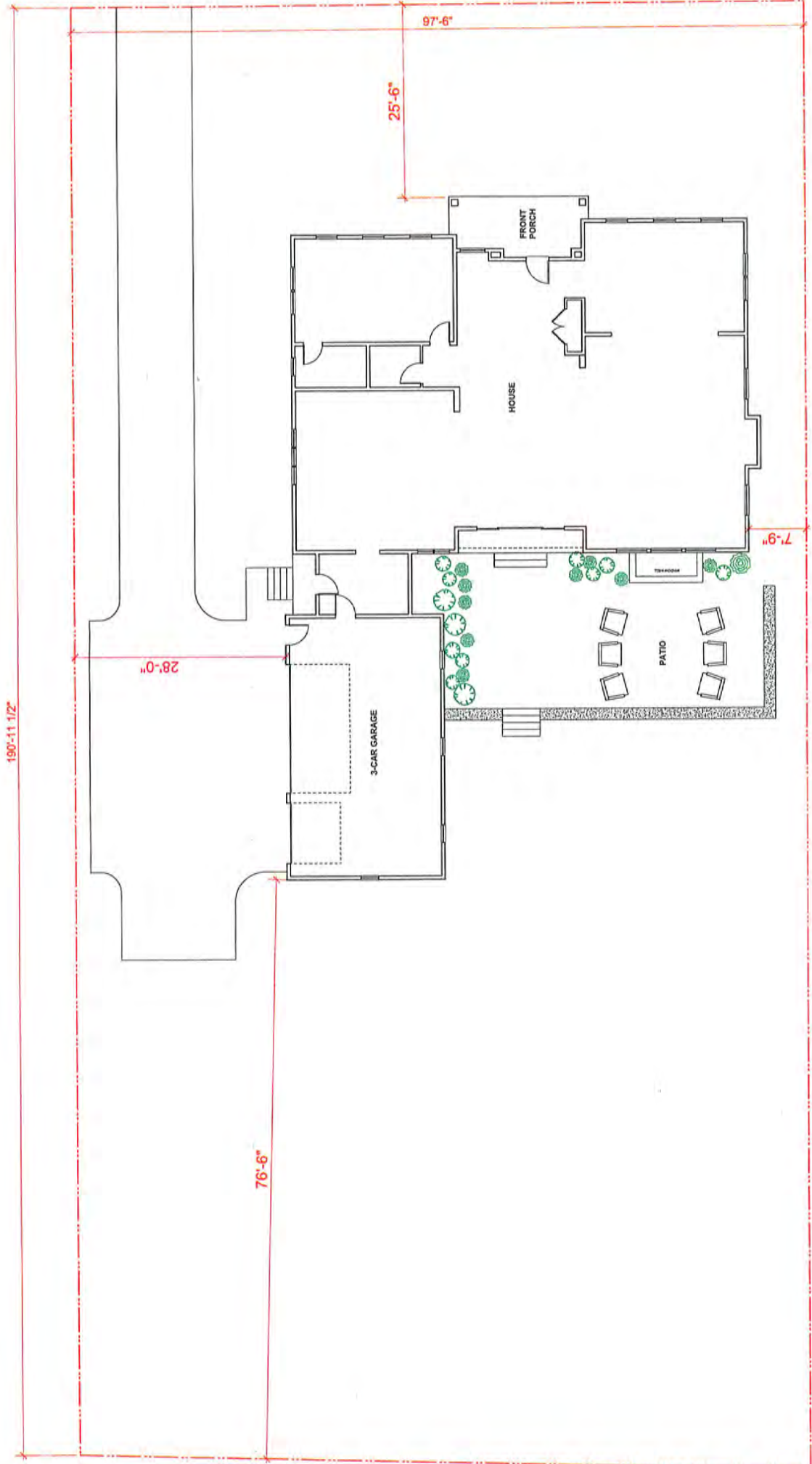


15

LOT AREA: 18,214 SQ FT

SITE PLAN

190'-11 1/2"



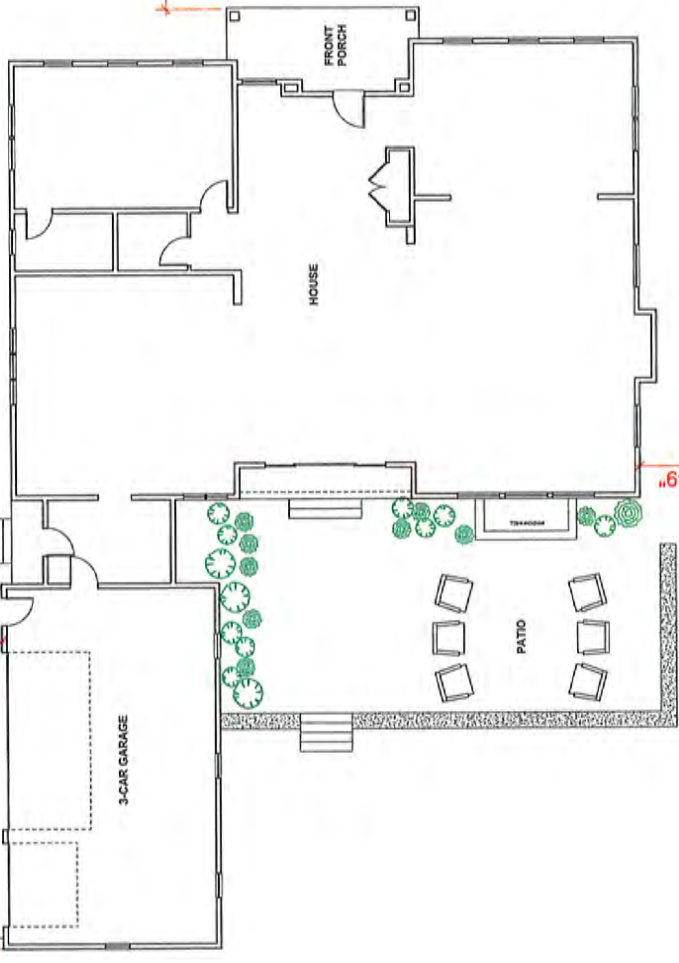
28'-0"

76'-6"

25'-6"

97'-6"

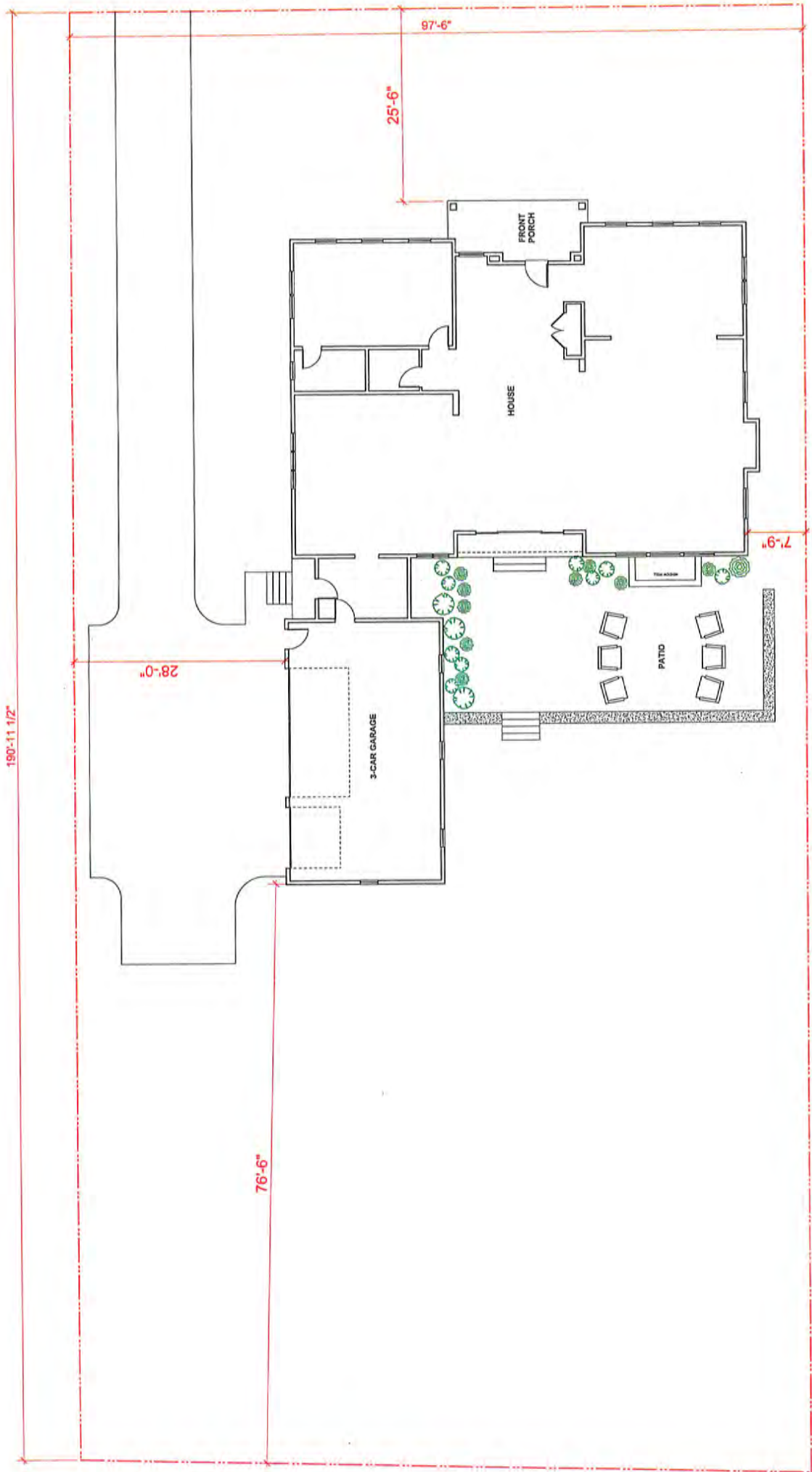
7'-9"



LOT AREA: 18,214 SQ FT

15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020





15 HOWLEY AVE
NEWTON, MA 02459
JANUARY 7, 2020



SITE PLAN

LOT AREA: 18,214 SQ FT



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
Telefax
(617) 796-1142
TDD/TTY
(617) 796-1089
www.newtonma.gov

Barney S. Heath
Director

Newton Historical Commission Demolition Review Decision

Date: 10/2/19 Zoning & Dev. Review Project# 19090021

Address of structure: 499 Winchester Street

Type of building : House

If partial demolition, feature to be demolished is _____



The building or structure:

is _____ is not in a National Register or local historic district not visible from a public way.

is _____ is not on the National Register or eligible for listing.

is _____ is not importantly associated with historic person(s), events, or architectural or social history

is is not _____ historically or architecturally important for period, style, architect, builder, or context.

is _____ is not located within 150 feet of a historic district and contextually similar.

is _____ **NOT HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance.

Demolition is not delayed and no further review is required.

is **HISTORICALLY SIGNIFICANT** as defined by the Newton Demolition Delay Ordinance (See below).

The Newton Historical Commission staff:

_____ **APPROVES** the proposed project based upon materials submitted see below for conditions (if any).

Demolition is not delayed, further staff review may be required.

DOES NOT APPROVE and the project requires
Newton Historical Commission review (See below).

The Newton Historical Commission finds the building or structure:

is _____ **NOT PREFERABLY PRESERVED**

Demolition is not delayed and no further review is required.

is **PREFERABLY PRESERVED - (SEE BELOW).**

Owner of Record:

Delay of Demolition:

is in effect until 9/26/2020

_____ has been waived - see attached for conditions

Please Note: if demolition does not occur within two years of the date of expiration of the demolition delay, the demolition will require a resubmittal to the Historical Commission for review and may result in another demolition delay.

Determination made by:

City of Newton NHC



City of Newton, Massachusetts
 Department of Planning and Development
 1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
 (617) 796-1120
 Telefax
 (617) 796-1142
 TDD/TTY
 (617) 796-1089
 www.newtonma.gov

Barney S. Heath
 Director

Ruthanne Fuller
 Mayor

RECORD OF ACTION

DATE: **October 2, 2019**

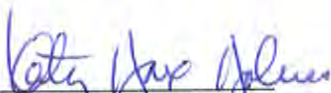
SUBJECT: **499 Winchester Street**

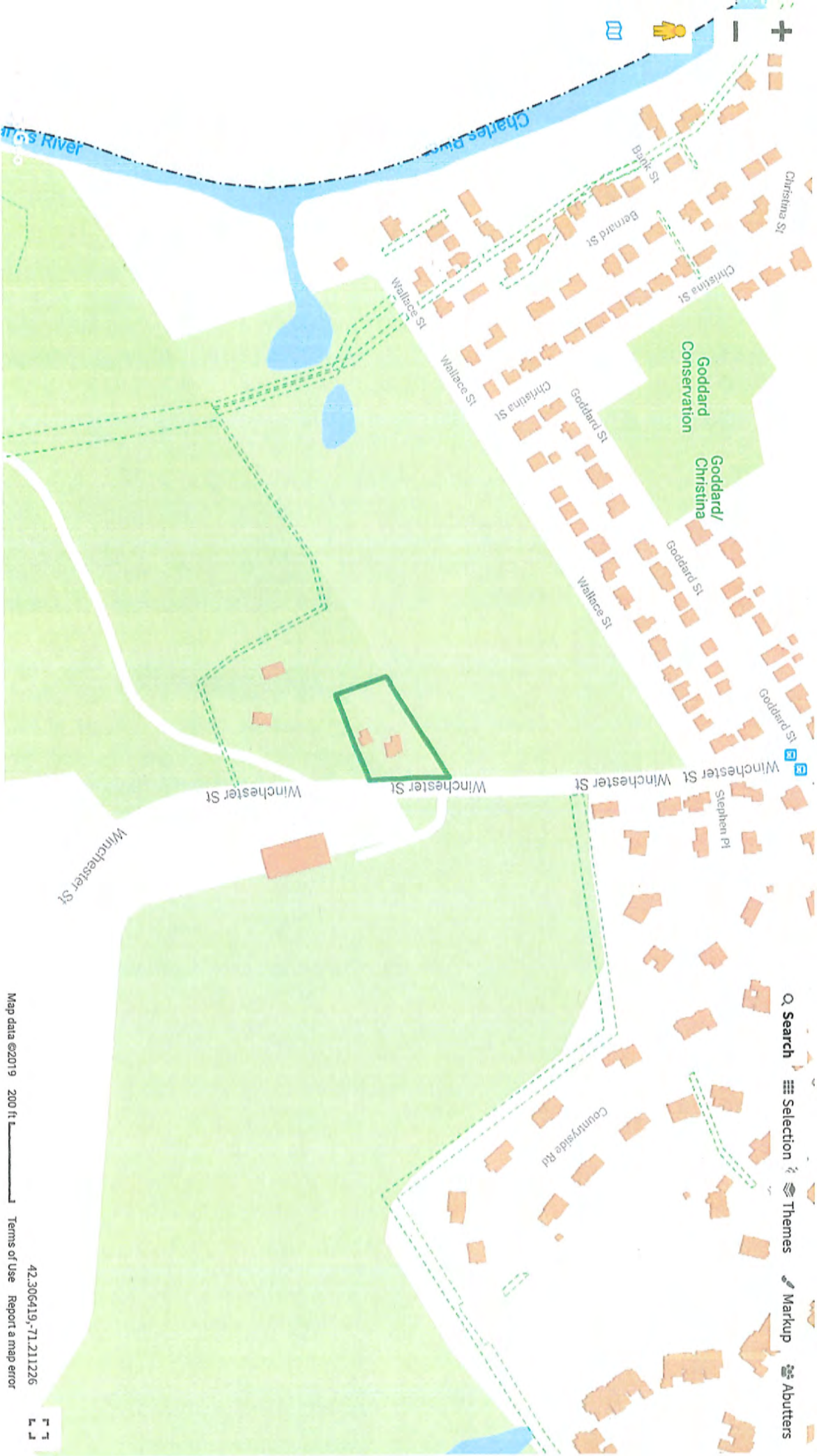
At a scheduled meeting and public hearing on September 26, 2019, the Newton Historical Commission, by a vote of 4-0:

RESOLVED to preferably preserve the buildings at 499 Winchester Street.

<u>Voting in the Affirmative:</u>	<u>Voting in the Negative:</u>	<u>Recused:</u>
Nancy Grissom, Chairman		
Peter Dimond, Member		
Doug Cornelius, Member		
Ellen Klapper, Alternate		

<u>Title Reference:</u>	<u>Owner of Property:</u>	<u>499 Winchester Street LLC</u>
	<u>Deed recorded at:</u>	<u>Middlesex (South) Registry of Deeds</u>
	Book <u>2904</u> , Page <u>85</u>	
	Date <u>7/10/2019</u>	


 Katy Hax Holmes, Staff

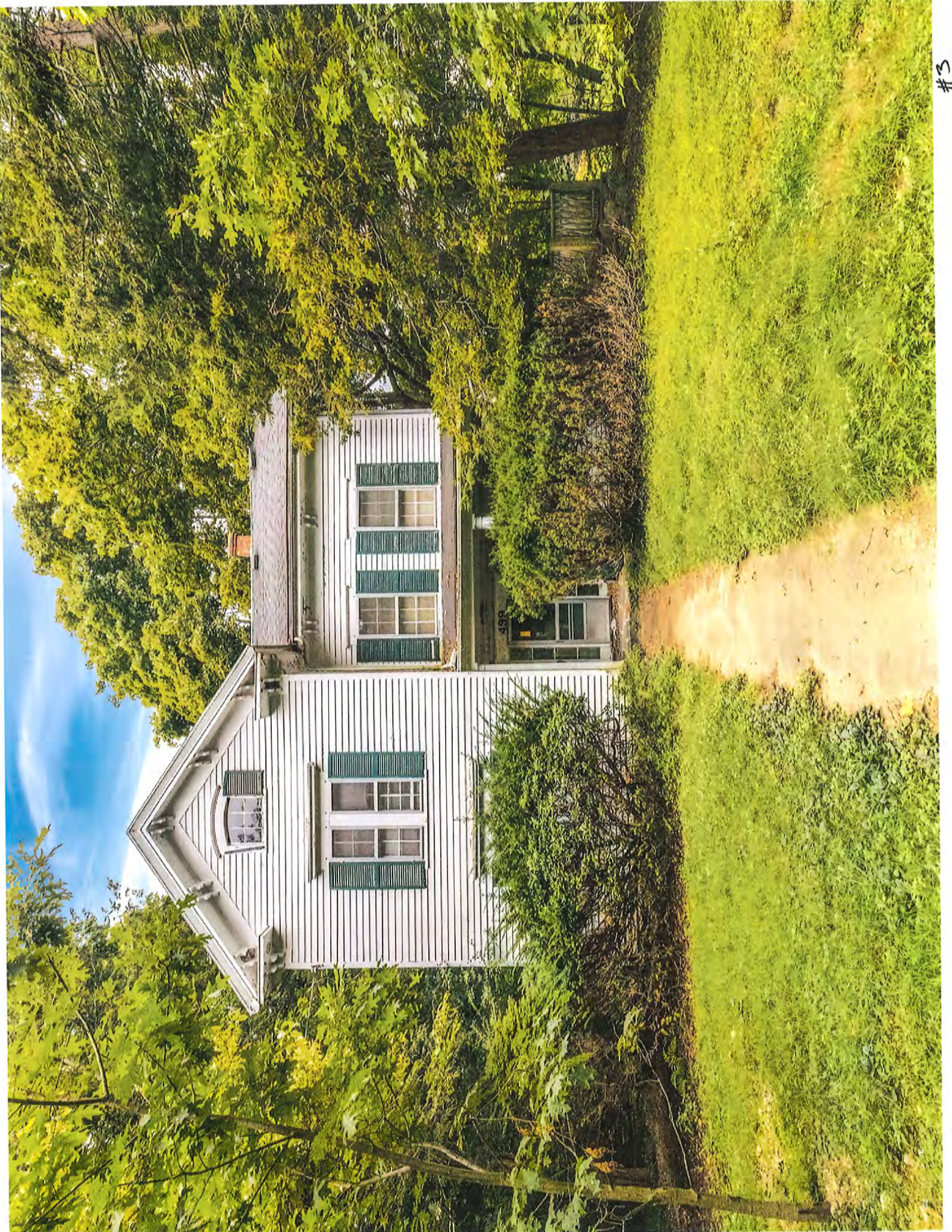


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#14



#5



#6



#7

