



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
Telefax
(617) 796-1086
www.newtonma.gov

Barney S. Heath
Director

**APPLICATION FOR LOCAL HISTORIC DISTRICT CERTIFICATE OF
APPROPRIATENESS, NON-APPLICABILITY, OR HARDSHIP**

DATE RECEIVED: _____

PROJECT #: _____

PROJECT ADDRESS: _____

PROJECT INFORMATION

IS THE PROPERTY AND/OR STRUCTURE DESIGNATED (check all that apply):

- LOCAL HISTORIC DISTRICT LOCAL LANDMARK NATIONAL REGISTER SITE

(Depending on how a property is designated, different Newton City Ordinances may apply.)

NAME OF LOCAL HISTORIC DISTRICT: _____

TYPE OF STRUCTURE(S) AFFECTED (Check all that apply):

- HOUSE FENCE GARAGE NON-RESIDENTIAL BUILDING SHED
 SIGN WALL OTHER

IF OTHER, PLEASE DESCRIBE: _____

WHAT YEAR WAS THE STRUCTURE BUILT (IF KNOWN): _____

TYPE OF PROPOSED WORK (Check all that apply):

- ADDITION ALTERATION DEMOLITION NEW CONSTRUCTION REPAIR
 REPLACEMENT OTHER

IF OTHER, PLEASE DESCRIBE: _____

DESCRIBE SCOPE OF WORK:

BRIEFLY DESCRIBE THE HISTORY OF THE PROPERTY (IF KNOWN):

THIS APPLICATION FORM MUST BE ACCOMPANIED BY A GENERAL PERMIT APPLICATION FORM AND BY THE REQUIRED SUBMISSION MATERIALS IDENTIFIED ON THE LOCAL HISTORIC DISTRICT APPLICATION REQUIREMENTS SHEET. INCOMPLETE OR INACCURATE APPLICATIONS WILL NOT BE ACCEPTED.

THE COVER PAGE AND THE INSTRUCTIONS ON THE BACK OF THE APPLICATION FORMS HAVE ADDITIONAL INFORMATION ABOUT THE APPLICATION INTAKE AND REVIEW PROCESS, AND THE HARD COPY REQUIREMENTS.



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
Telefax
(617) 796-1086
www.newtonma.gov

Barney Heath
Director

GENERAL PERMIT APPLICATION

PROJECT #: _____ ZONING DISTRICT: _____ DATE RECEIVED: _____

PROJECT DESCRIPTION:

PROPERTY LOCATION INFORMATION

STREET ADDRESS: _____ CITY/ZIP: _____

LEGAL DESCRIPTION (SECTION, BLOCK, LOT): _____

PROPERTY OWNER INFORMATION

NAME: _____ PHONE: _____ ALT. PHONE: _____

MAILING ADDRESS: _____ E-MAIL ADDRESS: _____

PROPERTY OWNER CONSENT

I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows:

- 1. This application for a land use permit or administrative approval for development on my (our) property is made with my permission.
- 2. I (we) grant permission for officials and employees of the City of Newton to access my property for the purposes of this application.

X Mario Sinani _____ (Date)

X _____ (Date)

NOTICE: The City of Newton staff may need access to the subject property during regular business hours and will attempt to contact the applicant/agent prior to any visit. Further, members of a regulatory authority of the city may visit the property as well.

APPLICANT / AGENT INFORMATION

NAME: _____ PHONE: _____ ALT. PHONE: _____

MAILING ADDRESS: _____ E-MAIL ADDRESS: _____

X _____ (Date)

NOTICE: The applicant/agent is the primary contact and may be any individual representing the establishment or property owner. The applicant/agent must also be legally authorized to make decisions on behalf of the Property Owner(s) in regards to the application.

OFFICE USE ONLY BELOW THIS LINE

CHECK APPROPRIATE PERMIT OR REVIEW PROCESS (CHECK ALL BEING SUBMITTED)

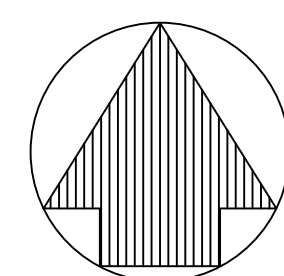
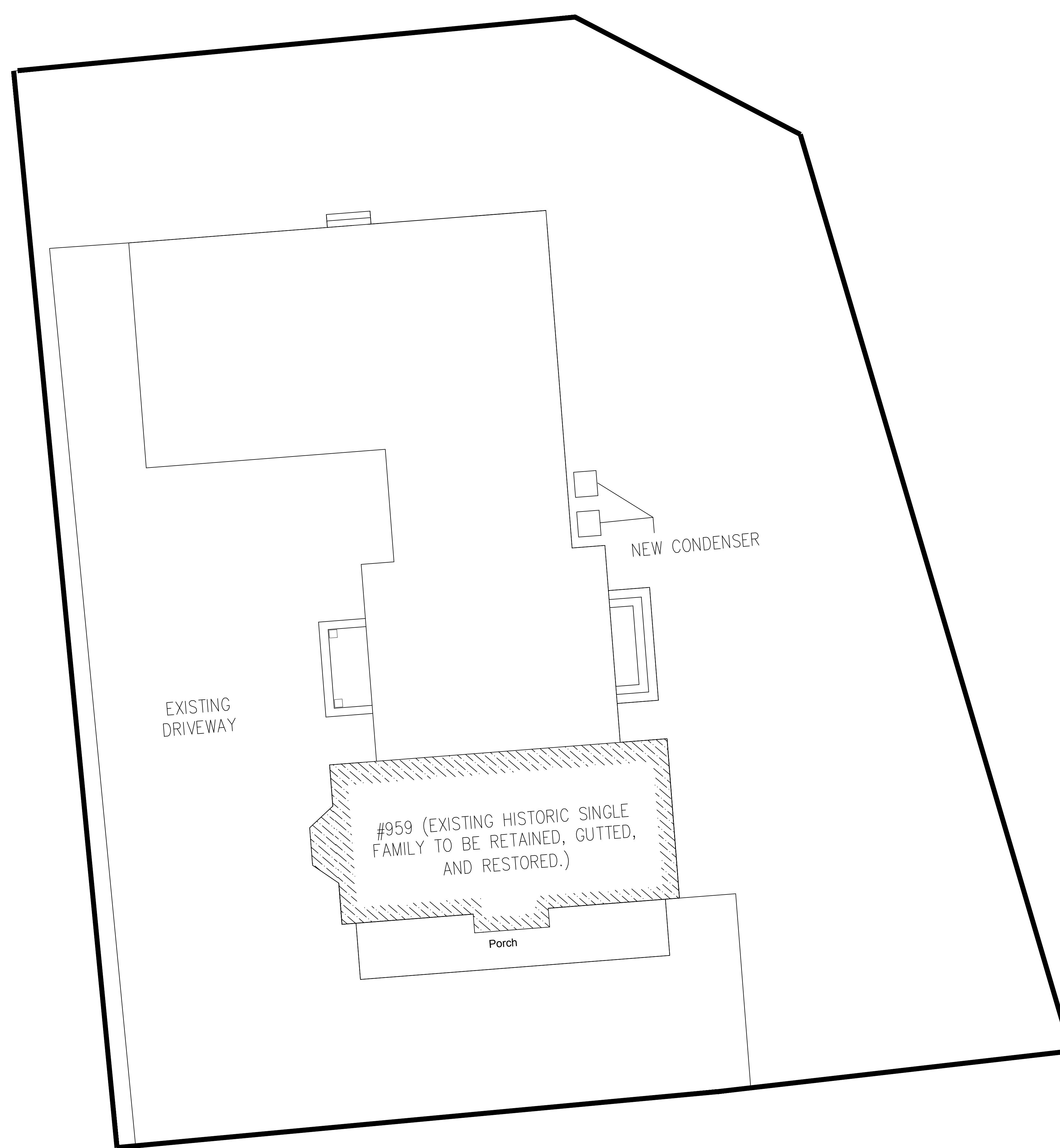
<input type="checkbox"/>	Zoning Review Application	<input type="checkbox"/>	Comprehensive Permit
<input type="checkbox"/>	Administrative Site Plan Review	<input type="checkbox"/>	Variance Application
<input type="checkbox"/>	Sign Permit	<input type="checkbox"/>	Historic Preservation Review
<input type="checkbox"/>	Special Permit/Site Plan Approval	<input type="checkbox"/>	Conservation Commission Review
<input type="checkbox"/>	Fence Appeal	<input type="checkbox"/>	Other, describe _____

Comments: _____

PERMIT INTAKE INITIALS
AND DATE STAMP

NOTE: This form MUST accompany all other Department of Planning and Development applications.

To Be Completed By Applicant



SITE PLAN

NOT TO SCALE

PROPERTY INFORMATION

MAP: 51

BLOCK: 02

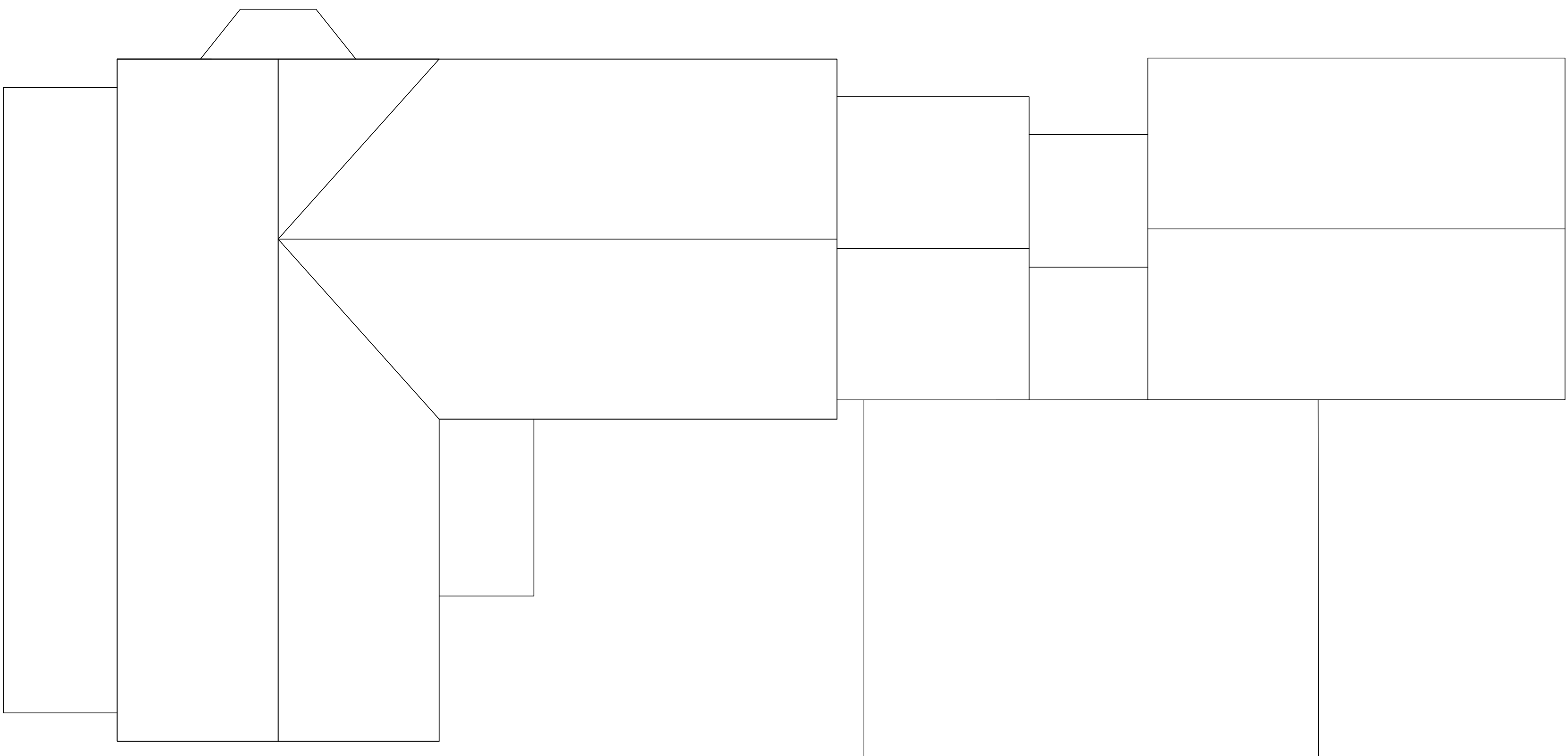
LOT: 10

LOT SIZE: 10,314 SF

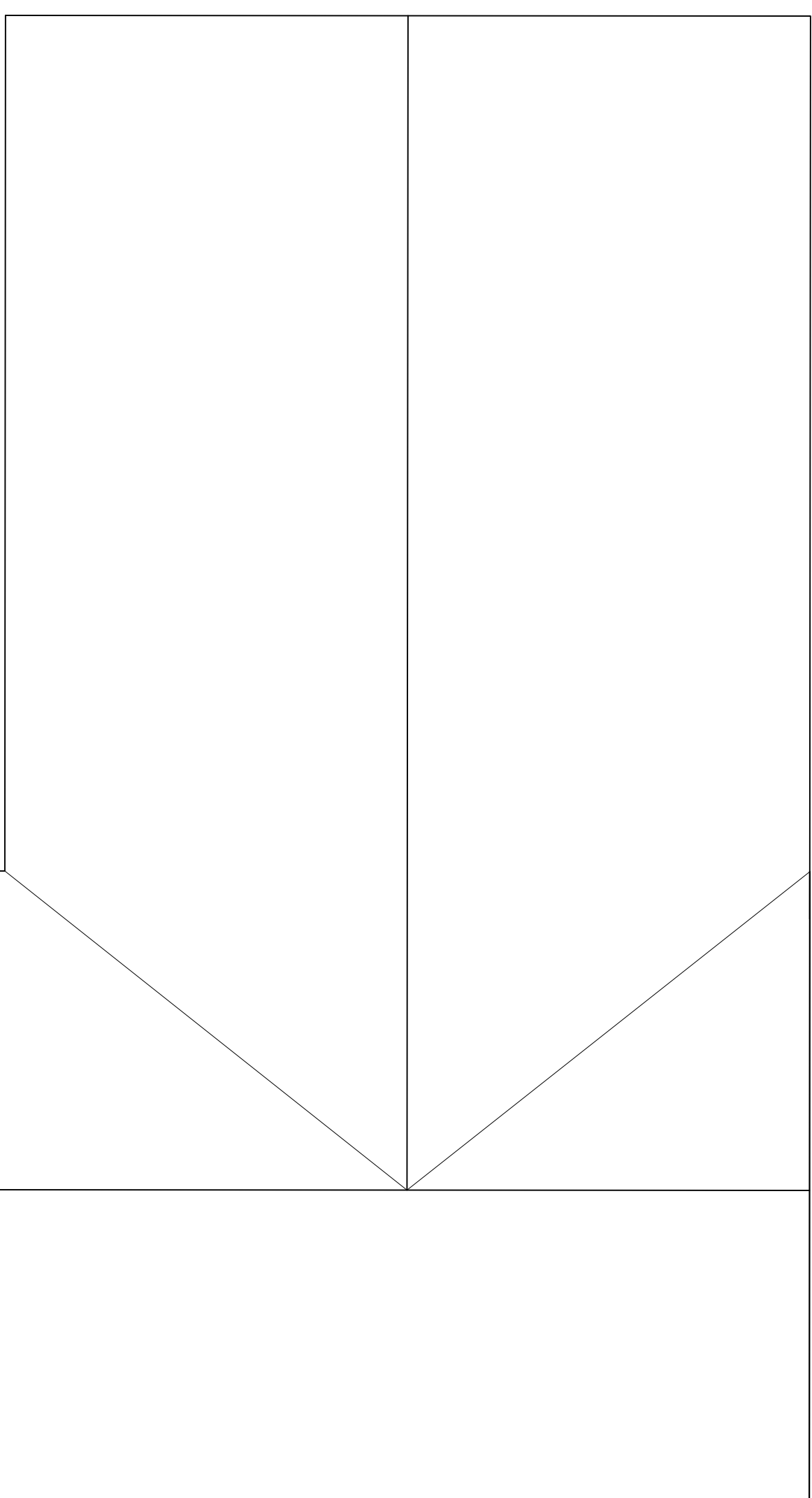
ADDRESS: 959 CHESTNUT ST NEWTON, MA

OWNERS: MARIO & MINEVERE SINANI

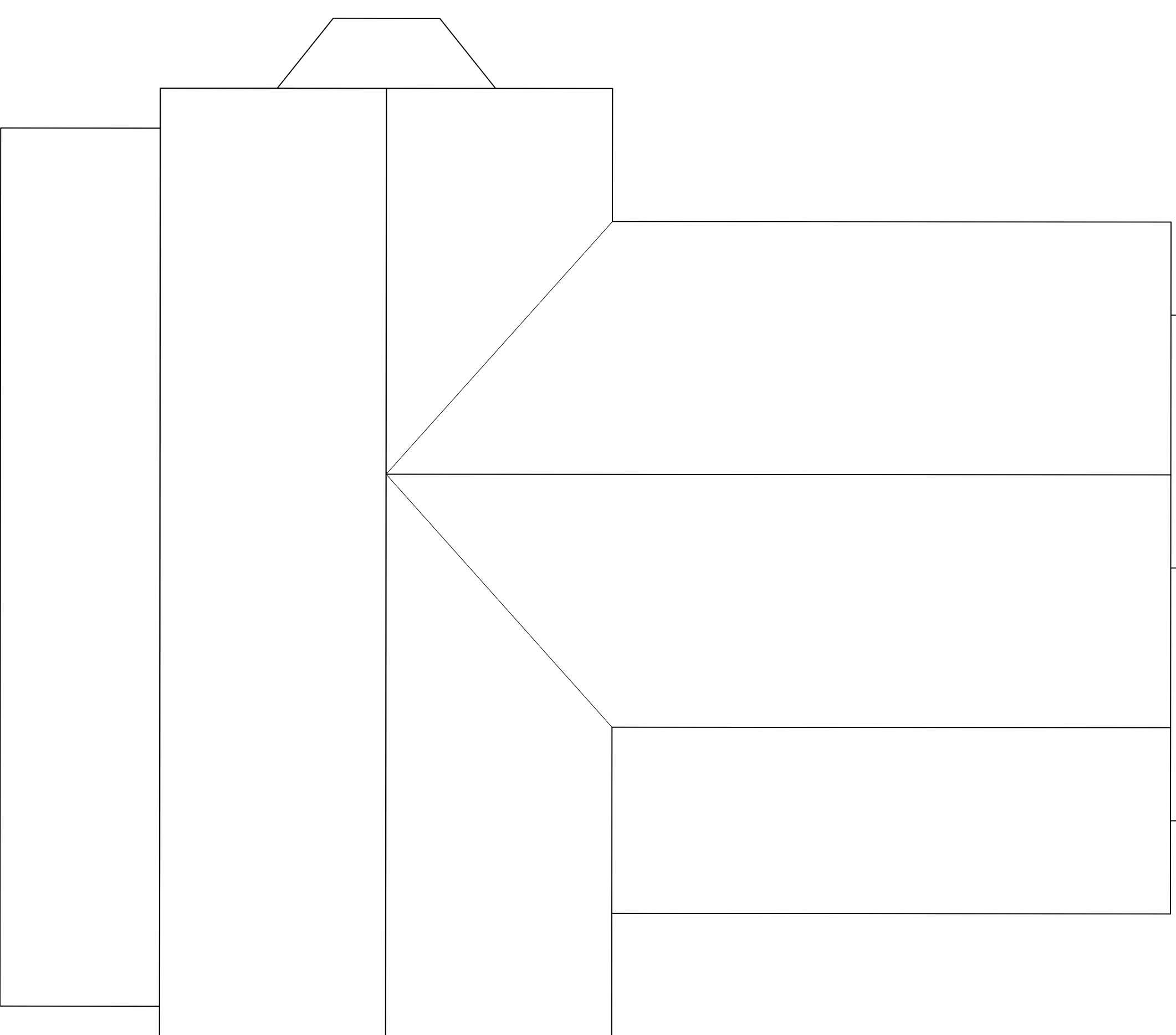
NOTES:



ROOF PLAN (OLD)
SCALE 1/4" = 1'-0"



ROOF PLAN (NEW)
SCALE 1/4" = 1'-0"



REV	DESCRIPTION	BY	DATE

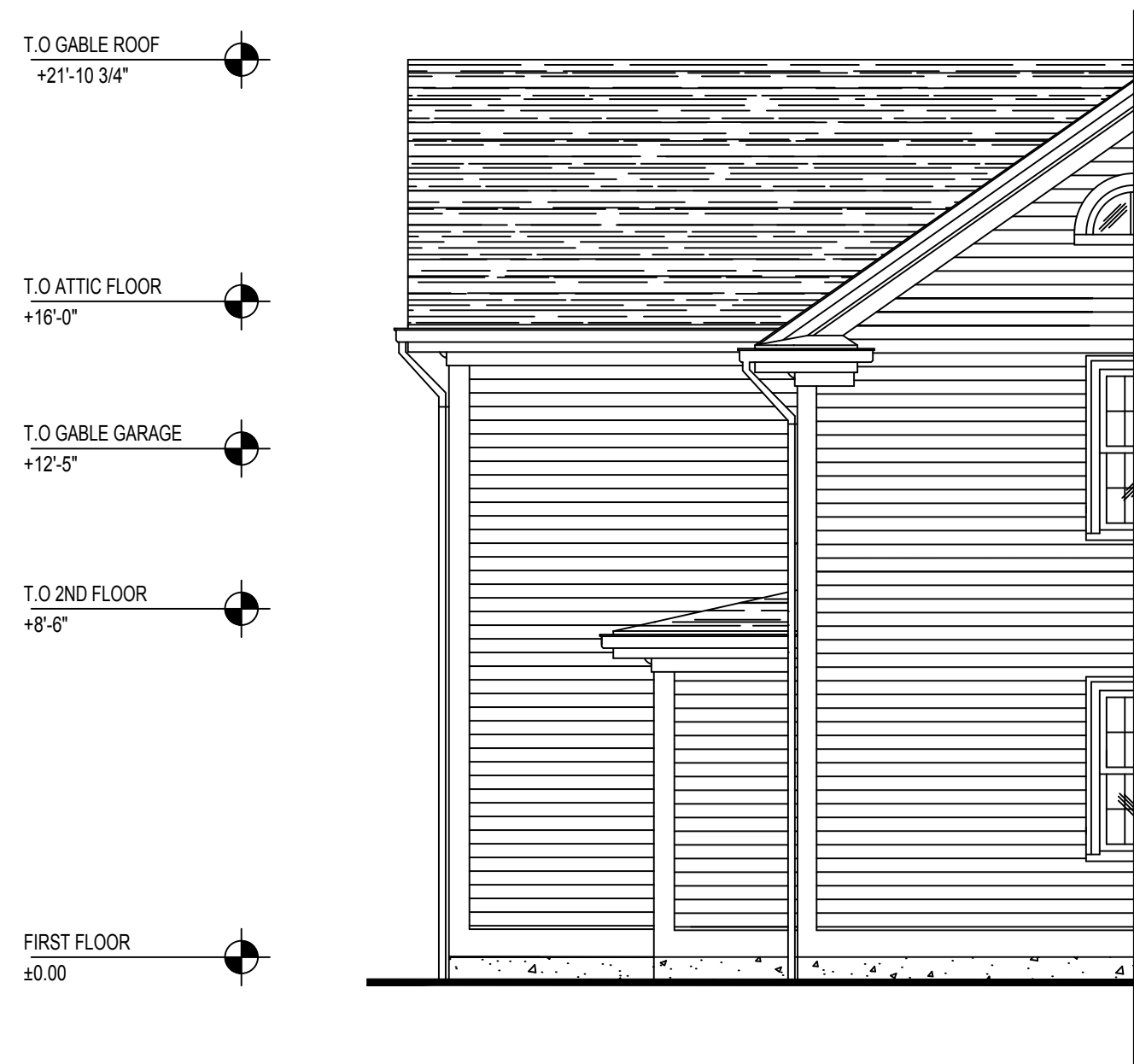
CHECKED:	DATE:	DRAWN:	CHECKED:
SA	10/16/19	GS	SA
REVISION:	DRAWING NO:		REVISION:
C	101	A-5	C

CLIENT:	Mario Sinani 959 Chestnut St Newton, MA 02464
SUPERVISOR:	
ARCHITECT:	
ENGINEER:	

SITE:	959 Chestnut St Newton, MA 02464
TITLE:	ROOFING PLAN



FRONT VIEW ELEVATION PLAN
SCALE: 1/4" = 1'-0"



REAR VIEW ELEVATION PLAN
SCALE: 1/4" = 1'-0"

NOTES:

1. WINDOWS: Pella 450 Series, EXTERIOR black 6x6 GRID (TYP)
2. DOORS: Jeld Wen, Black fiberglass with sidelights @ FRONT ENTRANCE AND DRIVEWAY SIDE ENTRANCE. Model # THDJW166100125 (TYP)
3. SIDING: James Hardy, Fiber Cement Hardieplank Lap Siding Smooth (TYP)
4. ROOFING: GAF Marquis WeatherMax Charcoal 3-Tab Shingles (TYP)
5. COLUMNS: Versawrap Columns (TYP)
6. STEPS: PT. WOOD FRAMING STEPS WITH COMPOSITE DECKING (Trex Enhance Naturals) & PVC RISERS (VERSATEX) (TYP).
7. TRIM: Versatex, PVC
8. GUTTERS: Fiber Gutter, Fiberglass Model # FG60
9. GARAGE DOOR: Overhead door, PARSON COLLECTION PREMIUM CONSTRUCTION SQUARED TOPS BRISTOL WIDE 580BW
10. LIGHT FIXTURES: Exterior Door Light Fixtures (typ).
11. LIGHT FIXTURES: Garage Light Fixtures (typ).

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			

CLIENT:
Mario Sinani
959 Chestnut St
Newton, MA 02464

SURVEYOR:

ARCHITECT:

ENGINEER:

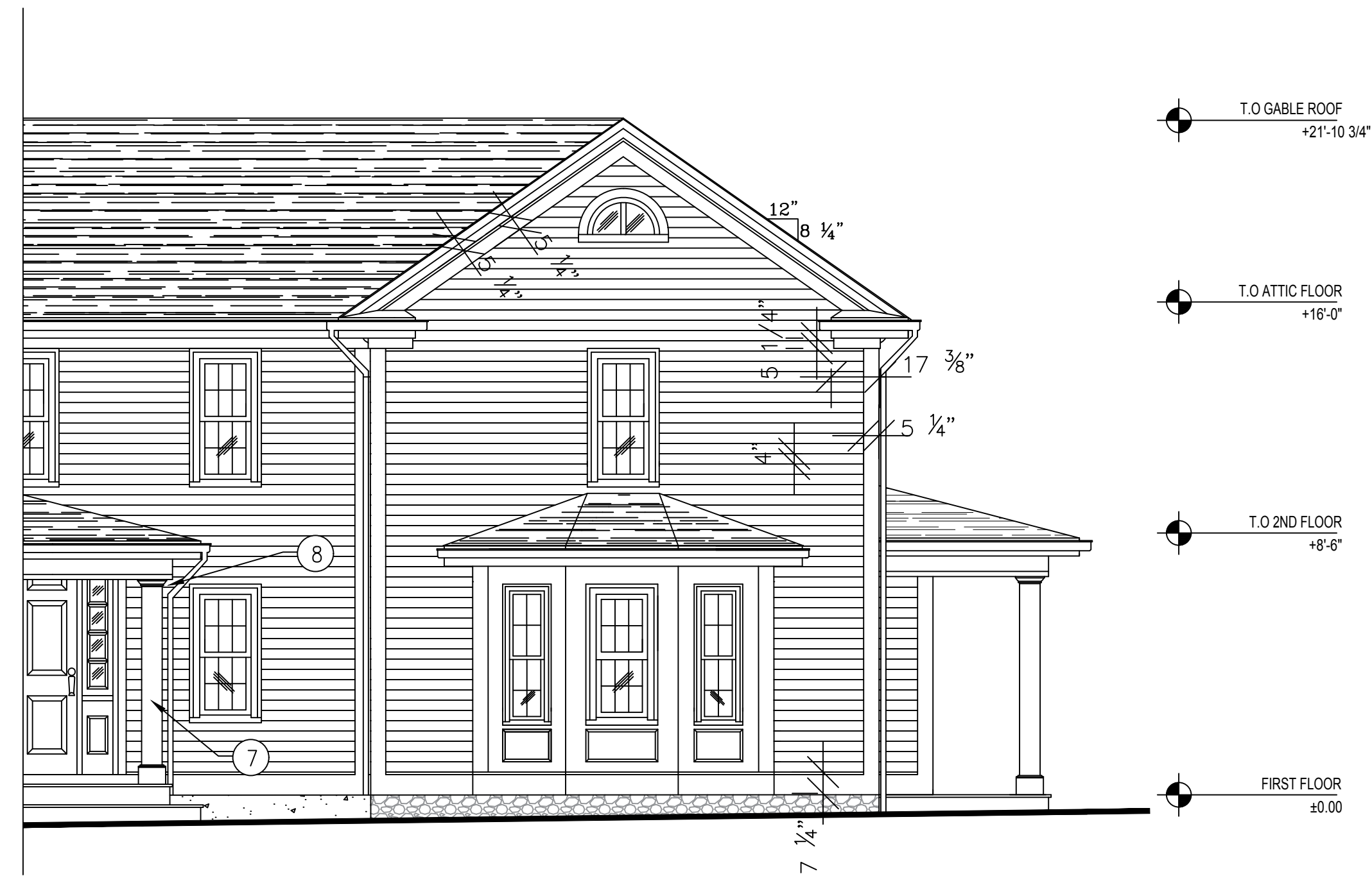
SITE:
959 Chestnut St
Newton, MA 02464

TITLE: FRONT & REAR ELEVATION

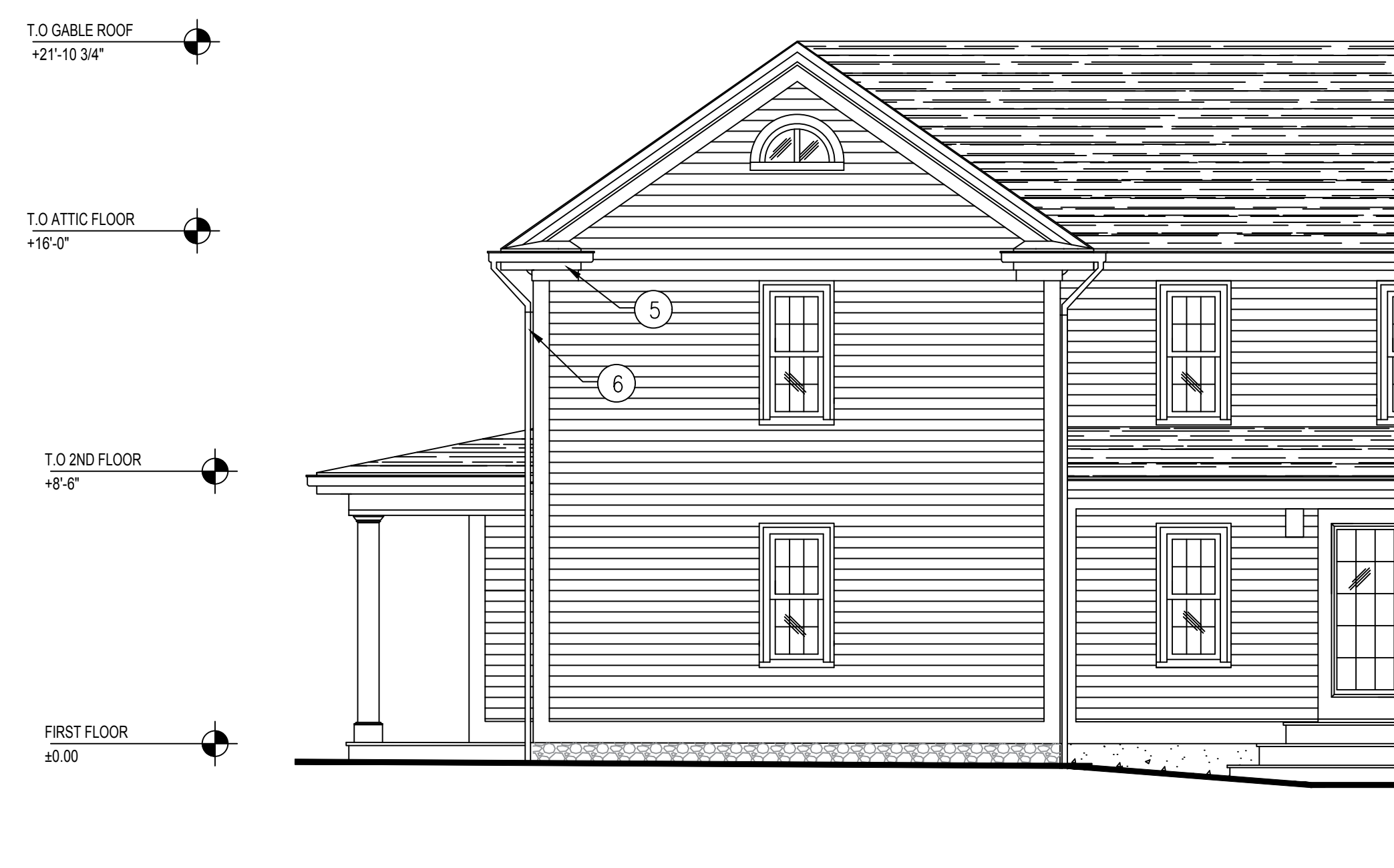
SCALE: 1/4" = 1'-0"	DATE: 10/16/19	DRAWN: GS	CHECKED: SA
PROJECT NO: 101	DRAWING NO: A-3	REVISION:	C

NOTES:

1. Patio Doors: ANDERSON 400 SERIES FRENCHWOOD HINGED WOOD.
2. WINDOWS: Pella 450 Series, EXTERIOR black 6x6 GRID (TYP)
3. DOORS: Jeld Wen, Black fiberglass with sidelights @ FRONT ENTRANCE AND DRIVEWAY SIDE ENTRANCE. Model # THDJW166100125 (TYP)
4. STEPS: PT. WOOD FRAMING STEPS WITH COMPOSITE DECKING (Trex Enhance Naturals) & PVC RISERS (VERSATEX) (TYP).
5. TRIM: Versatex, PVC
6. GUTTERS: Fiber Gutter, Fiberglass Model # FG60
7. COLUMNS: Versawrap Columns (TYP)
8. EXTERIOR LIGHT FIXTURES: Hidden behind the columns.
9. Depth of Eave: 7 1/4" Nominal dimension (typ).
10. Soffit : Bed molding (typ).



LEFT VIEW ELEVATION PLAN
SCALE: 1/4" = 1'-0"



RIGHT VIEW ELEVATION PLAN
SCALE: 1/4" = 1'-0"

REV.	DESCRIPTION:	BY:	DATE:

CLIENT:
Mario Sinani
959 Chestnut St
Newton, MA 02464

SURVEYOR:

ARCHITECT:

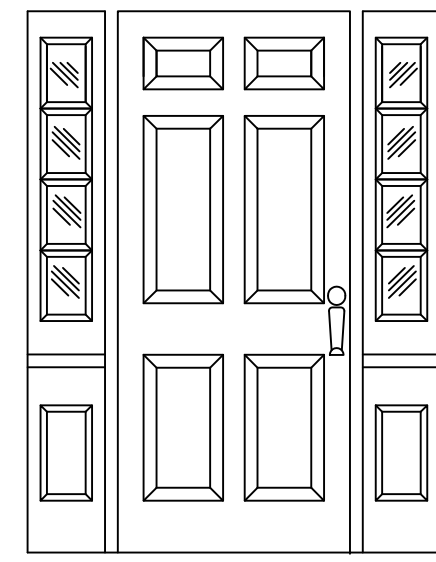
ENGINEER:

SITE:
959 Chestnut St
Newton, MA 02464

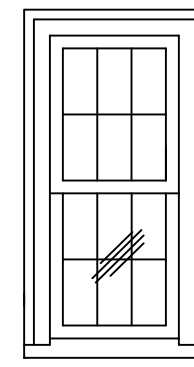
TITLE:
LEFT & RIGHT ELEVATION

SCALE: 1/4" = 1'-0"	DATE: 10/16/19	DRAWN: GS	CHECKED: SA
PROJECT NO: 101	DRAWING NO: A-4	REVISION:	C

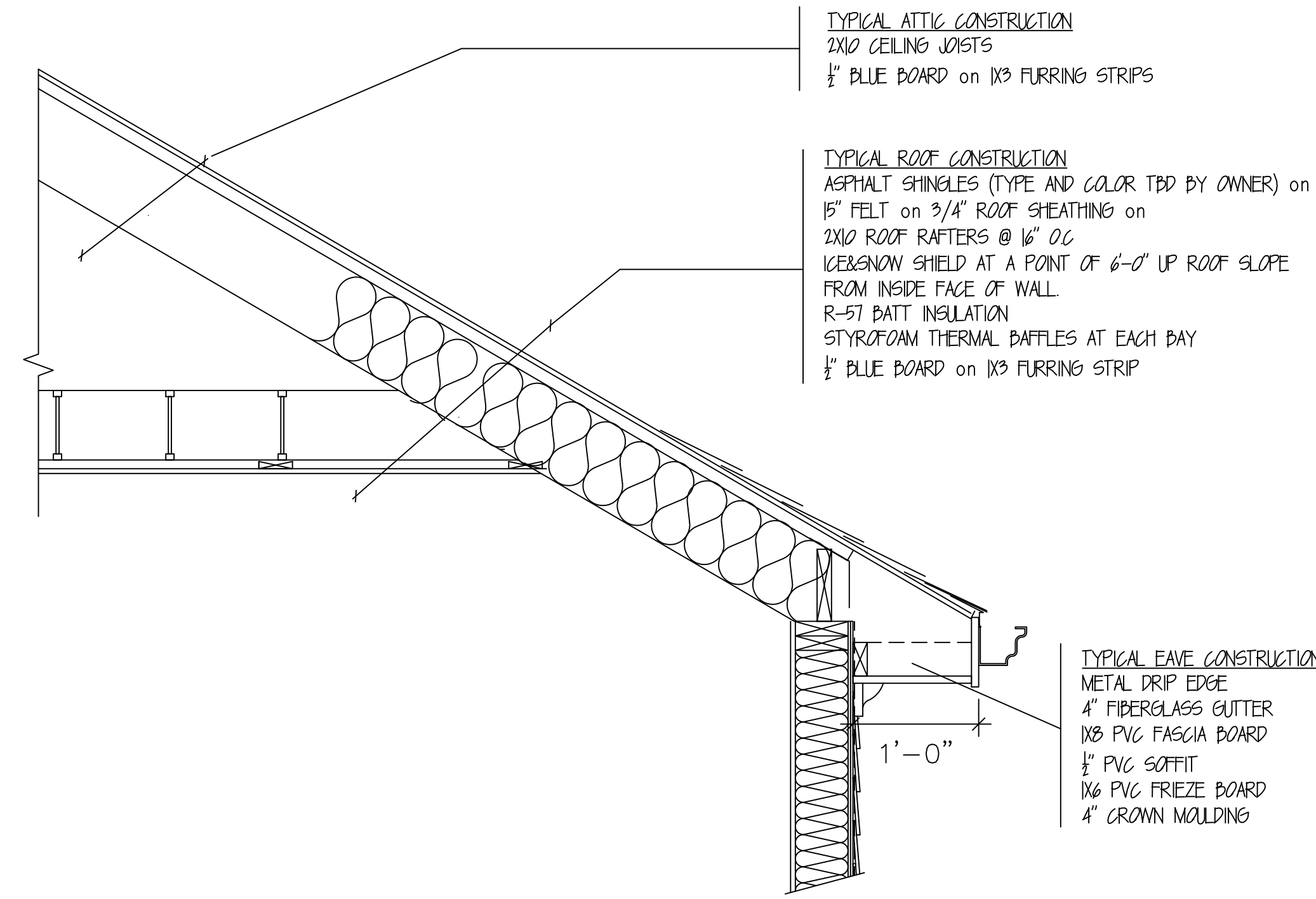
NOTES:



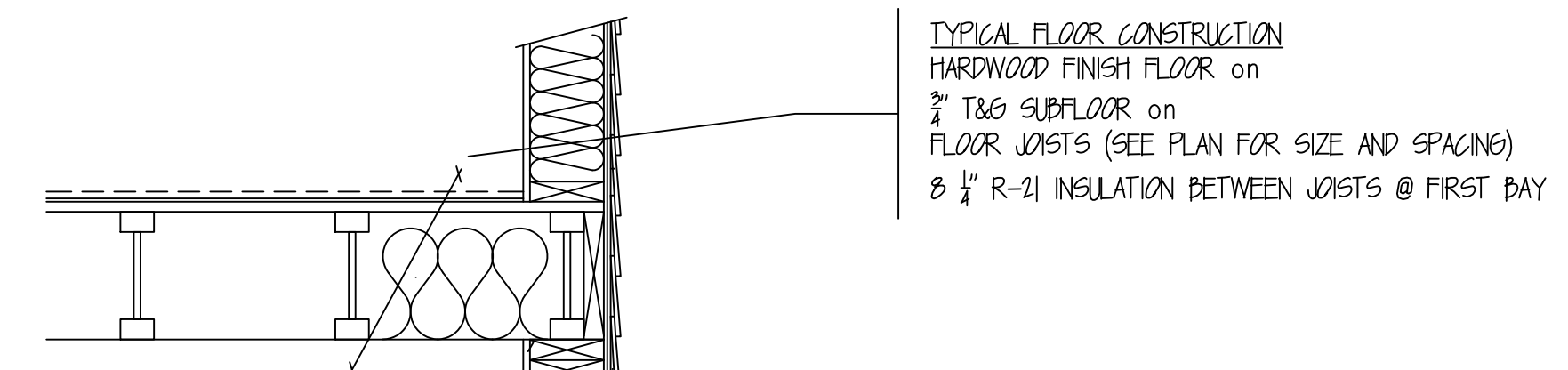
TYPICAL EXTERIOR DOOR DETAIL
 JELD-WEN
 6 PANEL FIBERGLASS DOOR
 JELD-WEN SIDELIGHTS 4 LIGHT
 5/8x6 FLAT PVC TRIM WITH BACKBAND 1 3/8"



TYPICAL WINDOW DETAIL
 PELLA LIFESTYLE SERIES (450)
 DOUBLE HUNG ALUMINUM CLAD
 6x6 S.D.'S WITH DARK SPACER BLACK EXTERIOR
 5/8x4 FLAT PVC TRIM WITH BACKBAND 1 3/8"



TYPICAL EAVE CONSTRUCTION
 METAL DRIP EDGE
 4" FIBERGLASS GUTTER
 1x8 PVC FASCIA BOARD
 1/2" PVC SOFFIT
 1x6 PVC FRIEZE BOARD
 4" CROWN MULDING



TYPICAL EXTERIOR WALL CONSTRUCTION
 FIBER CEMENT SIDING HARDYPLANK SMOOTH COLOR PER OWNER
 1/2" ZIP OEB WALL SHEATHING on
 2x6 WOOD STUDS @ 16" OC
 5 1/2" MIN. R-21 OPEN CELL SPRAY FOAM INSULATION
 1/2" BLUE BOARD PLASTER & PAINTED

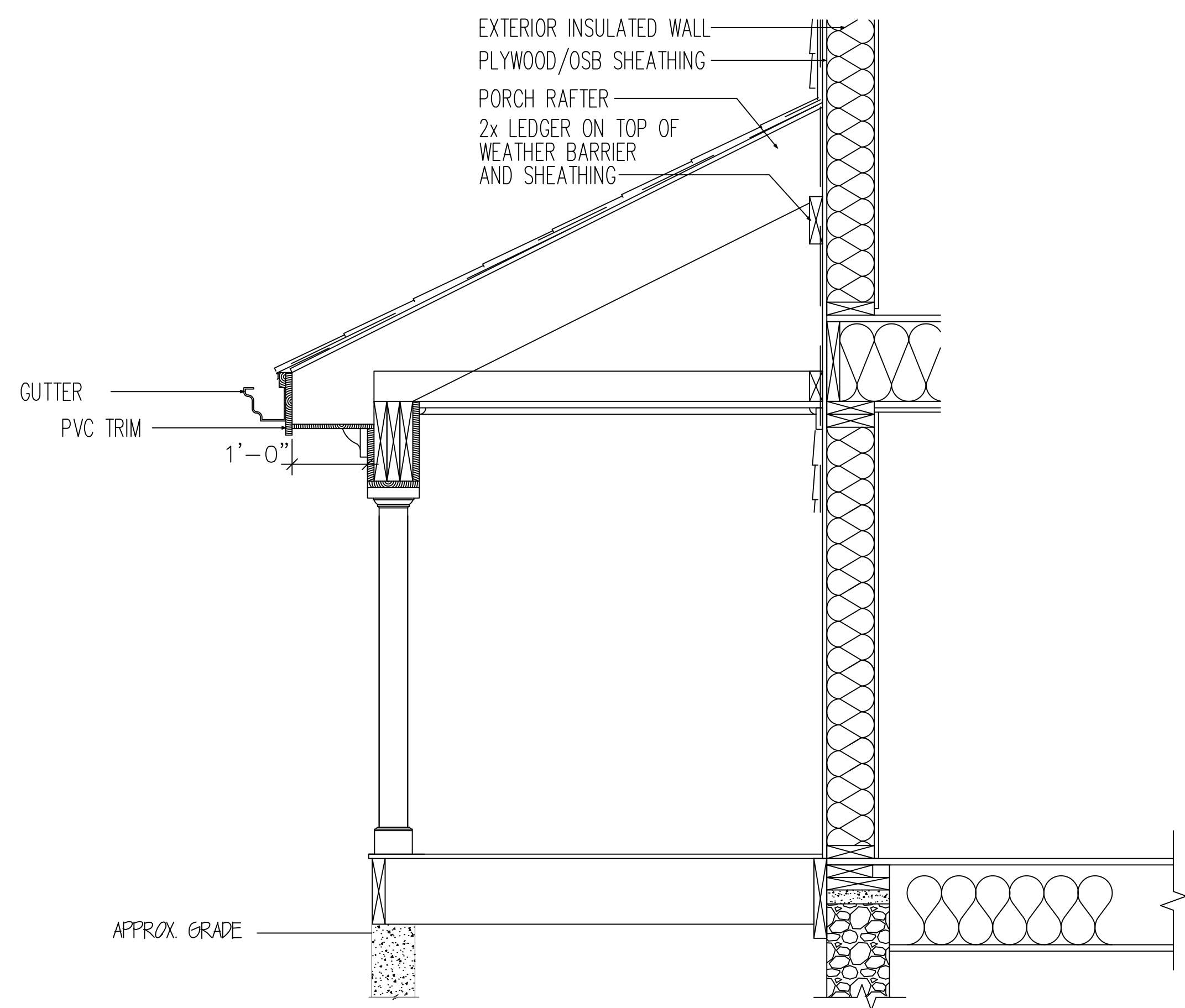
TYPICAL FLOOR CONSTRUCTION
 HARDWOOD FINISH FLOOR on
 3/4" T&G SUBFLOOR on
 FLOOR JOISTS (SEE PLAN FOR SIZE AND SPACING)
 8 1/2" R-30 INSULATION BETWEEN JOISTS AND w/ AIR SPACE ABOVE

TYPICAL TRIM
 5/8x8" SKIRT BOARD
 5/8x6" CORNER BOARD

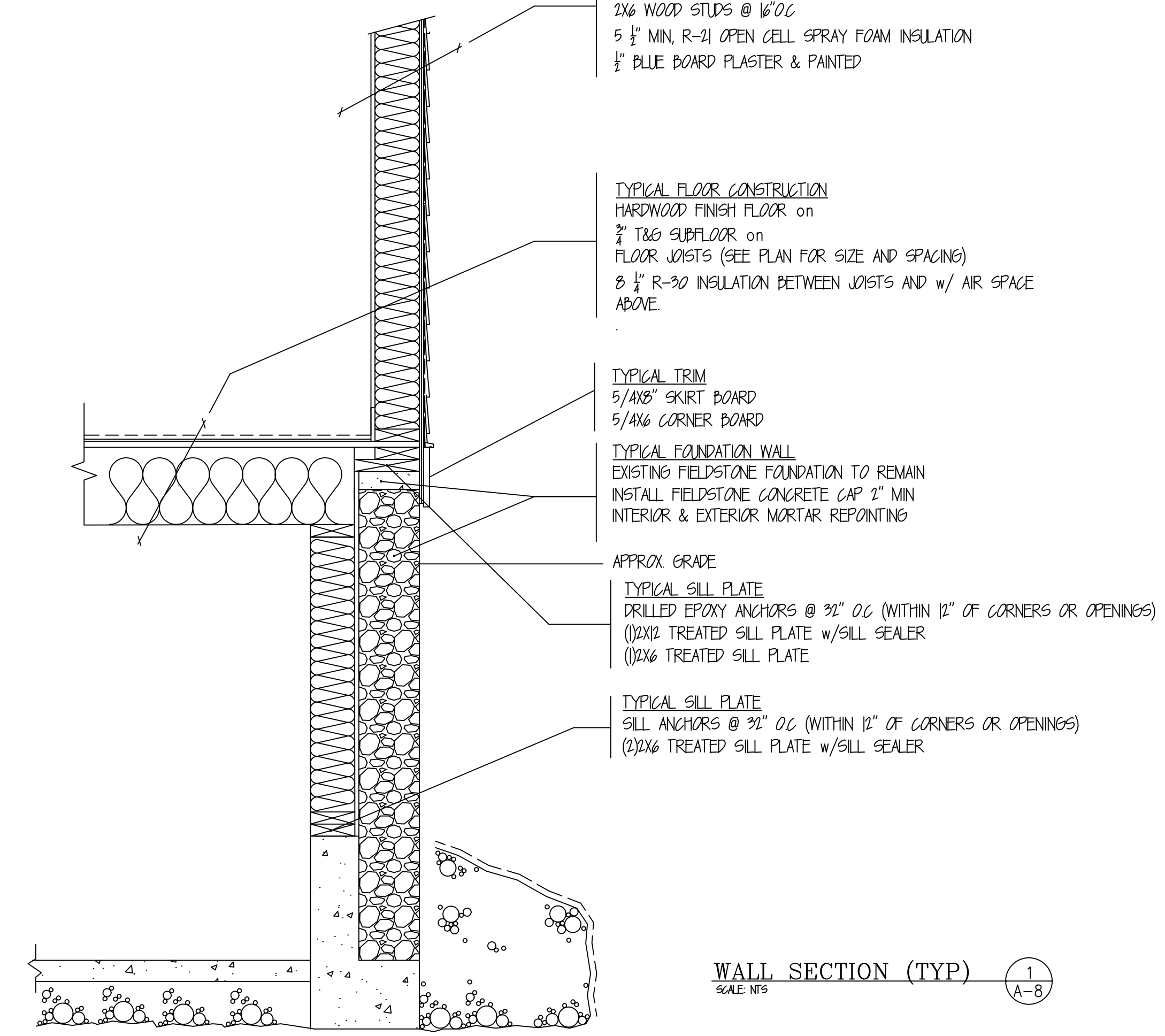
TYPICAL FOUNDATION WALL
 EXISTING FIELDSTONE FOUNDATION TO REMAIN
 INSTALL FIELDSTONE CONCRETE CAP 2" MIN
 INTERIOR & EXTERIOR MORTAR REPOINTING

TYPICAL SILL PLATE
 DRILLED EPOXY ANCHORS @ 32" OC (WITHIN 12" OF CORNERS OR OPENINGS)
 (1)2x12 TREATED SILL PLATE w/SILL SEALER
 (1)2x6 TREATED SILL PLATE

TYPICAL SILL PLATE
 SILL ANCHORS @ 32" OC (WITHIN 12" OF CORNERS OR OPENINGS)
 (2)2x6 TREATED SILL PLATE w/SILL SEALER



PORCH ROOFING CONSTRUCTION 2
 SCALE: NTS A-8



WALL SECTION (TYP) 1
 SCALE: NTS A-8

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
CLIENT: Mario Sinani 959 Chestnut St Newton, MA 02464			
SURVEYOR:			
ARCHITECT:			
ENGINEER:			
SITE: 959 Chestnut St Newton, MA 02464			
TITLE: Elevations			
SCALE: NTS	DATE: 12/10/19	DRAWN: GS	CHECKED: SA
PROJECT NO: 101	DRAWING NO: SK-1	REVISION: C	

Final revised drawings

Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts

Date: *10-23-2019*
Signature: *[Signature]*

*Project # 19070013
Design concept
approved by Commission
9-12-2019 and
drawings w/ required
changes approved by
Commission 10-15-2019.*

959 Chestnut St Gut Renovation & Addition

Historic Committee Approval Process

10/16/2019

Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts

Date

10-23-2019

Signature



Exterior Material Approval Request List

- Windows
- Molding Profile
- Trim Profile
- Sill Profile
- Doors
- Siding Material
- Porch Columns Profile
- Decking Material
- Eave Construction
- Gable Construction
- Garage Doors
- Gutters Profile
- Roofing Material
- Exterior Light Fixtures

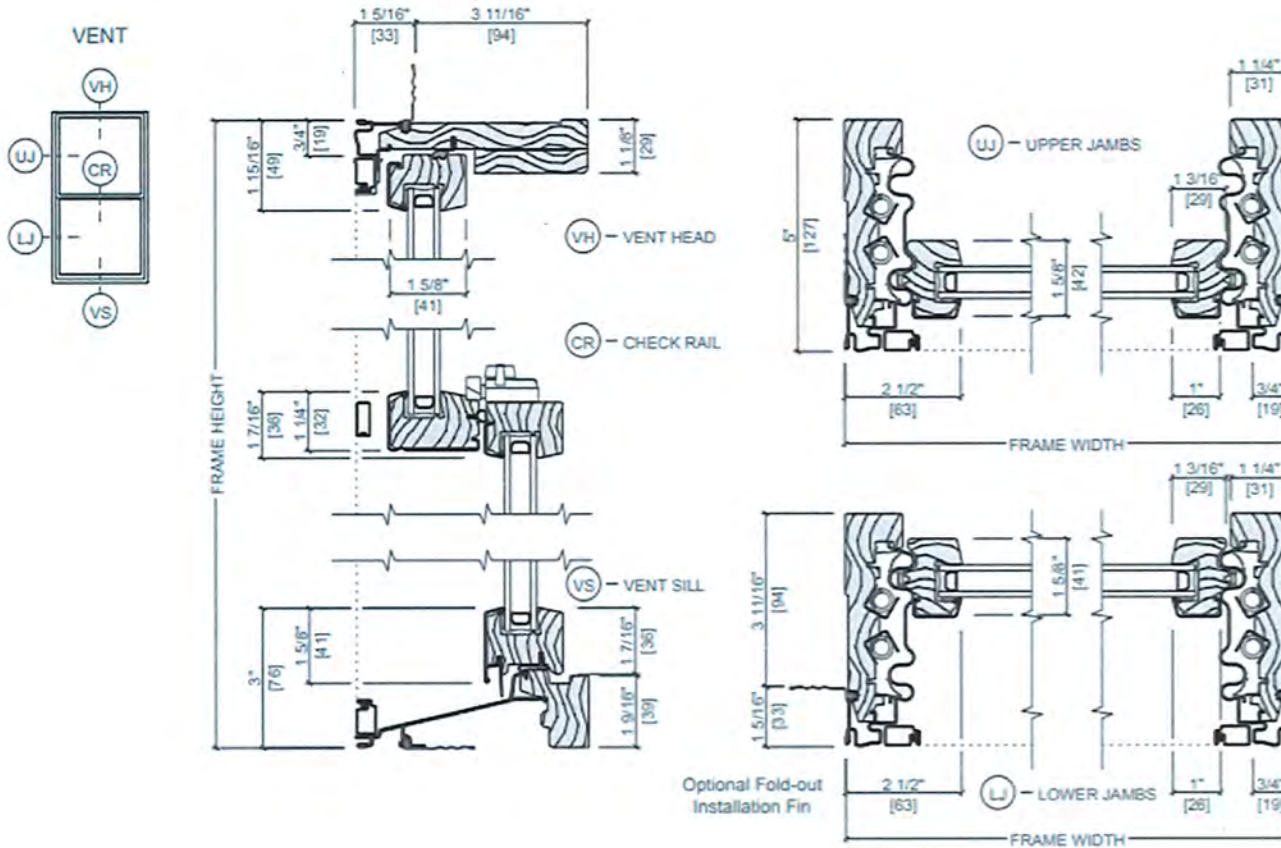
Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts

Date

10-23-2019

Signature

Windows Cont.



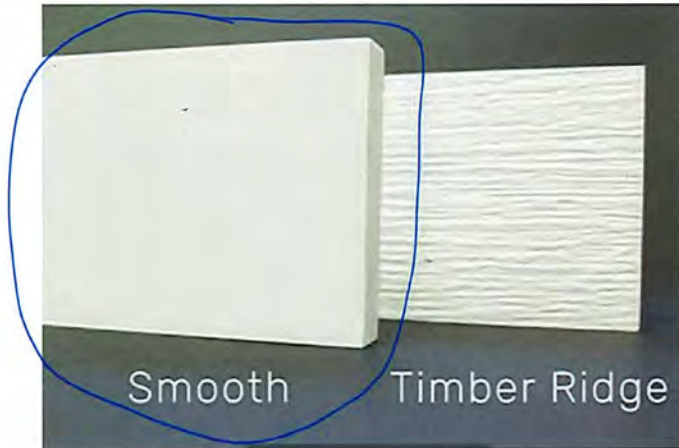
Molding/Trim

Approved
 Historic District/Historical Commission
 Department of Planning and Development
 City of Newton, Massachusetts

Date

10-23-2019

Signature

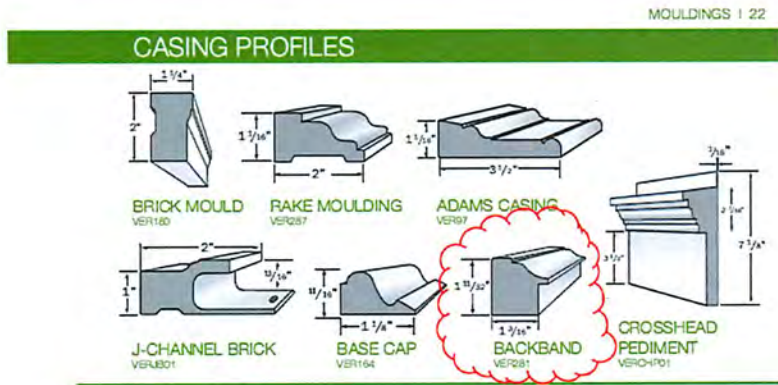


Width	Nominal	2'	3'	4'	5'	6'	8'	10'	12'	16'
	Actual	1 1/2"	2 1/2"	3 1/2"	4 1/2"	5 1/2"	7 1/4"	9 1/4"	11 1/4"	15 1/4"
Thickness										
5/8" (5/8" Actual)				•		•	•	•	•	•
1" (3/4" Actual)	•	•	•	•	•	•	•	•	•	•
5/4" (1" Actual)			•	•	•	•	•	•	•	•
6/4" (1 1/4" Actual)			•		•	•	•	•	•	
8/4" (1 1/2" Actual)			•		•	•	•	•	•	

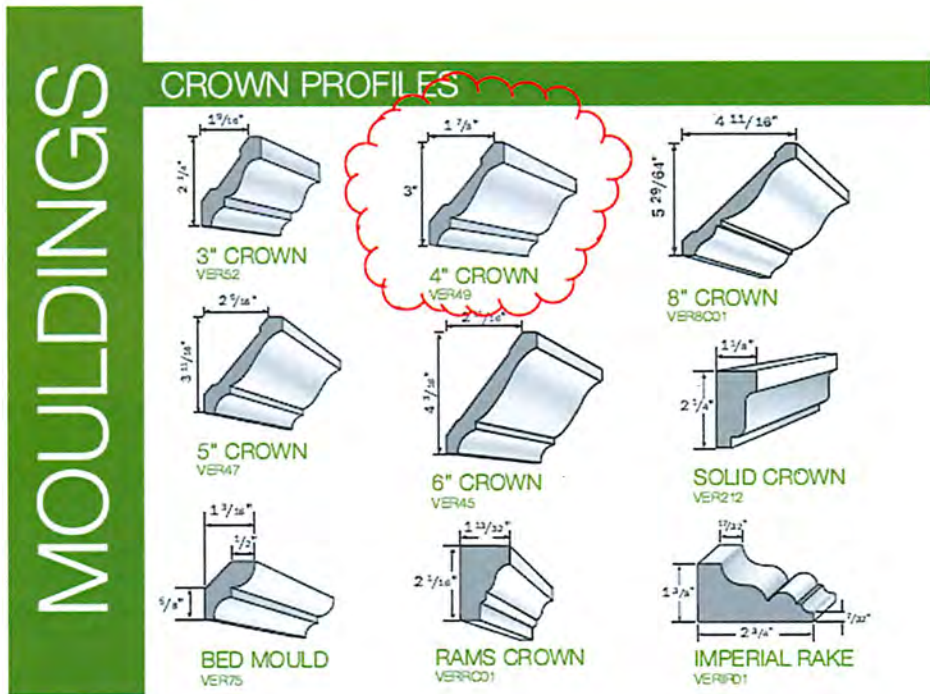
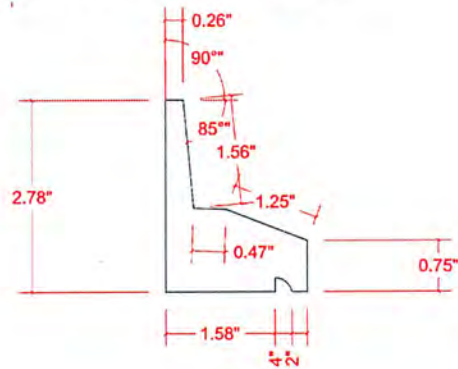
- 5/8", 1" and 5/4" available in standard 12', 18' and 20' lengths; 6/4" and 8/4" available in standard 18' lengths
- Custom lengths and widths available in "Smartpack" quantities
- Most thicknesses can be ordered reversible - Smooth/Timber Ridge or Smooth/Smooth
- 1 1/2" thick Trimboards are subject to extended lead times
- Sizes also available in **PEELNEAT** with a protective film applied; Check with your local retailer for availability

Approved
 Historic District/Historical Commission
 Department of Planning and Development
 City of Newton, Massachusetts
 Date 10-23-19
 Signature [Signature]

Molding Profiles



Water table Detail



Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts

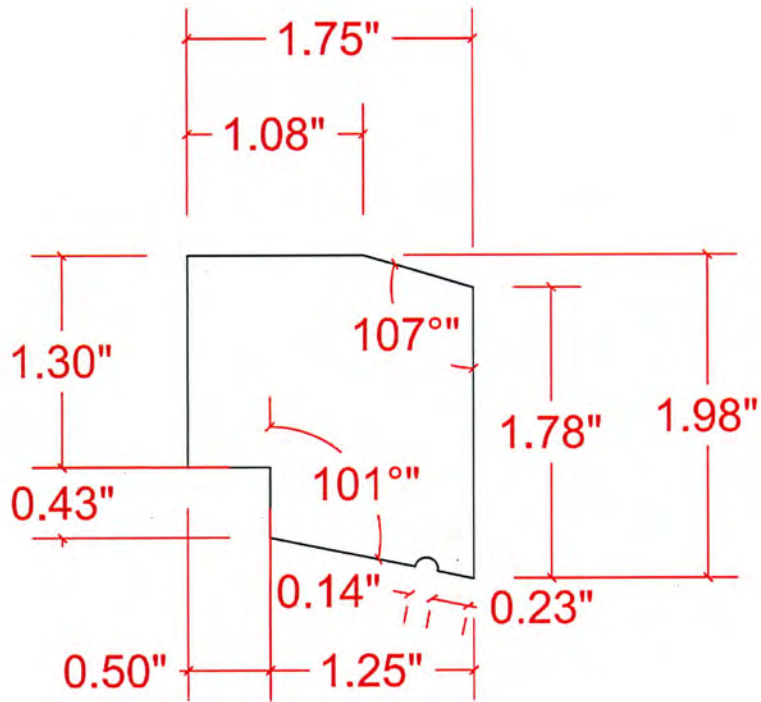
Date

10-23-19

Signature

PK.

Window Sill



Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts

Date

10-23-19
PK

Signature

Exterior Doors & Side lights

- Door



- Color

- Black



Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts
Date 10-23-19
Signature [Signature]

Exterior Patio Door

- Exterior Patio Door Anderson 400 Series



Interior Exterior

400 SERIES

Frenchwood® Hinged Patio Door

★★★★ 4.2 (24)

400 Series hinged patio doors make a dramatic statement and add great ventilation. Their French door styling goes well with any home style. Made of wood protected by a vinyl exterior, it's our best-selling hinged patio door.

- Opens into the room to provide maximum patio space
- Wood protected by vinyl exterior
- Durable and time-tested
- Blinds-between-the-glass option
- Available in standard sizes as single panel, 2-panel and 3-panel configurations. Custom sizes also available.

DESIGN THIS DOOR

REQUEST A QUOTE

Approved
 Historic District/Historical Commission
 Department of Planning and Development
 City of Newton, Massachusetts
 Date 10-23-19
 Signature [Signature]

Siding

- Hardyplank Siding- Fiber Cement material made by James Hardy

HARDIEPLANK® LAP SIDING SMOOTH

SMOOTH



Width	5.25 in	6.25 in	7.25 in	8.25 in
STATEMENT COLLECTION™	✓	✓		
DREAM COLLECTION™	✓	✓	✓	✓
PRIME	✓	✓	✓	✓

Statement Collection™ Products

Size Options

Thickness 0.312"
 Weight 2.34 lbs. per square foot
 Length 144"

Widths	5.25"	6.25"
Exposures	4"	5"
Pcs./Pallet	324	280

Siding Color Options



Approved
 Historic District/Historical Commission
 Department of Planning and Development
 City of Newton, Massachusetts

Date

10-23-19

Signature

[Handwritten Signature]

Porch Exterior Columns

VERSAWRAP



YOU'LL GET WRAPPED UP IN US

When contractors and remodelers asked us to make covering wood posts easier, we delivered. VERSAWRAP saves time without sacrificing aesthetic options.

YOU'LL GET WRAPPED UP IN US | VERSAWRAP 16



CLASSIC TIMBER RIDGE RAISED PANEL

VERSAWRAP

EXPERIENCE THE VERSAWRAP

At VERSATEX, we pride ourselves on coming up with innovative ways to make the buldozer's lives easier during installation. When we were asked to make covering wood posts more efficient, with still improving aesthetics, we delivered the VERSAWRAP.

VERSAWRAP column wraps. No more field cutting and struggling to match seams. The VERSAWRAP line includes Classic, Timber Ridge and Raised Panel designs as a one-piece wrap with accessory options, and a four-piece Tapered design that includes Craftsman-style accessories.

GO BEYOND...

Our Classic, Timber Ridge and Raised Panel styles are created from a single piece of VERSATEX cellular PVC with three pre-mitered grooves that fold around the structural post and lock together with a friction fit miter lock joint. Just apply your PVC glue, tuck the VERSAWRAP around your structural column, secure in place, peel the tabs, and walk away.

SAVE TIME & MONEY

Now, instead of cutting four individual joints or miter in the field, you can wrap smarter with

CLASSIC - TIMBER RIDGE

Nominal Size	Actual Inside Dimension	Actual Outside Dimension
4" X 4" X 8'0"	3 3/4" X 3 3/4" X 8'0"	4 3/4" X 4 3/4" X 8'0"
4" X 4" X 10'	3 3/4" X 3 3/4" X 10'	4 3/4" X 4 3/4" X 10'
6" X 6" X 8'0"	5 3/4" X 5 3/4" X 8'0"	6 3/4" X 6 3/4" X 8'0"
6" X 6" X 10'	5 3/4" X 5 3/4" X 10'	6 3/4" X 6 3/4" X 10'
8" X 8" X 8'0"	7 1/2" X 7 1/2" X 8'0"	8 1/2" X 8 1/2" X 8'0"
8" X 8" X 10'	7 1/2" X 7 1/2" X 10'	8 1/2" X 8 1/2" X 10'
12" X 12" X 12'	9 3/4" X 9 3/4" X 12'	11 1/4" X 11 1/4" X 12'

- Special 12" Classic wraps available in minimum quantities only.
- All 4", 6", and 8" VERSAWRAPs are made from actual 1/2" thick VERSATEX.
- 12" wraps are made from actual 3/4" thick material.

RAISED PANEL

Nominal Size	Actual Inside Dimension	Actual Outside Dimension
6" X 6" X 8'0"	5 3/4" X 5 3/4" X 8'0"	6 3/4" X 6 3/4" X 8'0"
6" X 6" X 10'	5 3/4" X 5 3/4" X 10'	6 3/4" X 6 3/4" X 10'
8" X 8" X 8'0"	7 1/2" X 7 1/2" X 8'0"	8 1/2" X 8 1/2" X 8'0"
8" X 8" X 10'	7 1/2" X 7 1/2" X 10'	8 1/2" X 8 1/2" X 10'

- Panels start 18" from bottom with raling gap from 20 3/4" to 22" 1/2".
- Clearance above the top panel measures 8 3/4".
- For best aesthetic results, painting is recommended to prevent dirt accumulation where panel is mated into product.



Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts
Date 10-23-17
Signature *PK*

Porch Composite Decking

- TREX Composite Decking
 - Trex Enhance Naturals

DECKING PROFILES



1" GROOVED EDGE BOARD

ACTUAL DIMENSIONS

- > .94 in x 5.5 in x 12 ft (24 mm x 140 mm x 365 mm)
- > .94 in x 5.5 in x 16 ft (24 mm x 140 mm x 487 mm)
- > .94 in x 5.5 in x 20 ft (24 mm x 140 mm x 609 cm)

Our grooved edge boards install with our Hidden Fastening System beneath the deck surface, leaving a tidy finish free of screw holes.

DECKING COLORS

ENHANCE BASICS - GOOD



ENHANCE NATURALS - BETTER



Eave Construction Profile

Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts

Date

10-23-19

Signature

BK.




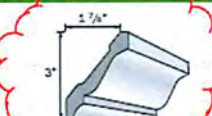



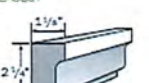
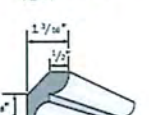


Date 10-28-19

Signature *FJK*

Gable Construction Profile

MOULDINGS

CROWN PROFILES

 3" CROWN VER62	 4" CROWN VER49	 8" CROWN VER601
 5" CROWN VER47	 6" CROWN VER45	 SOLID CROWN VER212
 BED MOULD VER75	 RAMS CROWN VER901	 IMPERIAL RAKE VER901



Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts
10-23-19
BK

Garage Doors Parson Collection

Parson Collection



Premium Construction - Squared Tops



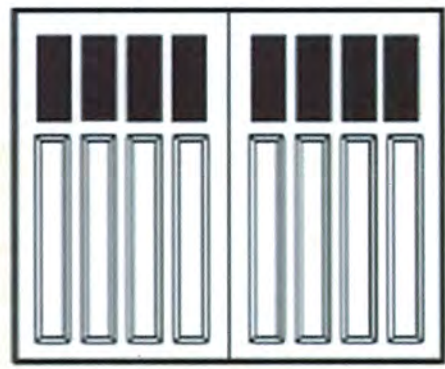
Bristol
Narrow
580BN



Bristol
Wide
580BW

Bristol Narrow
(580 BN)
Raised panel

Square
top



Gutters

- Fiberglass



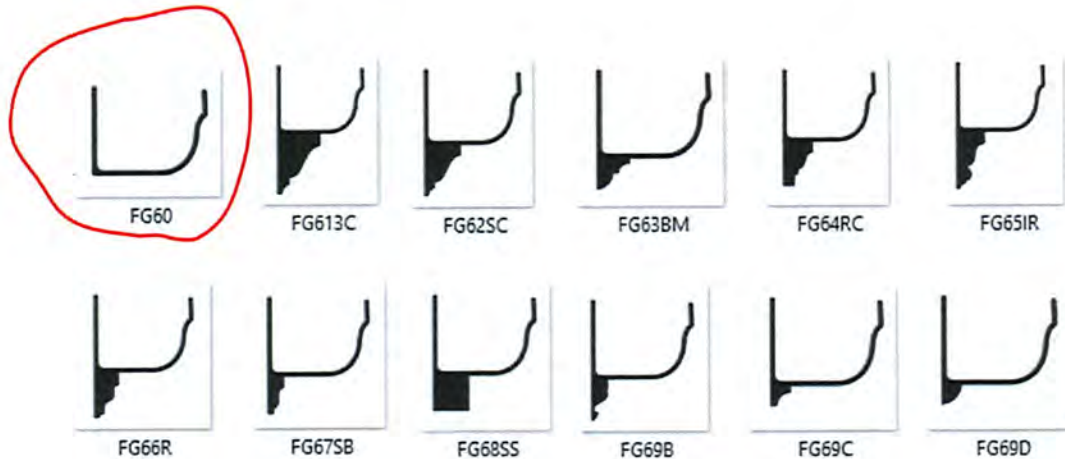
Fiberglass Gutter

"Specified by Architects and Approved by Contractors"

Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts
Date: 10-23-19
Signature: [Handwritten Signature]

4x5 Fiberglass Gutter Profiles ~ See Complete Profile

Descriptions, CAD Files and Spec Sheets Below



Roofing

GAF >

Marquis WeatherMax Charcoal 3-Tab
Shingles (33.3 sq. ft. per Bundle)



Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts

Date

10-23-19

Signature


[Handwritten Signature]

Exterior Light Fixtures

Garage Light Fixtures

Front Doors Light Fixtures

We are going to work on finding proposing additional options

Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts
Date 10-23-79
Signature 

PROPOSED ADDITION

959 CHESTNUT ST NEWTON MA

GENERAL PROJECT NOTES:

1. ALL SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL FEDERAL, STATE AND CITY OF NEWTON LAWS, ORDINANCES AND REGULATIONS AS EACH MAY APPLY.
2. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. IF DISCREPANCIES ARE FOUND, THEY HAVE TO BE REPORTED TO THE ENGINEER PRIOR TO START OF WORK. DISCREPANCIES OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE START OF SUCH WORK.
3. ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST EXAMINE THE SITE.
4. WHILE CARE HAS BEEN EXERCISED IN VERIFICATION OF DIMENSIONS AND PREPARATION OF SCOPE OF WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO RECHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE FABRICATING OR INSTALLING MATERIALS. IN NO CASE SHALL DIMENSIONS BE SCALED FROM DRAWINGS.
5. THE CONTRACTOR SHALL SHORE AND / OR UNDERPIN EXISTING WORK AS REQUIRED TO SAFELY INSTALL NEW WORK. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO AGENT, DIRECTOR OR REVIEW OF ANY SYSTEM OR METHOD BY THE DESIGNER SHALL CHANGE OR AFFECT THE CONTRACTOR'S RESPONSIBILITY IN THIS MATTER.
6. EXCEPT AS OTHERWISE STATED IN THE CONTRACT THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, TOOLS, EQUIPMENT, WATER, LIGHT, HEAT, POWER, TRANSPORTATION, TEMPORARY CONSTRUCTION OF EVERY NATURE, TAXES LEGALLY COLLECTED BECAUSE OF THE WORK AND ALL OTHER SERVICES AND FACILITIES OF EVERY NATURE WHATSOEVER NECESSARY TO EXECUTE THE WORK TO BE DONE UNDER THIS CONTRACT AND BRING THE BUILDING TO COMPLETION IN EVERY RESPECT WITHIN THE SPECIFIED TIME, ALL IN ACCORDANCE WITH THE PERMITS.
7. THE CONTRACTOR AND SUBCONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS AND APPROVALS AND PAY ALL RELATED FEES REQUIRED FOR THIS PROJECTS. THEY SHALL PROVIDE ALL REQUIRED DRAWINGS TO THE PROPER AUTHORITIES AND GIVE REQUISITE NOTICES TO AUTHORITIES.
8. SINCE THE DRAWINGS CANNOT BE EXPECTED TO SHOW EACH AND EVERY OFFSET, OBSTRUCTION AND/OR STRUCTURAL CONDITION, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE A CAREFUL EXAMINATION OF THE SITE AND TO ORGANIZE AND LAY OUT HIS WORK SO THAT IT WILL CONFORM TO THE STRUCTURE AND KEEP ALL OPENINGS AND PASSAGEWAYS CLEAR OF DUTYWORK, PIPING, CONDUIT, ETC. THE CONTRACTOR SHALL COORDINATE AS WELL AS MAKE ALL THE NECESSARY CONNECTIONS OF HIS WORK TO THE WORK OF ALL RELATED TRADES SO AS TO FURNISH A COMPLETE AND WORKING SYSTEM. ANY DEVIATION FROM THIS LINE OF RESPONSIBILITY SHALL BE BROUGHT TO THE ATTENTION OF, AND APPROVED BY, OWNER.
9. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR RELOCATING AND PROTECTING THESE UTILITIES PRIOR TO THE BEGINNING OF HIS WORK. ANY EXISTING UTILITY WHICH IS DAMAGED SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE. ALL TEMPORARY UTILITIES SHALL BE PAID BY CONTRACTOR.
10. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
11. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS IF THE CONTRACTOR HAS QUESTIONS REGARDING ABBREVIATIONS OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
12. ALL ELECTRICAL WORK WILL BE PERFORMED ON A DESIGN BUILD BASIS. EXACT LOCATION OF OUTLETS, LIGHT FIXTURES & ETC. TO BE DETERMINED BY OWNER & CONTRACTOR.
13. ALL MECHANICAL WORK WILL BE PERFORMED ON A DESIGN BUILD BASIS. EXACT LOCATION OF EQUIPMENT, DUCTWORK, DIFFUSERS & ETC. TO BE DETERMINED BY OWNER & CONTRACTOR.
14. ALL PLUMBING WORK WILL BE PERFORMED ON A DESIGN BUILD BASIS. EXACT LOCATION OF PLUMBING FIXTURES, WATER LINES & ETC. TO BE DETERMINED BY OWNER & CONTRACTOR.
15. ALL NEW INTERIOR & EXTERIOR FINISHES TO BE SELECTED BY OWNER.
16. THE FOLLOWING ARE MIN INSULATION REQUIREMENTS:
CEILING: R-38
FLOORS: R-21

FRAMING NOTES:

1. ALL FRAMING TO BE INSTALLED IN ACCORDANCE WITH THE "INTERNATIONAL RESIDENTIAL CODE", THE STATE OF MASSACHUSETTS AND GENERAL FRAMING PRACTICE.
2. ALL EXTERIOR BEARING WALLS TO BE MINIMUM TWO BY SIX (2x6) WOOD STUDS AT SIXTEEN (16) INCHES ON CENTER UNLESS OTHERWISE NOTED ON THE DOCUMENTS.
3. ALL INTERIOR BEARING WALLS TO BE MINIMUM TWO BY FOUR (2x4) WOOD STUDS AT SIXTEEN (16) INCHES ON CENTER UNLESS OTHERWISE NOTED ON THE DOCUMENTS.
4. ALL SHEATHING SHALL BE THREE QUARTER (3/4) INCH THICK AND GROOVED EXTERIOR PLYWOOD, GLEUED AND NAILED WITH RING SHANK NAILS. ALL WALL SHEATHING SHALL BE ONE HALF (1/2) INCH EXTERIOR PLYWOOD. ALL ROOF SHEATHING SHALL BE ONE HALF (1/2) INCH EXTERIOR PLYWOOD. ALL PLYWOOD FACE GRAIN SHALL BE PERPENDICULAR TO SUPPORTS AND CONTINUOUS OVER TWO (2) OR MORE SPANS.
5. DOUBLE FLOOR JOIST UNDER EACH PARTITION THAT PARALLELS FLOOR FRAMING OR PROVIDE SOLID WOOD BLOCKING.
6. FOR HOLES LOCATION & SIZES AT FLOOR JOIST REFER TO "JOIST" REQUIREMENTS.
7. CONTRACTOR TO VERIFY ALL FRAMING ELEVATIONS PRIOR TO SETTING TOP PLATE.
8. ALL LUMBER/FRAMING SIZE AND TYPE TO BE VERIFIED WITH SUPPLIER OR STRUCTURAL ENGINEER.

FINISH NOTES:

- 1 - ALL FINISHES SHALL BE SMOOTH, EVEN AND FREE FROM DEFECTS. PREPARE ALL SURFACES BEFORE PAINTING, REMOVING DUST, GREASE AND MARKS FROM ALL SURFACES.
- 2 - ALL INTERIOR WOODWORK SHALL BE PRIMED BEFORE INSTALLATION AND PAINTED AFTER INSTALLATION WITH SELECTED COLOR. ALL INTERIOR WOODWORK TO BE PAINTED SHALL RECEIVE ONE (1) COAT PRIMER AND TWO (2) COATS FINISH SEMI-GLOSS.
- 3 - ALL CEILING AND WALLS SHALL RECEIVE ONE (1) COAT PRIMER AND TWO (2) COATS FINISH AQUA-PEARL.
- 4 - ALL PAINT SHALL BE "BENJAMIN MOORE" OR EQUIV. VERIFY COLOR WITH OWNER.
- 5 - THE CONTRACTOR SHALL FURNISH AND INSTALL ALL WORK AS SPECIFIED AND SHOWN IN THE DOCUMENTS.
- 7 - NO FINISH WOODWORK OR FLOORING IS TO BE INSTALLED UNTIL THE PLASTERING IS COMPLETE AND THOROUGHLY DRY.

DEMOLITION NOTES:

1. PROTECT ALL ADJACENT AREAS FROM DAMAGE AND DUST.
2. ALL MATERIALS REMOVED DURING ANY SHEAR DAY OF WORK TO BE PLACED IN A DUMPSTER OR HALLED AWAY AT THE END OF EACH WORK DAY. PROGRAM CLEAN AT THE END OF EACH DAY.
3. ALL DEBRIS TO BE REMOVED AND DEPOSED OF IN A PROPER LEGAL DISPOSAL AREA.
4. SCHEDULE DEMOLITION WITH CONSTRUCTION OF ADDITION TO MINIMIZE EXPOSURE OF INTERIOR TO THE ELEMENTS.
5. TRACE ALL ELECTRICAL PLUMBING AND HEATING UTILITIES TO BE GAPPED OR REROUTED TO MAINTAIN SERVICE TO REMAINDER OF HOUSE DURING CONSTRUCTION.

FOUNDATION NOTES:

1. ALL WORK SHALL CONFORM WITH THE MASS STATE BUILDING CODE, NEWTON ZONING BY LAWS, AND ALL APPLICABLE OSHA STANDARDS.
2. ANY WOOD FRAMING MEMBERS IN DIRECT CONTACT WITH CONCRETE SURFACES SHALL BE COATED WITH PRESERVATIVE.
3. ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATIONS PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
4. CONCRETE WALLS TO BE DAMP PROOFED BELOW GRADE. EXTERIOR SEE LOCAL BUILDING DEPARTMENT SHALL INSPECT EXCAVATION PRIOR TO CONSTRUCTION OF FOOTING AND WALLS, AND AT OTHER INTERVALS IN ACCORDANCE WITH LOCAL STANDARDS PRACTICES.
5. SLAB PAIRED ON GROUND SHALL REST AGAINST 6" COMPACTED SAND ON 1" LAYER OF POLYETHYLENE SHEETING (6 MILS).
6. NO FOUNDATION SHALL BE PLACED IN THE WATER OR ON FROZEN GROUND.
7. FOOTINGS SHALL BE PROTECTED AGAINST FROST.
8. BACKFILL SHALL BE COMPACTED IN SIX (6) INCH LIFTS OF NINETY-FIVE (95) PERCENT COMPACTED GRAVEL.
9. BACKFILL NO WALLS UNTIL PERMANENT FLOORS AND SLABS ARE IN PLACE.

CONCRETE NOTES:

1. CONCRETE SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 308.7) AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 307R).
2. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF THREE THOUSAND (3000) POUNDS PER SQUARE INCH AT TWENTY-EIGHT (28) DAYS.
3. REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATIONS FOR STEEL BARS FOR CONCRETE REINFORCEMENT, GRADE SIXTY (60).
4. STEEL REINFORCEMENT FABRICATION SHALL COMPLY WITH REQUIREMENTS OF "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" AS ADOPTED BY THE "AMERICAN CONCRETE INSTITUTE".
5. ALL REINFORCING TO BE SUPPORTED IN FORMS, SPACED WITH NECESSARY ACCESSORIES AND SECURELY WIRED TOGETHER IN ACCORDANCE WITH "BEST RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".
6. PROVIDE ALL CUTTING, PATCHING, LEVELING OF CONCRETE FOR COMPLETION OF WORK.
7. CONSTRUCTION JOINTS IN STRUCTURAL CONCRETE SHALL BE LOCATED IN THE MIDDLE THIRD OF THE SPAN OR OTHER APPROVED LOCATION OF MINIMUM SHEAR.

REINFORCING STEEL - UNLESS OTHERWISE NOTED:

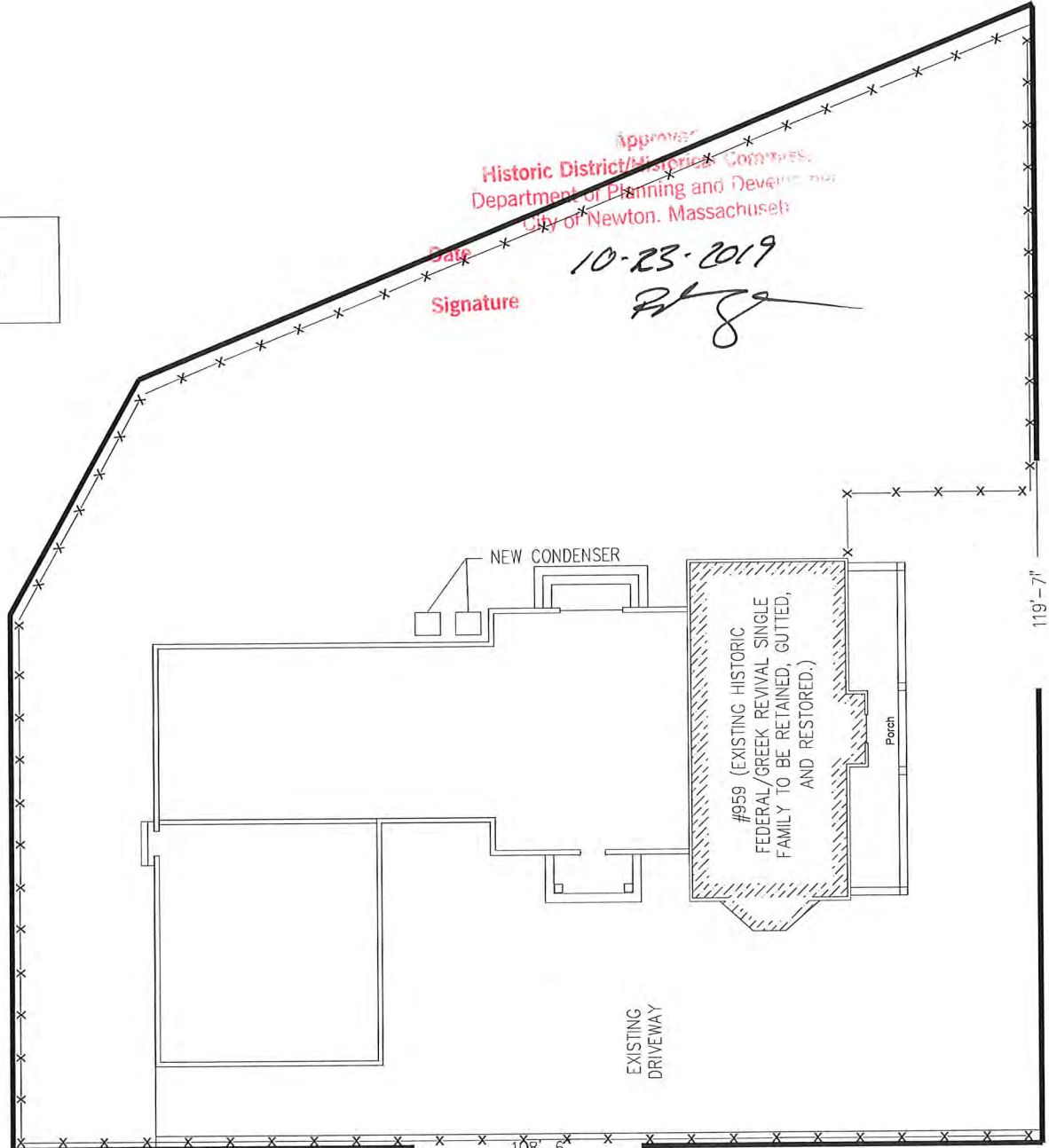
1. BARS SHALL BE HIGH TENSILE DEFORMED BARS MEETING ASTM A-63, GRADE 60.
2. WHERE OPENINGS OCCUR IN WALLS OR SLABS, PROVIDE 2-#4 EACH FACE EACH SIDE OF OPENINGS AND EXTEND 2'-6" BEYOND OPENINGS.
3. SLABS ON GRADE SHALL BE REINFORCED WITH #4-WOUND WELDED WIRE FABRIC LAP CROSS WIRES ONE SPACE PLUS 2" ALL SIDES.

PROJECT DESCRIPTION:

1. THE SCOPE OF THIS PROJECT INCLUDES A TWO STORY ADDITION AS WELL AS A 2-CAR ATTACHED GARAGE.
2. THE ADDITION TO BE A KITCHEN, A HALL ROOM ON THE FIRST FLOOR AND A MASTER SUITE, 3 BEDROOMS & 3 BATHROOM ON SECOND FLOOR.

FRAMING LIST:

- T-1 TITLE SHEET & SITE PLAN
- A-0 FOUNDATION & DEMO PLAN
- A-1 FIRST FLOOR PLAN
- A-2 SECOND FLOOR PLAN
- S-1 FRAMING 1 PLAN
- S-2 FRAMING 2 PLAN
- S-3 FRAMING ROOFING PLAN
- A-3 FRONT & REAR ELEVATION
- A-4 RIGHT & LEFT SIDE ELEVATION
- A-5 ROOFING PLAN
- A-6 SECTIONS & DETAILS
- A-7 DETAILS & SCHEDULES



SITE PLAN
NOT TO SCALE

PROPERTY INFORMATION
MAP: 51
BLOCK: 02
LOT: 10
LOT SIZE: 10,314 SF
ADDRESS: 959 CHESTNUT ST NEWTON, MA
OWNERS: MARIO & MINEVERE SINANI

Approved
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts
10-23-2019
Signature

NOTES:

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
CLIENT:	Mario Sinani 959 Chestnut St Newton, MA 02464		
SURVEYOR:			
ARCHITECT:			
ENGINEER:			
SITE:	959 Chestnut St Newton, MA 02464		
TITLE:	TITLE SHEET		
SCALE:	DATE:	DRAWN:	CHECKED:
1/8" = 1'-0"	10/16/19	GS	SA
PROJECT NO:	DRAWING NO:	REVISION:	
101	T-1	C	



FRONT VIEW ELEVATION PLAN
SCALE 1/4" = 1'-0"

Commissioner
Planning and Development
City of Newton, Massachusetts
10.23.2019
Signature



REAR VIEW ELEVATION PLAN
SCALE 1/4" = 1'-0"

NOTES:

1. WINDOWS: Pella 450 Series, EXTERIOR black 6x6 GRID (TYP)
2. DOORS: Jeld Wen, Black fiberglass with sidelights @ FRONT ENTRANCE AND DRIVEWAY SIDE ENTRANCE. Model # THDJW166100125 (TYP)
3. SIDING: James Hardy, Fiber Cement Hardieplank Lap Siding Smooth (TYP)
4. ROOFING: GAF Marquis WeatherMax Charcoal 3-Tab Shingles (TYP)
5. COLUMNS: Versawrap Columns (TYP)
6. STEPS: PT. WOOD FRAMING STEPS WITH COMPOSITE DECKING (Trex Enhance Naturals) & PVC RISERS (VERSATEX) (TYP).
7. TRIM: Versatex, PVC
8. GUTTERS: Fiber Gutter, Fiberglass Model # FG60
9. GARAGE DOOR: Overhead door, PARSON COLLECTION PREMIUM CONSTRUCTION SQUARED TOPS BRISTOL WIDE 580BW
10. LIGHT FIXTURES: Exterior Door Light Fixtures (typ).
11. LIGHT FIXTURES: Garage Light Fixtures (typ).

REV: DESCRIPTION: BY: DATE:
STATUS:

CLIENT:
Mario Sinani
959 Chestnut St
Newton, MA 02464

ARCHITECT:

ENGINEER:

SITE:
959 Chestnut St
Newton, MA 02464

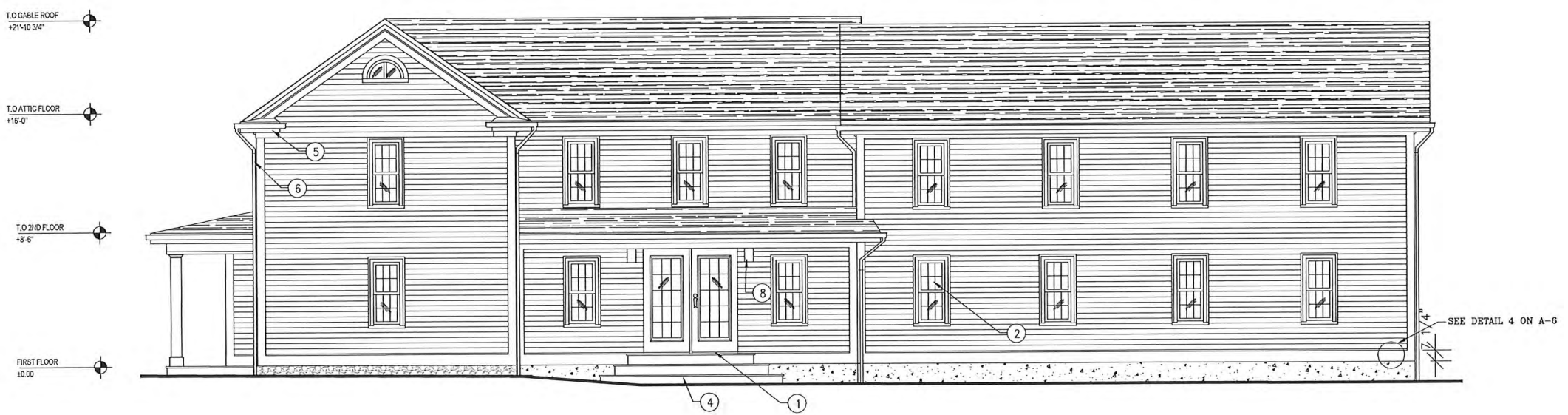
TITLE: FRONT & REAR ELEVATION

SCALE: 1/4" = 1'-0"	DATE: 10/16/19	DRAWN: GS	CHECKED: SA
PROJECT NO: 101	DRAWING NO: A-3	REVISION:	C



LEFT VIEW ELEVATION PLAN
SCALE: 1/4" = 1'-0"

10000000
 Historic/Historical Commission
 Department of Planning and Development
 City of Newton, Massachusetts
 10-23-2019
 [Signature]



RIGHT VIEW ELEVATION PLAN
SCALE: 1/4" = 1'-0"

NOTES:

1. Patio Doors: ANDERSON 400 SERIES FRENCHWOOD HINGED WOOD.
2. WINDOWS: Pella 450 Series, EXTERIOR black 6x6 GRID (TYP)
3. DOORS: Jeld Wen, Black fiberglass with sidelights @ FRONT ENTRANCE AND DRIVEWAY SIDE ENTRANCE. Model # THDJW166100125 (TYP)
4. STEPS: PT. WOOD FRAMING STEPS WITH COMPOSITE DECKING (Trex Enhance Naturals) & PVC RISERS (VERSATEX) (TYP).
5. TRIM: Versatex, PVC
6. GUTTERS: Fiber Gutter, Fiberglass Model # FG60
7. COLUMNS: Versawrap Columns (TYP)
8. EXTERIOR LIGHT FIXTURES: Hidden behind the columns.
9. Depth of Eave: 7 1/4" Nominal dimension (typ).
10. Soffit: Bed molding (typ).

REV:	DESCRIPTION:	BY:	DATE:

CLIENT:	Mario Sinani 959 Chestnut St Newton, MA 02464
SURVEYOR:	
ARCHITECT:	
ENGINEER:	
SITE:	959 Chestnut St Newton, MA 02464
TITLE:	LEFT & RIGHT ELEVATION
SCALE:	1/4" = 1'-0"
DATE:	10/16/19
DRAWN:	GS
CHECKED:	SA
PROJECT NO:	101
DRAWING NO:	A-4
REVISION:	C

Approved
Historic District/Historic Commission
Department of Planning and Development
City of Newton, Massachusetts
Date 10-23-2019
Signature [Handwritten Signature]

REV.	DESCRIPTION	BY	DATE

CLIENT:
Mario Sinani
959 Chestnut St
Newton, MA 02464

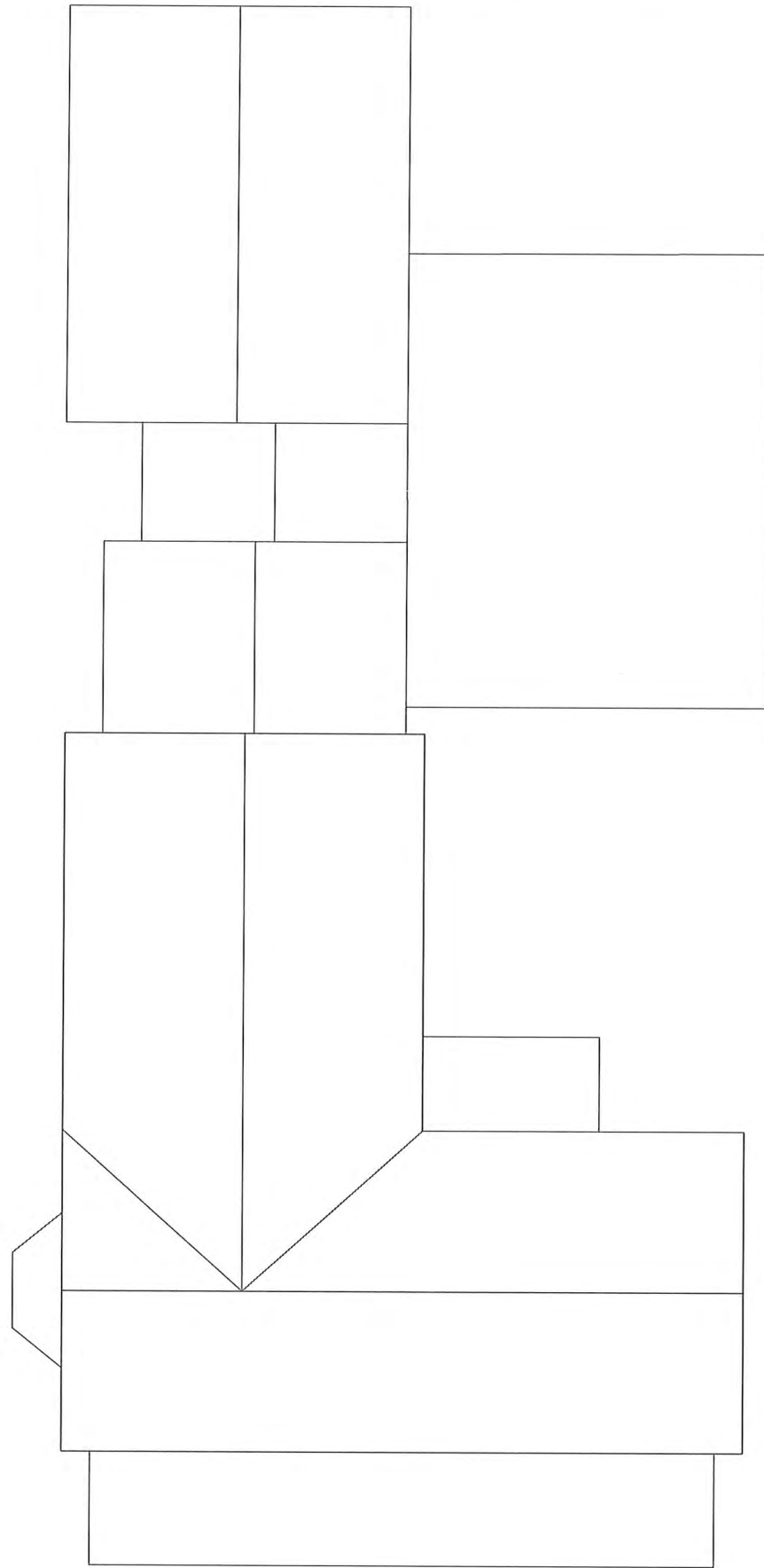
GUIDEBOOK:

ARCHITECT:

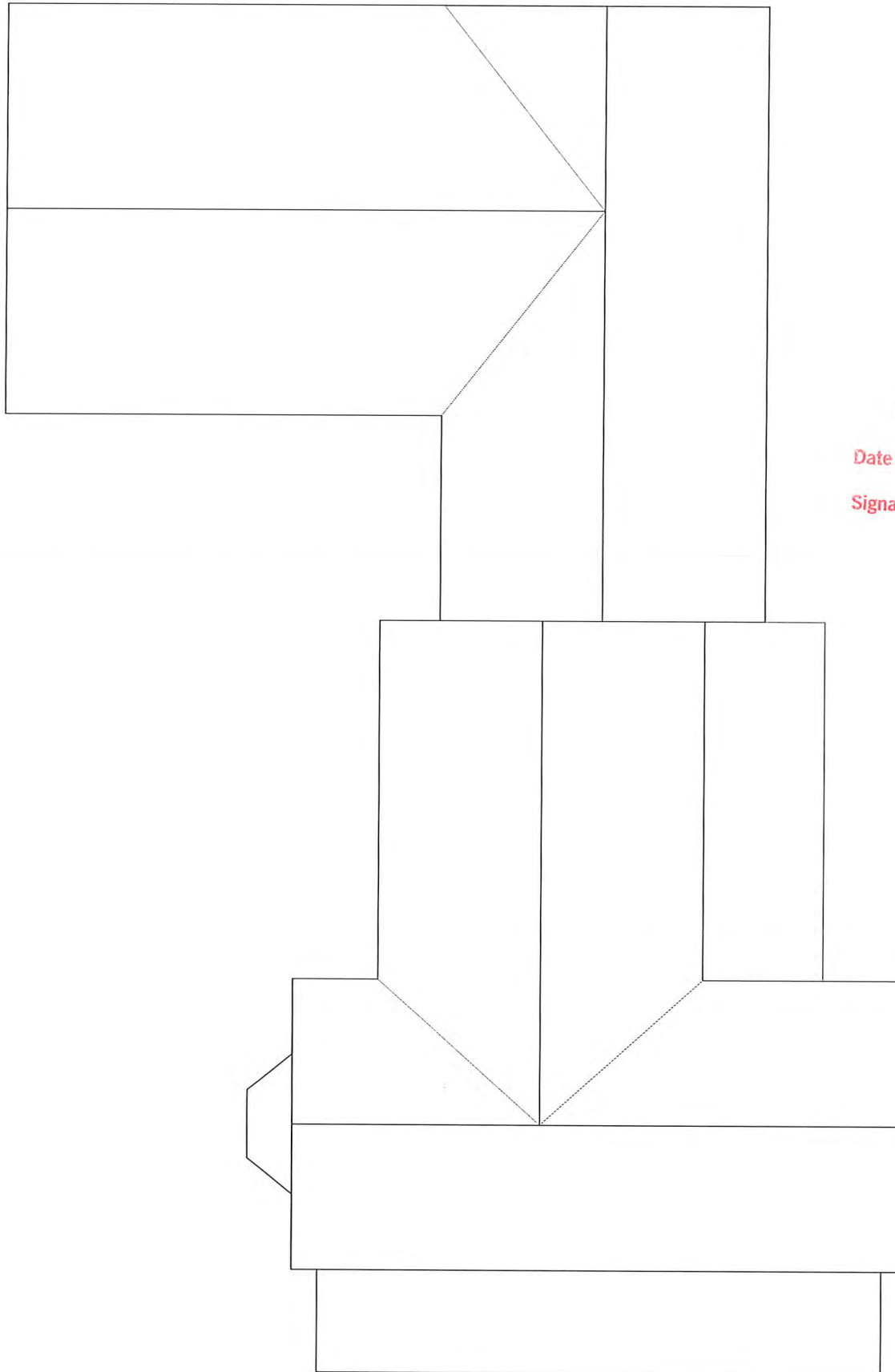
ENGINEER:

DATE:
959 Chestnut St
Newton, MA 02464

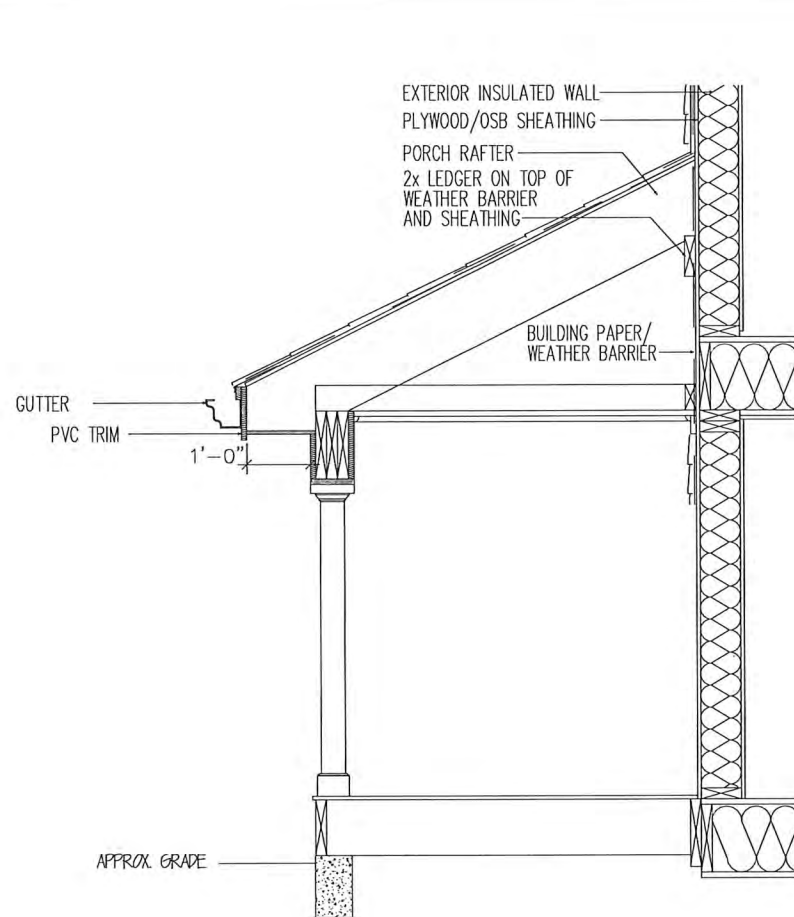
TITLE:
ROOFING PLAN
SCALE:
1/4" = 1'-0" DATE:
10/16/19 DRAWN:
GS CHECKED:
SA
PROJECT NO.:
101 DRAWING NO.:
A-5 REVISION:
C



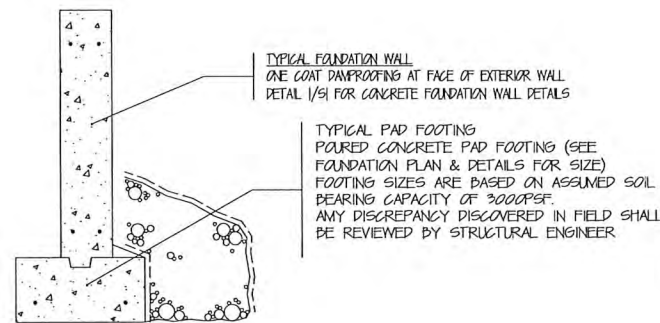
ROOF PLAN (OLD)
SCALE 1/4" = 1'-0"



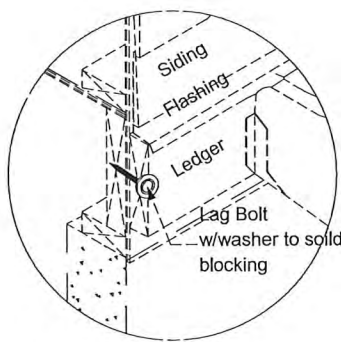
ROOF PLAN (NEW)
SCALE 1/4" = 1'-0"



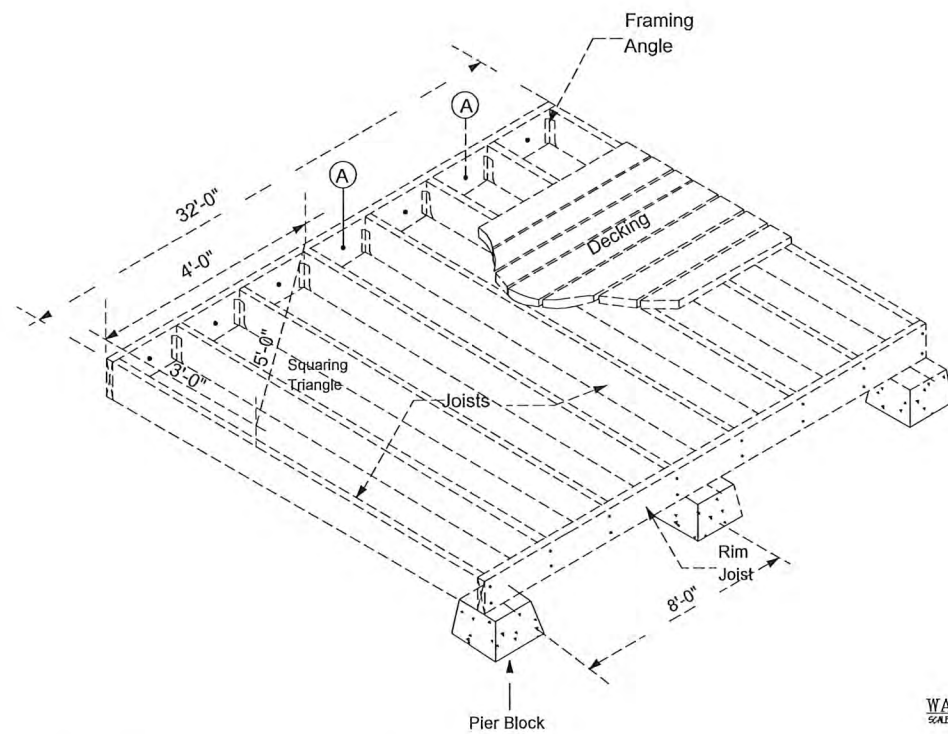
PORCH ROOFING CONSTRUCTION (2) A-8
SCALE: NTS



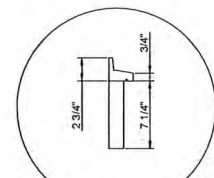
FOOTING SECTION (TYP) (1) A-0
SCALE: NTS



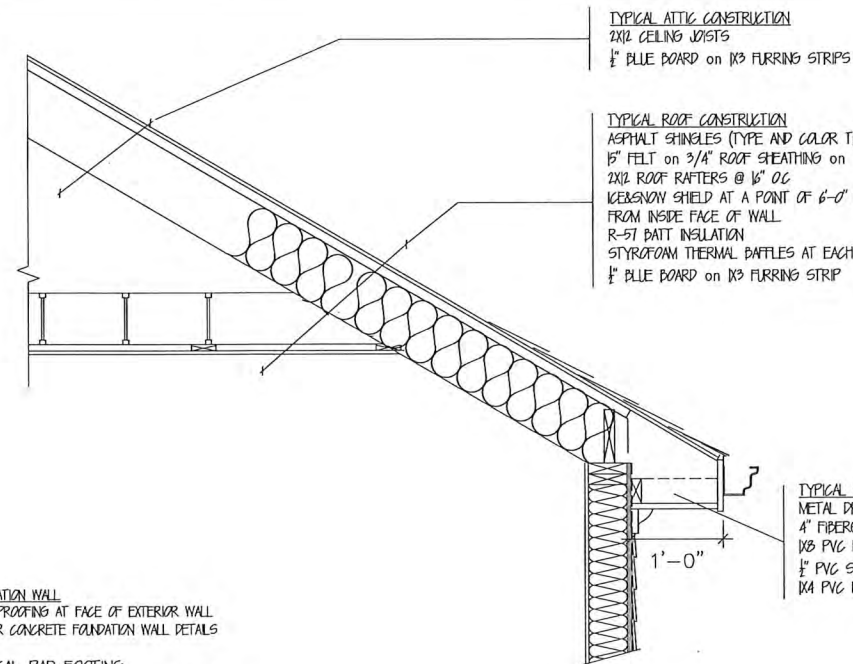
(A) LEDGER



PORCH DECK FRAMING (3) A-8
SCALE: NTS



WATERTABLE DETAIL (TYP) (4) A-4
SCALE: NTS



TYPICAL ATTIC CONSTRUCTION
2x CEILING JOISTS
1/2" BLUE BOARD ON 1x3 FURRING STRIPS

TYPICAL ROOF CONSTRUCTION
ASPHALT SHINGLES (TYPE AND COLOR TBD BY OWNER) ON
1/2" FELT ON 3/4" ROOF SHEATHING ON
2x2 ROOF RAFTERS @ 16" OC
WEATHER SHIELD AT A POINT OF 6'-0" UP ROOF SLOPE
FROM INSIDE FACE OF WALL
R-51 BATT INSULATION
STYROFOAM THERMAL BAFFLES AT EACH BAY
1/2" BLUE BOARD ON 1x3 FURRING STRIP

TYPICAL EAVE CONSTRUCTION
METAL DRIP EDGE
4" FIBERGLASS GUTTER
1x3 PVC FASCIA BOARD
1/2" PVC SOFFIT
1x4 PVC FRIEZE BOARD

TYPICAL FLOOR CONSTRUCTION
HARDWOOD FINISH FLOOR ON
3/4" T&G SUBFLOOR ON
FLOOR JOISTS (SEE PLAN FOR SIZE AND SPACING)
2" R-21 INSULATION BETWEEN JOISTS @ FIRST BAY

TYPICAL EXTERIOR WALL CONSTRUCTION
FIBER CEMENT SIDING COLOR & STYLE PER OWNER
1/2" ZIP OSB WALL SHEATHING ON
2x6 WOOD STUDS @ 16" OC
5 1/2" MIN. R-21 OPEN CELL SPRAY FOAM INSULATION
1/2" BLUE BOARD PLASTER & PAINTED

TYPICAL FLOOR CONSTRUCTION
HARDWOOD FINISH FLOOR ON
3/4" T&G SUBFLOOR ON
FLOOR JOISTS (SEE PLAN FOR SIZE AND SPACING)
2" R-30 INSULATION BETWEEN JOISTS AND W/ AIR SPACE ABOVE

TYPICAL SILL PLATE
SILL ANCHORS @ 36" OC (WITHIN 12" OF CORNERS OR OPENINGS)
2x6x6 TREATED SILL PLATE W/ SILL SEALER

TYPICAL FOUNDATION WALL
ONE COAT DAMPROOFING AT FACE OF EXTERIOR WALL
DETAIL 1/51 FOR CONCRETE FOUNDATION WALL DETAILS
APPROX. GRADE

TYPICAL PAD FOOTING
POURED CONCRETE PAD FOOTING (SEE FOUNDATION PLAN & DETAILS FOR SIZE)
FOOTING SIZES ARE BASED ON ASSUMED SOIL BEARING CAPACITY OF 3000 PSF.
ANY DISCREPANCY DISCOVERED IN FIELD SHALL BE REVIEWED BY STRUCTURAL ENGINEER

WALL SECTION (TYP) (1) A-6
SCALE: NTS

Approved:
Historic District/Historical Commission
Department of Planning and Development
City of Newton, Massachusetts
Date: 10-23-2019
Signature: [Handwritten Signature]

NOTES:

REV:	DESCRIPTION:	BY:	DATE:
STATUS:			
CLIENT: Mario Sinani 959 Chestnut St Newton, MA 02464			
SURVEYOR:			
ARCHITECT:			
ENGINEER:			
SITE:			
TITLE: SECTIONS & DETAILS			
SCALE: 1/4" = 1'-0"	DATE: 10/16/19	DRAWN: GS	CHECKED: SA
PROJECT NO: 101	DRAWING NO: A-6	REVISION:	C

DOOR SCHEDULE

NO	LOCN	DOOR	MATERIAL	GLASS	FRAME	FINISH	REMARKS
1	PORCH - ENTRY	GLASS/CLIP	---	---	1 1/2" F-8	WOOD/CLIP	WOOD DOOR
2	OFFICE	WOOD	F-8	---	1 1/2" F-8	WOOD	WOOD DOOR
3	OFFICE	GLASS	F-8	---	1 1/2" F-8	GLASS	INSULATED STEEL DOOR
4	ENTRANCE 1	WOOD	F-8	---	1 1/2" F-8	WOOD	WOOD DOOR
5	TRND RM	WOOD/CLIP	---	---	1 1/2" F-8	WOOD/CLIP	FRENCH DOUBLE DOORS W/SLATS
6	OFFICE	GLASS/CLIP	---	---	1 1/2" F-8	WOOD/CLIP	INSULATED ALUMINUM GLASS DOOR
7	CLOSET	WOOD	F-8	---	1 1/2" F-8	WOOD	(8" ROP DOORS)
8	CLOSET	WOOD	F-8	---	1 1/2" F-8	WOOD	(8" ROP DOORS)
9	CLOSET	WOOD	F-8	---	1 1/2" F-8	WOOD	(8" ROP DOORS)
10	WATER CLOSET	WOOD	F-8	---	1 1/2" F-8	WOOD	FRENCH DOUBLE DOORS W/SLATS
11	WATER ROOM	WOOD	F-8	---	1 1/2" F-8	WOOD	
12	WATER ROOM	WOOD	F-8	---	1 1/2" F-8	WOOD	
13	REHDM 1	WOOD	F-8	---	1 1/2" F-8	WOOD	
14	REHDM 1	WOOD	F-8	---	1 1/2" F-8	WOOD	
15	REHDM 1	WOOD	F-8	---	1 1/2" F-8	WOOD	
16	REHDM 1	WOOD	F-8	---	1 1/2" F-8	WOOD	
17	REHDM 1	WOOD	F-8	---	1 1/2" F-8	WOOD	
18	OFFICE	GLASS/CLIP	---	---	1 1/2" F-8	WOOD/CLIP	EXISTING TO BE REUSE
19	MP ROOM	WOOD	F-8	---	1 1/2" F-8	WOOD	
20	ADJACENT	WOOD	F-8	---	1 1/2" F-8	WOOD	

ALL INTERIOR DOOR TO BE 3/4" RIBBED DOOR, HOLLOW CORE, CONTAIN A STEEL BRACE INTERIOR SIDE FOR STRENGTH. FINISH INTERIOR BRACE / TOP AND BOTTOM BRACE BY PAINT. ALL INTERIOR DOOR SHALL BE 4 PANEL, TOP MATCH EXISTING DOORS. ALL INTERIOR WOOD / GLASS DOORS SHALL BE COLONIAL STYLE DOORS TO MATCH EXISTING. ALL DOORS TO BE REVIEW BY OWNER FOR FUNCTIONAL STYLE, MATERIAL, & ETC. PRIOR TO ORDERING. OWNER TO PROVIDE INFORMATION / REVISE INFORMATION TO CONTRACTOR.

WINDOW SCHEDULE

NO	LOCN	WINDOW	MATERIAL	GLASS	FRAME	FINISH	REMARKS
A		DOUBLE HUNG TLT VARI WINDOW - (APPROX 5'-0" X 4'-4")					
B		ALUMINUM CASUALTY WINDOW - (APPROX 5'-6" X 1'-2")					
C		EMBEDMENT WINDOW - (APPROX 5'-6" X 1'-2")					
D		WALLEN PICTURE FRAME WINDOW - (APPROX 5'-0" X 4'-4")					
E		ALUMINUM WINDOW - (APPROX 5'-0" X 4'-4")					

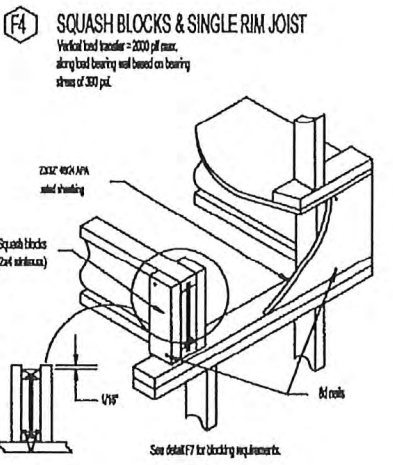
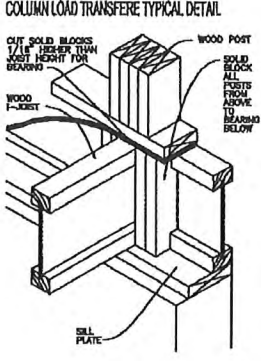
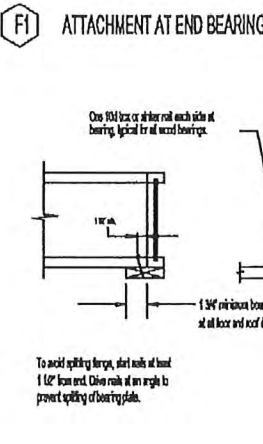
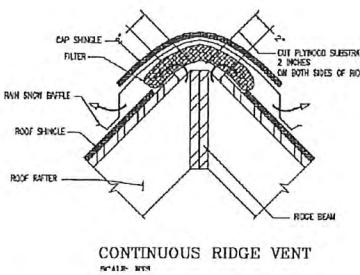
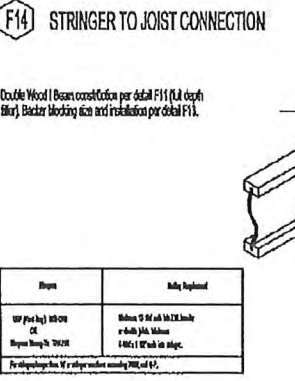
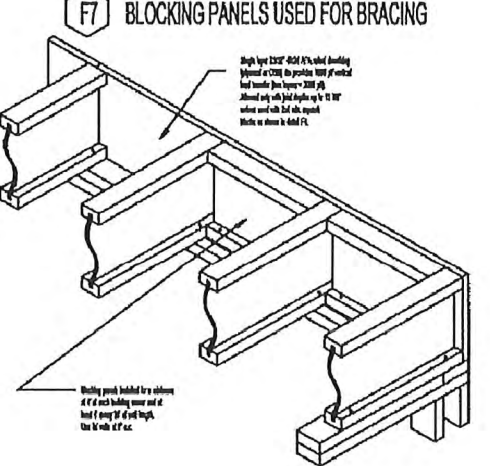
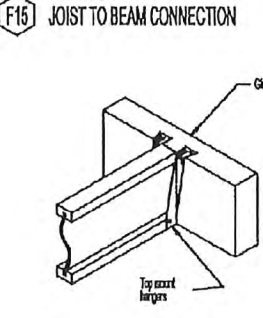
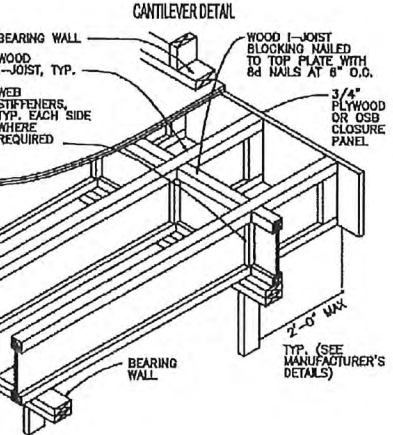
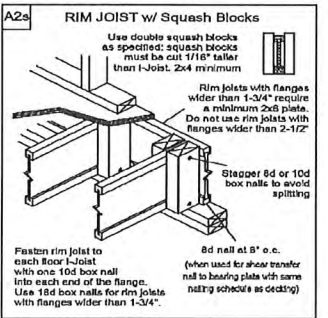
1. ALL WINDOWS SHALL BE BLACK ALUMINUM CLAD. DOUBLE HUNG CASUALTY WINDOW WITH 5/8" APPLIED GRIDS.
 2. WINDOWS TO HAVE LOW-E GLASS WITH A MIN 'R' FACTOR OF .250 AND A MIN 'U' VALUE OF .350.
 3. ALL WINDOWS TO BE REVIEW BY OWNER FOR FUNCTIONAL STYLE & ETC. PRIOR TO ORDERING.
 4. PROVIDE INSECT SCREENS WITH ALL WINDOW UNITS.

FIXTURE SCHEDULE

NO	LOCN	MANUFACTURE	MATERIAL	FINISH	REMARKS
1	WATER ROOM	AMERICAN STANDARD	TOILET	WHITE	REF-FIN
2	WATER ROOM	AMERICAN STANDARD	TOILET	WHITE	REF-FIN
3	WATER ROOM	AMERICAN STANDARD	VANITY	WHITE	REF-FIN
4	WATER ROOM	AMERICAN STANDARD	SEWER TUB	AMERICAN STANDARD	WHITE
5	WATER ROOM	AMERICAN STANDARD	SEWER TUB	AMERICAN STANDARD	WHITE
6	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
7	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
8	WATER ROOM	AMERICAN STANDARD	SEWER TUB	AMERICAN STANDARD	WHITE
9	WATER ROOM	AMERICAN STANDARD	SEWER TUB	AMERICAN STANDARD	WHITE
10	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
11	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
12	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
13	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
14	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
15	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
16	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
17	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
18	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
19	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE
20	WATER ROOM	AMERICAN STANDARD	TOILET PAPER HOLDER	AMERICAN STANDARD	WHITE

FINISH SCHEDULE

NO	LOCN	MATERIAL	MANUFACTURE	MATERIAL	FINISH	REMARKS
1	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
2	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
3	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
4	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
5	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
6	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
7	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
8	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
9	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
10	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
11	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
12	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
13	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
14	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
15	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
16	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
17	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
18	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
19	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	
20	WATER ROOM	WOOD	AMERICAN STANDARD	WOOD	WHITE	



Approved
 Director/Historical Commission
 Department of Planning and Development
 City of Newton, Massachusetts
 10-23-2019
 Signature: [Handwritten Signature]

NOTES:

REV: DESCRIPTION:	BY:	DATE:
STATUS:		
CLIENT:	Mario Sinani 959 Chestnut St Newton, MA 02464	
SURVEYOR:		
ARCHITECT:		
ENGINEER:		
SITE:		
TITLE:	DETAILS & SCHEDULE	
SCALE: 1/4" = 1'-0"	DATE: 10/16/19	DRAWN: GS
PROJECT NO: 101	DRAWING NO: A-7	CHECKED: SA
		REVISION: C