



75 Auburn Street



75 AUBURN STREET - 11.12.13

Dreamcasa

Luis Diazgranados, Principal

Dream Casa is an agency that offers unique architectural and design solutions to residential and commercial properties in Boston metro area and surrounding suburbs as investment opportunities. We are a one-stop service agency which takes care of finding the right place to invest in. We oversee architectural alterations and refurbishment.

Our philosophy is that of a private concierge service. We take charge of all the hassle and time consuming tasks (chasing real estate agents, properties, solicitors, contractors, suppliers and retailers) and return to our investors with a deal.

Established in 2010, DREAM CASA evolved from ARCO llc design + build to focus on private investment opportunities, providing our investors the best financial deal in real estate property acquisition, real estate design and re-development transactions, arraying from land development for new construction to re-habilitation & re-development of real estate existing assets.

The architectural design that is part of our service is studied not only to maximize the potential of the property but also to enhance the asset value.

ARCO design+build

ARCO, llc is a design build firm focused on architecturally driven projects and devoted to high quality craftsmanship, all with the environment in mind. The firm is dedicated to offering clients the best of both worlds: in house architectural design and innovative construction processes.

Established in 2004 by international designer and construction supervisor Luis Diazgranados, ARCO has completed numerous projects ranging from kitchen and bath remodels to new construction homes. In order to insure that sustainability remains a focus the firm is comprised of not only construction focused personnel, but also sustainable designers with training in both the US Green Building Council's LEED program and Passive House US.

ARCO strives to build strong relationships with clients, all by bringing them beautiful spaces by using sustainable construction practices, principles, and techniques.

Ronald F. Jarek A.I.A.

During the past several years Mr. Jarek has enjoyed practicing architecture in the capacity of sole proprietor and freelance consultant / advisor, as well as lecturer, educator and traveler. He has recently joined arco llc as Architect in residence.

Prior to co-founding the DeMarco Jarek Partnership, Architects and Planners in 1983 through 1998, Ronald F. Jarek worked with several major architectural firms in Philadelphia and the Metropolitan Boston area. During his tenure at DJP through 1998, he co-managed the firm, guiding it to become the well balanced, design and technically proficient unit that it is today under the successorship of Mr. Charles DeMarco.

Mr. Jarek received his Bachelors of Architecture Degree from Boston Architectural Center and his degree in Architectural Technology from Temple University. He has garnered over 40 years of experience in the fields of Architectural Design and Building Construction Technology and has a diverse background in all "building types".

Using his accumulated knowledge in both new and renovated construction, R.F.J. has practiced as a project manager/architect on single and multi-family housing as well as, office, commercial and institutional complexes. He has also designed/administrated such projects as: (1) Oliver's Pond Mixed Use Condominium Complex in Marblehead, MA; (2) the fifty thousand square foot expansion of the East Boston, MA Neighborhood Health Center; (3) the MBTA's Red Line Extension to Braintree, MA consisting of a 15, 000 square foot Model Exchange Station and 1,200 car multi-deck

Parking Structure; and (4) the Master Planning effort for a \$300 million multiple building office complex in Fairfax, Virginia. As a member of the Urban Investment and Development's team for Boston's \$700 million Copley Place, Mr. Jarek worked as an Associate Construction Manager / Tenant Coordinator concentrating principally on the office and secondarily on the mall and hotel components.

Practicing as a Registered Architect in Massachusetts and formally in New Hampshire and Vermont; Mr. Jarek also held a National Council of Registration Boards Certificate membership. Further, he is licensed to construct any class of building (A, B, or C) in Boston and holds a state Supervisors License. In addition, Mr. Jarek has practiced as a Member of the American Institute of Architects, The Boston Society of Architects and the Construction Specification Institute.

While serving on The City of Newton Advisory Commission on Urban Beautification, Mr. Jarek assisted in making ordinance related recommendations to the Mayor on relevant issues pertaining to construction in the City. He has served as a voting member of the Newton Bio-Safety Commission and is a Life Member of Delta Sigma Pi, Professional Business Fraternity and the Knights of Columbus.

Terrance P. Morris, Esquire

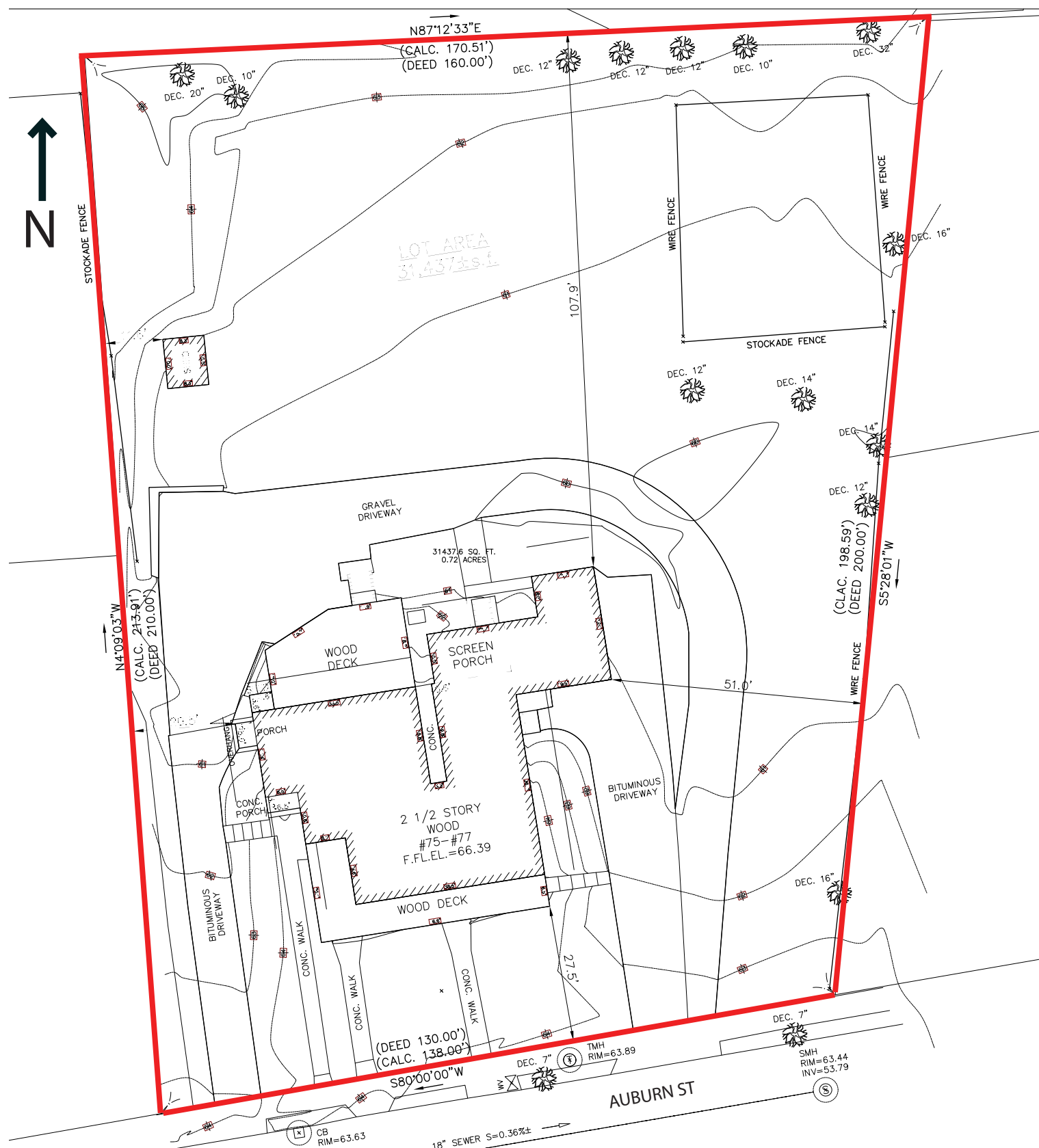
Terry has been active in zoning and development matters for more than thirty-five years in both the public and the private sectors. As Vice President/ General Counsel for development firms and more recently in his private practice, he has been responsible for: coordinating the preparation of architectural and engineering documents for each project; overseeing public review and approval process for special permit projects; interactions with corporate counsel and municipal departments, including Inspectional Services, Engineering, Planning and Public Works; and evaluation of the zoning and land use aspects of prospective projects.

Terry has successfully directed numerous multi-family developments in Newton, Brookline, Watertown, Somerville and Cambridge through the approval process. As a private developer from 1983 to 1988, he coordinated permit approvals for, and oversaw the construction of, the adaptive reuse of varied commercial and institutional sites for residential development in Newton.

In addition to his private sector work, Terry served on the Newton Board of Alderman from 1973 to 1983. As chairman of its Land Use Committee, he reviewed all projects that required either zone changes or special permits. As Executive Director of the Cambridge Rent Control Board from 1990-1996, he was responsible for the administration of 12,000 rent-controlled units, including the review of rent increases pertaining to capital improvements on all such properties.

MEET THE TEAM





EXISTING SITE PLAN



VIEW FROM AUBURN ST



VIEW FROM REAR OF SITE



VIEW FROM WEST SIDE

EXISTING CONDITIONS





DEMOLITION PLAN





AUBURN STREET

SITE LAYOUT





AUBURN STREET

LANDSCAPING PLAN

PLANTING NOTES:

In case of discrepancies between plant list and actual planting plan, Contractor shall notify Landscape Architect and shall supply the quantities and varieties deemed to be correct by the Landscape Architect, at no additional cost to the Owner.

All Plant material and related planting practices shall conform to ANSI Z60.1, Standards for Nursery Stock.

Plant substitutions shall be submitted to Landscape Architect for approval prior to purchase and installation.

Existing trees shall be suitably protected from damage during the construction period.

Planting shall only be performed when weather and soil conditions are suitable for plant material specified in accordance with locally accepted practice.

Plants shall be guaranteed for a minimum period of one year after the date of final completion.

Plant material shall be baled and burlapped (B4B) or containerized. Bare root material other than ground cover is not acceptable.

Planting backfill shall consist of 2/3 loam and 1/3 peat moss by volume; pH range shall be 6.0-6.5. Fertilizer shall be slow-release type, placed at pH locations and at a rate in accordance with manufacturer's printed instructions.

Trees shall be stake or guyed at Contractor's option and upon Landscape Architect's approval.

All planting areas not indicated as lawn shall receive 3 in. layer of shredded bark mulch consisting of hardwood and softwood bark, partially decomposed and dark brown in color.

All plant bed edges shall be neatly cut to the shape indicated on the Drawings; minimum 4" depth. Trees indicated to be planted within lawn areas shall receive a 5 ft. diameter bark mulch ring, centered on tree trunk, with edge cut as described above.

LAWNS AND GRASSES:

Seed Mix shall conform to the following:

SEED

A. Seed mixture: Standard grade seed of the most recent season's crop. Seed shall be dry and free of mold. Seed shall be inoculated with endophytes. Seed mixture shall be as follows:

SEED MIX - LAWN GRASS

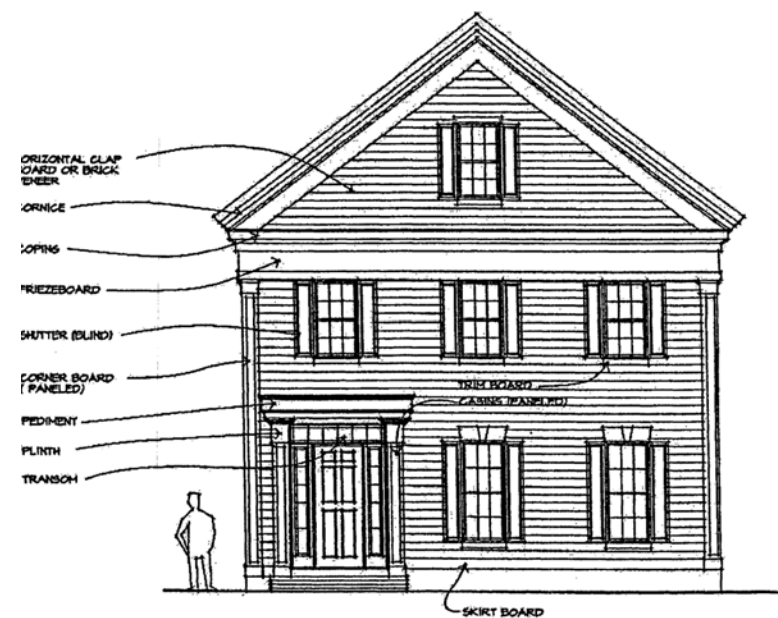
| Name of Seed | % by Weight in Mixture | Minimum % Purity | Minimum % Germination |
|---|------------------------|------------------|-----------------------|
| Poa pratensis "Midnight" Bluegrass | 50 | 90 | 75 |
| Festuca rubra "Florentine" Fescue | 25 | 95 | 65 |
| Lolium perenne "Manhattan III" Ryegrass | 25 | 98 | 95 |

SOD - LAWN GRASS

A. Certified Turfgrass Sod: Superior sod grown from certified, high quality seed of known origin or from plantings of certified grass seedlings or stolons. It shall be inspected by the certification agency of the state in which it is grown to assure satisfactory genetic identity and purity, overall high quality and freedom from noxious weeds as well as excessive quantities of other crop and weedy plants at time of harvest. All seed or original plant material in mixture must be certified. Turfgrass sod shall meet the published state standards for certification.

F. Sod shall be a mixture of four or five current and improved bluegrass varieties found in the top 25% of the NTEP (National Turfgrass Evaluation Proceedings), with last two tests spanning over 8 years. Mixture shall contain approximately equal proportions of each hybrid component.



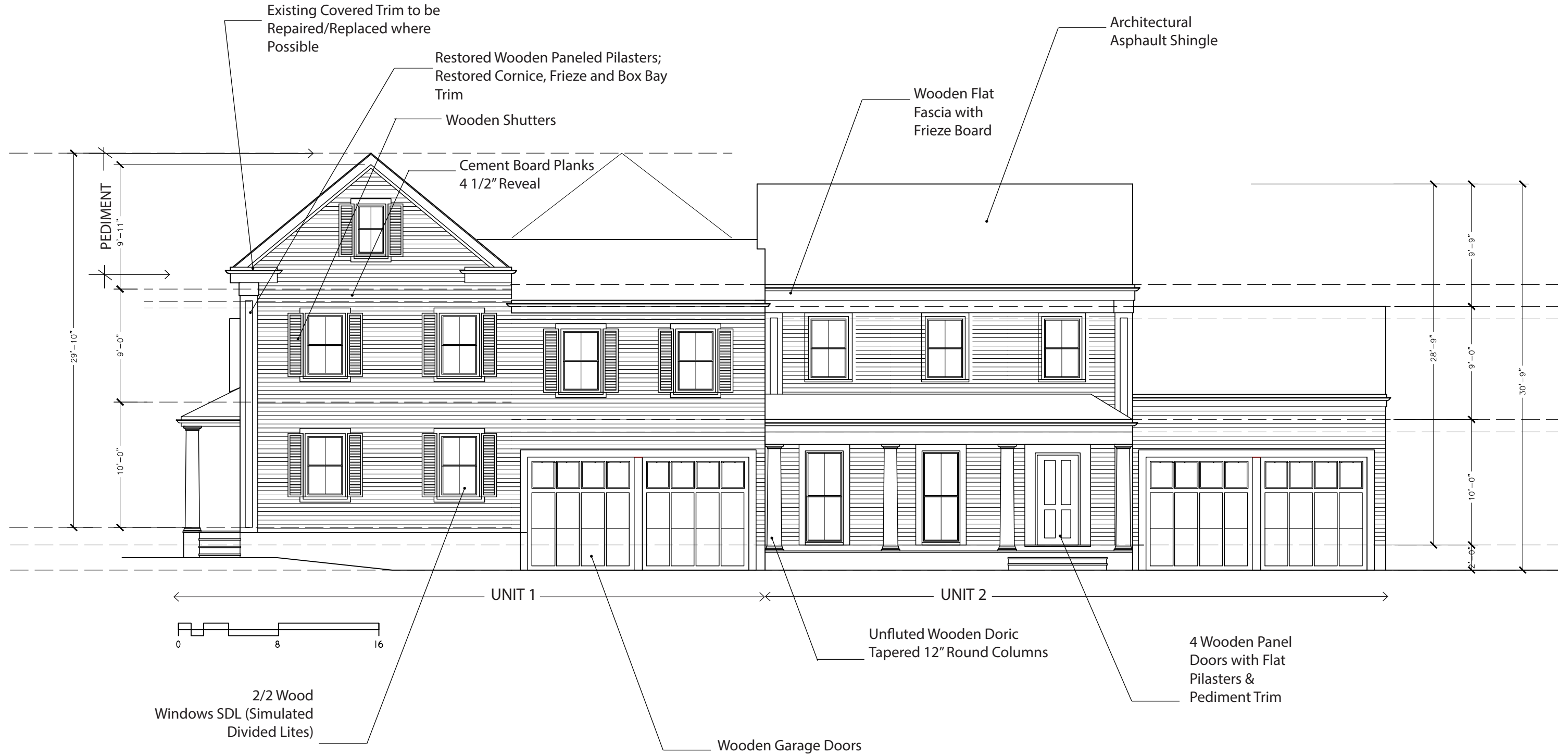


GABLE END TO THE STREET
 PANELED PILASTERS OR WIDE CORNER BOARDS
 CLAPBOARDS OR FLATBOARDS
 BLINDS
 6/6 SASH
 OFF-CENTER ENTRY
 FLAT PILASTERS, ENIABLATURE,
 SIDE & TRANSOM LIGHTS,
 4-PANEL DOOR



GREEK REVIVAL DETAILING CHARACTERISTICS





ELEVATION A-A UNIT 1 & 2- COURTYARD ELEVATION

ARCHITECTURAL DETAILING CHARACTERISTICS

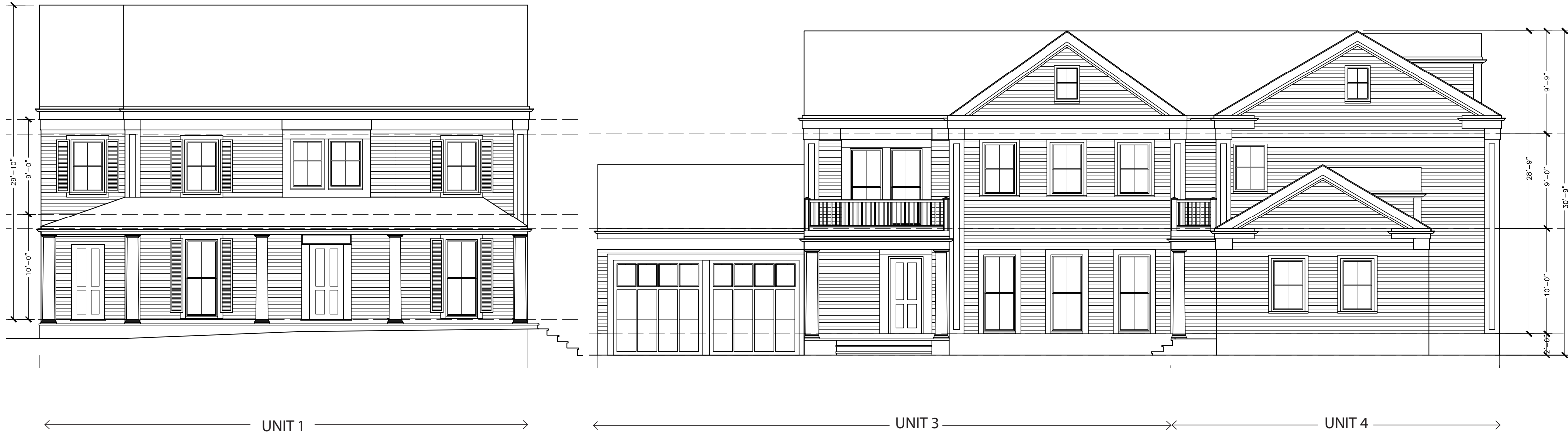




ELEVATION B-B UNIT 3 & 4 - COURTYARD ELEVATION

| MATERIALS LIST | |
|---|--|
| ROOF: <ul style="list-style-type: none"> Architectural Asphalt Shingles | DOORS: <ul style="list-style-type: none"> Painted Wood 4 Panel Entry Units Painted Panel Style Garage Doors |
| TRIM: <ul style="list-style-type: none"> Painted Clear Pine Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim | COLUMNS: <ul style="list-style-type: none"> Painted Wood Tapered with Doric Plinth and Capital |
| SIDING: <ul style="list-style-type: none"> Cement Board Planks, 4.5" Reveal, Pre-Finish, Smooth Painted MDO at Dormer Pediments | PORCH, DECK AND STEPS: <ul style="list-style-type: none"> Stained Clear Fir Porch, Deck and Stair Treads Painted Wood Balustrade and Newel Post |
| DOWN SPOUTS AND GUTTERS: <ul style="list-style-type: none"> Baked on Color Finish, Aluminum Box Trough Style with Leaders and Fittings | WALKS: <ul style="list-style-type: none"> Concrete Pavers at Entry Points |
| WINDOWS: <ul style="list-style-type: none"> Painted Wood, Insulated Glass, Simulated 2 over 2 Divided Lites | DRIVEWAY: <ul style="list-style-type: none"> Bituminous |





ELEVATION C-C UNIT 1 - 3 & 4 - STREET ELEVATION

MATERIALS LIST

ROOF:

- Architectural Asphalt Shingles

TRIM:

- Painted Clear Pine Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

SIDING:

- Cement Board Planks, 4.5" Reveal, Pre-Finish, Smooth
- Painted MDO at Dormer Pediments

DOWN SPOUTS AND GUTTERS:

- Baked on Color Finish, Aluminum Box Trough Style with Leaders and Fittings

WINDOWS:

- Painted Wood, Insulated Glass, Simulated 2 over 2 Divided Lites

DOORS:

- Painted Wood 4 Panel Entry Units
- Painted Panel Style Garage Doors

COLUMNS:

- Painted Wood Tapered with Doric Plinth and Capital

PORCH, DECK AND STEPS:

- Stained Clear Fir Porch, Deck and Stair Treads
- Painted Wood Balustrade and Newel Post

WALKS:

- Concrete Pavers at Entry Points

DRIVEWAY:

- Bituminous





ELEVATION D-D UNIT 2 - 3 & 4 - REAR NORTH ELEVATION

MATERIALS LIST

ROOF:

- Architectural Asphalt Shingles

TRIM:

- Painted Clear Pine Rake, Cornice, Frieze, Water-table, Belt, Brackets, Dentals, Corner and/or Running Trim

SIDING:

- Cement Board Planks, 4.5" Reveal, Pre-Finish, Smooth
- Painted MDO at Dormer Pediments

DOWN SPOUTS AND GUTTERS:

- Baked on Color Finish, Aluminum Box Trough Style with Leaders and Fittings

WINDOWS:

- Painted Wood, Insulated Glass, Simulated 2 over 2 Divided Lites

DOORS:

- Painted Wood 4 Panel Entry Units
- Painted Panel Style Garage Doors

COLUMNS:

- Painted Wood Tapered with Doric Plinth and Capital

PORCH, DECK AND STEPS:

- Stained Clear Fir Porch, Deck and Stair Treads
- Painted Wood Balustrade and Newel Post

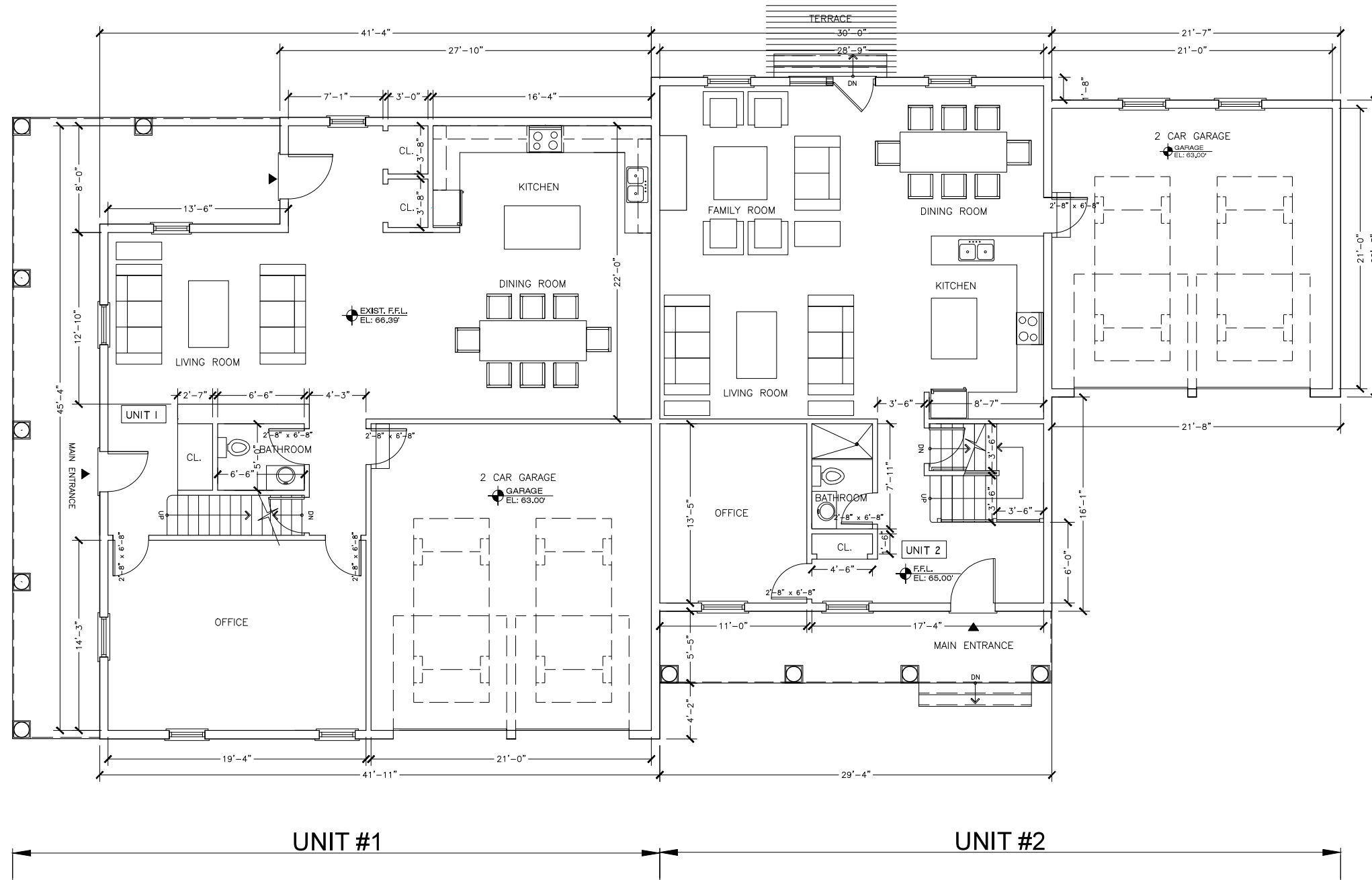
WALKS:

- Concrete Pavers at Entry Points

DRIVEWAY:

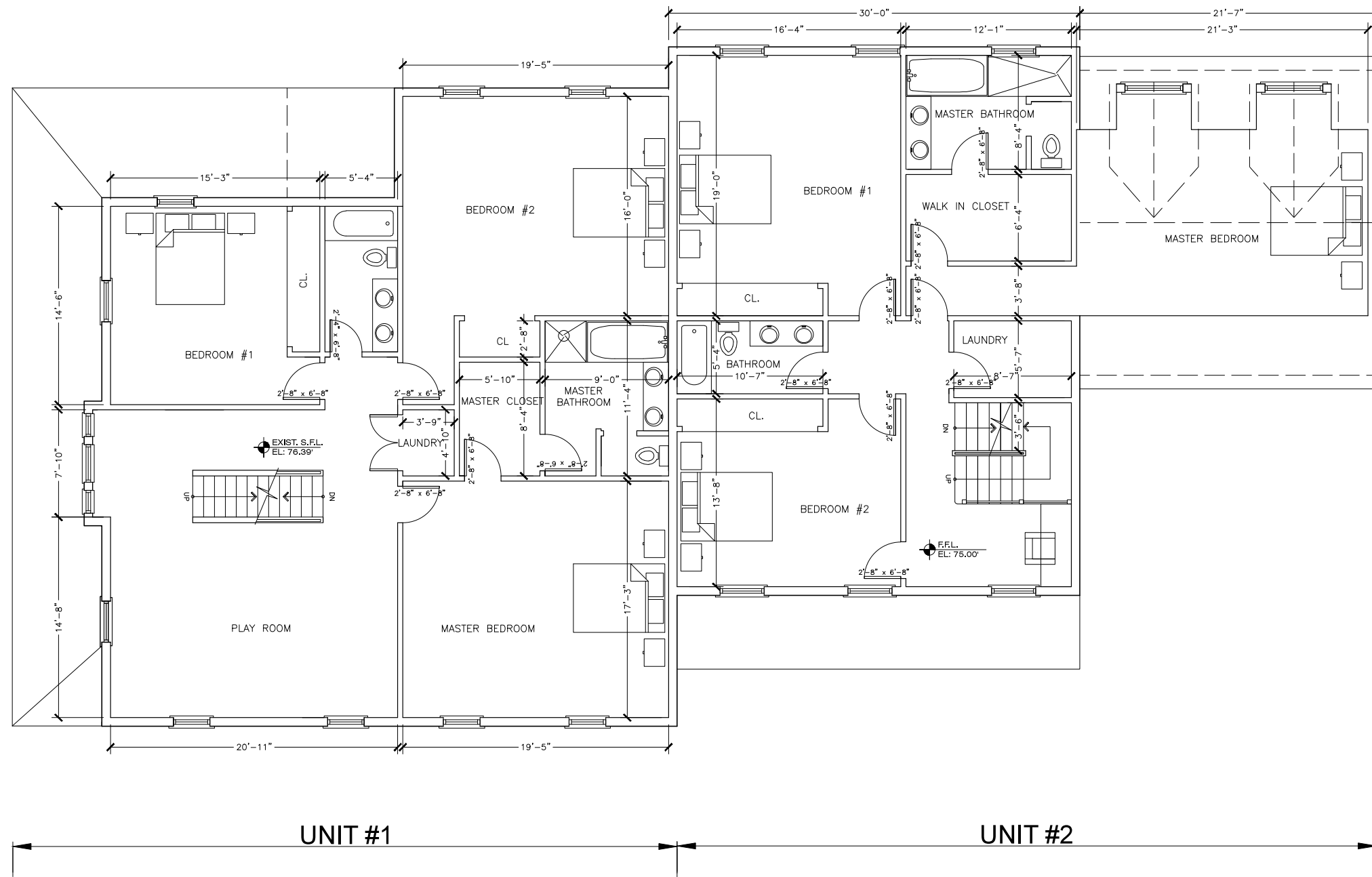
- Bituminous





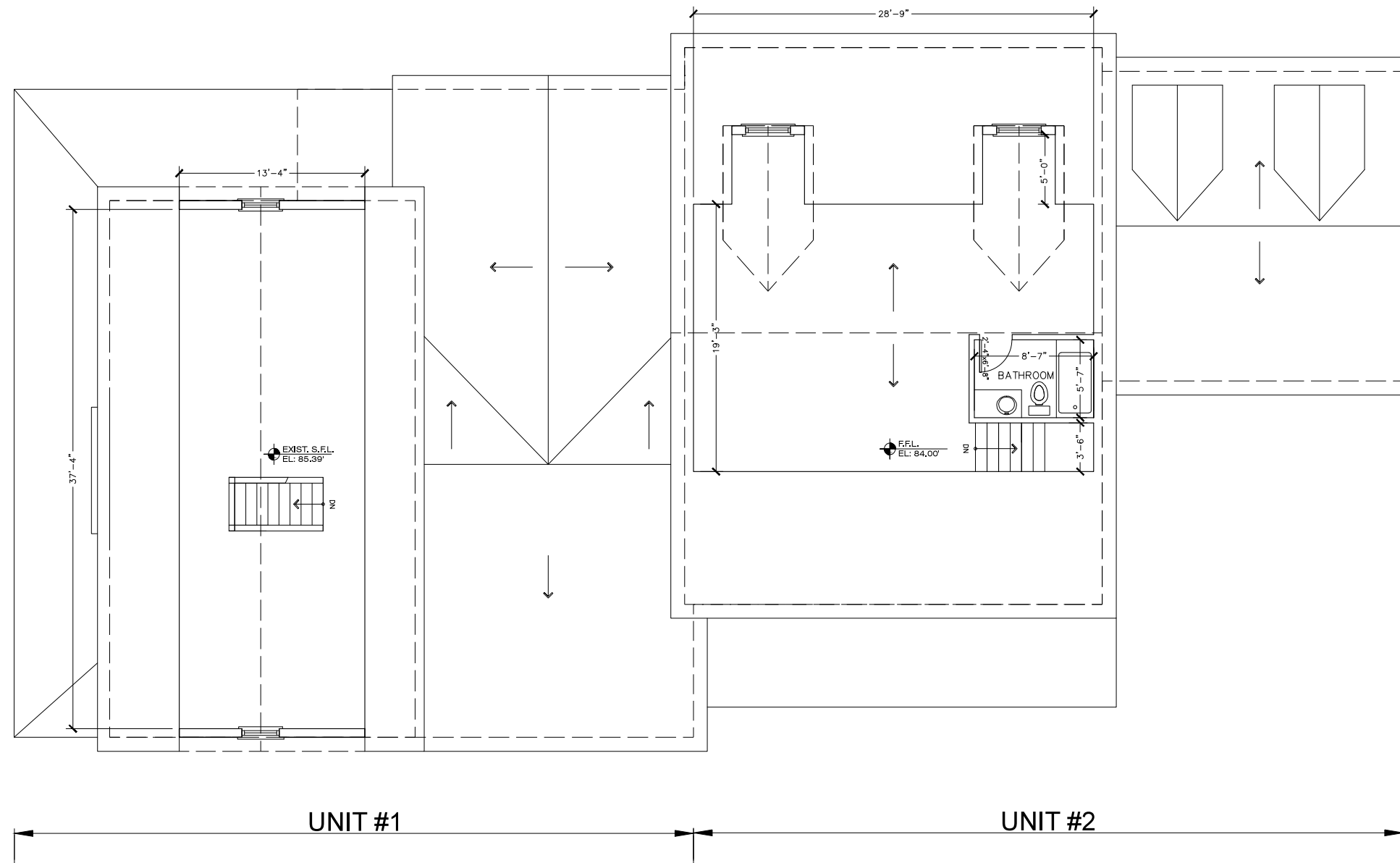
UNIT 1 & 2 FIRST FLOOR PLAN





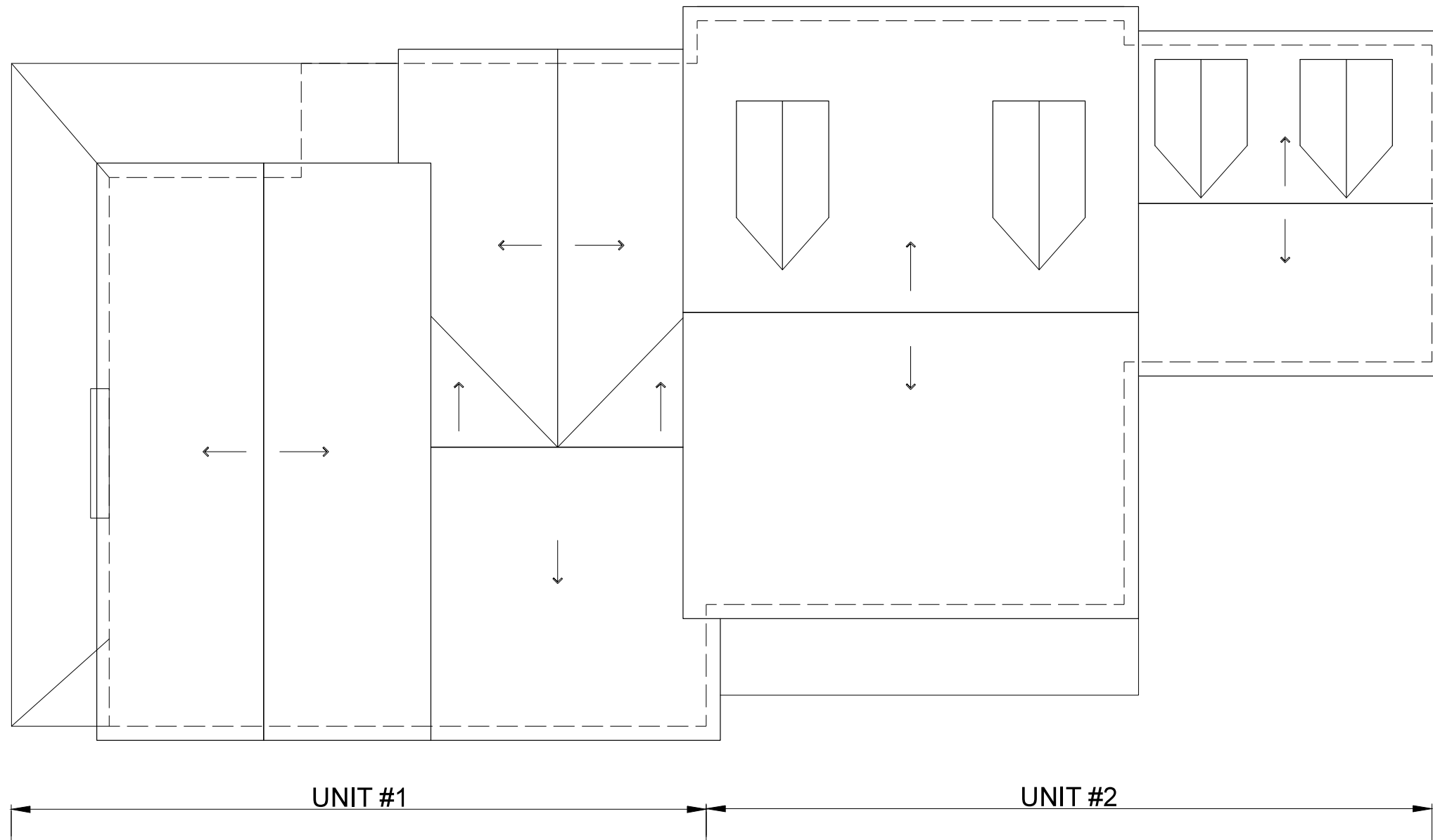
UNIT 1 & 2 SECOND FLOOR PLAN





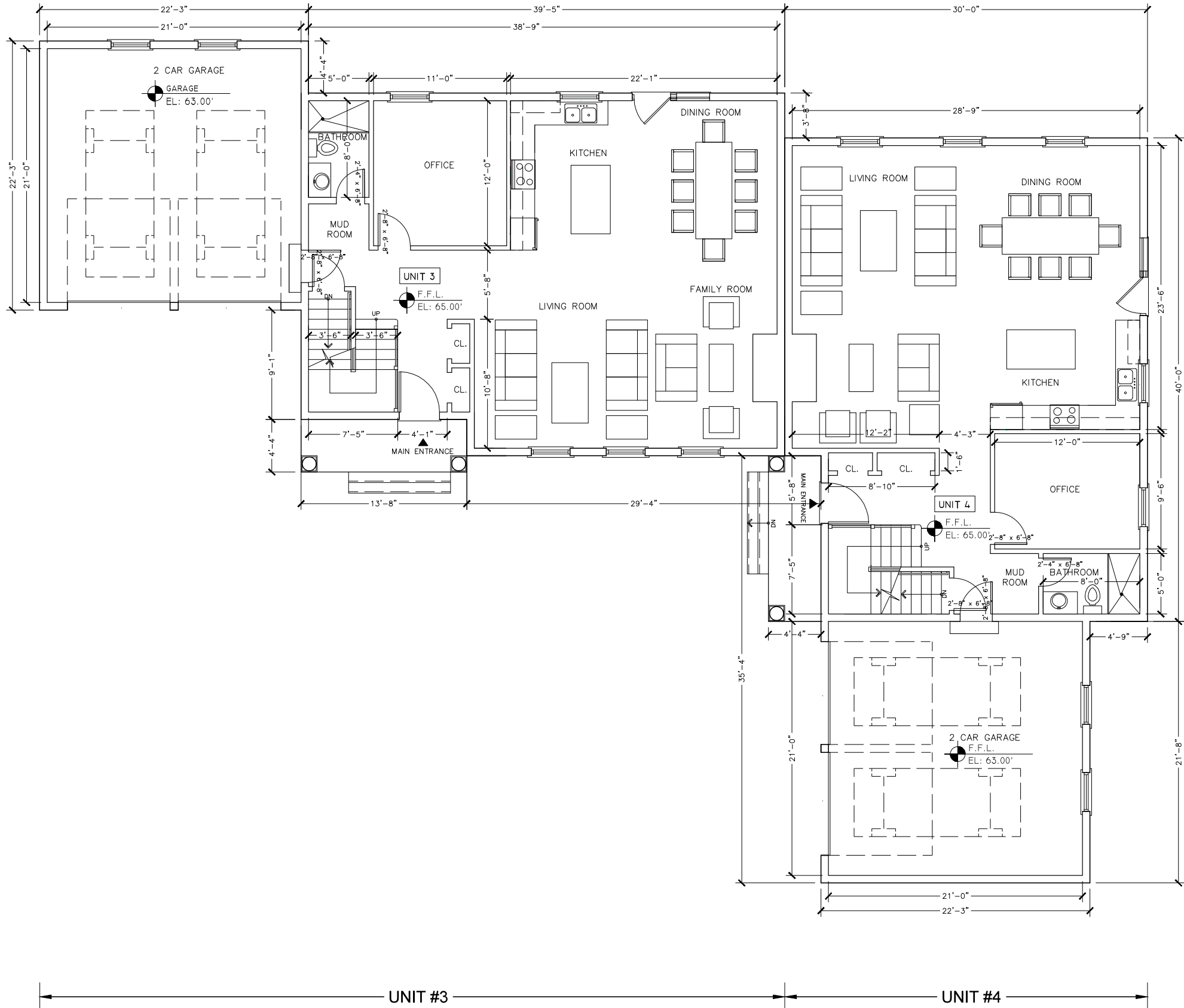
UNIT 1 & 2 ATTIC FLOOR PLAN





UNIT 1 & 2 ROOF PLAN

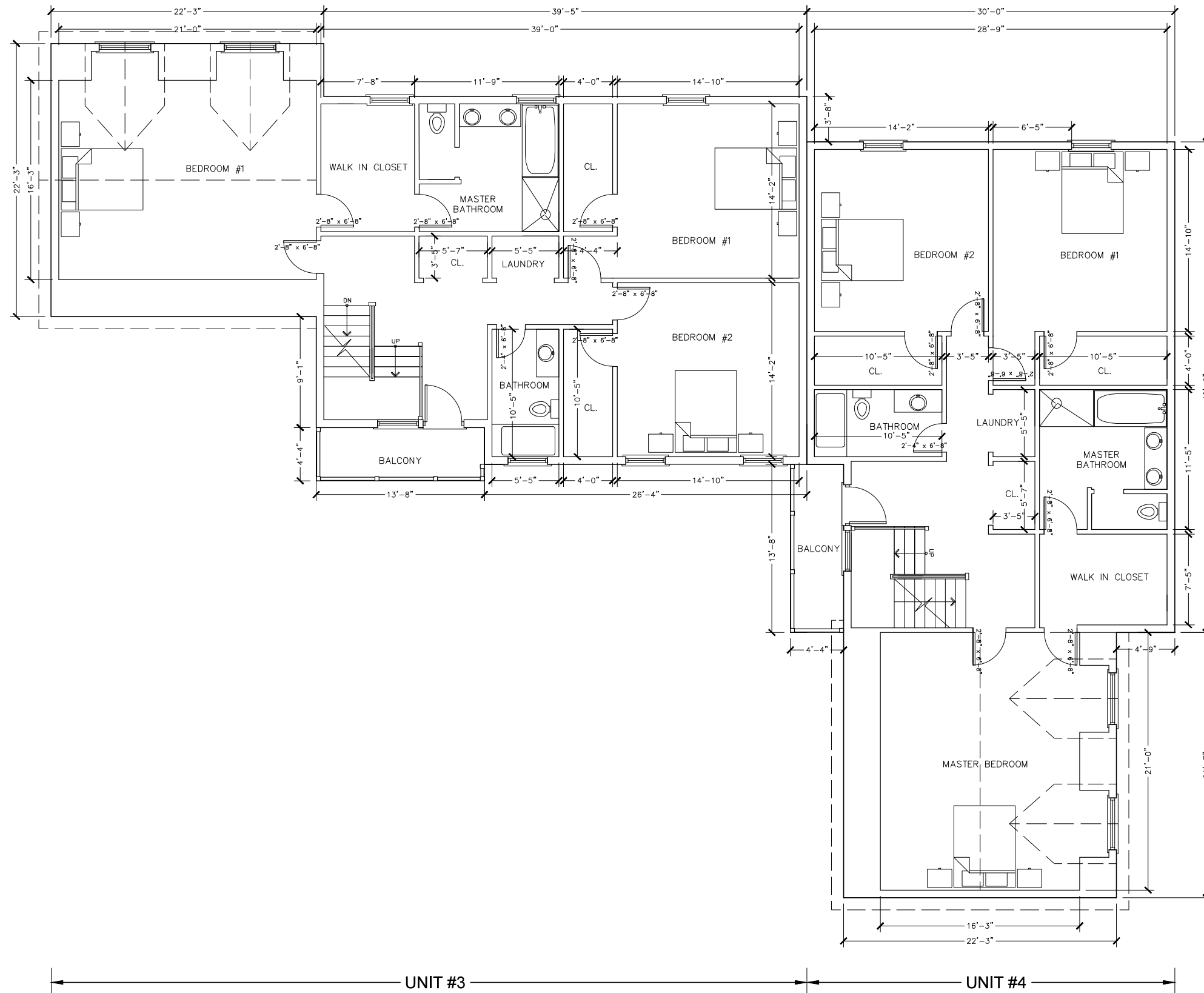




UNIT 3 & 4

FIRST FLOOR PLAN

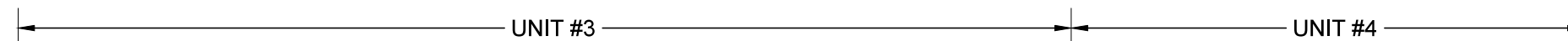
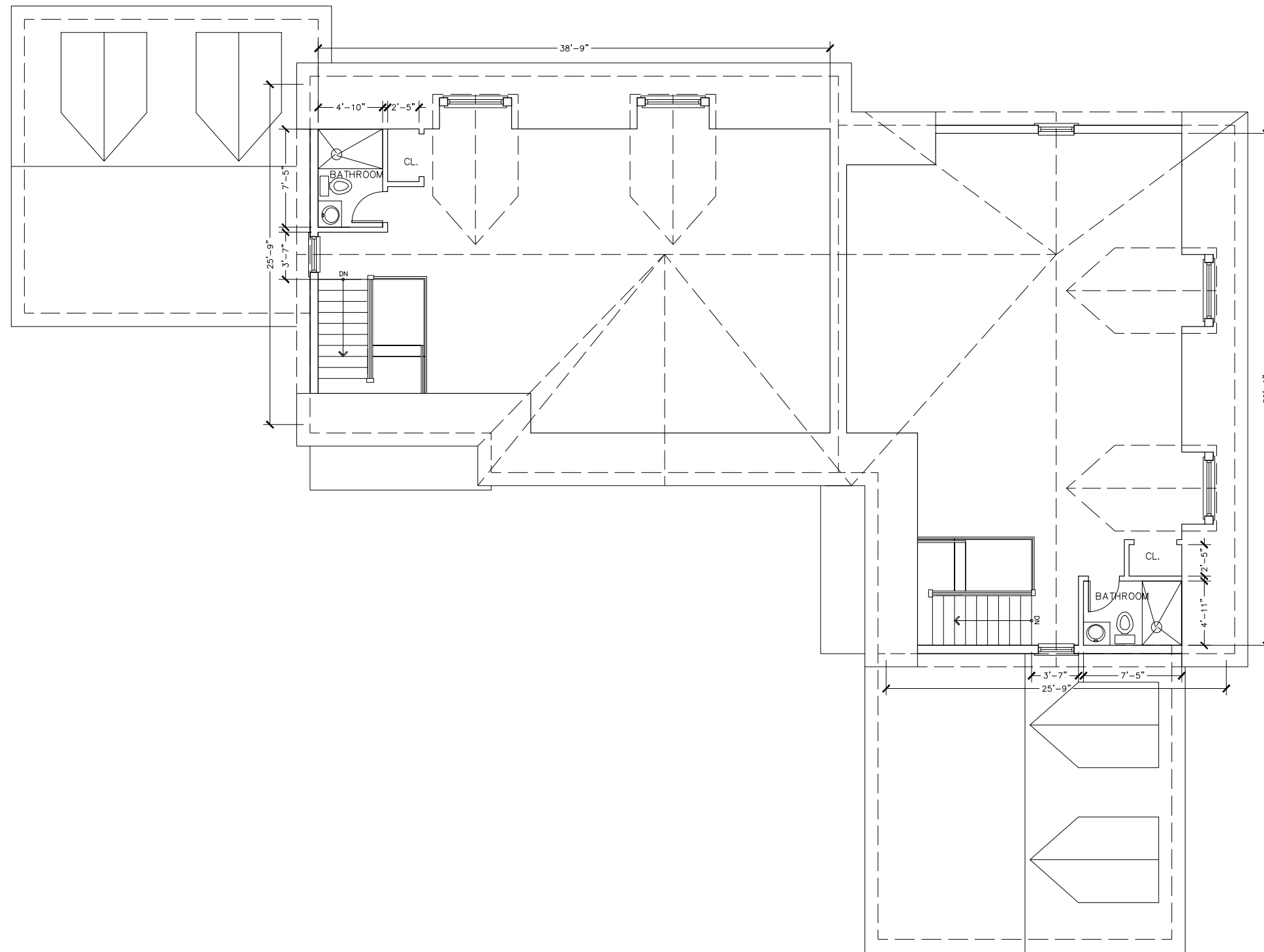




UNIT #3 UNIT #4

UNIT 3 & 4 SECOND FLOOR PLAN



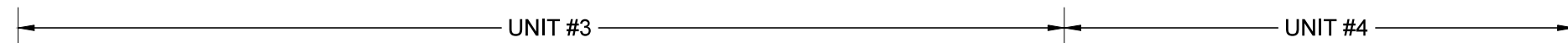
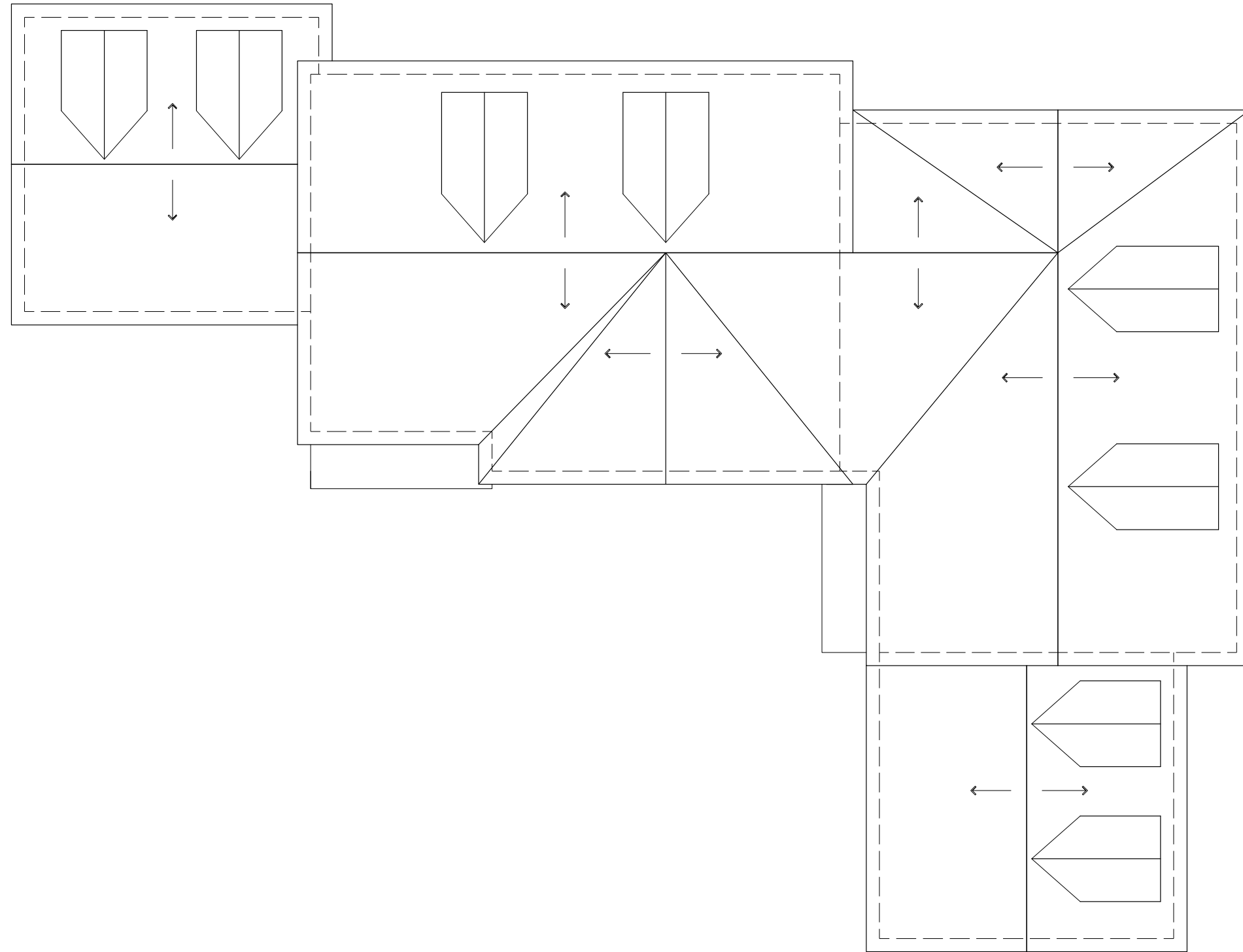


UNIT #3

UNIT #4

UNIT 3 & 4 ATTIC FLOOR PLAN





UNIT 3 & 4 ROOF PLAN



| | <u>1ST FLOOR FOOTPRINT</u> | <u>1ST FLOOR (INCL GARAGE)</u> | <u>2ND FLOOR</u> | <u>ATTIC</u> | <u>TOTAL AREA</u> |
|----------------|--------------------------------|------------------------------------|------------------|--------------|-------------------|
| <u>UNIT #1</u> | 2,255 | 1,844 | 1,793 | 334 | 3,971 |
| <u>UNIT #2</u> | 1,842 | 1,681 | 1,530 | 412 | 3,623 |
| <u>UNIT #3</u> | 1,702 | 1,642 | 1,532 | 566 | 3,740 |
| <u>UNIT #4</u> | 1,702 | 1,642 | 1,532 | 566 | 3,740 |
| | | | | | |
| | 7,501 | | | | 15074 |

LOT COVERAGE

$7,501 / 31,437 = 24\%$

FAR CALCULATION

$15,074 / 31,437 = 47\%$

FAR AND LOT COVERAGE SCHEDULE

