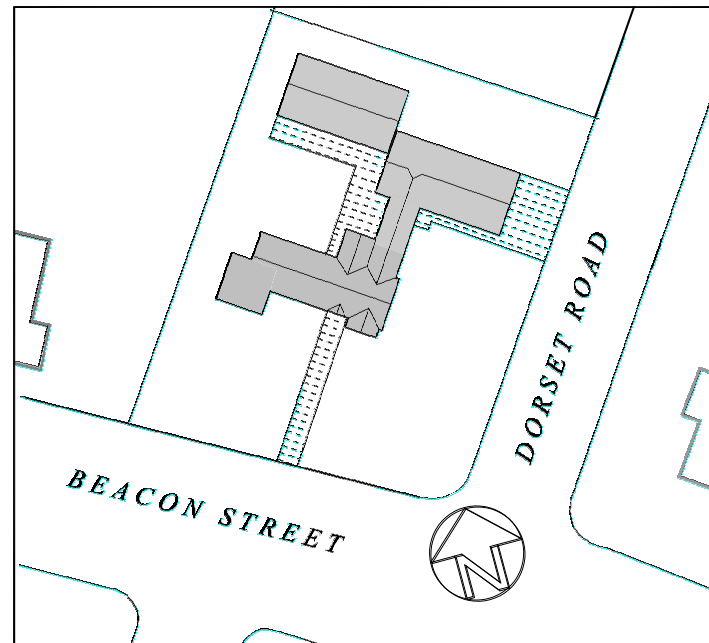


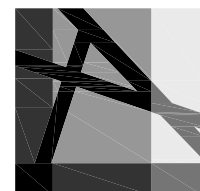
CHEN RESIDENCE

1765 BEACON STREET
WABAN, MASSACHUSETTS



EXISTING LOT, NO CHANGE:

LOT SIZE: 20,800 S.F.
FRONTAGE: 125 L.F.



t 617.497.9191
f 617.497.9090

2326 Massachusetts Ave | Cambridge MA 02140

DARLOW CHRIST
ARCHITECTS

GENERAL NOTES:

- 1: ALL WORK IS TO STRICTLY ADHERE AND FOLLOW THE 8th EDITION OF CMR 780, THE COMMONWEALTH OF MASSACHUSETTS BUILDING CODE.
- 2: SUPERVISION AND CONSTRUCTION PROCEDURES: THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT, UNLESS THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THESE MATTERS. IF THE CONTRACT DOCUMENTS GIVE SPECIFIC INSTRUCTIONS CONCERNING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, THE CONTRACTOR SHALL EVALUATE THE JOB SITE SAFETY THEREOF AND EXCEPT AS STATED BELOW SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE JOB SITE SAFETY OF SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES. IF THE CONTRACTOR DETERMINES THAT SUCH MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES MAY NOT BE SAFE, THE CONTRACTOR SHALL GIVE TIMELY WRITTEN NOTICE TO THE OWNER AND ARCHITECT AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK WITHOUT FURTHER WRITTEN INSTRUCTION FROM THE ARCHITECT. IF THE CONTRACTOR IS THEN INSTRUCTED TO PROCEED WITH THE REQUIRED MEANS METHODS TECHNIQUES, SEQUENCES OR PROCEDURES WITHOUT ACCEPTANCE OF CHANGES PROPOSED BY THE CONTRACT, THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY RESULTING LOSS OR DAMAGE.
- 3: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND VERIFY ALL EXISTING CONDITIONS IN THE FIELD.
- 4: THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR FURNISHING AND INSTALLING TEMPORARY SUPPORTS AND BRACING NECESSARY TO PREVENT ANY INSTABILITIES DURING CONSTRUCTION.
- 5: THE ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR THE CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES SCHEDULING OR CONSTRUCTION ACTIVITIES OR FOR THE SITE SAFETY. THESE DUTIES BELONG WITH THE CONTRACTOR WHO HAS CONTROL OF THE JOB SITE AND HAS THE OBLIGATION TO PERFORM AND COORDINATE WITH HIS SUPERINTENDENT THE WORK ACCORDING TO THE CODE, CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY REGULATORY AGENCIES. THE ARCHITECT AND HIS OR HER PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS. THE CLIENT AGREES THAT THE CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND WARRANTS THAT THIS INTENT SHALL BE CARRIED OUT IN THE CLIENT'S AGREEMENT WITH THE CONTRACTOR AND THE ARCHITECT WITH HER/HIS CONSULTANTS BE INDEMNIFIED FOR JOB SITE SAFETY.
- 6: TYPICAL SMOKE DETECTORS, HEAT DETECTORS, AND CARBON MONOXIDE DETECTOR, ALL UL APPROVED 780 CMR 533, LIFE SAFETY SYSTEMS, 5313.2.9, 5313.3, 5303.4, MASSACHUSETTS STATE BUILDING CODE.
- 7: ALL NOTES TYPICAL FOR ALL DRAWINGS.
- 8: ALL BEDROOM WINDOW ARE TO BE AS STATED IN THE CODE FOR SLEEPING ROOMS, CMR 780, 1&2 FAMILY DWELLINGS, SECTION 5310.1.
- 9: ALL WINDOW GLASS IS HIGH PERFORMANCE LOW E MIN. U=35 INSULATED. GLASS.

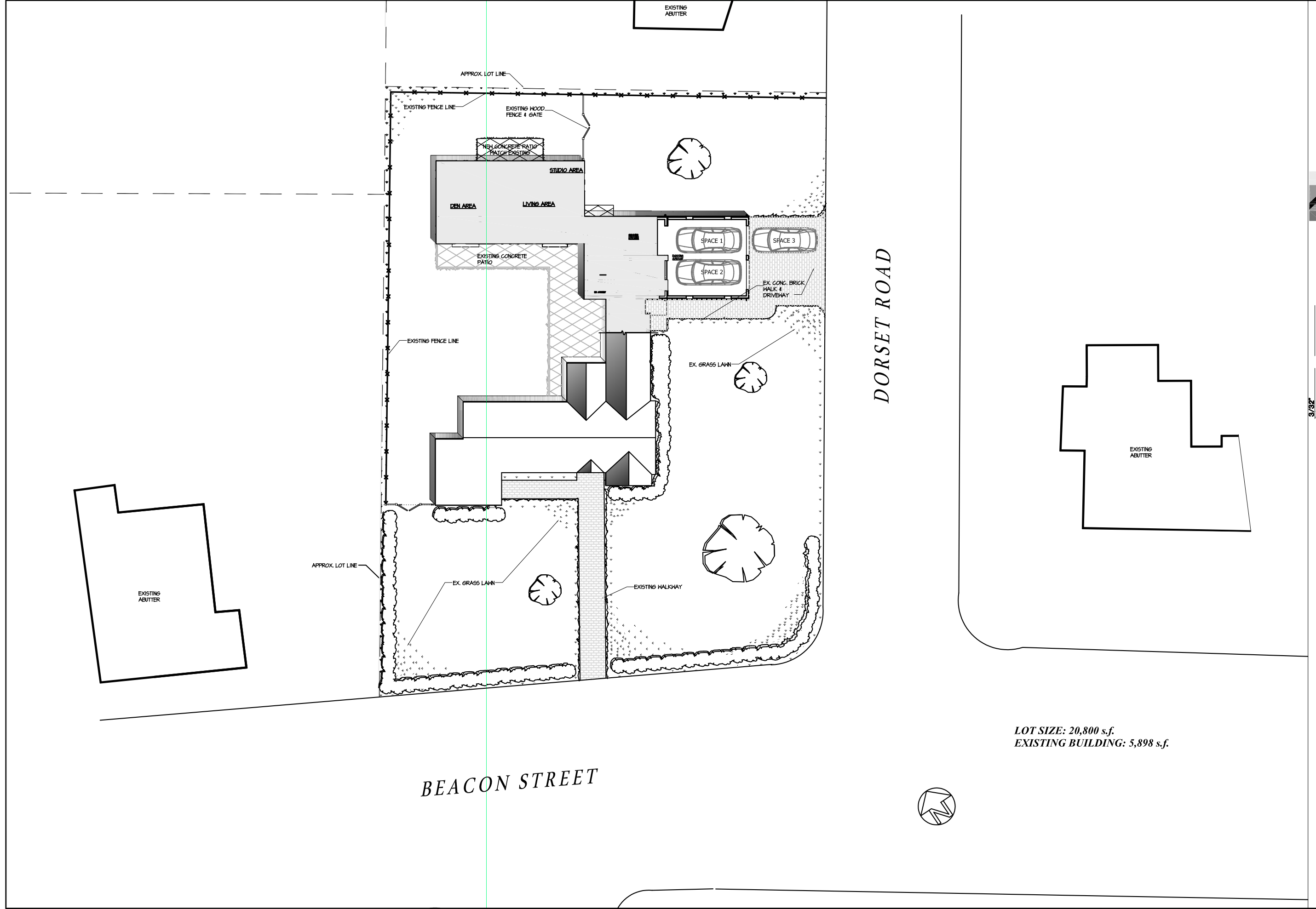
DRAWING LIST

ARCHITECTURAL

- SP-1.1 SITE PLAN
- D-1.1 DEMOLITION PLAN
- D-2.1 DEMOLITION REFLECTED CEILING PLAN
- D-5.1 DEMOLITION EXTERIOR ELEVATIONS
- A-0.1 WINDOW & DOOR SCHEDULES, WALL TYPES
- A-1.1 FIRST AND SECOND FLOOR PLANS
- A-2.1 FIRST AND SECOND REFLECTED CEILING PLANS
- A-3.1 BUILDING SECTIONS
- A-5.1 EXTERIOR ELEVATIONS
- A-7.1 INTERIOR ELEVATIONS
- S-1 PARTIAL ROOF AND SECOND FLOOR FRAMING PLANS

ISSUES

- 26 NOVEMBER 2014
- 29 DECEMBER 2014
- 04 MARCH 2015: Approval of Special Permit



DEMOLITION LEGEND

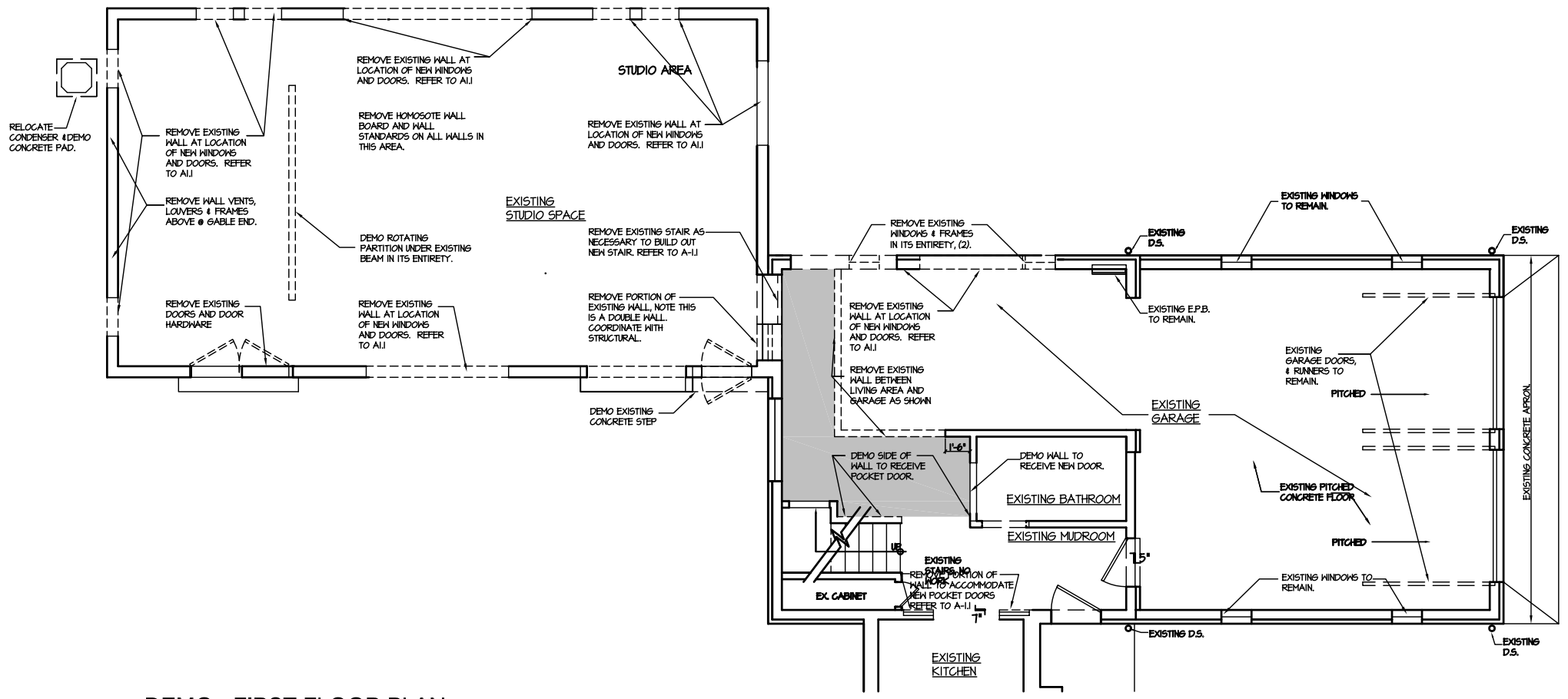
EXISTING PARTITIONS TO REMAIN
 EXISTING PARTITIONS TO BE REMOVED
 EXISTING WINDOW AND FRAME TO BE REMOVED

POWER LEGEND

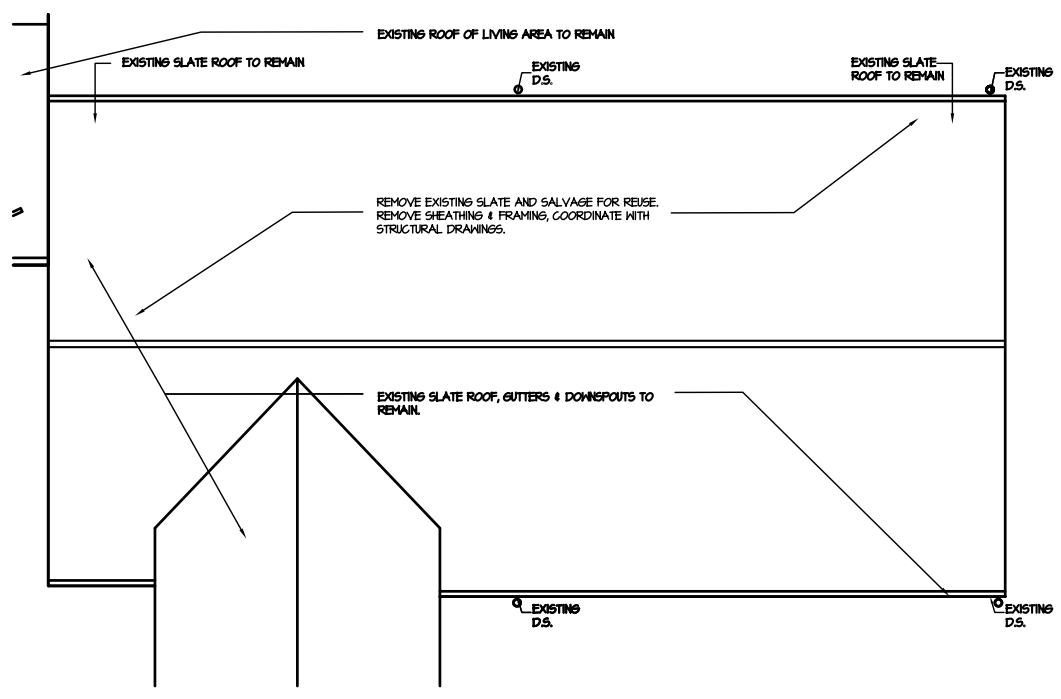
QUAD OUTLET TELEVISION OUTLET THERMOSTAT
 DUPLEX OUTLET TEL/DATA
 HALL SWITCH TELEPHONE

DEMOLITION GENERAL NOTES

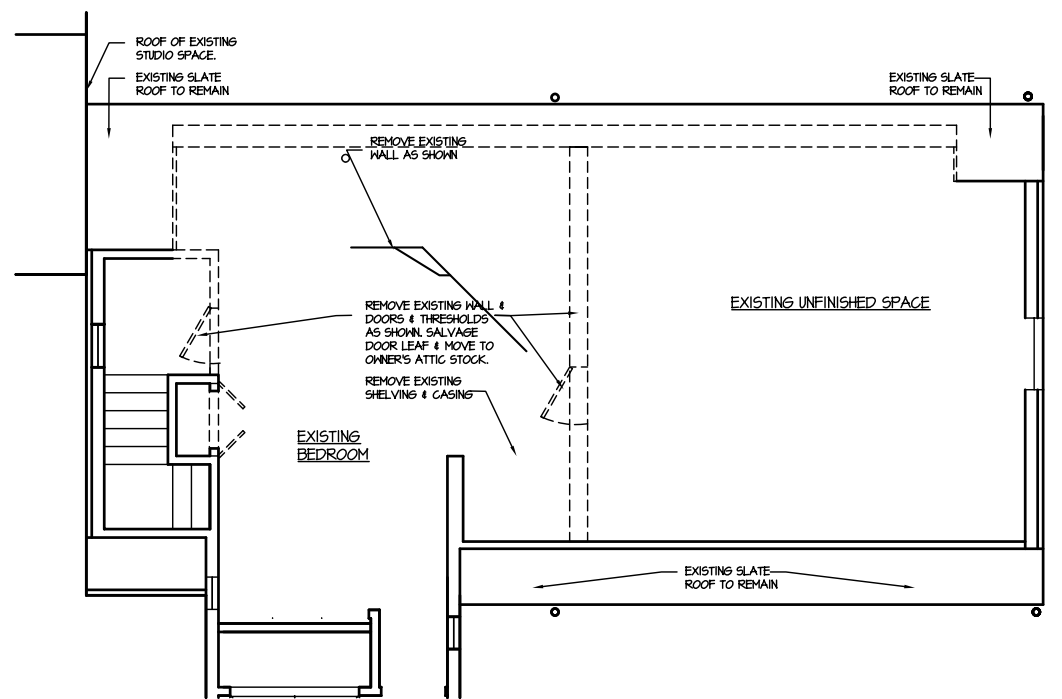
1. THE INTENT OF THIS DRAWING IS TO PROVIDE THE CONTRACTOR WITH A GENERAL SCOPE OF REMOVAL, SALVAGING AND/OR DEMOLITION WORK WHILE NOTING EXISTING CONDITIONS TO THE BEST OF THE ARCHITECT'S KNOWLEDGE. ALL EXISTING CONDITIONS ARE NOT SHOWN ON THESE DOCUMENTS.
2. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND THOROUGHLY EXAMINE ALL DRAWINGS PRIOR TO THE START OF WORK TO DETERMINE THE FULL EXTENT OF REMOVAL, SALVAGING AND/OR DEMOLITION WORK.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND SAFETY STANDARDS.
4. THE CONTRACTOR SHALL COMPLETELY REMOVE AND PROPERLY DISPOSE OF ALL REMOVAL, DEMOLITION AND/OR CONSTRUCTION DEBRIS NOT DESIGNATED FOR RE-USE. IN ACCORDANCE WITH RELEVANT REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION, ITEMS WHICH ARE DETERMINED, AND/OR NOTED FOR RE-USE SHALL BE CAREFULLY REMOVED, HAVE DAMAGE REPAIRED TO MEET FINISH REQUIREMENTS AND/OR MATCH EXISTING FINISH AND SHALL BE PROPERLY AND SECURELY STORED.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL FURNITURE AND EQUIPMENT PER OWNER'S APPROVAL.
6. IF ANY PREVIOUSLY UNIDENTIFIED HAZARDOUS SUBSTANCES ARE DISCOVERED DURING DEMOLITION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER WHO WILL ARRANGE REMOVAL BY AUTHORIZED PERSONS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION DEMOLITION AND OR RELOCATION ASSOCIATED WITH THE WORK SHOWN. ALL SYSTEMS, SHOWN OR NOT SHALL BE PROPERLY TERMINATED AND COMPLETELY REMOVED IF DISTURBED BY ANY DEMOLITION SHOWN OR REQUIRED.
8. CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING FINISHES, SYSTEMS, ETC. INDICATED TO REMAIN. REPAIR OF ANY DAMAGE DUE TO DEMOLITION OR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.



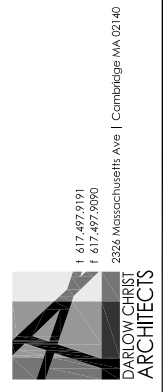
1 DEMO: FIRST FLOOR PLAN



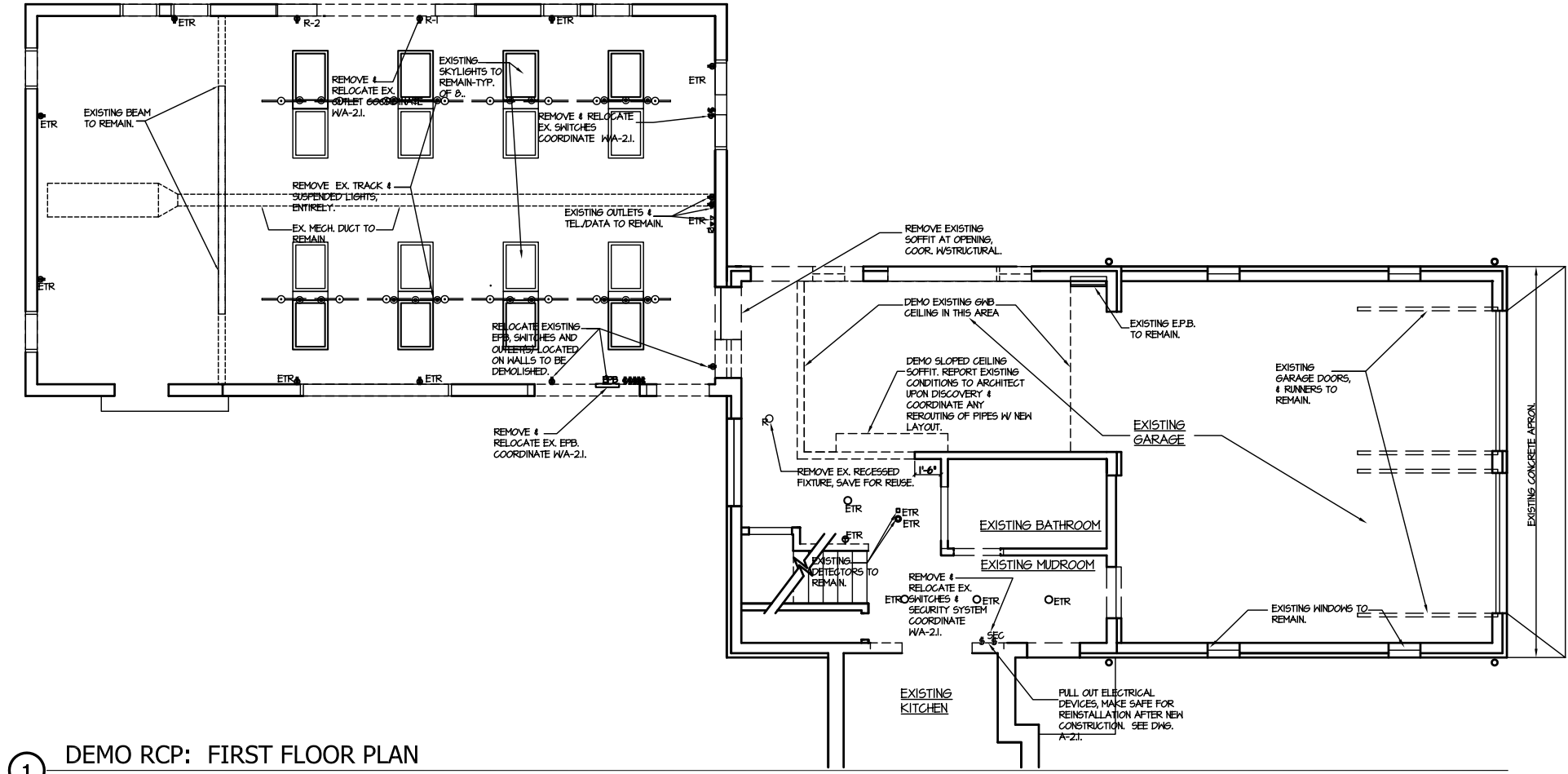
3 DEMO: ROOF PLAN



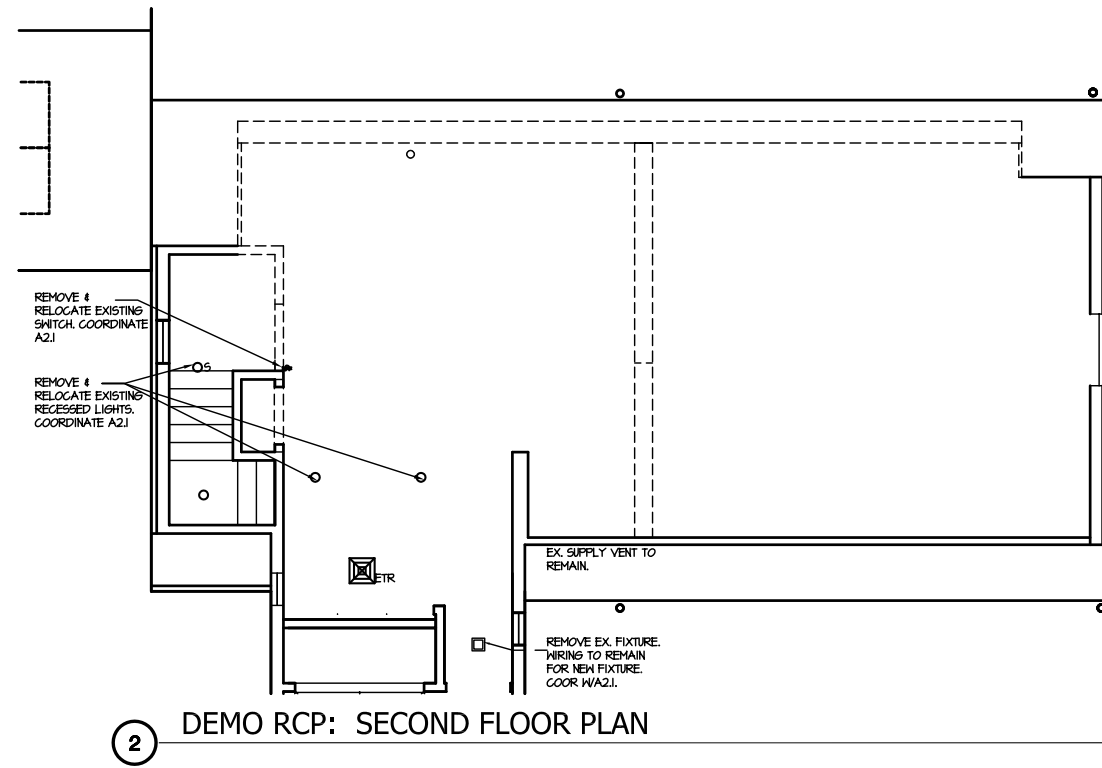
2 DEMO: SECOND FLOOR PLAN



1/4" Scale	2016-MAR-04
1417	2014-DEC-28
JC	2014-NOV-28
Drawn By	Date



1 DEMO RCP: FIRST FLOOR PLAN

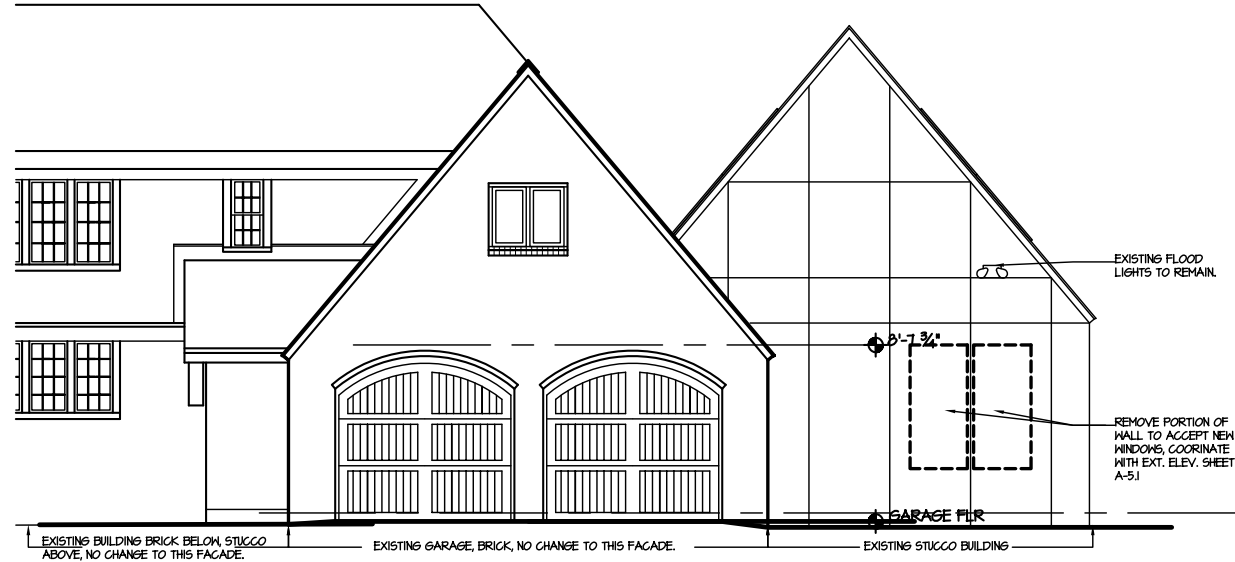


2 DEMO RCP: SECOND FLOOR PLAN

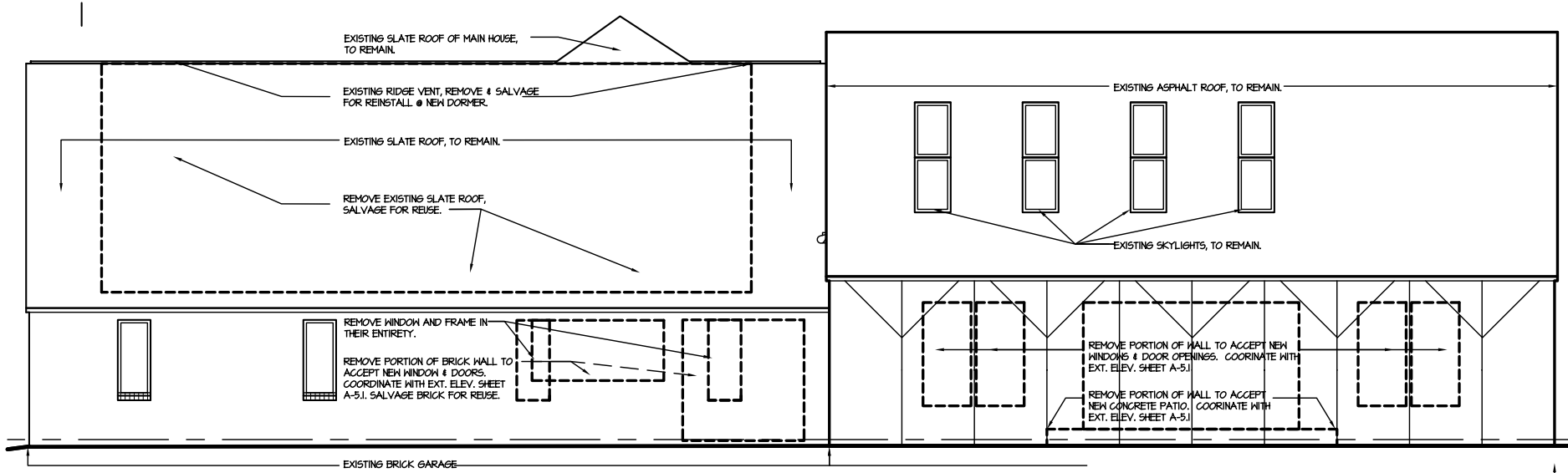


1/4" Scale	2016-MAR-04
1417	2014-DEC-28
JC	2014-NOV-28
Drawn By	Date

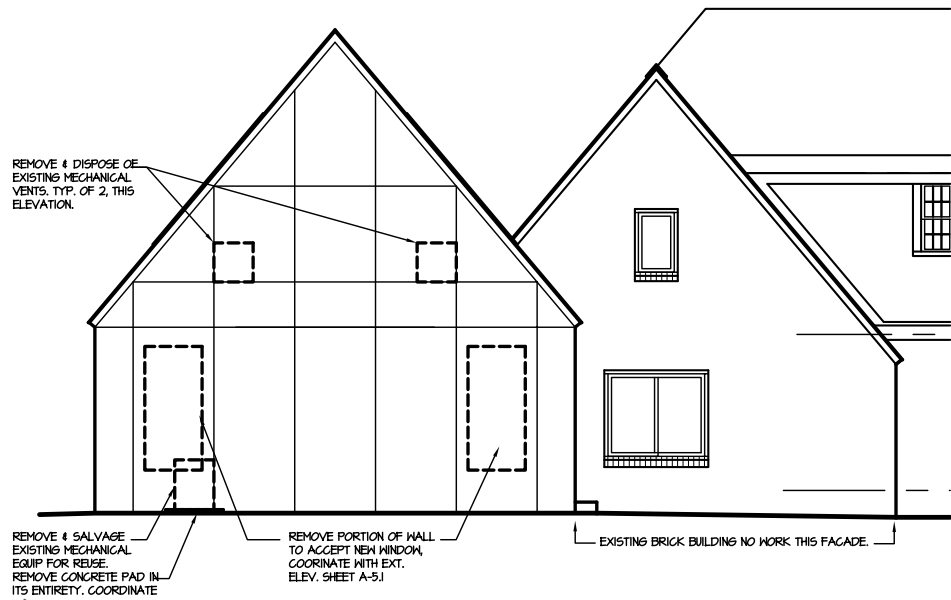
W:\1765 Beacon St Waban\7. CAD\Issued\LOT\D-5.1.dwg, 3/3/2015 12:35:29 PM, Tabloid, 1:2.23256



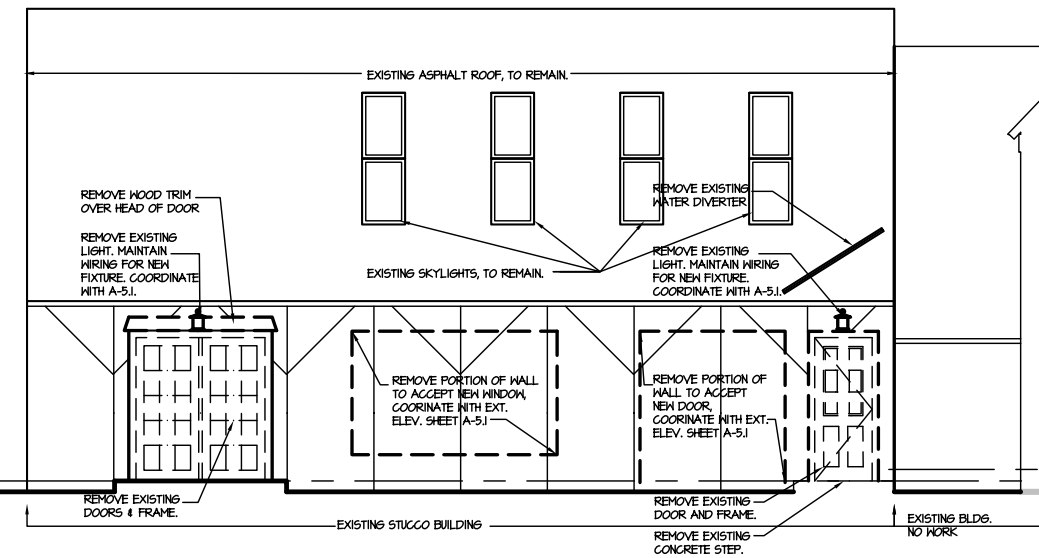
1 DEMO: EAST ELEVATION



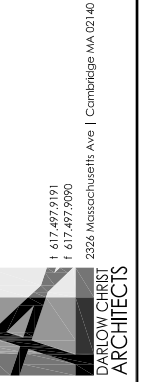
2 DEMO: NORTH ELEVATION



3 DEMO: WEST ELEVATION

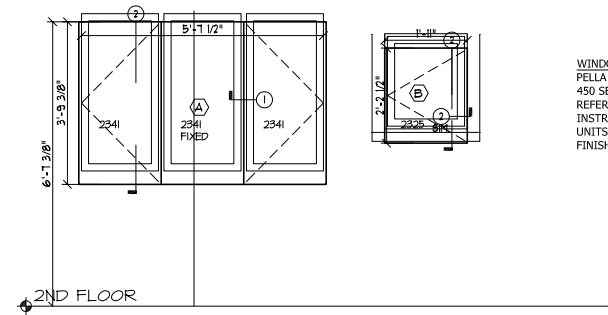


4 DEMO: SOUTH ELEVATION

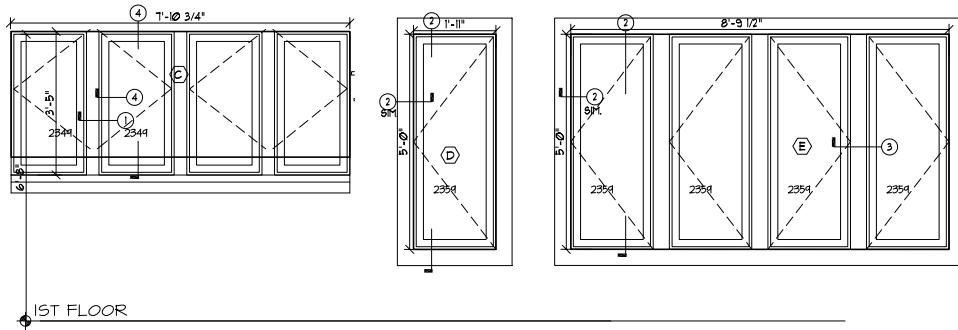


1/4" Scale
 1417 Job No
 JC Drawn By
 2014-DEC-31 Date
 2014-DEC-28
 2014-NOV-28

1765 Beacon Street, Waban, MA
 Demo Elevations
 D-5.1



WINDOWS:
PELLA ALUMINUM CLAD WOOD, PROLINE
450 SERIES.
REFER TO MANUFACTURERS
INSTRUCTIONS FOR ORDERING MULLED
UNITS.
FINISH TO MATCH EXISTING.

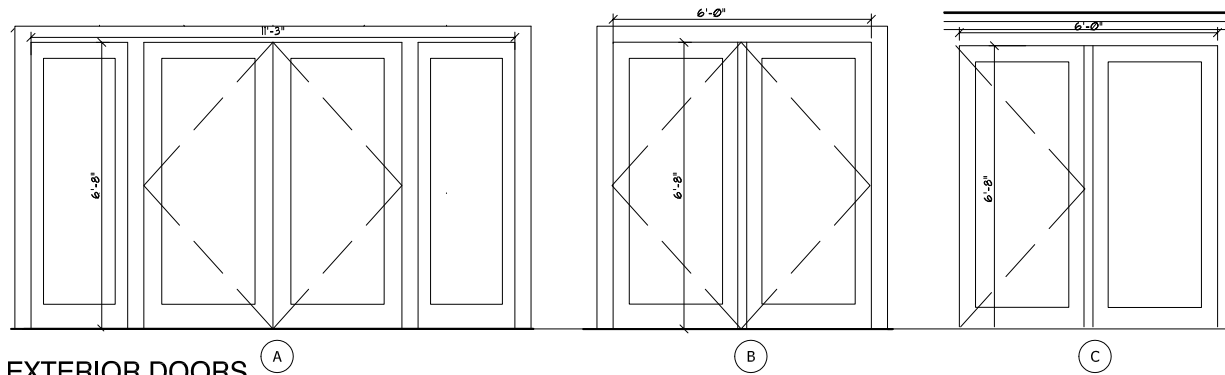


1 WINDOW TYPES
SCALE: 1/4" = 1'-0"

1 2

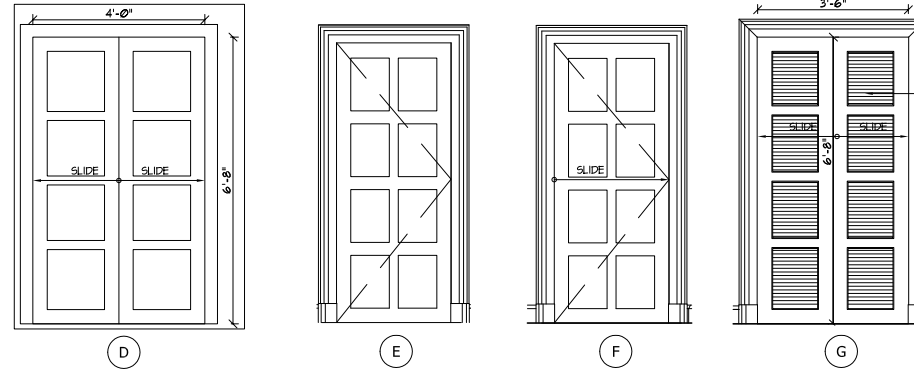
3 4

HEAD, JAMB & SILL DETAILS
nts



COORDINATE THRESHOLDS
OF EXTERIOR DOORS WITH
FINISHED FLOOR HEIGHTS.

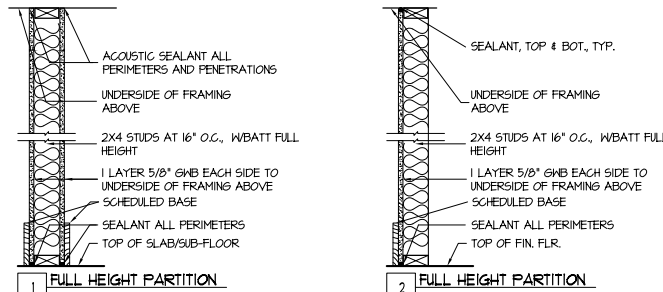
2 EXTERIOR DOORS
SCALE: 1/4" = 1'-0"



DOOR SCHEDULE					
MARK	TYPE	SIZE	MATERIAL	FINISH	HARDWARE SET
D.1	A	6'-8" X 11'-3"	STEEL	PAINT	LEVER LOCKSET
D.2*	B	6'-8" X 6'-0"	STEEL	PAINT	LEVER LOCKSET
D.3	B	6'-8" X 6'-0"	STEEL	PAINT	LEVER LOCKSET
D.4	C	6'-8" X 6'-0", 2 LEAFS, 1 FIXED.	STEEL	PAINT	LEVER LOCKSET
D.5	D	6'-8" X 4'-0"	WOOD	PAINT	SLIDING DOOR FULL SET
D.6	F	6'-6" X 2'-8"	WOOD	PAINT	SLIDING DOOR FULL SET
D.7	E	6'-6" X 2'-6"	WOOD	PAINT	PRIVACY SET
D.8	F	6'-6" X 2'-6"	WOOD	PAINT	SLIDING DOOR PRIVACY FULLSET
D.9*	E	6'-6" X 2'-8"	WOOD	PAINT	PASSAGE
D.10*	E	6'-6" X 3'-0"	WOOD	PAINT	PRIVACY SET
D.11	E	6'-8" X 2'-6"	WOOD	PAINT	PRIVACY SET
D.12	F	6'-8" X 3'-0"	WOOD	PAINT	LOCK SET
D.13	G	6'-8" X 3'-6"	WOOD/GLASS	PAINT	PRIVACY
D.14	G	6'-8" X 3'-6"	WOOD/GLASS	PAINT	PRIVACY

* REPLACING EXISTING DOORS, GC TO VERIFY EXISTING OPENINGS,
NOTE:
FINAL DOOR HARDWARE TO BE REVIEWED BY OWNER.

3 INTERIOR DOORS
SCALE: 1/4" = 1'-0"

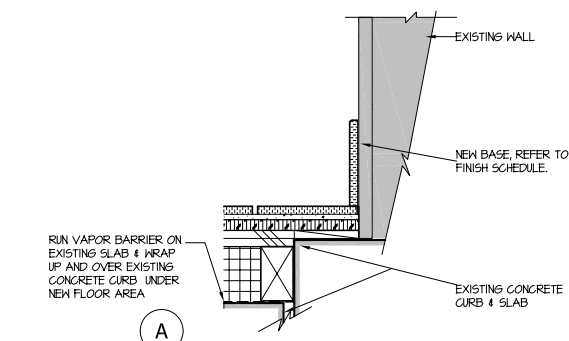


1 FULL HEIGHT PARTITION
SAME AS 1 EXCEPT, USE CEMENTITIOUS BOARD AT TILED WALLS & MOISTURE RESISTANT G&B AT TOILET ROOM SIDE RECEIVING PAINT.

1A FULL HEIGHT PARTITION
SAME AS 1A EXCEPT, USE 6" STUD W&R BOARD ON LAUNDRY RM SIDE & CEMENTITIOUS BOARD AT TILED WALLS & M. R. G&B AT TOILET ROOM SIDE RECEIVING PAINT.

1B FULL HEIGHT PARTITION
SAME AS 1B EXCEPT, USE 6" STUD W&R BOARD ON LAUNDRY RM SIDE & CEMENTITIOUS BOARD AT TILED WALLS & M. R. G&B AT TOILET ROOM SIDE RECEIVING PAINT.

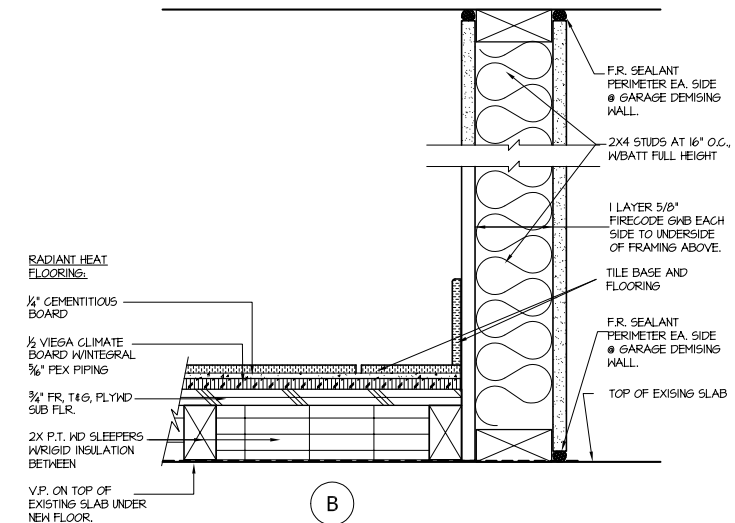
4 WALL TYPES
1" = 1'-0"

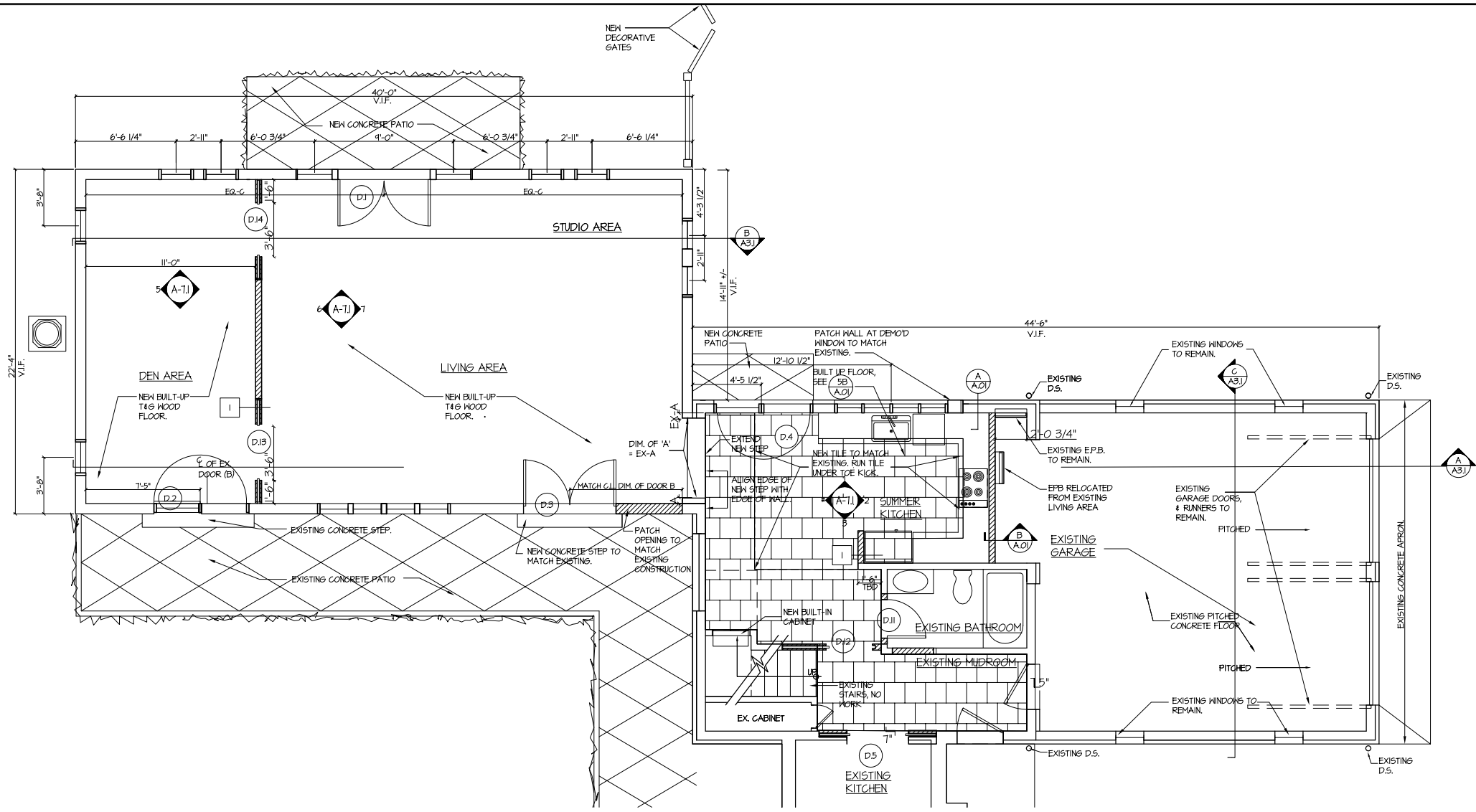


RUN VAPOR BARRIER ON EXISTING SLAB & WRAP UP AND OVER EXISTING CONCRETE CURB UNDER NEW FLOOR AREA

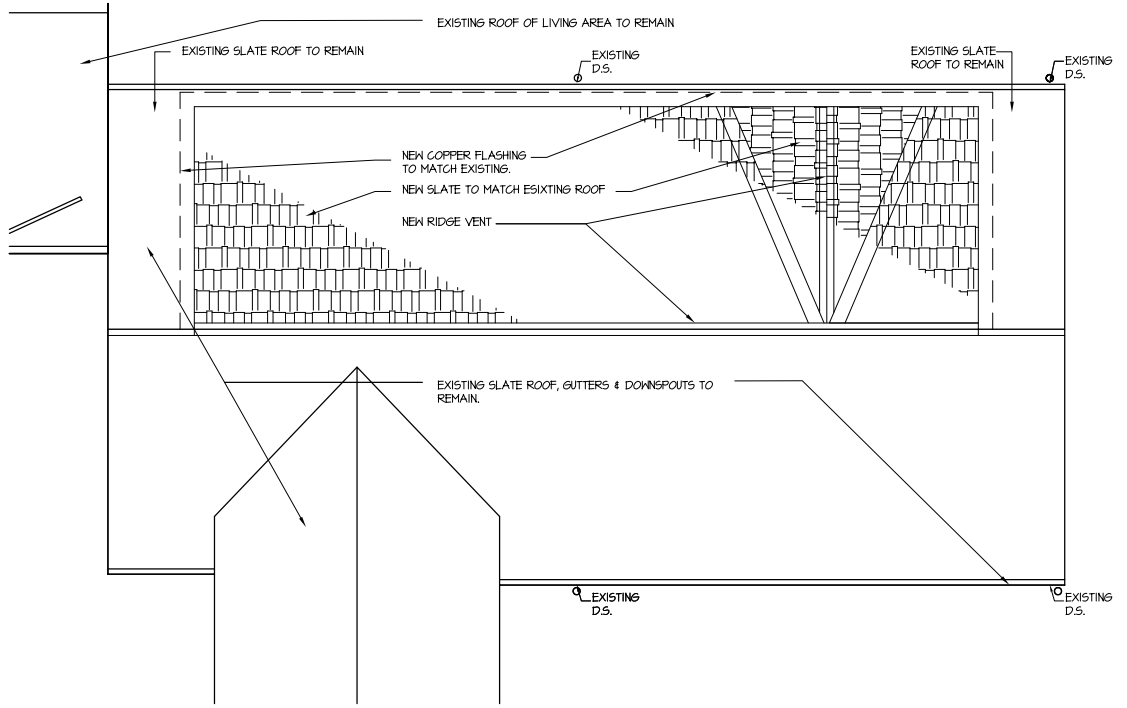
EXISTING CONCRETE CURB & SLAB

5 DETAILS: BUILT-UP FLOOR FOR RADIANT HEATING
3" = 1'-0"

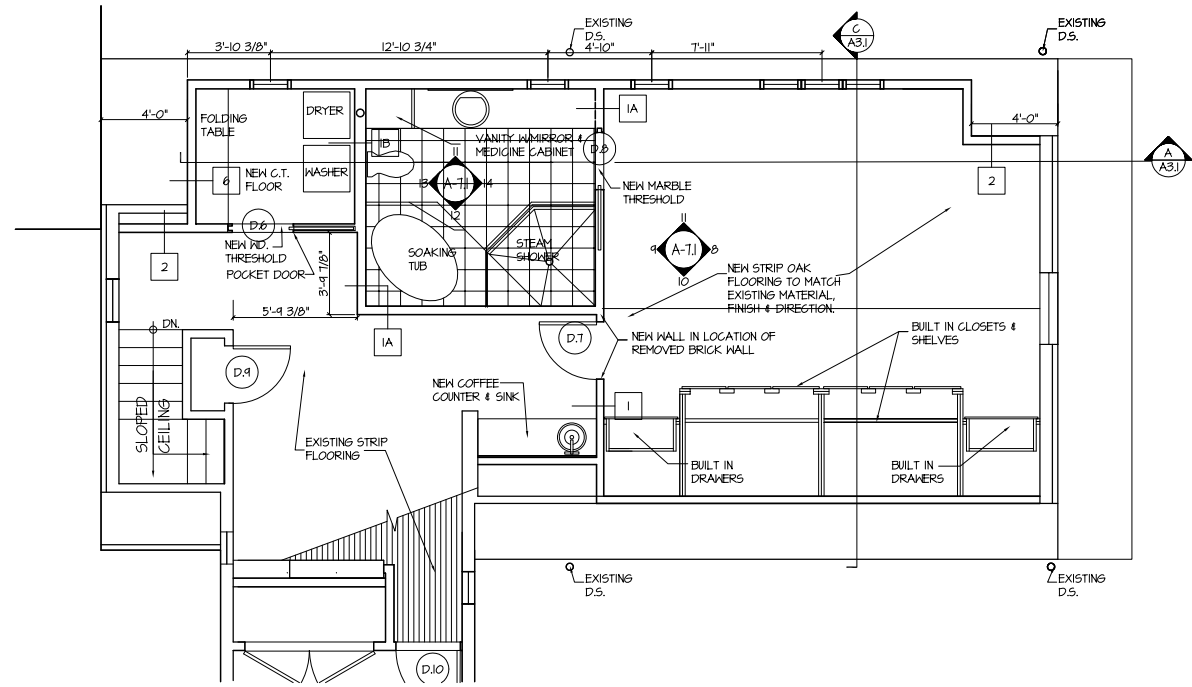




1 FIRST FLOOR PLAN



3 ROOF PLAN



2 SECOND FLOOR PLAN



2015-MAR-4
2014-DEC-28
2014-NOV-28

1/4" Scale
1417 Job No.
JC Drawn By

1765 Beacon Street, Waban, MA
Floor Plans: First & Second

A-1.1

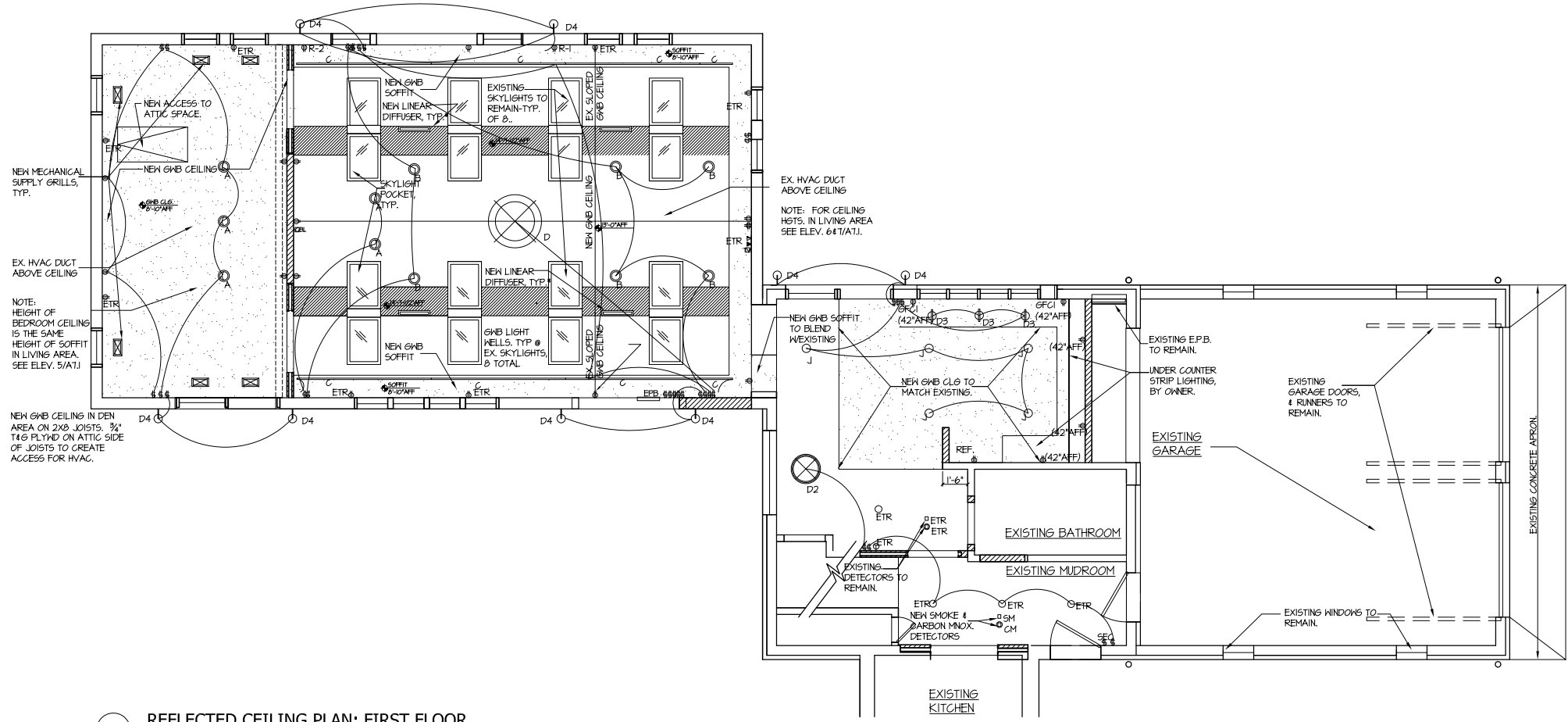
1 617 497 9191
1 617 497 9090
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POWER LEGEND

WAND OUTLET
 TELEVISION OUTLET
 THERMOSTAT
 DUPLEX OUTLET
 TELEPHONE
 HALL SWITCH
 SMOKE DETECTOR

CEILING LEGEND

VARIES CEILING HEIGHT
 CEILING FINISH MATERIAL
 GYPSUM WALLBOARD
 CEILING
 DIFFUSER
 LINEAR SLOT SUPPLY OR
 RETURN
 RETURN OR EXHAUST
 GRILLE
 LIGHT TO STAY ON OVERNIGHT
 FIXTURE TYPE DESIGNATION,
 SEE SCHEDULE
 EXISTING TO REMAIN
 EXISTING TO BE RELOCATED



1 REFLECTED CEILING PLAN: FIRST FLOOR

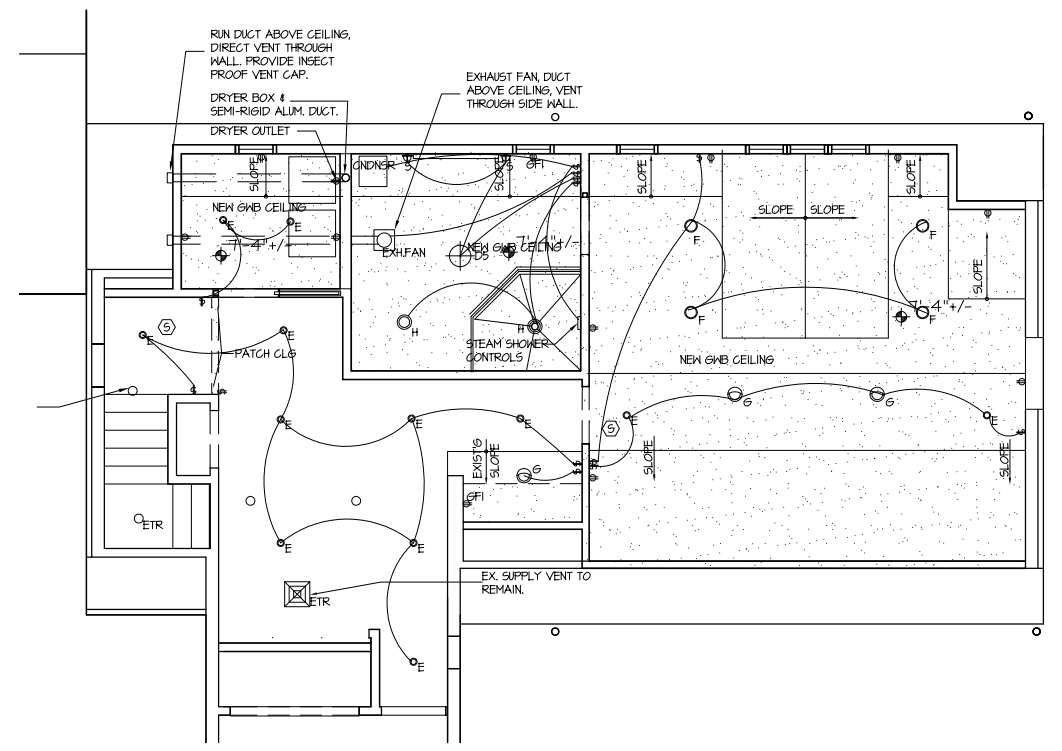
LIGHT FIXTURE SCHEDULE

TYPE	MANF.	NO./NAME	DESCRIPTION AND FINISH	LAMP
	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	(1) TBD
	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	(1) TBD
	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	(3) TBD
	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	(6) TBD
	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	(1) TBD
	TBD BY OWNER	TBD BY OWNER	TBD BY OWNER	(2) TBD
	JNO	TC20R 684C-1H	5" UNIVERSAL TO REMODEL HOUSING	(5) 75W PAR30 INCANDESCENT
	JNO	TC20R 204C-1H	5" UNIVERSAL TO REMODEL HOUSING	(6) 75W PAR30/75W PAR30/65W BR30 INCANDESCENT
	FOKERMIZER	CLA3/2-46C-1H27-N	SERIES CLA CUSTOM LINEAR ARRAY 8' FLAT CHANNEL MOUNT, CLEAR LENS, WARM WHITE 2700K LED FIXTURE	(6) 8' ARRAY (2) 24' ARRAY
	JNO	IC1-120V-1TR2-1H	4" MINIATURE UNIVERSAL IC NEW CONSTRUCTION HOUSING	(12) 50W PAR20 R20 INCAND.
	JNO	IC1-120V-1B-1H	4" MINIATURE UNIVERSAL IC NEW CONSTRUCTION HOUSING	(4) 50W PAR20 R20 INCANDESCENT
	JNO	IC1-120V-440-5C	4" MINIATURE UNIVERSAL IC NEW CONSTRUCTION HOUSING	(3) 35W MR16/ES60 8100 BASE INCANDESCENT

LIGHT FIXTURE SCHEDULE - (CONTINUED)

TYPE	MANF.	NO./NAME	DESCRIPTION AND FINISH	LAMP
	JNO	IC1-120V-41B1 CLEAR	4" MINIATURE UNIVERSAL IC NEW CONSTRUCTION HOUSING	(1) 35W PAR20/50W R20 INCANDESCENT
	JNO	TC1R-120V-17H-1H	4" MINIATURE UNIVERSAL TC NEW CONSTRUCTION HOUSING	(5) 50W PAR20 R20

NOTE
 1. ALL LIGHTING, LIFE SAFETY, SMOKE DETECTORS & HVAC GRILLES ARE REPRESENTED ON THIS REFLECTED CEILING PLAN. ALSO SHOWN IS CEILING MOUNTED POWER & DATA. FOR A COMPREHENSIVE POWER, TELEPHONE, DATA, FURNITURE & EQUIPMENT PLAN SEE A-31.



2 REFLECTED CEILING PLAN: SECOND FLOOR

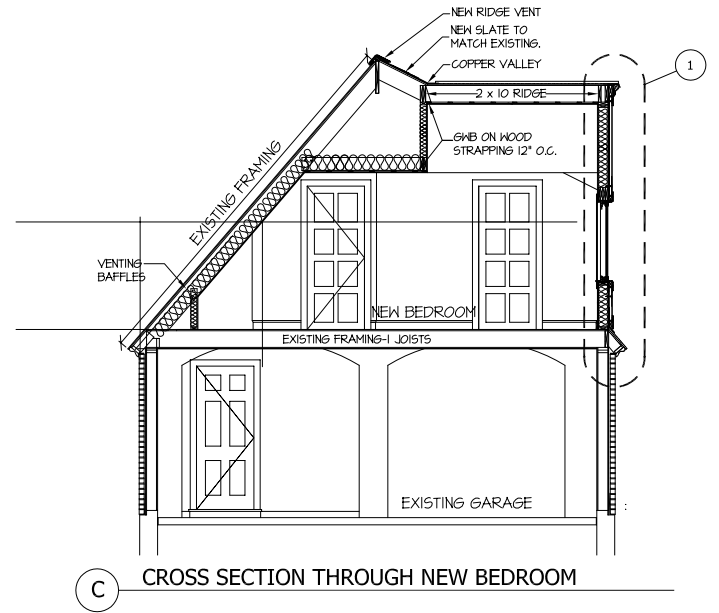
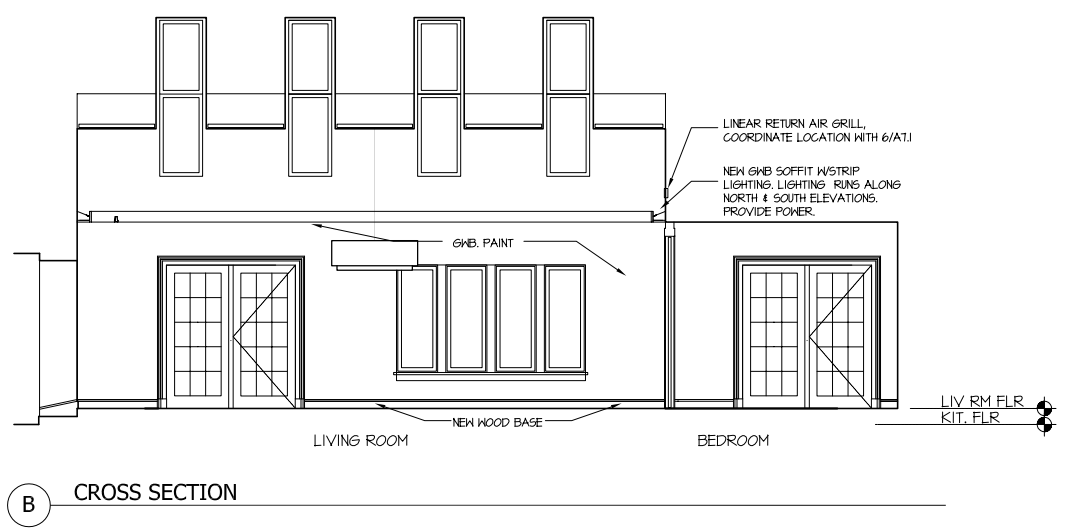
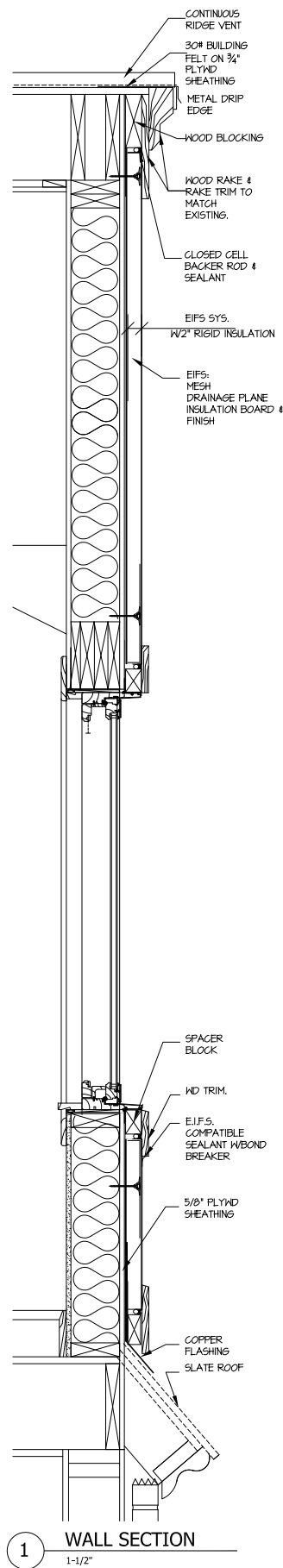


1 617.497.9191
 1 617.497.9090
 2326 Massachusetts Ave | Cambridge MA 02140

1/4" Scale
 1417 Job No.
 J.C. Drawn By

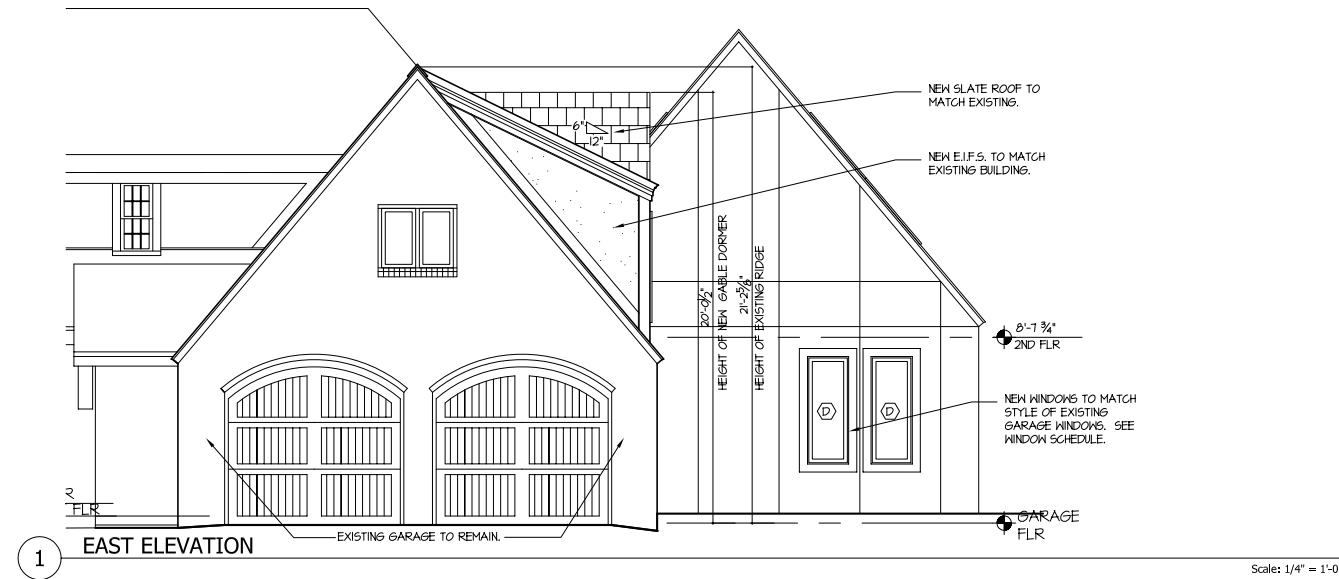
2016-MAR-04 Date
 2014-DEC-28 Date
 2014-NOV-28 Date

A-2.1
 Project
1765 Beacon Street, Waban, MA
 Reflected Ceiling Plans: First & Second Floor



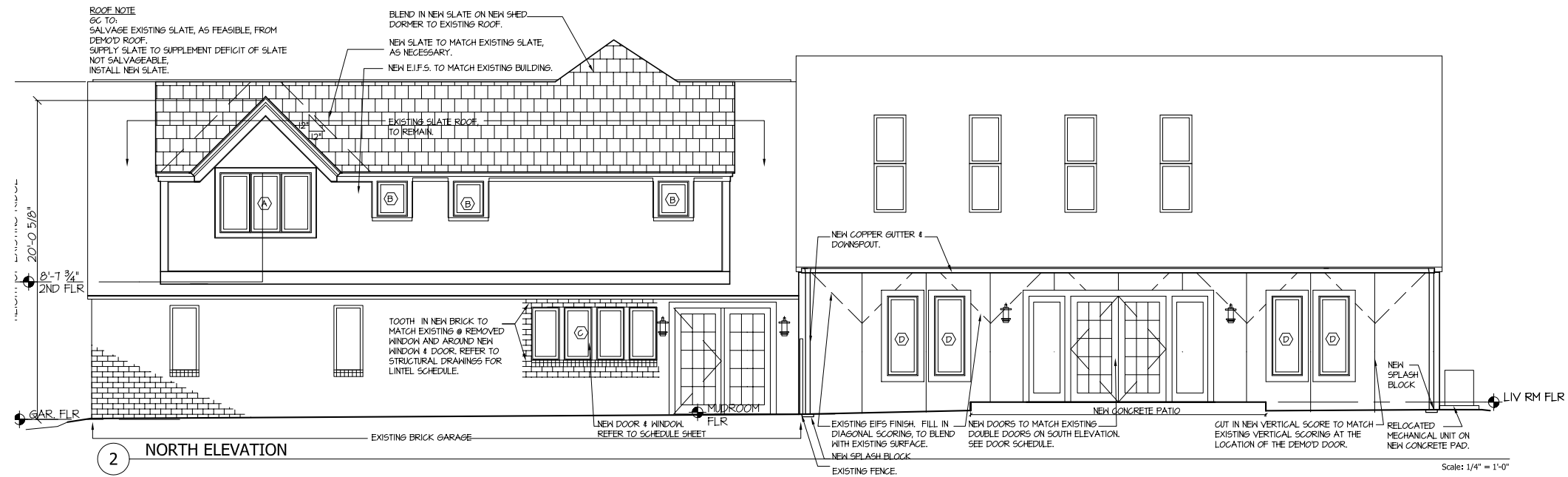
2016-MAR-04	Date
2014-DEC-28	Date
2014-NOV-28	Date

1/4" Scale
 1417 Job No.
 JC Drawn By



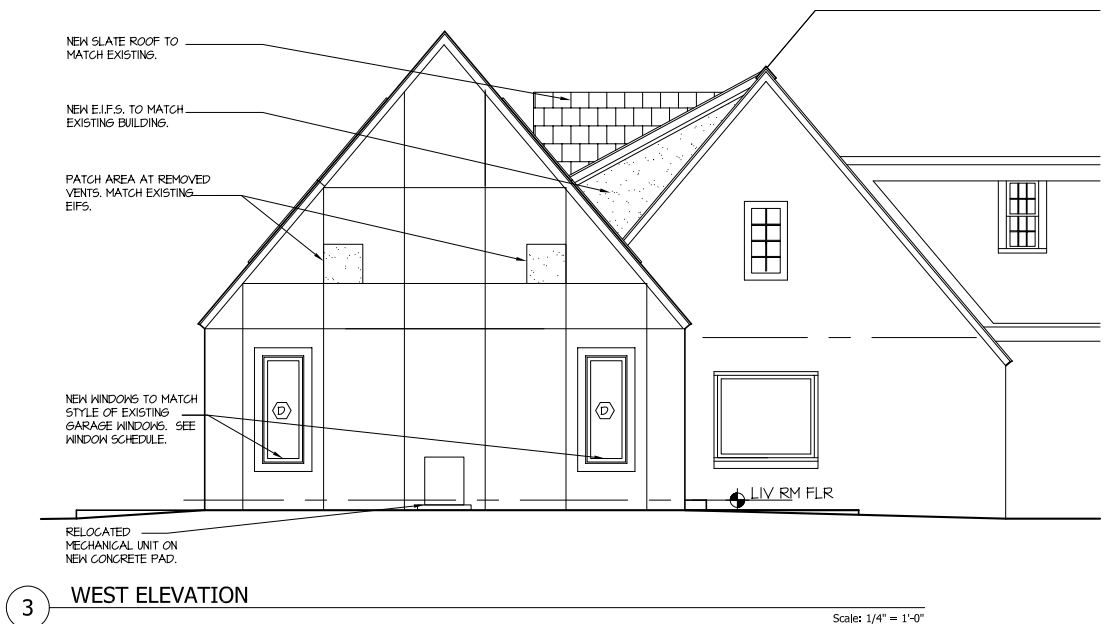
1 EAST ELEVATION

Scale: 1/4" = 1'-0"



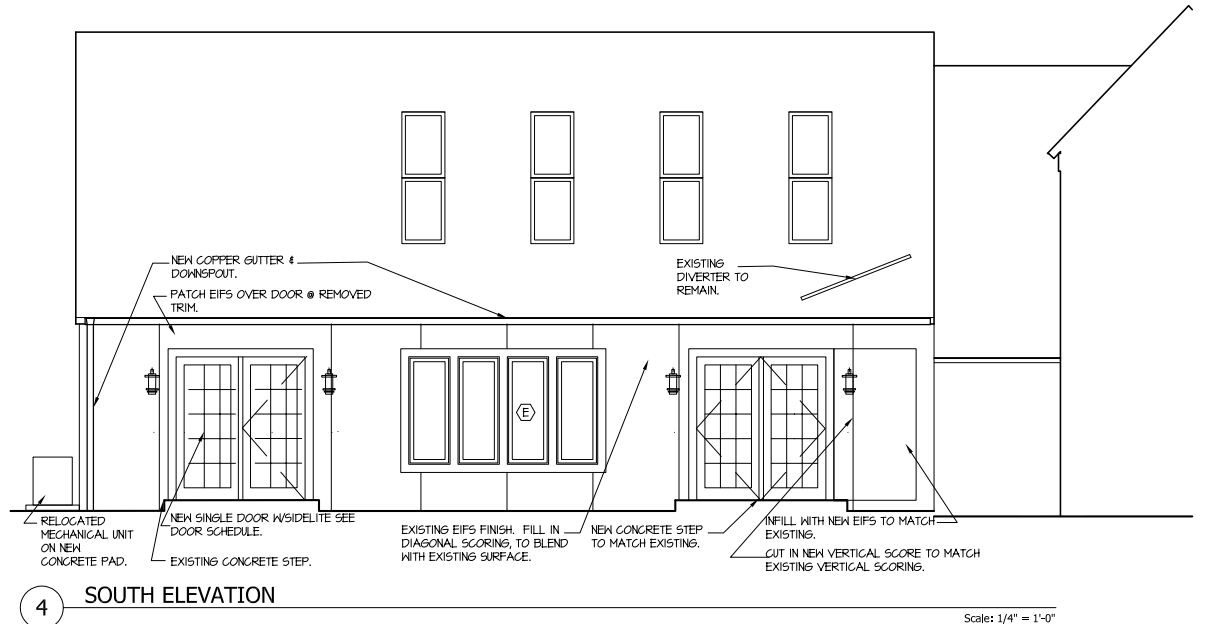
2 NORTH ELEVATION

Scale: 1/4" = 1'-0"



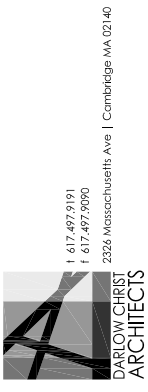
3 WEST ELEVATION

Scale: 1/4" = 1'-0"



4 SOUTH ELEVATION

Scale: 1/4" = 1'-0"



2016-MAR-04
2014-DEC-28
2014-NOV-28
DATE

1/4"
Scale

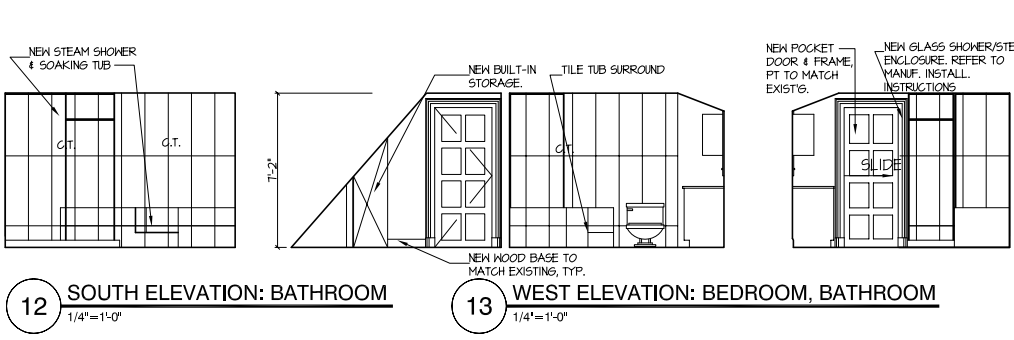
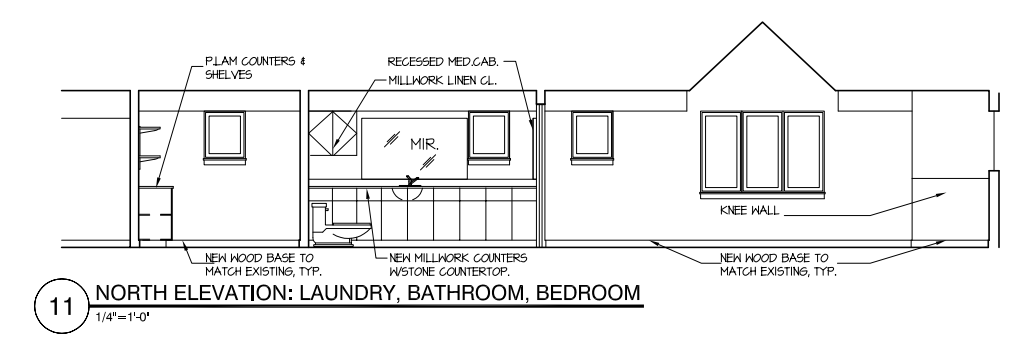
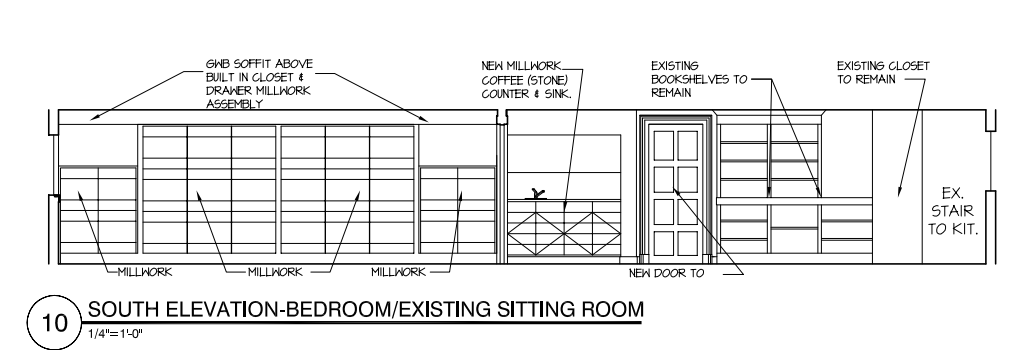
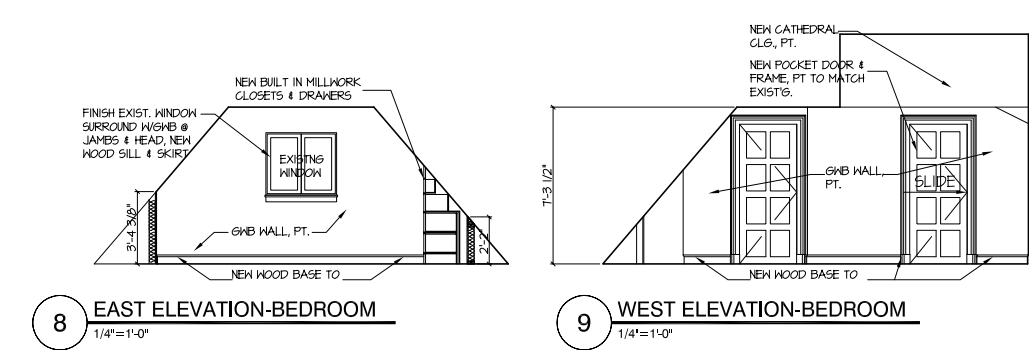
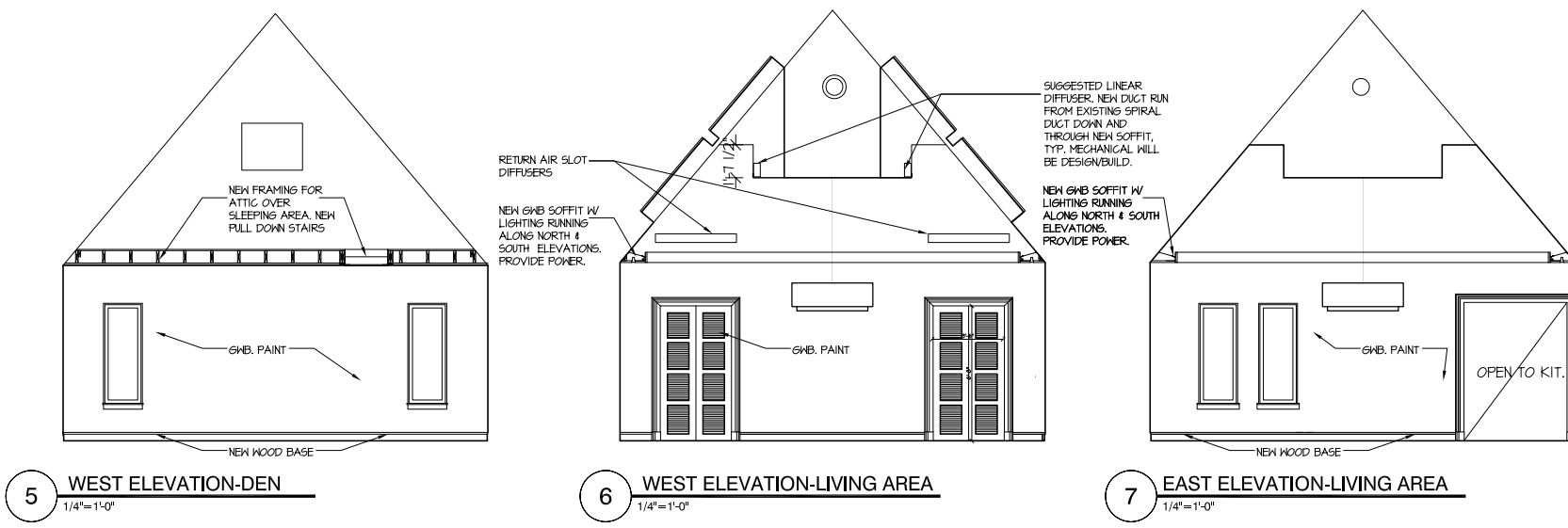
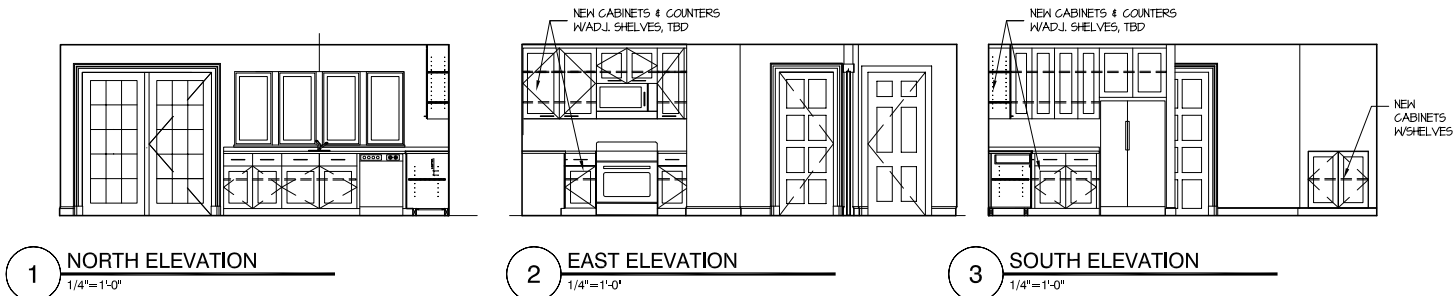
147
Job No

IC
Drawn By

1765 Beacon Street, Waban, MA
Project
Exterior Elevations
File

A-5.1

1 617.497.9191
1 617.497.9090
2326 Massachusetts Ave | Cambridge MA 02140



FURNITURE AND FINISH KEY

	EXISTING TILE		EXISTING CARPET		OUTLET
	EXISTING PARTITION		EXISTING FURNITURE		FLOOR FINISH TAG
	QUARRY TILE AS SPECIFIED				

- ### FINISH NOTES
- THE CONTRACTOR SHALL PREPARE ALL FLOOR SURFACES TO RECEIVE NEW FINISHES. MAKE FLUSH ANY UNEVEN AREAS OF EXISTING SUBFLOOR TO PREPARE AN EVEN SURFACE TO RECEIVE THE SCHEDULED TILE FLOORING.
 - IN ALL AREAS OF WORK WHERE NEW FINISHES ARE TO BE INSTALLED ON EXISTING FLOOR, WALL, OR CEILING SURFACES, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS ITEMS INCLUDING BUT NOT LIMITED TO ABANDONED WIRING, HOOKS, NAILS, SCREWS, TRIM, AND UNARMED ELECTRICAL OR SECURITY DEVICES.
 - PAINT MATERIAL SHALL BE MANUFACTURED BY BENJAMIN MOORE UNLESS SPECIFICALLY NOTED OTHERWISE. COLORS AS NOTED IN THE FINISH SPECIFICATIONS. THE FOLLOWING FINISHES SHALL BE CONFIRMED WITH THE MANUFACTURER:
 - GYPSUM HALLBOARD FOR VERTICAL SURFACES, EGGSHELL FINISH. PRIME COAT: RESAL FIRST COAT, PRIMER & UNDER BODY (26) FINISH COATS: RESAL AQUA VELVET (34) 2 COATS
 - GYPSUM HALLBOARD FOR CEILING SURFACES. PRIME COAT: MOORGRAFT LATEX ENAMEL UNDERCOATED & PRIMER SEALER (25) FINISH COATS: MOORGRAFT VINYL LATEX FLAT (23) 2 COATS
 - CEILING FINISHED INTERIOR HOOD. PRIME COAT: VERIFY WITH ARCHITECT. FINISH COAT: VERIFY WITH ARCHITECT.
 - PAINTED INTERIOR HOOD, DOOR, OR HUB. PRIME COAT: VERIFY WITH ARCHITECT. FINISH COAT: VERIFY WITH ARCHITECT.
 - METAL MISCELLANEOUS INTERIORS, SENSUOUS. PRIME COAT: IRONGLAD ALKID, LOW LUSTER METAL & WOOD ENAMEL (66). WHERE RUST HAS FORMED, APPLY (3) COAT RUST BLOK (54) PRIOR TO PAINTING. FINISH COAT: MOORGRAFT ALKID SEMI-GLOSS (27), 2 COATS.
 - ALL VISIBLE GYPSUM WALL BOARD SURFACES TO RECEIVE PAINT FINISH INCLUDING BUT NOT LIMITED TO ALL STORAGE AREAS, TOILETS, AND NEW AND EXISTING DRYWALL PARTITIONS. REFER TO FINISH SCHEDULE AND ELEVATIONS FOR PAINT LOCATIONS.
 - ALL EXISTING DUCT WORK, SPRINKLER PIPES, AND MISCELLANEOUS PIPEWORK TO RECEIVE PAINT TO MATCH THE ADJACENT WALL OR ADJACENT CEILING.
 - APPLICATION OF PAINT SHALL BE PER STANDARD INDUSTRY PRACTICE, AND PER THE MANUFACTURER'S CURRENT SPECIFICATIONS. ALL NEW SURFACES SHALL RECEIVE ONE PRIME COAT AND TWO FINISH COATS. THE PRIME COAT SHALL BE APPROPRIATE FOR THE MATERIAL IT IS BEING APPLIED TO AND TO THE PAINT COLOR. THE PAINTING CONTRACTOR SHALL PAINT A LARGE SAMPLE OF EACH COLOR USED ON THE SITE FOR APPROVAL.
 - APPLICATION OF ALL HALLCOVERINGS SHALL BE PER STANDARD INDUSTRY PRACTICE AND PER THE MANUFACTURER'S CURRENT SPECIFICATIONS. ALL SURFACES SHALL BE SMOOTH AND CLEAN PER THE MANUFACTURER'S GUIDELINES. THE APPROPRIATE ADHESIVE SHALL ALSO BE USED PER THE MANUFACTURER.
 - ALL RECEPTACLES SHALL MATCH EXISTING, VERIFY WITH ARCHITECT.
 - WHERE WALL BASE IS SPECIFIED, GNB PARTITIONS ARE TO RECEIVE WOOD BASE KD-1 EXCEPT WHERE QUARRY TILE FLOORING IS INSTALLED. ANY MILLWORK LOCATED IN AREAS WITH QUARRY TILE SHALL RECEIVE QUARRY TILE COVE BASE AS SPECIFIED ON THE FINISH SCHEDULE, DETAILS AND ELEVATIONS.

FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	SERIES/COLOR/FINISH	LOCATION
HD-1	WOOD FLOORING	ARMSTRONG	CENTURY FARM 5" ENG. HARDWOOD IN WALNUT ALLSPICE	LR/STUDIO VERT. HALLS
HD-2	WOOD FLOORING	TED	TO MATCH EXISTING 2ND FLR HARDWOOD	MASTER BED
P-1	PAINT	BENL MOORE	BM 855 CLOUD COVER	MIDROOM/ENTRY/DINING COFFEE BAR MILLWORK MASTER BATH
P-2	PAINT	BENL MOORE	BM 1401 HERBAL ESCAPE	COFFEE BAR MILLWORK MASTER BATH
P-3	PAINT	SHER WILLIAMS	SH 1002 DONNY	LR/STUDIO VERT. HALLS
P-4	PAINT	SHER WILLIAMS	SH 612 BISQUIT	LR/STUDIO SLOPED CLG.
P-5	PAINT	BENL MOORE	BM 142 SILVER CHAIN	MASTER BED MILLWORK
P-6	PAINT	BENL MOORE	BM 1405 COS COB STONEHALL	KITCHEN
T-1	SLATE TILE 16" x 16"	DALTILE	5762 (MATCH EXISTING IN ENTRY) GROUT: LATIGRETE 16 SILTSTONE	MIDROOM/KITCHEN/DINING/LAUNDRY ROOM FLOORS
T-2	GLAZ TILE 3" x 12"	FIRECLAY	OYSTER SHELL GROUT: LATIGRETE 16 SILTSTONE	KITCHEN BACKSPLASH (CABINET WALL)
T-3	PORCELAIN TILE 13" x 13"	PORCELANOSA	NIBUS BLANCO GROUT: LATIGRETE 16 SILTSTONE	MASTER BATH FLOOR & TUB WRAP
T-4	PORCELAIN TILE 13" x 40"	PORCELANOSA	SHINE ALUMINO GROUT: LATIGRETE 16 SILTSTONE	MASTER BATH HET WALL
T-5	MARBLE TILE	TED	EXISTING HEXAGON TILE IN 1ST FLR BATH GROUT: LATIGRETE 16 SILTSTONE	COFFEE BAR BACKSPLASH
T-6	GLASS TILE	STONE SOURCE	ES60 VANILLA CLEAR & SATIN STACKED MOSAIC GROUT: LATIGRETE 16 ALMOND	MASTER BATH BACKSPLASH
ST-1	QUARTZ SLAB	DALTILE	NORI CHIPPED ICE	KITCHEN COUNTERTOP
ST-2	MARBLE SLAB	STONE SOURCE	DIAMOND WHITE	COFFEE BAR COUNTERTOP
ST-3	MARBLE SLAB	STONE SOURCE	WHITE THASSOS	MASTER BATH COUNTERTOP

MISCELLANEOUS ITEMS, BY OWNER

ITEM	MODEL/MFR.	FINISH/REMARKS
FURNITURE	EXISTING	DINING, LIVING ROOM, MASTER BED
REFRIGERATOR	BY OWNER	KITCHENAID 42" W/ PANEL-READY
DISHWASHER	BY OWNER	KEA RENLIS (INTEGRATED); SOFELIND WALNUT EFFECT (GRAY)
OVEN/RANGE	BY OWNER	TED
MICROWAVE	BY OWNER	TED (INCL. HOOD VENT FOR OVER RANGE)
KITCHEN CABINETS	BY OWNER	KEA AKURM BASE CABINETS (SOFELIND WALNUT EFFECT GRAY)
KITCHEN CABINETS	BY OWNER	KEA AKURM WALL CABINETS (APPLAD WHITE)
KITCHEN HARDWARE	BY OWNER	KEA LANGA (STAINLESS STEEL)
KITCHEN SINK	BY OWNER	MISNO H562HER EXTRA LARGE SINGLE UNDERMOUNT
KITCHEN FAUCET	BY OWNER	AMERICAN STANDARD XAVIER SELECT/LO GIRONNE (P44101.002)
COFFEE BAR SINK	BY OWNER	TED 12" DIAM. STAINLESS STEEL UNDERMOUNT
COFFEE BAR FAUCET	BY OWNER	KEA EDVIK (GIRONNE PLATED)
MASTER BATH SINK	BY OWNER	HANS LAV 28" UNDERMOUNT
MB SINK FAUCET	BY OWNER	KOHLER DEVONSHIRE BATHROOM SINK FAUCET
MB SHOWER HEAD	BY OWNER	KOHLER DEVONSHIRE SHOWER FAUCET, TRIM & HANDLE
MB BATH FAUCET	BY OWNER	KOHLER DEVONSHIRE BATH SPOUT

NOTE: ALL OWNER-SUPPLIED ITEMS TO BE INSTALLED BY GC UNLESS NOTED OTHERWISE.

GENERAL NOTES

- GENERAL:**
- THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, CIVIL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS, AS WELL AS THE SPECIFICATIONS AND SHOP DRAWINGS OF ALL DISCIPLINES. ANY QUESTION ABOUT THE INFORMATION SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH THE AFFECTED WORK.
 - ALL WORK SHALL CONFORM TO THE PROVISIONS OF THE MASSACHUSETTS STATE BUILDING CODE, 8TH EDITION (RESIDENTIAL), INCLUDING THE 2009 INTERNATIONAL RESIDENTIAL CODE.
 - FOR DIMENSIONS NOT INDICATED, REFER TO ARCHITECTURAL DRAWINGS.
 - ALL INDICATED DETAILS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE JOB SITE DURING CONSTRUCTION IN CONFORMANCE WITH FEDERAL AND STATE LAWS. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING, AS REQUIRED BY ON-SITE CONDITIONS:
 - SHEETING OR SHORING OF TRENCHES AND EXCAVATIONS
 - TEMPORARY GUYING OR BRACING OF COMPLETE STRUCTURES
 - SECURING PORTIONS OF PARTIALLY COMPLETE STRUCTURES FROM MOVEMENT
 - TEMPORARY SHORING OF FLOORS OR ROOFS
 - MEASURES TO PREVENT FALLS FROM EDGES OF OR OPENINGS THROUGH FLOORS OR ROOFS
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL TRADES; THE MEANS AND METHODS OF CONSTRUCTION; AND THE FIELD VERIFICATION OF ELEVATIONS AND DIMENSIONS.
 - NO STRUCTURAL ELEMENTS SHALL BE PENETRATED, NOTCHED, MODIFIED, OR CUT WITHOUT THE EXPRESS APPROVAL OF THE DESIGNER.

STRUCTURAL DESIGN LOADS:

1. GROUND SNOW LOAD	$P_g = 40$ PSF
2. WIND SPEED	$V = 100$ MPH, EXPOSURE B
3. FLOOR LIVE LOAD	RESIDENTIAL 1ST FLOOR: 40 PSF SLEEPING ROOMS: 30 PSF ATTICS WITH STORAGE: 20 PSF ATTICS WITHOUT STORAGE: 10 PSF

- WOOD**
- ALL WOOD CONSTRUCTION SHALL BE SECURELY AND CONTINUOUSLY FASTENED TO SUPPORTING ELEMENTS BELOW. WOOD BEARING ON CONCRETE OR MASONRY FOUNDATION WALLS SHALL BE ATTACHED WITH ANCHOR BOLTS OR EXPANSION BOLTS TO PREVENT LATERAL DISPLACEMENT. ALL WOOD POSTS SHALL HAVE METAL CONNECTORS TOP AND BOTTOM. ALL FLUSH FRAMED JOISTS SHALL BE CONNECTED WITH METAL HANGERS. ALL ROOF RAFTERS SHALL BE SECURED WITH METAL HURRICANE ANCHORS AT EXTERIOR OVERHANGS.
 - WOOD IN CONTACT WITH CONCRETE, OUTDOORS, OR IN MOST CONDITIONS SHALL BE PRESERVATIVE PRESSURE-TREATED. WOOD REQUIRED TO BE NON-COMBUSTIBLE SHALL BE FIRE-RETARDANT PRESSURE-TREATED.
 - STRUCTURAL LUMBER AND MANUFACTURED WOOD SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE FOLLOWING TABLE. DIMENSION LUMBER SHALL BEAR THE GRADE STAMP OF A GRADING AUTHORITY RECOGNIZED IN THE NATIONAL DESIGN SPECIFICATION OF THE AMERICAN FOREST AND PAPER ASSOCIATION.

TYPE	APPLICATION	SPECIES	GRADE	TREATMENT	F_x (PSI)	F_y (PSI)	F_z (PSI)	E (PSI)
DIMENSION LUMBER	JOISTS, BEAMS, RAFTERS	SPRUCE-PINE-FIR	NO. 2	NONE	775	70	575	1,100,000
DIMENSION LUMBER	POSTS & STUDS	SPRUCE-PINE-FIR	NO. 2	NONE	775	70	575	1,100,000
DIMENSION LUMBER	MOIST CONDITIONS	WOOD SOUTHERN PINE	NO. 2	PRESERVATIVE PRESSURE TR.	875	90	1400	1,400,000
LAMINATED VENEER LUMBER	BUILT-UP BEAMS	MANUFACTURED	1.8 E	NONE	2600	265	2400	1,800,000
PARALLEL STRAND LUMBER	POSTS, BEAMS	MANUFACTURED	2.0 E	NONE	2900	290	2900	2,000,000
LAMINATED STRAND LUMBER	RIM BOARDS, STUDS	MANUFACTURED	1.3 E	NONE	1700	400	1400	1,300,000

- CUTTING AND NOTCHING OF STRUCTURAL WOOD MEMBERS IS NOT PERMITTED EXCEPT BY THE EXPRESS DIRECTION OR WRITTEN PERMISSION OF THE DESIGNER.
- STUD BEARING WALLS SHALL HAVE BLOCKING BETWEEN STUDS AT MID-HEIGHT OR AT PANEL SEAMS. ALL STUD WALLS ARE TO BE SHEATHED BOTH SIDES WITH PLYWOOD OR GYPSUM WALL BOARD UNLESS SPECIFICALLY NOTED OTHERWISE. INTERSECTING EXTERIOR STUD WALLS SHALL BE SECURELY FASTENED TOGETHER AND THE BOTTOM PLATES THROUGH BOLTED, ANCHOR BOLTED, OR METAL STRAP CONNECTED TO SUPPORTS BELOW THE INTERSECTION TO SAFEGUARD AGAINST UPLIFT AT EACH LEVEL.
- FASTENERS FOR WOOD CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING STANDARDS:

WALLS FOR LUMBER AND SHEATHING:	INTERNATIONAL BUILDING CODE TABLE 2304.9
WALLS FOR METAL CONNECTORS:	MANUFACTURER'S RECOMMENDATIONS
STEEL BOLTS AND THREADED STOCK:	ASTM A307
STRUCTURAL ADHESIVE:	ASTM D3498 (PL-400 AND LIQUID NAILS LN-902 CONFORM TO THIS STANDARD)
- STRUCTURAL WOOD PANEL MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE APA-ENGINEERED WOOD ASSOCIATION AND SHALL BEAR A STAMP INDICATING THICKNESS, SPAN RATING, AND TYPE. PANELS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS OF THE FOLLOWING TABLE AND SHALL BE ERRECTED WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS.

APPLICATION	TYPE	THICKNESS	SPAN RATING	EXPOSURE CLASS
SUBFLOORS	STURD-I-FLOOR	3/4"	24 O.C.	EXPOSURE 1
EXTERIOR WALLS	STRUCTURAL I	1/2"	32 / 16	EXTERIOR
ROOF SHEATHING	RATED SHEATHING	5/8"	32 / 16	EXTERIOR

- LUMBER AND WOOD PANELS DELIVERED TO THE JOB SITE SHALL BE PROTECTED FROM MUD, ICE, WATER, AND SNOW, AND SHALL BE STORED OFF THE GROUND IN A MANNER TO PRESERVE THE STRAIGHTNESS OF THE PIECES.

EXISTING BRICK AND STONE MASONRY CONSTRUCTION

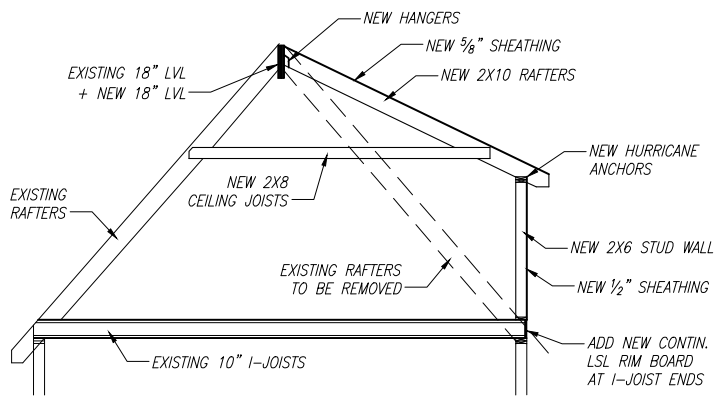
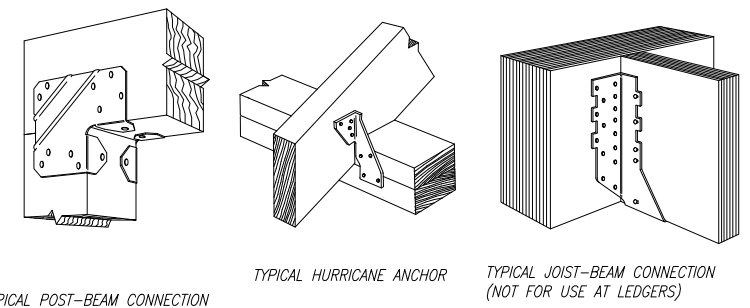
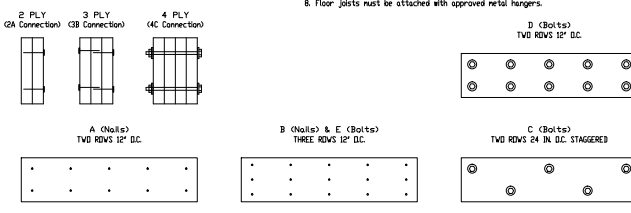
- THE GENERAL CONTRACTOR SHALL EXAMINE ALL EXPOSED MASONRY FOR CRACKS, BROKEN UNITS, AND LOOSE OR MISSING MORTAR. ALL EXPOSED MASONRY WALLS SHALL BE POINTED AND/OR REPAIRED AS REQUIRED AT DEFECTIVE LOCATIONS. ANY CONDITIONS IN WHICH MASONRY WALLS ARE TILTED OUT OF PLUMB, BOWED, OR BULGED SHALL BE REPORTED FORTHWITH TO THE DESIGNER.
- ALL UNUSED OPENINGS, WINDOWS, AND BEAM POCKETS SHALL BE FILLED WITH SOLID MASONRY OR NON-SHRINK GROUT.
- MORTAR FOR EXISTING BRICK MASONRY SHALL BE MATCHED AS CLOSELY AS POSSIBLE TO EXISTING MORTAR, BUT IN NO CASE SHALL EXCEED THE CEMENT CONTENT OR COMPRESSIVE STRENGTH OF TYPE N MORTAR. MORTAR FOR STONE MASONRY SHALL BE TYPE M OR S.
- ALL GAPS OR HOLES IN STONE MASONRY SHALL BE FILLED SOLID WITH DRY PACK CONCRETE OR LIQUID NON-SHRINK GROUT.

LVL FASTENING SCHEDULE

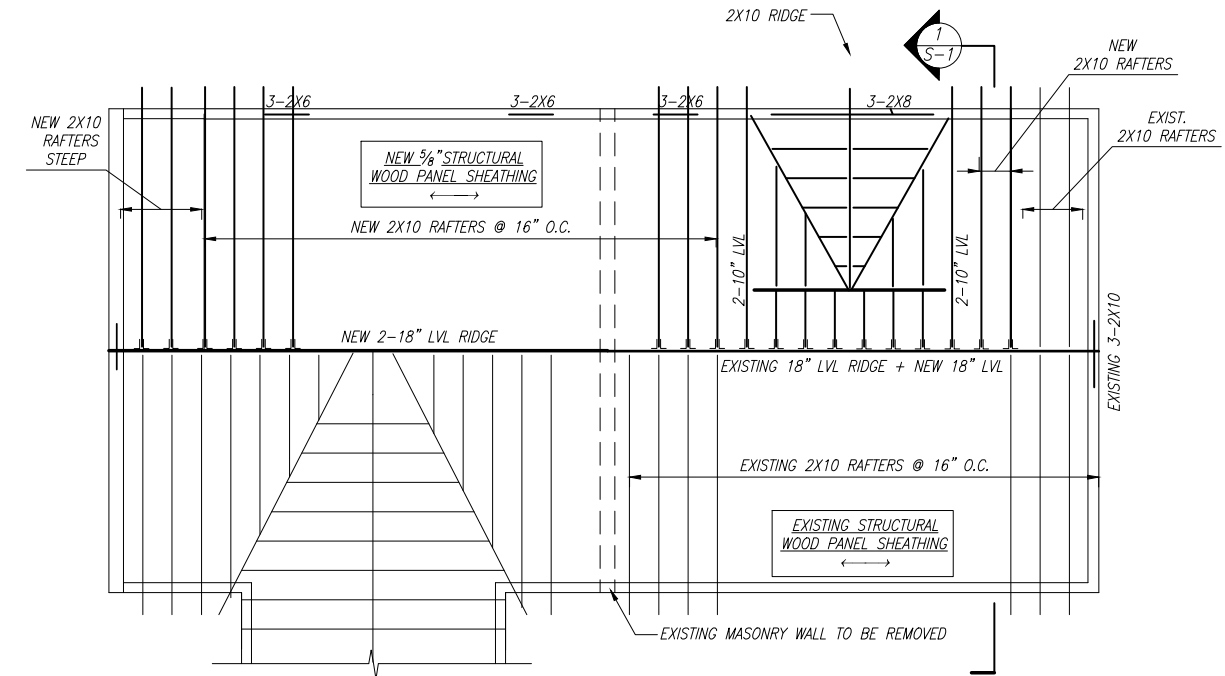
Maximum Uniform Load Applied to Either or Both Outside Pieces
(Pounds per linear foot)

Pieces in Member	NAILED		BOLTED	
	A	B	C	D
2	505	760	505	1015
3	380	570	380	760
4	Not Recommended	340	675	1012

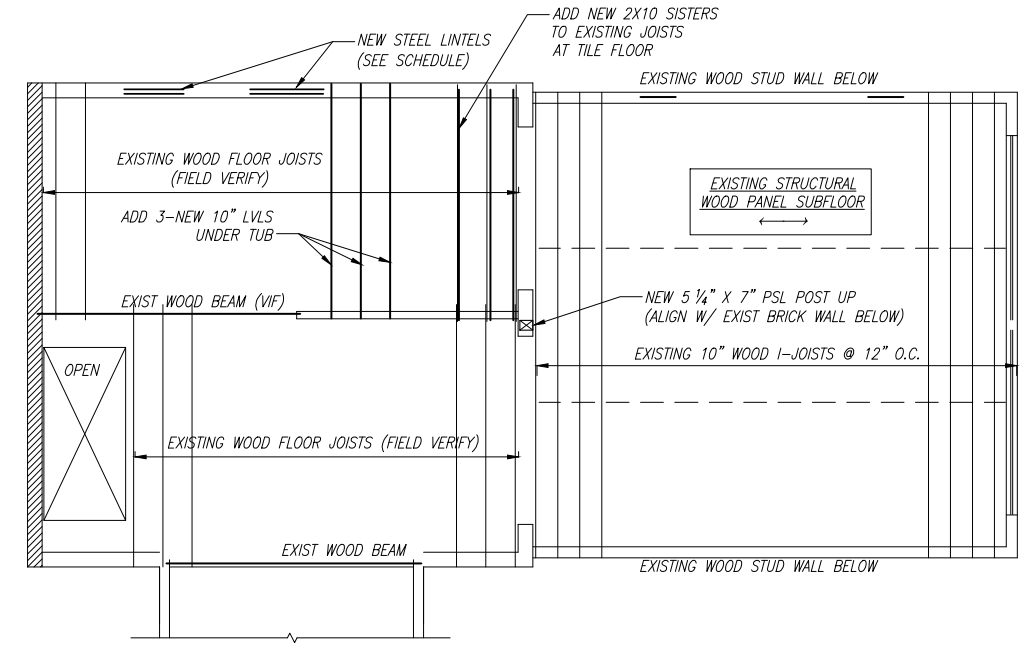
- Confirm adequacy of the beam (depth and number of pieces) for carrying the designated load.
- Stress level for nail and bolt values is 100% increases of 15% for snow loaded or 25% for narrow loaded roof conditions are permitted.
- Top and bottom row of connectors should be 2" from edge.
- Bolt holes are to be the same diameter as the bolt. Every bolt must extend through the full thickness of the member. Use washers under head and nut.
- For three-piece member, specified nailing is from the each side.
- To minimize rotation, four-piece members should only be used when loads are applied to both sides, or completely across the top of the member.
- Four-piece members, regardless of depth, must be bolted.
- Floor joists must be attached with approved metal hangers.



SECTION 1
1/4" = 1'-0"



PARTIAL LOW ROOF FRAMING PLAN
1/4" = 1'-0"



PARTIAL SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"

LINTEL SCHEDULE

OPENING SIZE	LINTEL SIZE (TYP)	AT 6" CMU
UP TO 3'-0"	L 3 1/2 X 3 1/2 X 5/16	WT 4 X 9
OVER 3'-0" TO 4'-6"	L 4 X 3 1/2 X 5/16 (4" LEG VERTICAL)	WT 4 X 10.5
OVER 4'-6" TO 6'-0"	L 5 X 3 1/2 X 5/16 (5" LEG VERTICAL)	WT 7 X 11
OVER 6'-0" TO 8'-0"	L 6 X 3 1/2 X 5/16 (6" LEG VERTICAL)	WT 8 X 13

NOTES:

- ALL LINTEL ANGLES SHALL HAVE MIN. 8" BEARING ON MASONRY AT EACH END.
- USE ONE ANGLE FOR EACH 4" OF WALL THICKNESS.
- OUTERMOST ANGLE IN WALL SHALL BE HOT DIP GALVANIZED.
- AT 6" WALLS CUT MASONRY UNIT TO FIT OVER TEE SECTION. ONE TEE PER 6" THICKNESS.

DECEMBER 29, 2014

Structural Integrity Engineering Group, Inc.
11 Salem St., Suite 2
Medford, MA 02155
781-391-3022

1 (617) 497-9191 | (617) 497-9090
2326 Massachusetts Ave | Cambridge, MA 02140
DARLOW CHRIST ARCHITECTS

NOTED
Scale
JOB No
MARCH 04, 2015
OCTOBER 24, 2014
Date

1765 BEACON ST., NEWTON
Project
PARTIAL ROOF & SECOND FLOOR FRAMING PLANS
Drawn By
Date

S-1

PROGRESS-NOT FOR CONSTRUCTION