

**CITY OF NEWTON  
DEPARTMENT OF PUBLIC WORKS  
ENGINEERING DIVISION**

MEMORANDUM

To: Alderman Mark Laredo, Land Use Committee Chairman

From: John Daghlian, Associate City Engineer

Re: Special Permit – 714 Beacon Street

Date: January 30, 2015

CC: Lou Taverna, PE City Engineer  
Linda Finucane, Associate City Clerk  
Alexandria Ananth, Chief Planner  
Stephen Pantalone, Sr. Planner  
Dan Sexton, Sr. Planner

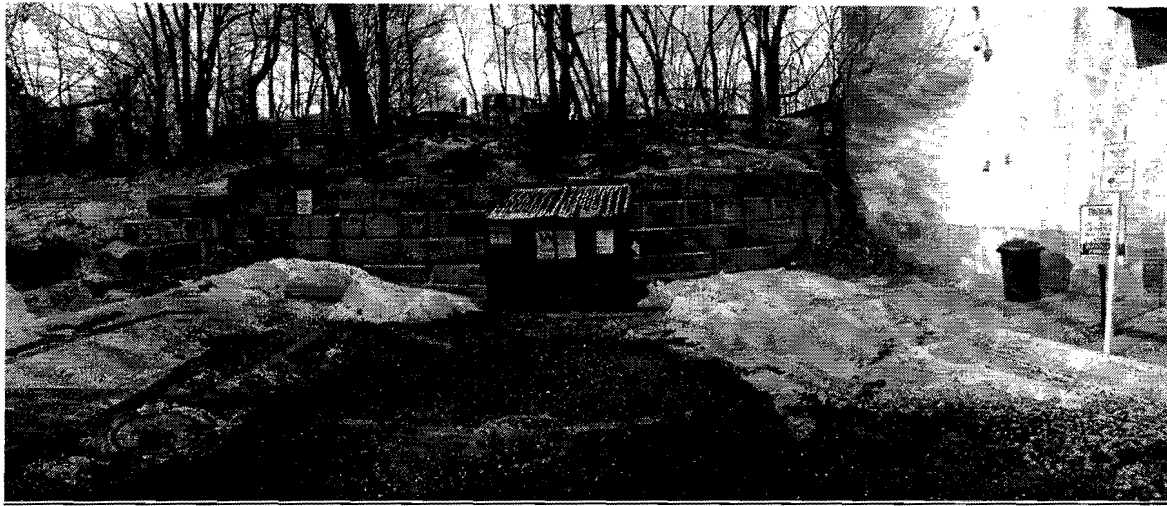
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In reference to the above site, I have the following comments for a plan entitled:

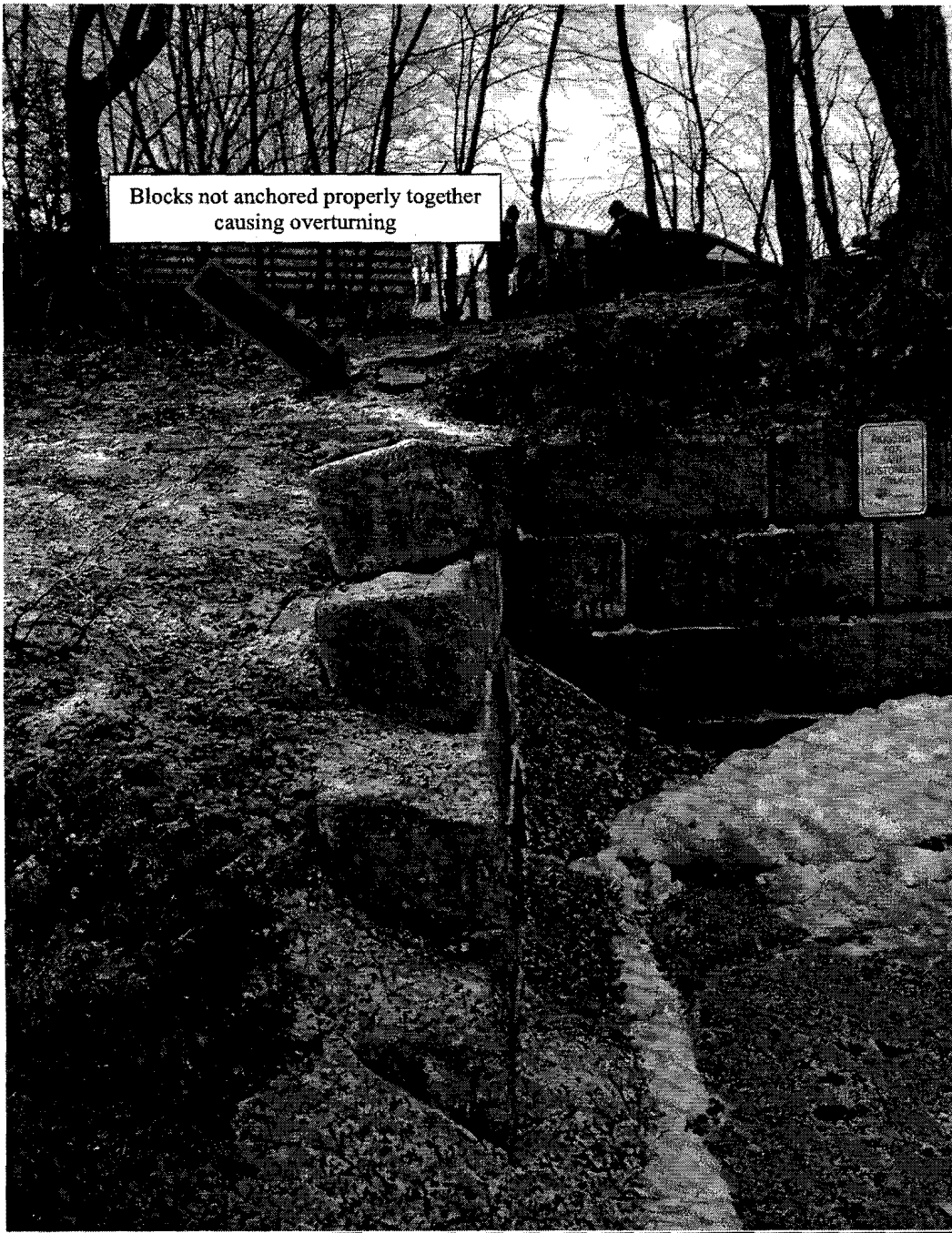
*Topographic Site Plan  
Showing Proposed Conditions at  
#714 Beacon Street  
Newton, MA  
Prepared by: VTP Associates, Inc.  
Dated: December 22, 2014*

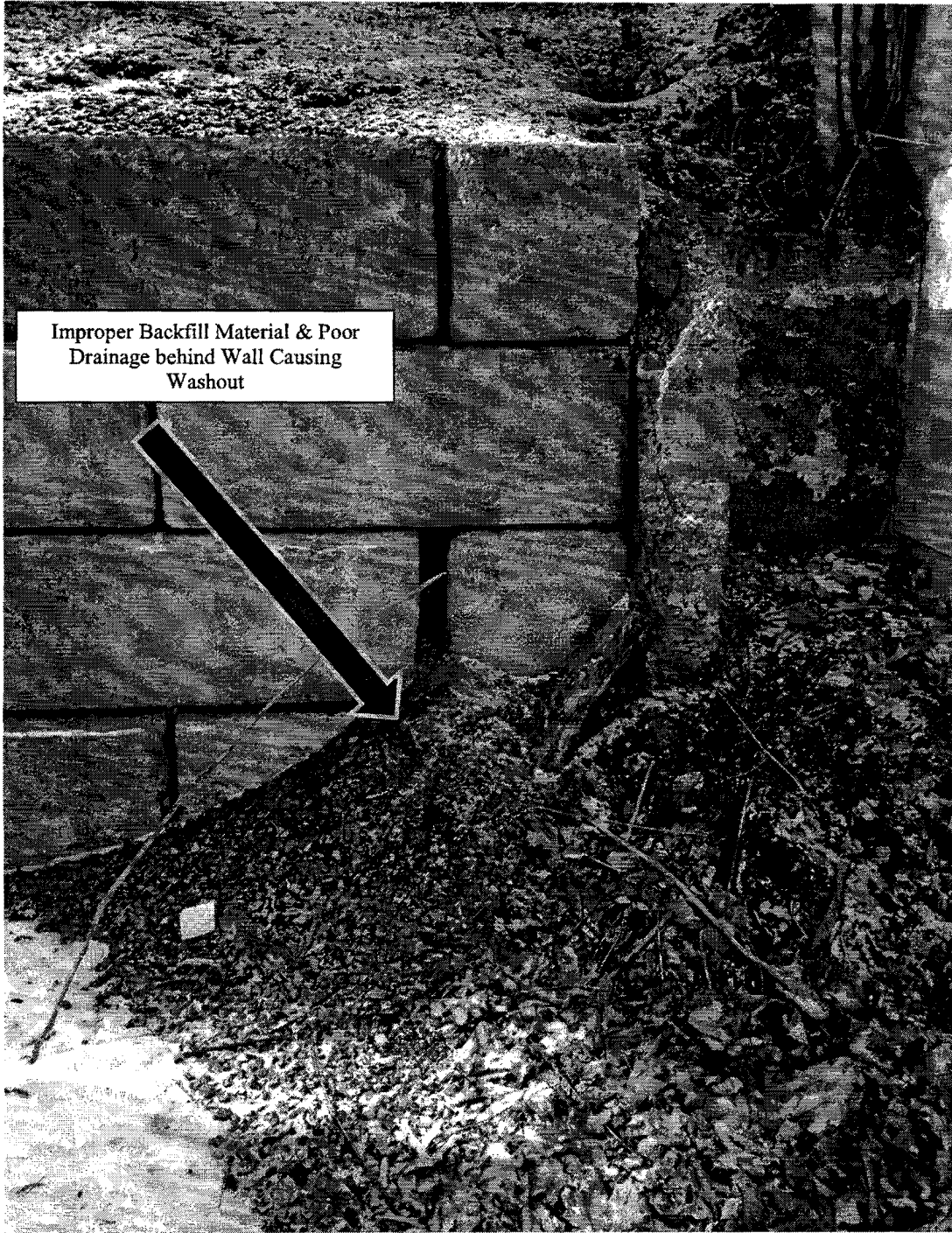
Executive Summary:

Based upon a site visit the existing retaining wall along the western property line is in need of repairs, (see photos). Portions of the wall are failing due to a combination of improper construction, preparation, and backfill placed behind the wall for proper drainage, and blocks not intergraded to each other. Prior to the reconfiguration of the parking stalls and relocation of the dumpster these areas of the wall should be repaired for safety.



*Existing Retaining Wall Along Westerly Property Line*





1. The applicant will have to apply for a Building Permits with the Department of Inspectional Service prior to any repairs of the walls.
2. Prior to Occupancy Permit being issued, an As-Built Plan shall be submitted to the Engineering Division in both digital format and in hard copy. The plan should show all utilities and final grades, any easements and final grading. *This note must be incorporated onto the site plan.*
3. If a Certificate of Occupancy is requested prior to all site work being completed. *This note must be incorporated onto the site plan.*

Note: If the plans are updated it is the responsibility of the Applicant to provide all City Departments [Conservation Commission, ISD, and Engineering] involved in the permitting and approval process with complete and consistent plans.

If you have any questions or concerns please feel free to contact me @ 617-796-1023.