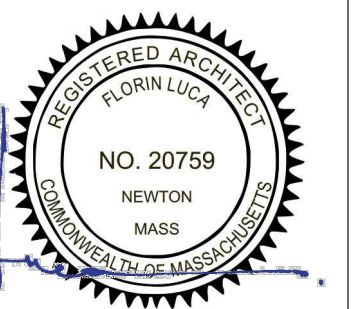


| SHEET # | SHEET NAME           |
|---------|----------------------|
|         | COVER SHEET          |
| A0.01   | PROJECT INFORMATION  |
| A0.02   | F.A.R. CALCULATIONS  |
| A1.01   | EXISTING CONDITIONS  |
| A2.01   | PROPOSED FLOOR PLANS |
| A3.01   | EXTERIOR ELEVATIONS  |
| A3.02   | EXTERIOR ELEVATIONS  |
| A3.03   | EXTERIOR ELEVATIONS  |
| A3.04   | EXTERIOR ELEVATIONS  |
| A3.05   | EXTERIOR ELEVATIONS  |

# KARP RESIDENCE

OWNER: Eric Karp & Steffi Aronson Karp  
 ARCHITECT: StudioPph / Florin Luca, AIA



FEBRUARY 10, 2018

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| APPLICABLE CODES                                   |   |
|--|---|
| International Codes (I-Codes)                      | Massachusetts Regulations                               |
| IRC 2015 - International Residential Code          | 780 CMR - MA Amendments to the IBC                      |
| IBC 2015 - International Building Code             | 527 CMR - MA Fire Prevention and Electrical Regulations |
| IECC 2015 - International Energy Conservation Code | 521 CMR - MA Accessibility Regulations                  |
| IMC - International Mechanical Code                | 248 CMR - MA Plumbing Regulations                       |
| IFC - International Fire Code                      | 524 CMR - MA Elevator Regulations                       |

| ZONING DATA   |             |            |           |
|---|-------------|------------|-----------|
| 458 Woodward Street, Waban MA<br>Parcel Zoning: SR2 |             |            |           |
| CATEGORIES  | BY ZONING   | EXISTING   | PROPOSED  |
| LOT AREA  | 6,276 SQ FT | UNCHANGED  | UNCHANGED |
| F.A.R.  | 0.44        | 0.59       | 0.63      |
| MAX. LOT COVERAGE                                   | 30%         | 39%        | 40%       |
| MIN. OPEN SPACE                                     | 50%         | 56.8%      | 55.8%     |
| FRONTAGE (MIN)                                      | 80 FT       | 69.87 FT   | UNCHANGED |
| SETBACK FRONT                                       | 25 FT       | 19.5 FT    | UNCHANGED |
| SETBACK SIDE  | 7.5 FT      | 5.7/1.5 FT | UNCHANGED |
| SETBACK REAR  | 25 FT       | 40 FT      | UNCHANGED |
| BUILDING HEIGHT                                     | 36 FT       | 30 FT      | UNCHANGED |
| MAX # STORIES                                       | 2.5         | 2.5        | UNCHANGED |

**SYMBOLS**

EXIST. WALL  
DEMO WALL  
NEW WALL  
EXTENT OF WORK  
NOTE  
PN: #1.2  
SEE PROJECT NOTES #

5'-0"  
DIMENSION  
±0"  
LEVELS DIMENSION  
1 A0.00  
DETAIL REFERENCE

01  
04 A0.00 02  
03

EXTERIOR ELEVATION  
BUILDING SECTION  
WINDOW TYPE

INTERIOR ELEVATION  
DETAIL SECTION  
DOOR TYPE

NAME  
A: 14 sq ft  
AREA TAKE-OFF

KITCHEN  
7'-9" x 7'-6"  
LABEL

SINGLE/DUAL SWITCH  
DIMMER SWITCH  
3-WAY SWITCH  
DUAL POWER OUTLET  
DUAL GFCI POWER OUTLET  
GARBAGE DISPOSAL  
CEILING FIXTURE  
RECESSED FIXTURE  
WALL FIXTURE  
U/CABINET FIXTURE  
SMOKE & CO DETECTOR  
HEAT DETECTOR  
EXHAUST FAN  
CABLE OUTLET  
PHONE OUTLET  
AREA DRAIN

**ABBREVIATIONS**

|          |                                      |
|----------|--------------------------------------|
| #        | POUND OR NUMBER                      |
| &        | AND                                  |
| @        | AT                                   |
| AFF      | ABOVE FINISHED FLOOR                 |
| ALUM     | ALUMINIUM                            |
| ANOD     | ANODIZED                             |
| BSMT     | BASEMENT                             |
| B/U      | BUILT UP                             |
| BYND     | BEYOND                               |
| BO       | BOTTOM OF                            |
| CIP      | CAST IN PLACE                        |
| CHNL     | CHANNEL                              |
| CJ       | CONTROL JOINT                        |
| CLG      | CEILING                              |
| CLR      | CLEAR                                |
| CMU      | CONCRETE MASONRY UNIT                |
| COL      | COLUMN                               |
| C/W      | COMPLETE WITH                        |
| COMPR    | COMPRESSIBLE                         |
| CONC     | CONCRETE                             |
| CONT     | CONTINUOUS                           |
| CPT      | CARPET                               |
| C-T      | CERAMIC TILE                         |
| CTYD     | COURTYARD                            |
| DBL      | DOUBLE                               |
| DEMO     | DEMOLISH                             |
| DIA      | DIAMETER                             |
| DIMS     | DIMENSIONS                           |
| DN       | DOWN                                 |
| DR       | DOOR                                 |
| DWG      | DRAWING                              |
| EL       | ELEVATION                            |
| ELEC     | ELECTRICAL                           |
| ELEV     | ELEVATOR/ELEVATION                   |
| EQ       | EQUAL                                |
| EXIST    | EXISTING                             |
| EJ       | EXPANSION JOINT                      |
| EXT      | EXTERIOR                             |
| FD       | FLOOR DRAIN                          |
| FIN      | FINISHED                             |
| FIXT     | FIXTURE                              |
| FLR      | FLOOR                                |
| FO       | FACE OF                              |
| FTG      | FOOTING                              |
| FNDN     | FOUNDATION                           |
| GALV     | GALVANIZED                           |
| GWB      | GYPSON WALL BOARD                    |
| HC       | HOLLOW CORE                          |
| HI       | HIGH                                 |
| HM       | HOLLOW METAL                         |
| HP       | HIGH POINT                           |
| HR       | HOUR                                 |
| HVAC     | HEATING, COOLING, AND VENTILATION    |
| HDWD     | HARDWOOD                             |
| IRGWB    | IMPACT RESISTANT GYPSON WALLBOARD    |
| INSUL    | INSULATED                            |
| INT      | INTERIOR                             |
| LO       | LOW                                  |
| MECH     | MECHANICAL                           |
| MEMBR    | MEMBRANE                             |
| MIN      | MINIMUM                              |
| MRGWB    | MOISTURE-RESISTANT GYPSON WALL BOARD |
| MTL      | METAL                                |
| NIC      | NOT IN CONTRACT                      |
| NO or #  | NUMBER                               |
| NOM      | NOMINAL                              |
| OC       | ON CENTER                            |
| OH       | OPPOSITE HAND                        |
| OZ       | OUNCE                                |
| PLUMB    | PLUMBING                             |
| PLYWD    | PLYWOOD                              |
| PT       | PRESSURE TREATED                     |
| PTD      | PAINT/PAINTED                        |
| PVC      | POLYVINYL CHLORIDE                   |
| RBR      | RUBBER                               |
| RCP      | REFLECTED CEILING PLAN               |
| REQ'D    | REQUIRED                             |
| RD       | ROOF DRAIN                           |
| RO       | ROUGH OPENING                        |
| RM       | ROOM                                 |
| SIM      | SIMILAR                              |
| SPEC     | SPECIFIED                            |
| SPK      | SPRINKLER                            |
| SSTL     | STAINLESS STEEL                      |
| STL      | STEEL                                |
| STRUCT   | STRUCTURAL                           |
| T&G      | TONGUE AND GROOVE                    |
| TO       | TOP OF                               |
| TOC      | TOP OF CONCRETE                      |
| TOS      | TOP OF STEEL                         |
| TEL/DATA | TELEPHONE/DATA                       |
| TYP      | TYPICAL                              |
| UNO      | UNLESS NOTED OTHERWISE               |
| U/S      | UNDERSIDE                            |
| U/       | UNDER                                |
| U/F      | VERIFY IN FIELD                      |
| VP       | VISION PANEL                         |
| W/       | WITH                                 |
| WD       | WOOD                                 |

**GENERAL NOTES**

- INFORMATION IN THE DRAWING IS FOR USE IN THIS PROJECT ONLY.
- ALL DIMENSIONS TO INTERIOR/EXTERIOR WALLS INDICATED ARE TO FACE OF STUD WALL OR CONCRETE/ C.M.U. UNLESS NOTED OTHERWISE.
- ALL EXISTING DIMENSIONS TO BE VERIFIED IN FIELD.
- ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL BUILDING, LIFE SAFETY AND ELECTRICAL CODES.
- AT ALL TRANSITIONS BETWEEN AIR AND VAPOR BARRIER PRODUCTS AND SURFACES, THE AIR BARRIER MUST OVERLAP AND REMAIN CONTINUOUS AS DICTATED BY 780 CMR ENERGY CODE.
- THE GENERAL CONTRACTOR SHALL HAVE ALL SUBCONTRACTORS AND SUPPLIERS AWARE OF THE REQUIREMENTS OF THESE NOTES.
- THE CONTRACTOR SHALL MAINTAIN COMPLETE AND UP TO DATE CONTRACT DOCUMENTS AT THE JOB SITE AT ALL TIMES, INCLUDING DRAWINGS, SPECIFICATIONS, CONSTRUCTION SK'S AND DESIGNER'S SUPPLEMENTAL INSTRUCTIONS.
- EACH CONTRACTOR SHALL LAYOUT IN THE FIELD THE ENTIRE WORK TO VERIFY DIMENSION RELATIONSHIPS BEFORE CONSTRUCTING ANY PART, AND SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATIONS BEFORE PROCEEDING.
- FAILURE TO VERIFY DIMENSIONS AND CONDITIONS BEFORE PROCEEDING MAY SUBJECT THE CONTRACTOR TO THE REQUESTED REMOVAL OF COMPLETED WORK AT CONTRACTOR'S COST, IF A DISCREPANCY WHICH COULD HAVE BEEN DISCOVERED CAUSES MODIFICATIONS TO THE DRAWINGS.
- ANY DISCREPANCIES FOUND IN THE DRAWINGS, DIMENSIONS, AND EXISTING CONDITIONS OR ANY APPARENT ERRORS IN THE SPECIFYING OF A PRODUCT, MATERIAL OR MEANS OF ASSEMBLY ARE TO BE POINTED OUT TO THE ARCHITECT IMMEDIATELY.
- DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS AND/OR SIZES. OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE USE OF INCORRECT SCALE.
- THE CONTRACTOR SHALL PROTECT ALL AREAS OUTSIDE OF THE CONTRACT LIMITS AND RESTORE ALL SUCH PROPERTY TO ITS CONDITION PRIOR TO THE START OF THE WORK.
- ALL UTILITY SERVICES SERVING THE EXISTING BUILDING SHALL REMAIN UNINTERRUPTED DURING CONSTRUCTION UNLESS AUTHORIZED BY THE OWNER.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL RULES AND REGULATIONS CONCERNING WORKING HOURS, RUBBISH REMOVAL, PARKING AND DELIVERIES.
- THE CONTRACTOR SHALL CONFIRM AND VERIFY ALL CEILING HEIGHTS AND VERTICAL CLEARANCES WITH RESPECT TO COORDINATION OF MECHANICAL UNITS, DUCTWORK, PIPING AND STRUCTURAL ELEMENTS.
- THE CONTRACTOR SHALL RESTORE TO THE CURRENT CONDITION ALL EXISTING FINISHES, THERMAL AND MOISTURE PROTECTION OF ANY EXISTING ELEMENTS IMPACTED DURING CONSTRUCTION.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL CUTTING AND CAPPING REQUIRED FOR HIS OR HER OWN TRADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING AND MAINTAINING THE INTEGRITY OF BUILDING COMPONENTS THAT MAY BE ALTERED BY THE INSTALLATION OF SECURITY, FIRE ALARM, ELECTRICAL AND TEL/DATA WIRING DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR WILL OBTAIN ALL BUILDING DEPARTMENT APPROVALS REQUIRED FOR THE EXECUTION OF THE PROJECT. EACH SUB-CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND FOR PAYING APPLICABLE FEES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS BY THE APPROPRIATE OFFICIALS.

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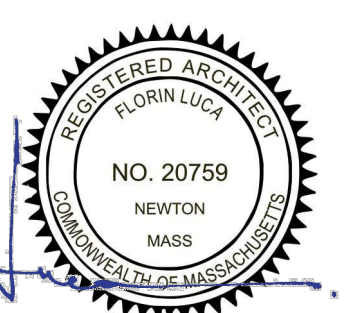
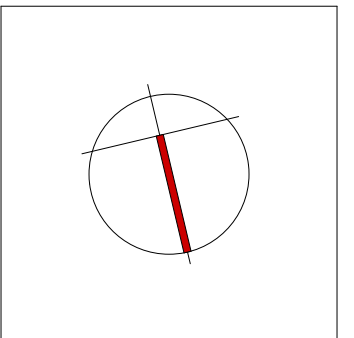
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**PROJECT:**

**KARP RESIDENCE**

458 Woodward Street  
Newton MA 02468

**ISSUE SET:**

**ZONING REVIEW**

**DATE:**

FEBRUARY 10, 2018

**TITLE:**

**PROJECT INFORMATION**

**SCALE:**

AS NOTED

**SHEET NUMBER:**

**A0.01**

**NOT FOR CONSTRUCTION**



**SITE PLAN - PROPOSED**

**SITE PLAN - EXISTING**

| DOOR SCHEDULE |           |        |         |   |
|---------------|-----------|--------|---------|---|
| ID            | LEAF SIZE |        | GLAZING | NOTES                                     |
|               | W         | H      |         |   |
| D-11          | 2'-8"     | 6'-8"  | YES     | ENTRY INSWING DOOR, C/W DECORATIVE GRILLE |
| D-11          | 5'-0"     | 4'-6"  |         |   |
| D-12          | 10'-0"    | 7'-10" |         |   |
| D-13          | 9'-0"     | 7'-10" |         |   |
| D-14          | 5'-6"     | 7'-10" |         |   |

| WINDOW SCHEDULE |          |   |      |       |
|-----------------|----------|---|------|-------|
| ID              | R.O.SIZE |   | TYPE | NOTES |
|                 | W        | H |      |       |

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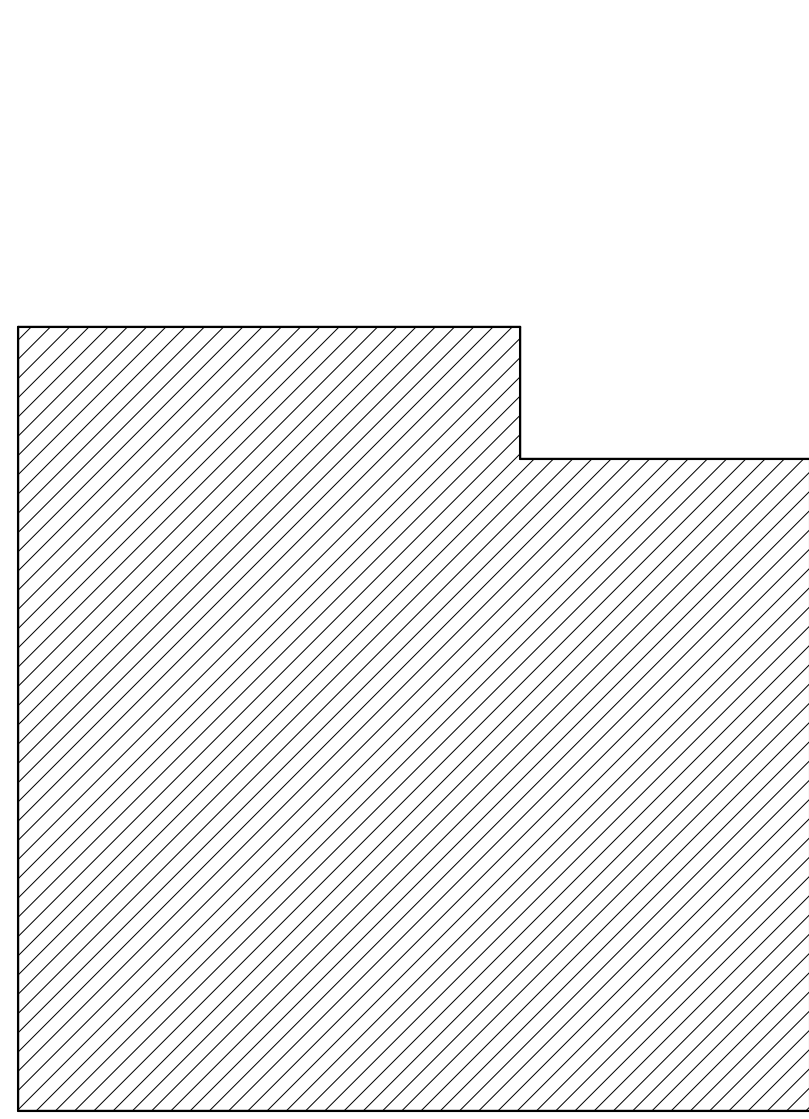
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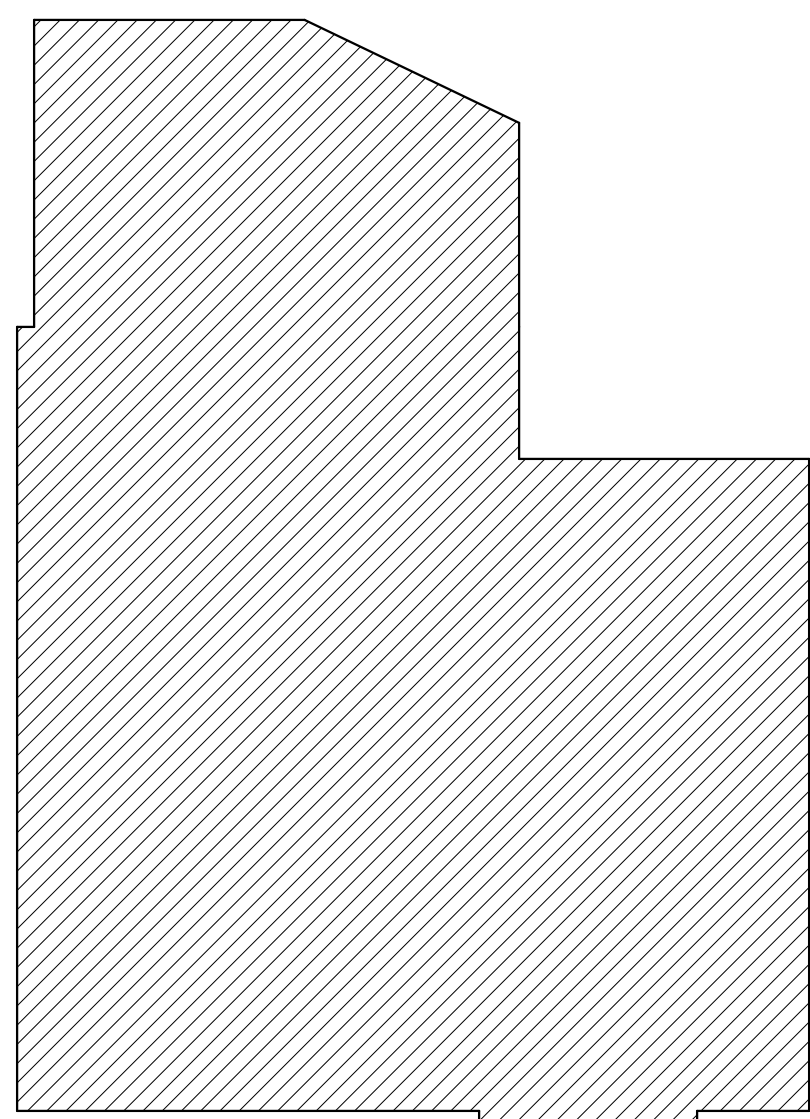
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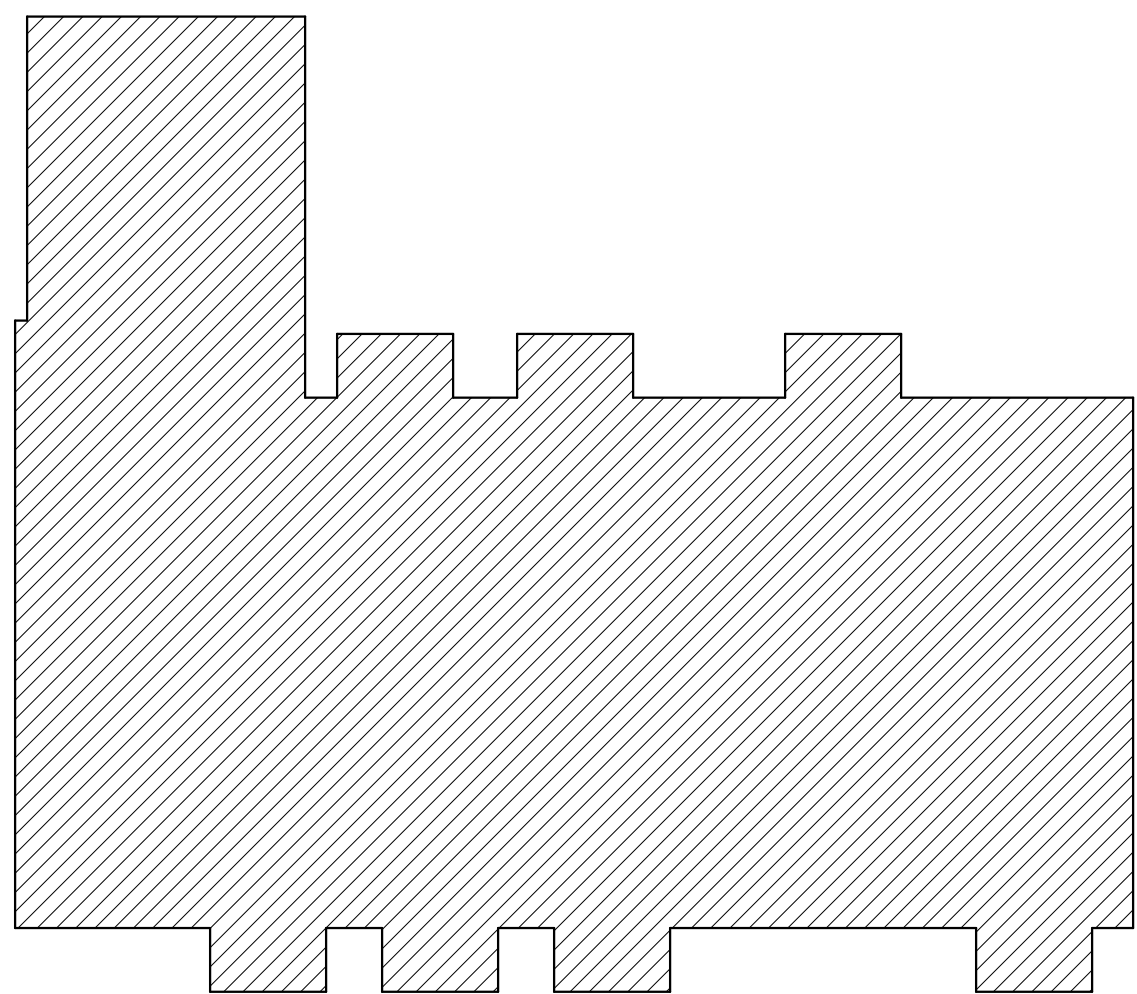
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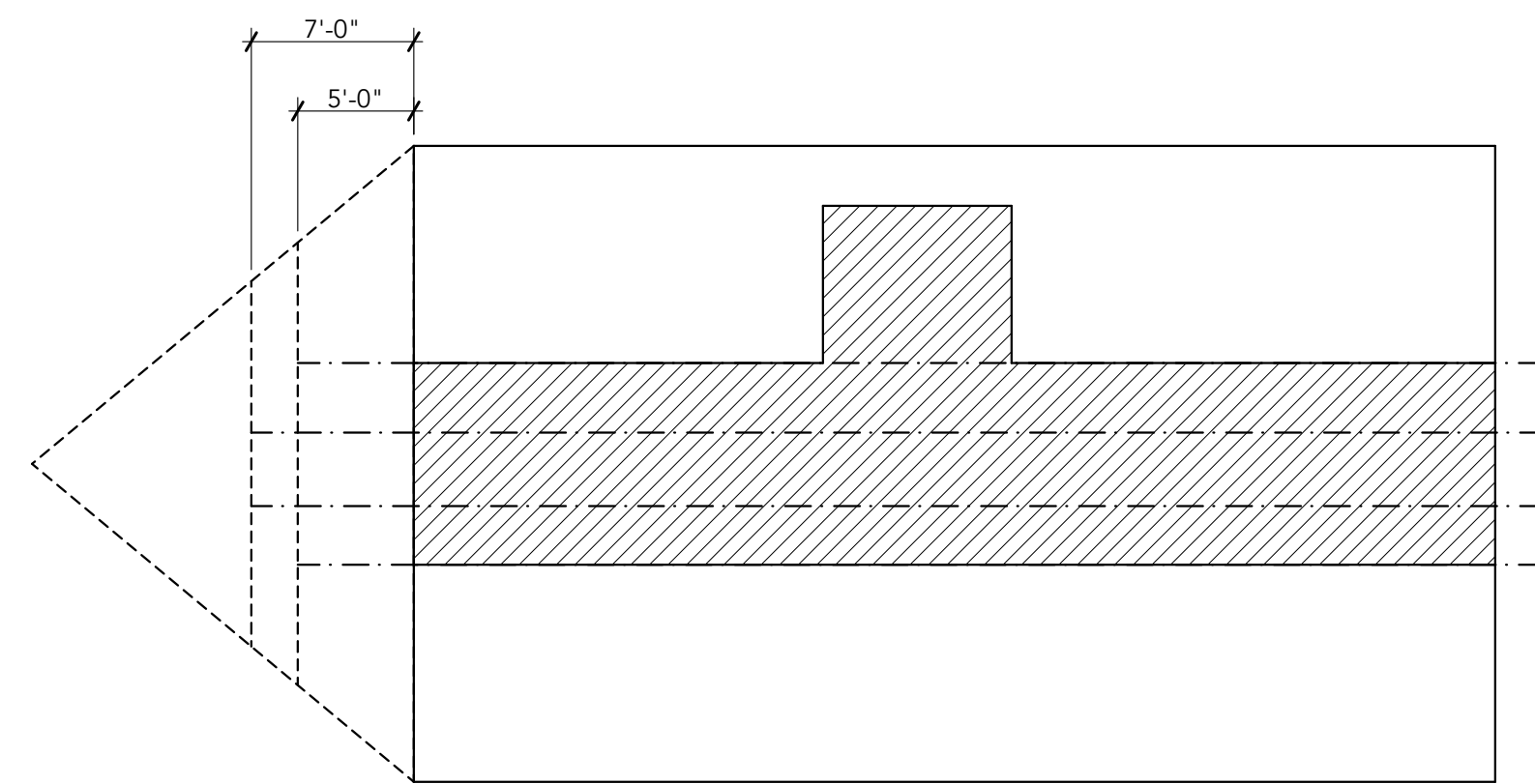
EXIST. HOUSE  
BASEMENT  
A: 1,012 SQ FT



EXIST. HOUSE  
FIRST FLOOR  
A: 1,261 SQ FT



EXIST. HOUSE  
SECOND FLOOR  
A: 1,305 SQ FT

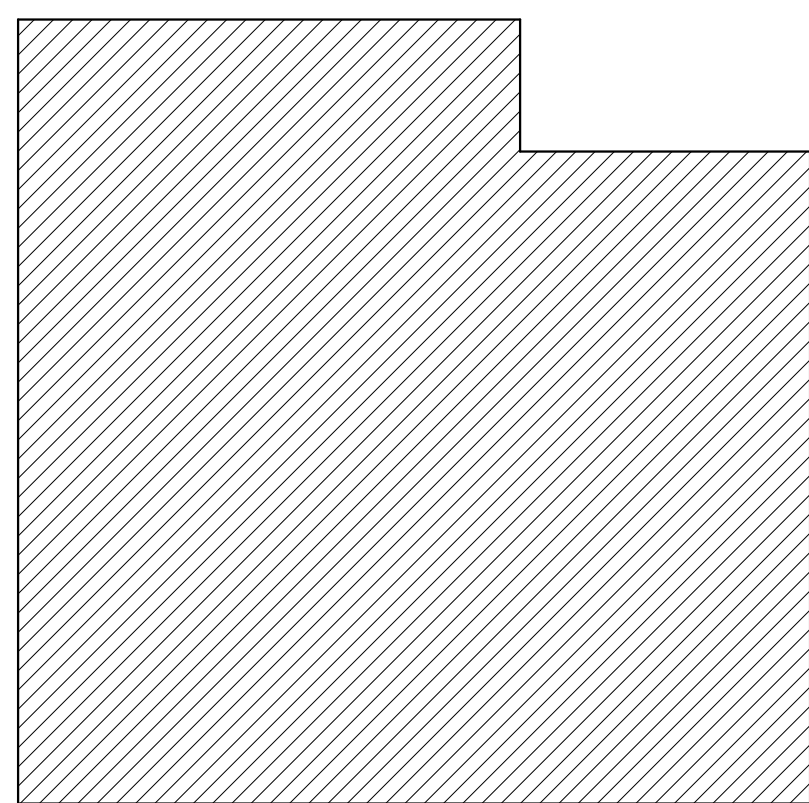


EXIST. HOUSE  
ATTIC  
A: 460 SQ FT

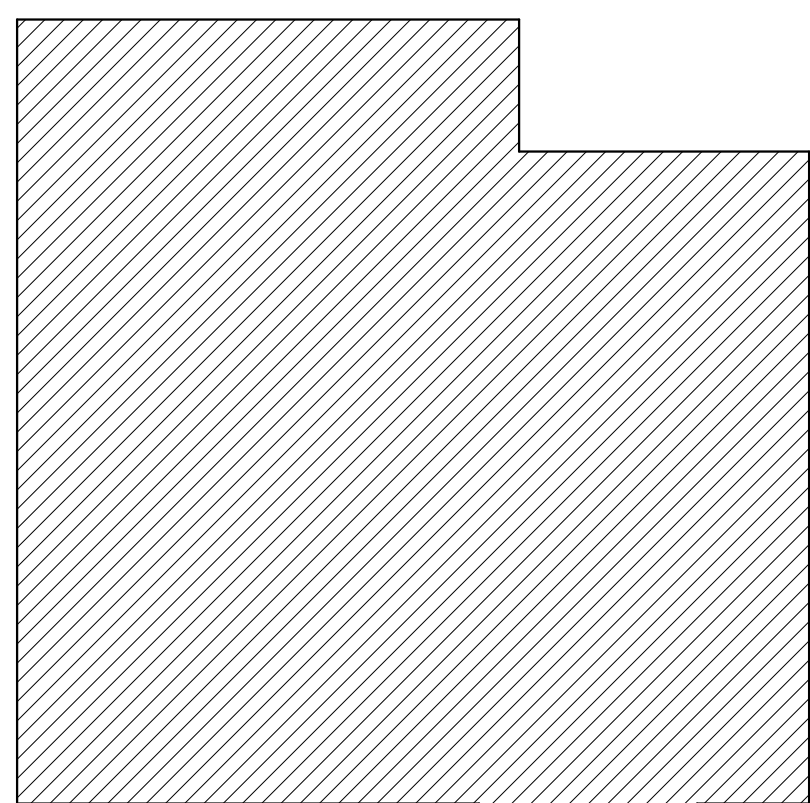
1/8" = 1'-0"

2

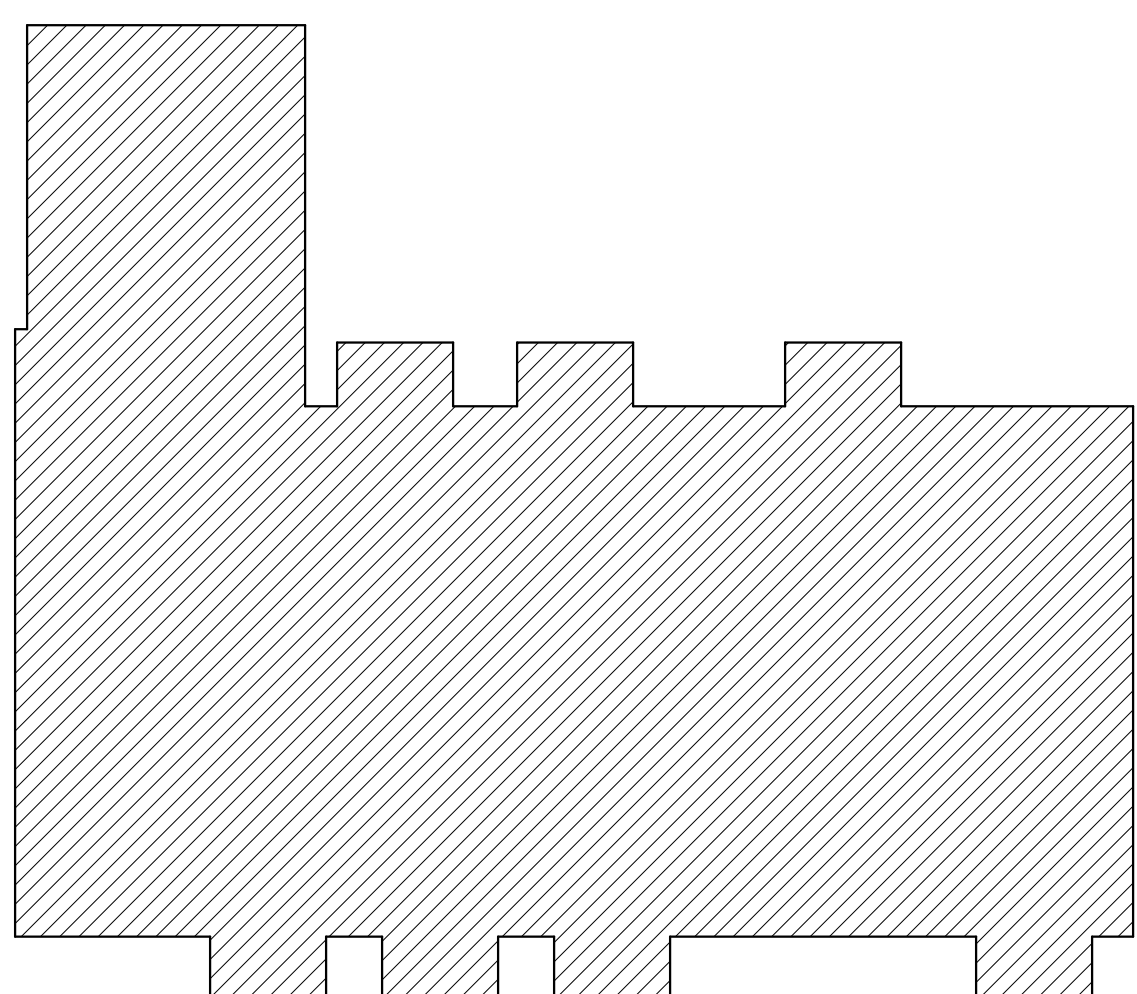
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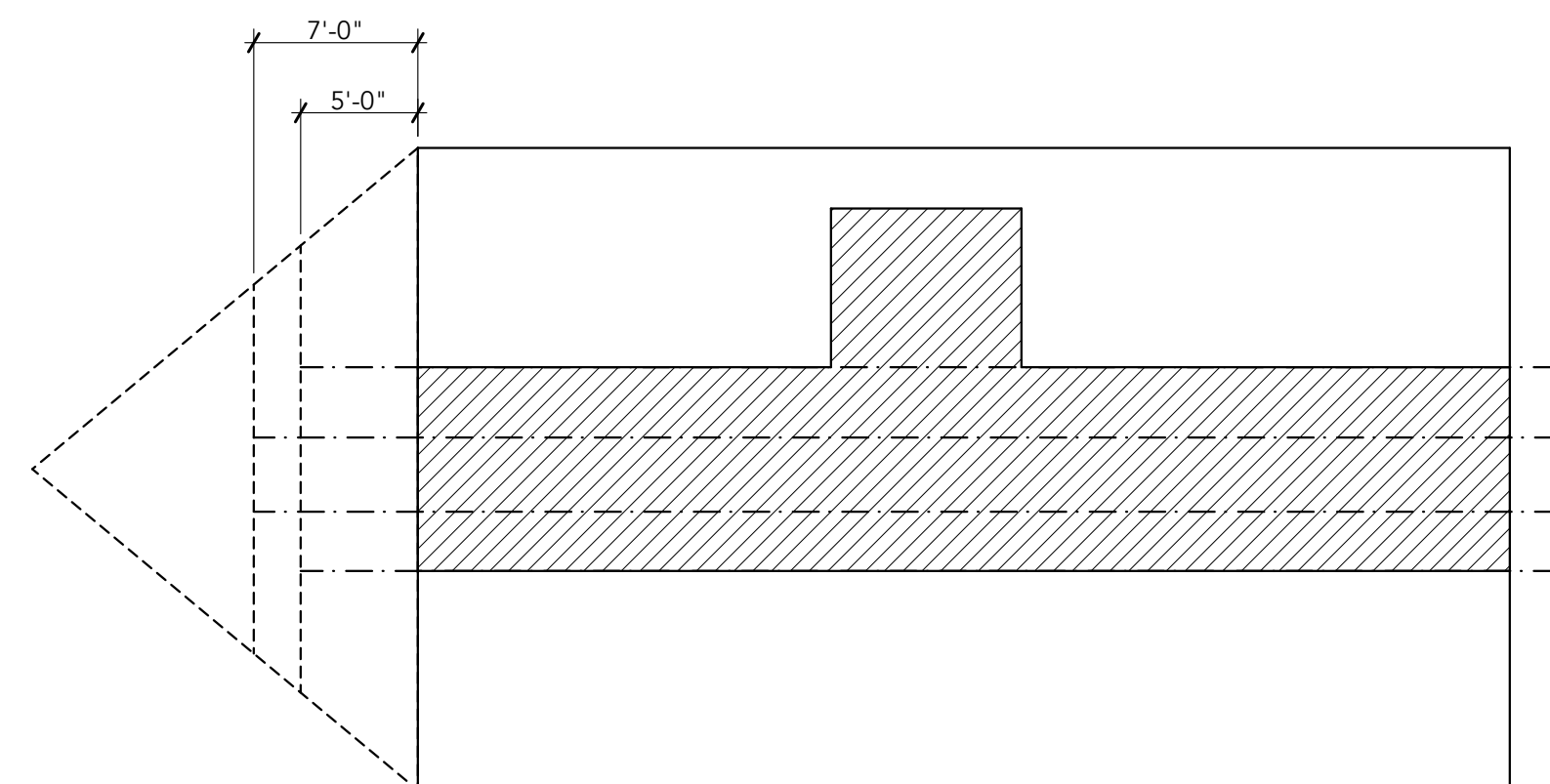
EXIST. HOUSE  
BASEMENT  
A: 1,012 SQ FT



EXIST. HOUSE  
FIRST FLOOR  
A: 1,021 SQ FT



EXIST. HOUSE  
SECOND FLOOR  
A: 1,305 SQ FT



EXIST. HOUSE  
ATTIC  
A: 460 SQ FT

1/8" = 1'-0"

1

F.A.R. CALCULATIONS – EXISTING



PROJECT:

KARP RESIDENCE

458 Woodward Street  
Newton MA 02468

ISSUE SET:

ZONING REVIEW

DATE:

FEBRUARY 10, 2018

TITLE:

F.A.R.  
CALCULATIONS

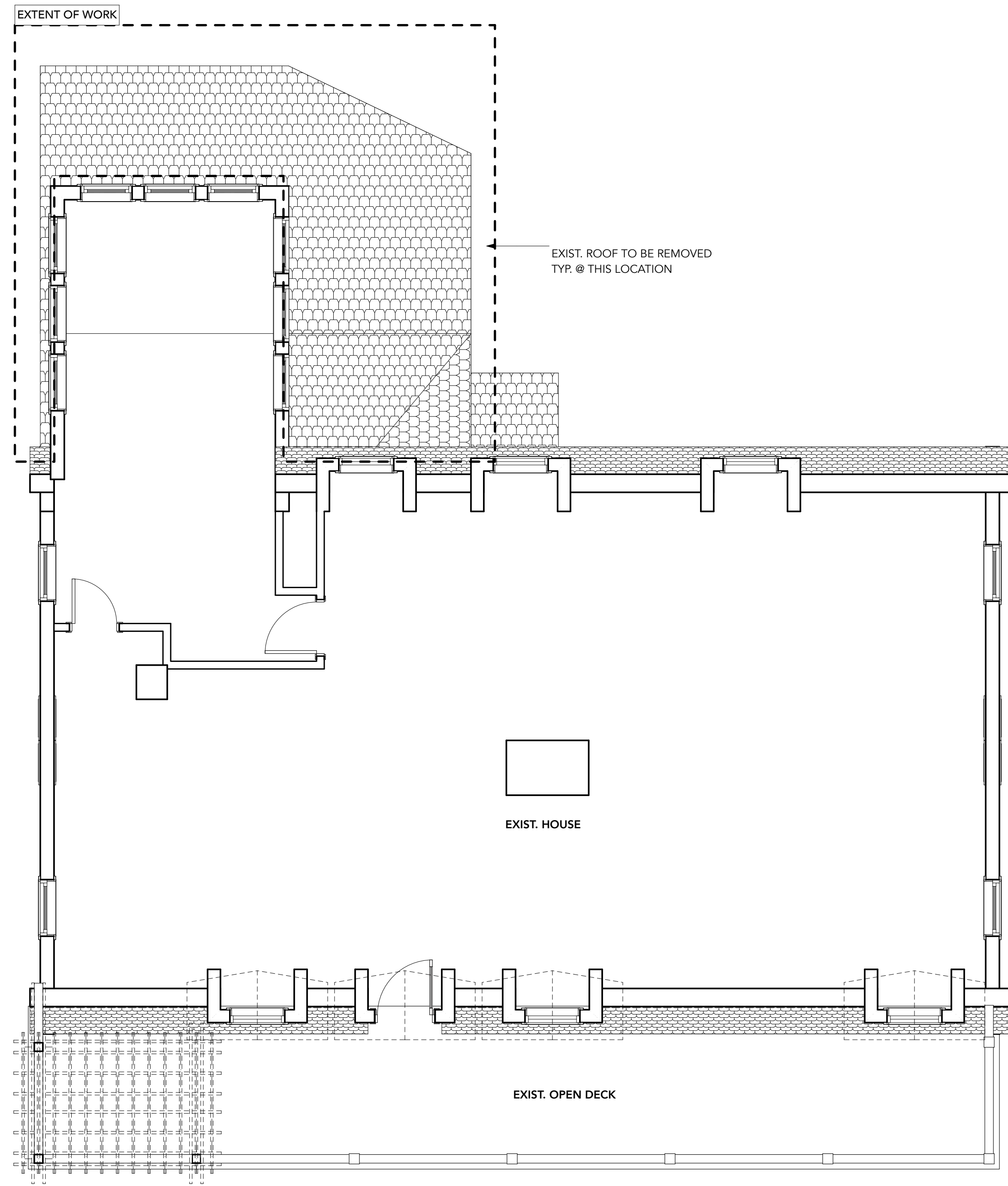
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SHEET NUMBER:

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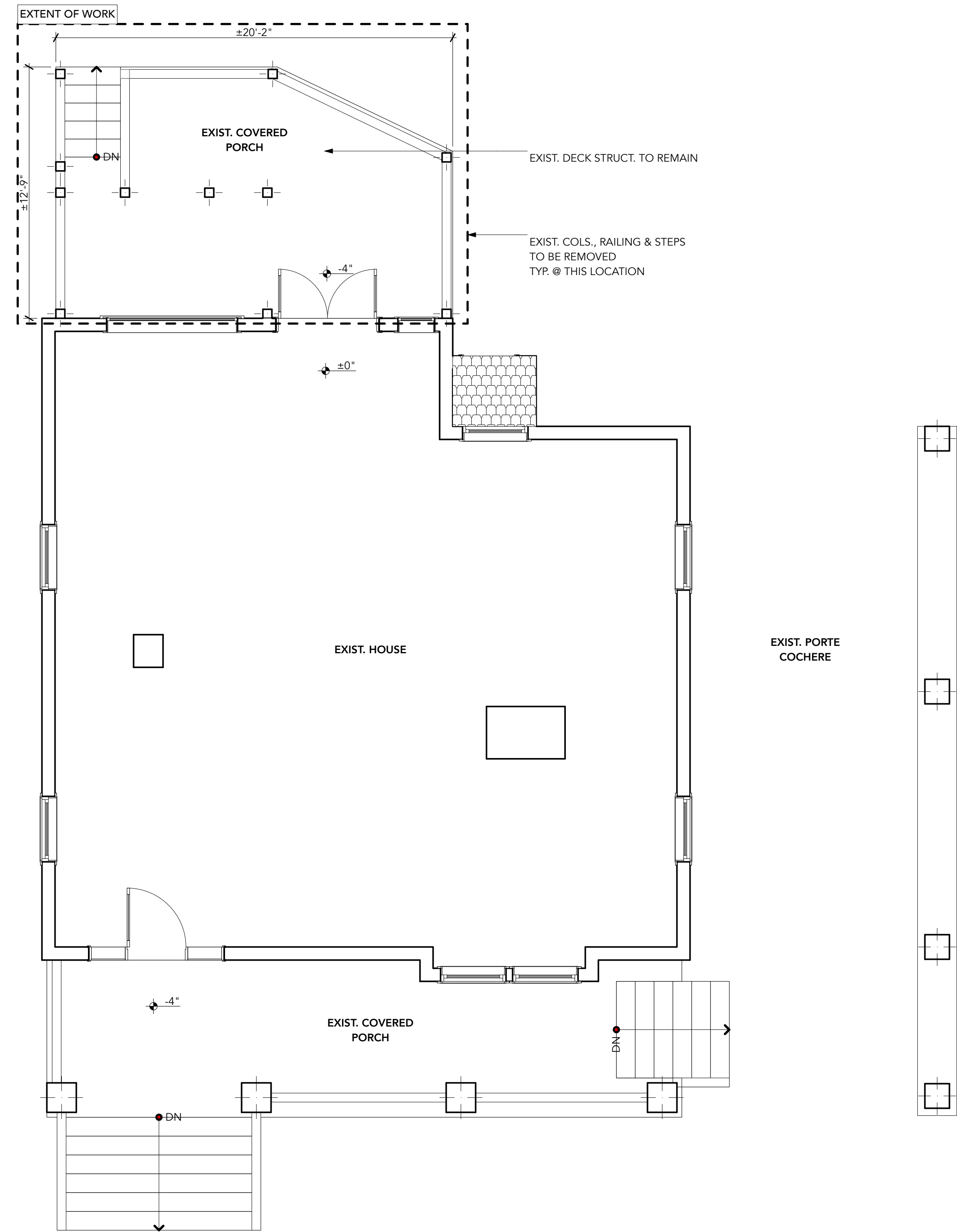
NOT FOR CONSTRUCTION



1/4" = 1'-0"

2

EXISTING SECOND FLOOR PLAN



1/4" = 1'-0"

1

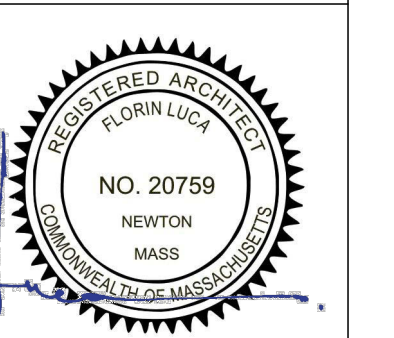
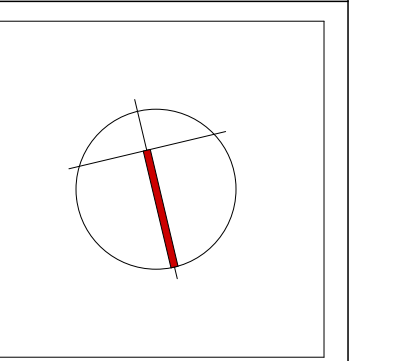
EXISTING FIRST FLOOR PLAN

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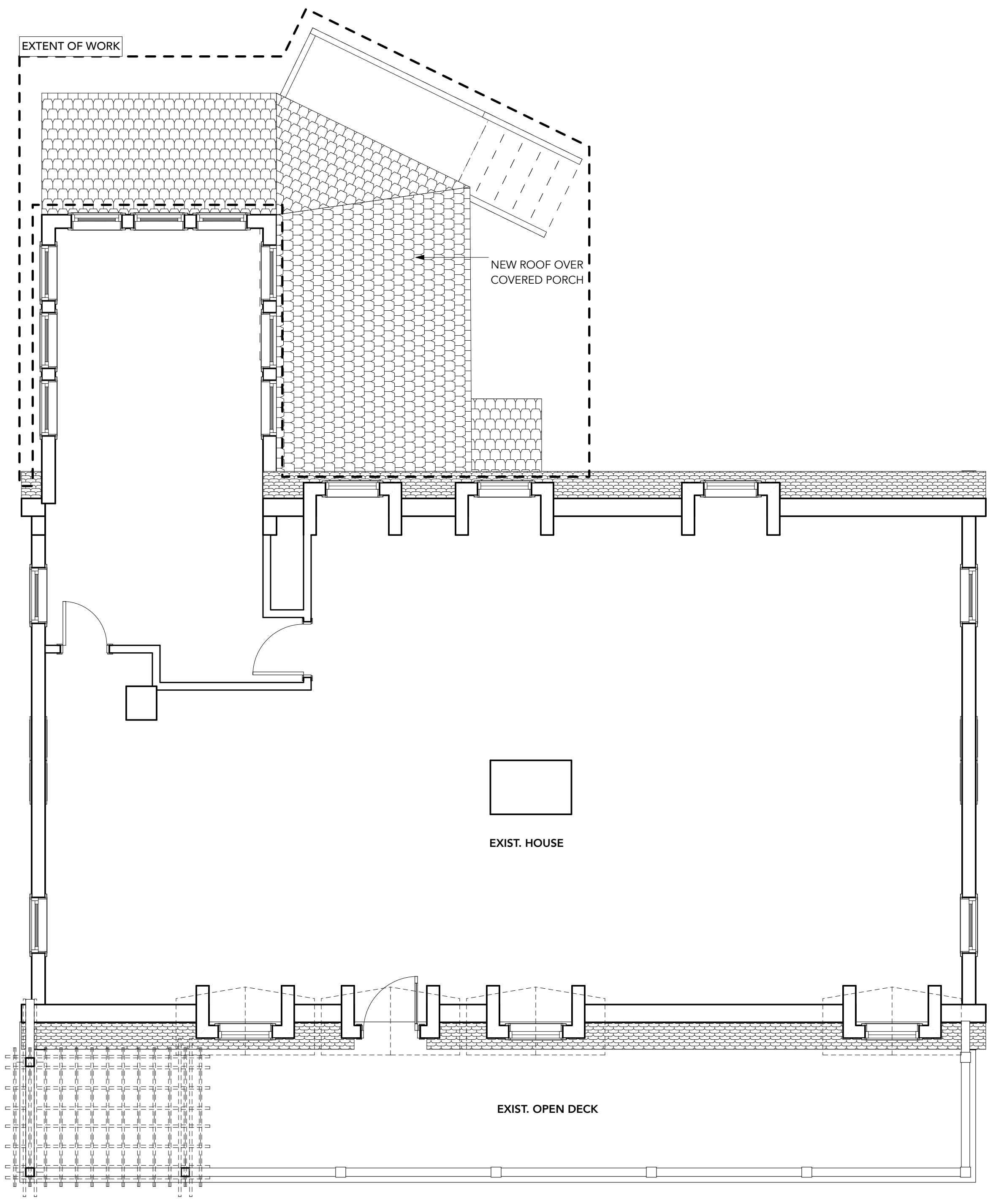
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**DATE:**  
FEBRUARY 10, 2018

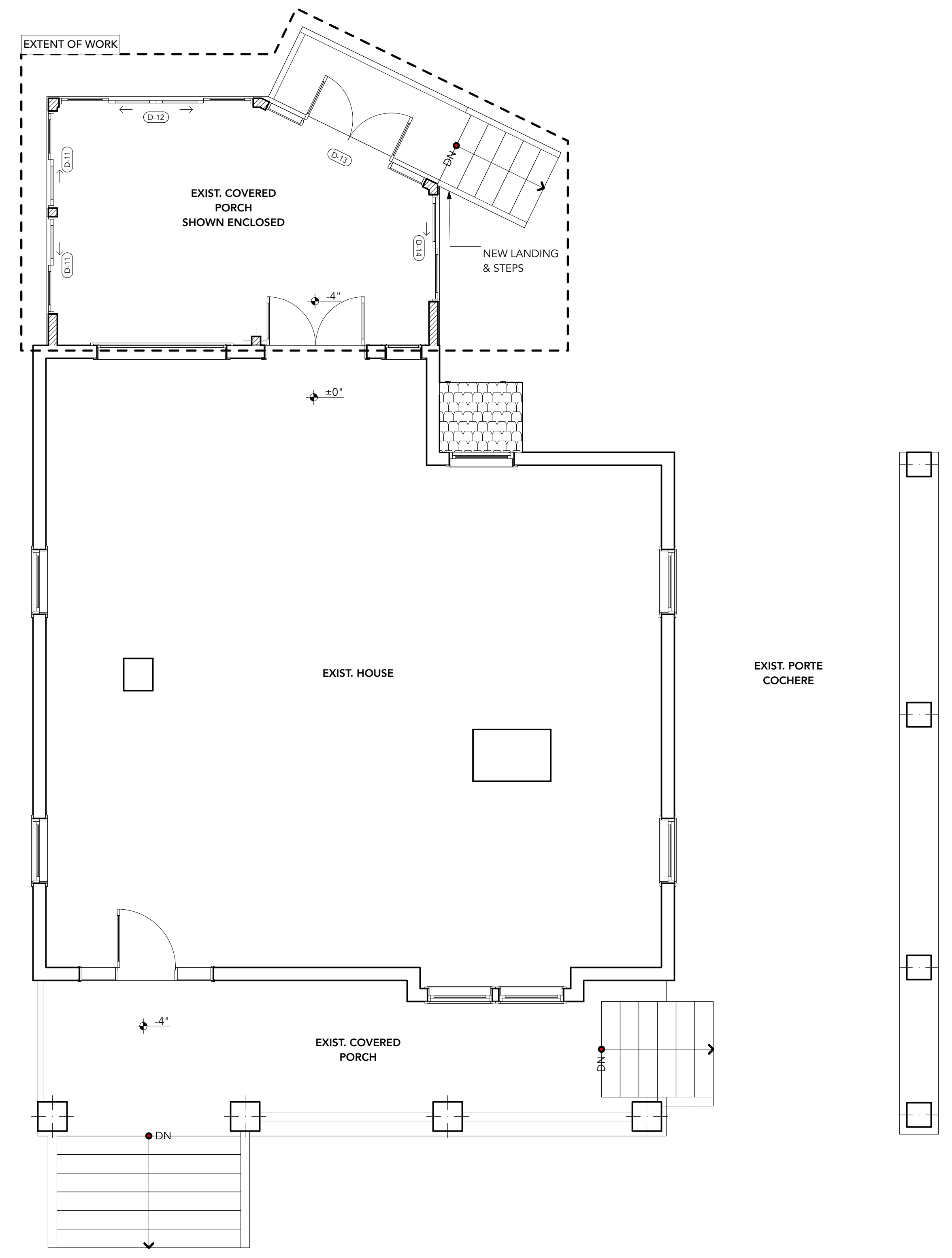
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**EXISTING CONDITIONS**

**SCALE:**  
1/8" = 1'-0"

**SHEET NUMBER:**  
**A1.01**



**2** PROPOSED SECOND FLOOR PLAN



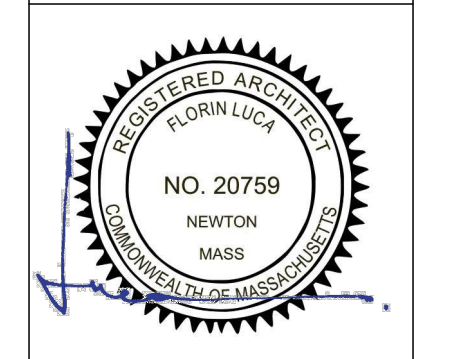
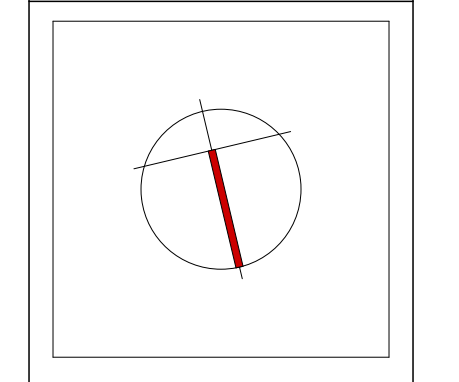
**1** PROPOSED FIRST FLOOR PLAN

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**ISSUE SET:**  
**ZONING REVIEW**

**DATE:**  
 FEBRUARY 10, 2018

**TITLE:**  
**PROPOSED FLOOR PLANS**

**SCALE:**  
 1/8" = 1'-0"

**SHEET NUMBER:**  
**A2.01**

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PROPOSED REAR ELEVATION



EXISTING REAR ELEVATION

- +28'-2 1/2" RIDGE LEVEL
  - +18'-6" ATTIC LEVEL
  - +9'-6" SECOND LEVEL
  - ±0 FIRST LEVEL
  - 9'-0" BASEMENT LEVEL
- EXIST. ROOF, COLS., RAILING & STEPS TO BE REMOVED  
EXIST. DECK STRUCT. TO REMAIN



PROJECT:

KARP RESIDENCE

458 Woodward Street  
Newton MA 02468

ISSUE SET:

ZONING REVIEW

DATE:

FEBRUARY 10, 2018

TITLE:

EXTERIOR  
ELEVATIONS

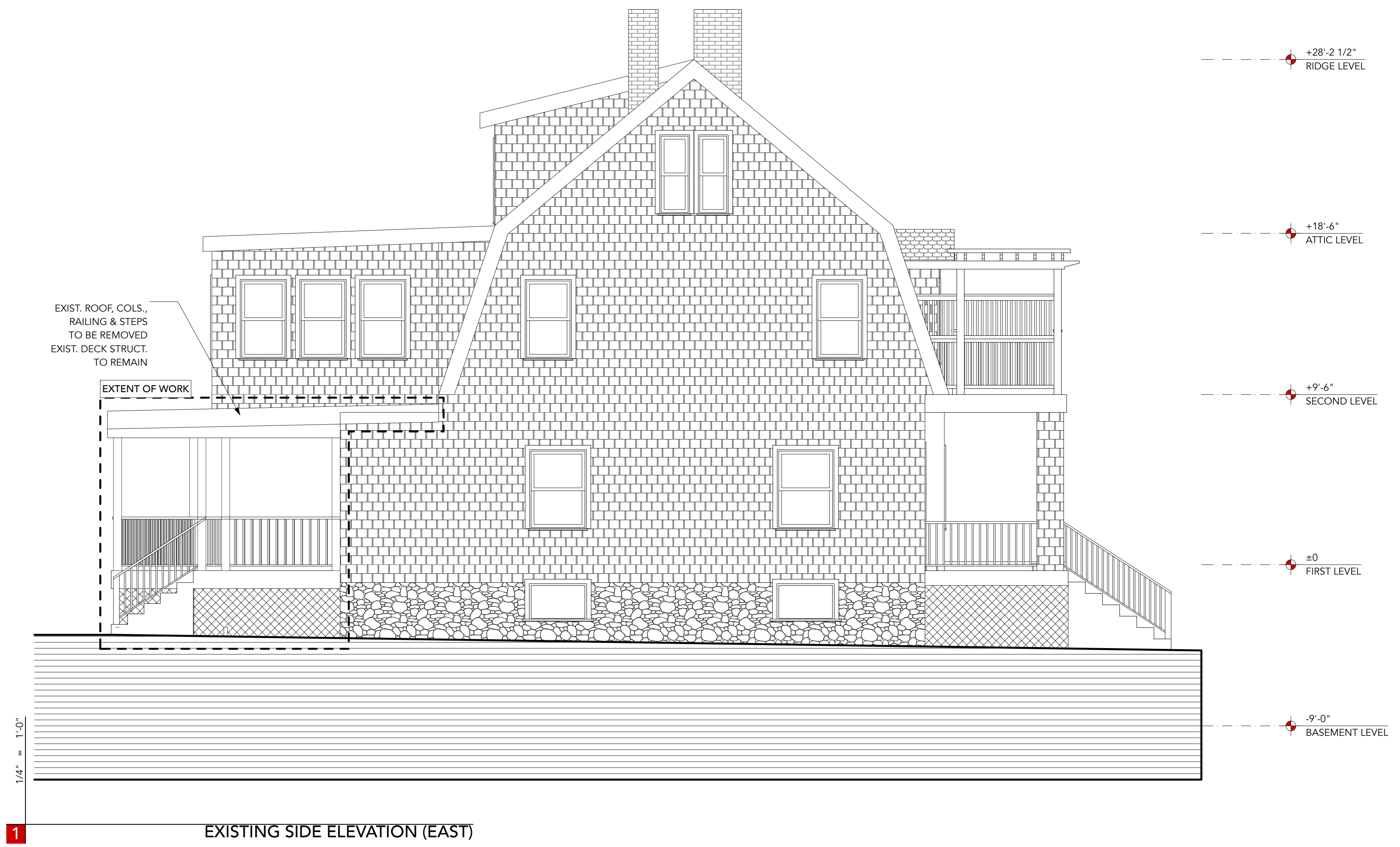
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SHEET NUMBER:

A3.01

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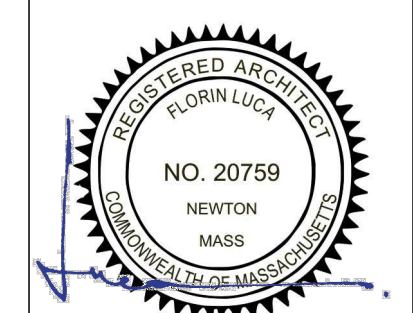
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**ZONING REVIEW**

**DATE:**

FEBRUARY 10, 2018

**TITLE:**

**EXTERIOR  
ELEVATIONS**

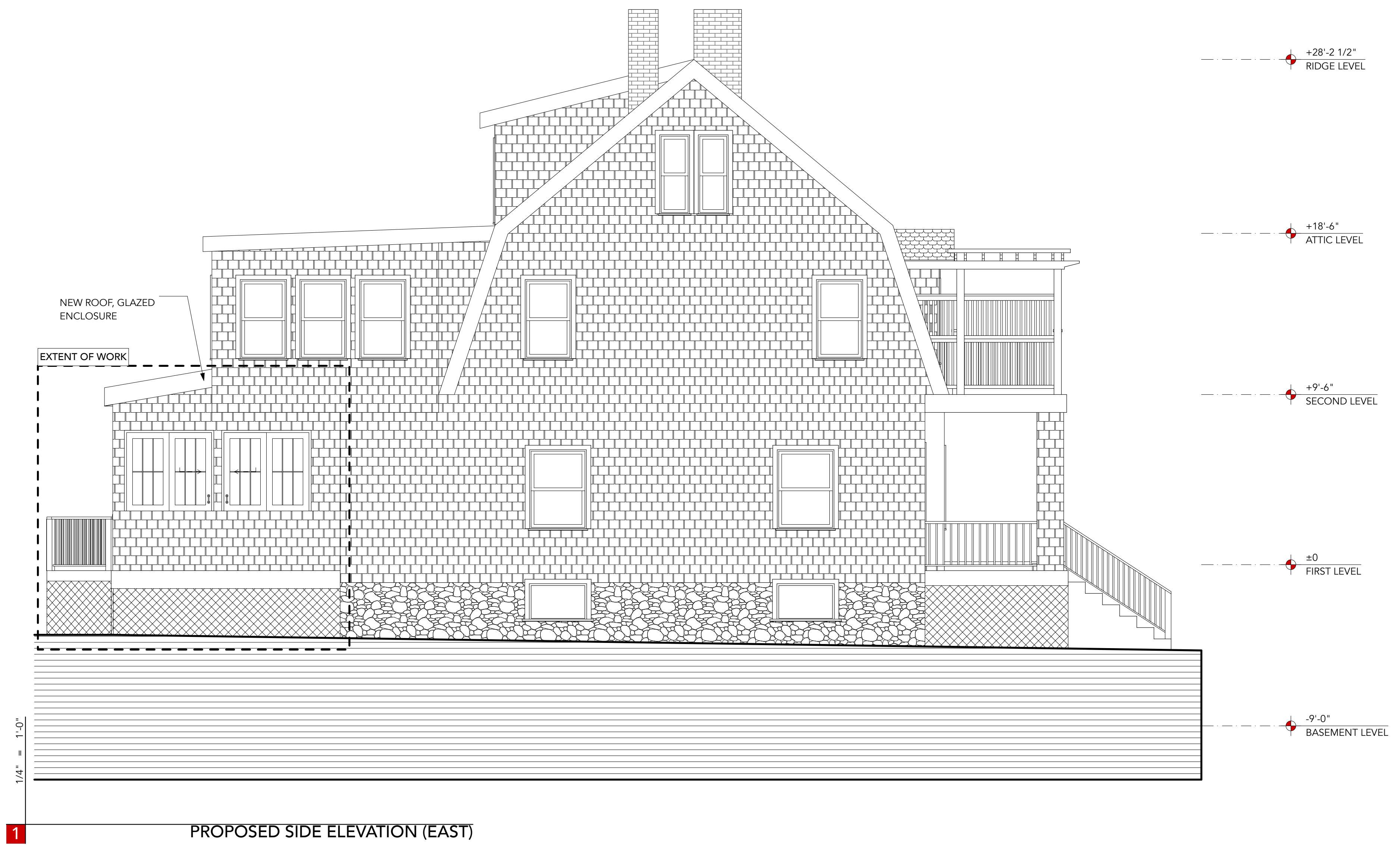
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1/8" = 1' - 0"

**SHEET NUMBER:**

**A3.02**

**NOT FOR CONSTRUCTION**



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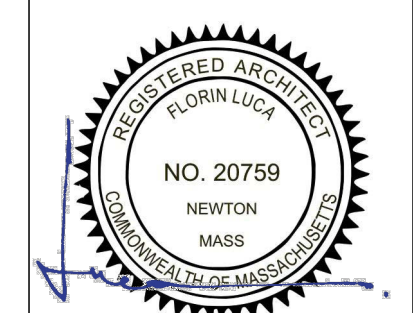
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**ISSUE SET:**

**ZONING REVIEW**

**DATE:**

FEBRUARY 10, 2018

**TITLE:**

**EXTERIOR ELEVATIONS**

**SCALE:**

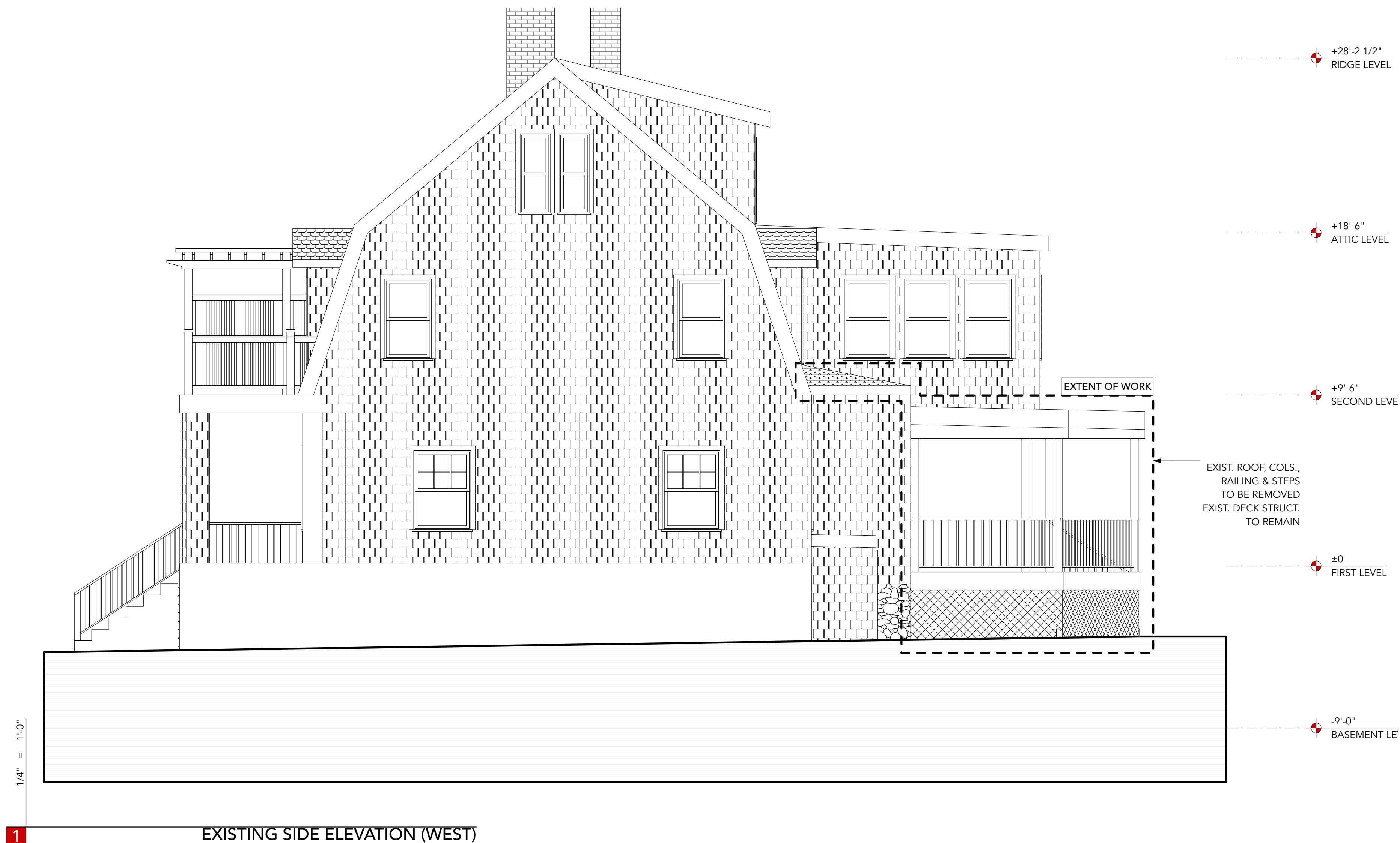
1/8" = 1' - 0"

**SHEET NUMBER:**

**A3.03**

**NOT FOR CONSTRUCTION**





1 EXISTING SIDE ELEVATION (WEST)

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**EXTERIOR ELEVATIONS**

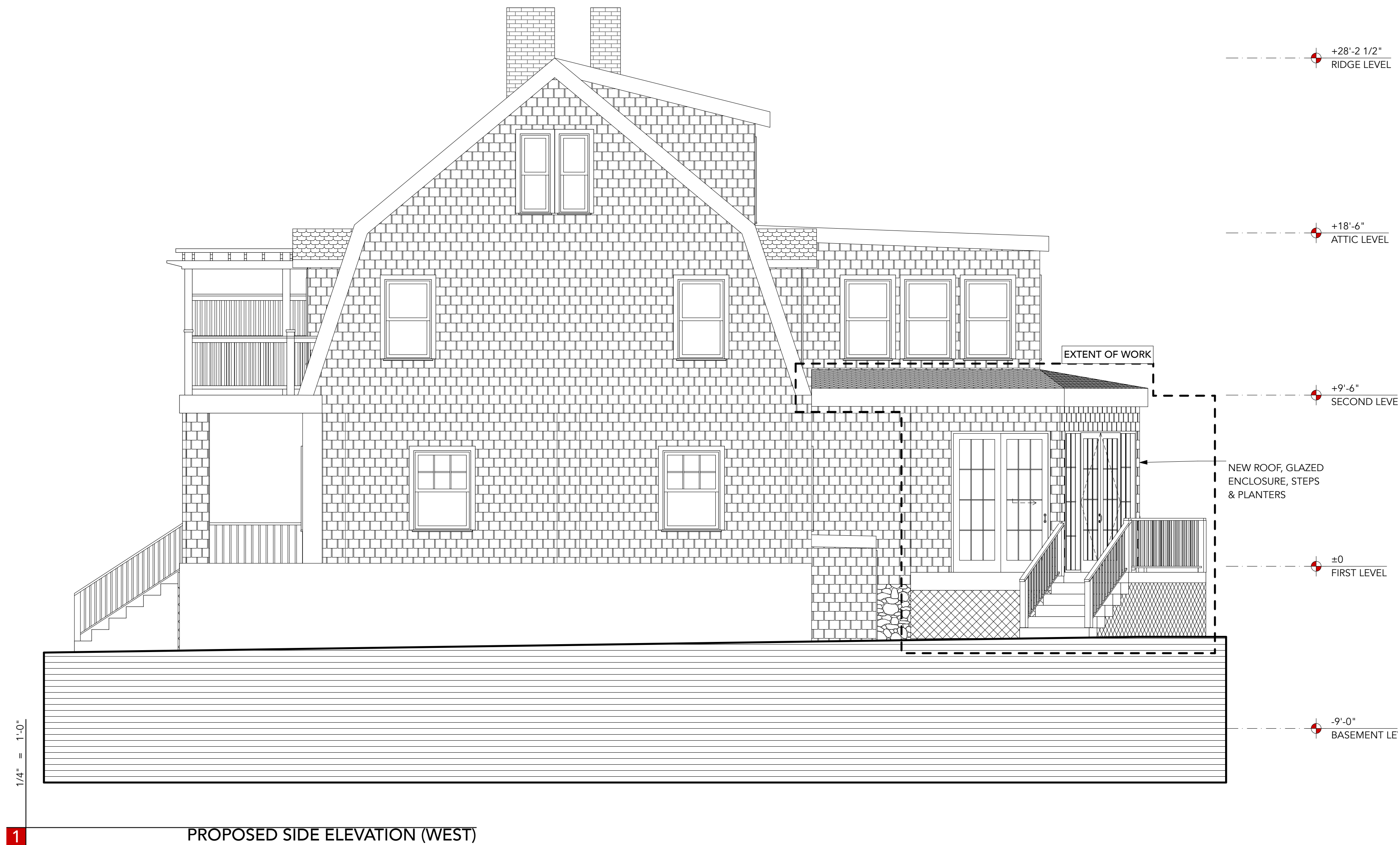
**SCALE:**

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**SHEET NUMBER:**

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1 PROPOSED SIDE ELEVATION (WEST)

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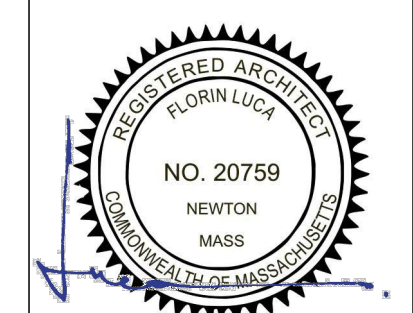
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**ISSUE SET:**

**ZONING REVIEW**

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FEBRUARY 10, 2018

**TITLE:**

**EXTERIOR ELEVATIONS**

**SCALE:**

1/8" = 1' - 0"

**SHEET NUMBER:**

**A3.05**

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