

ESTABLISHED 1916

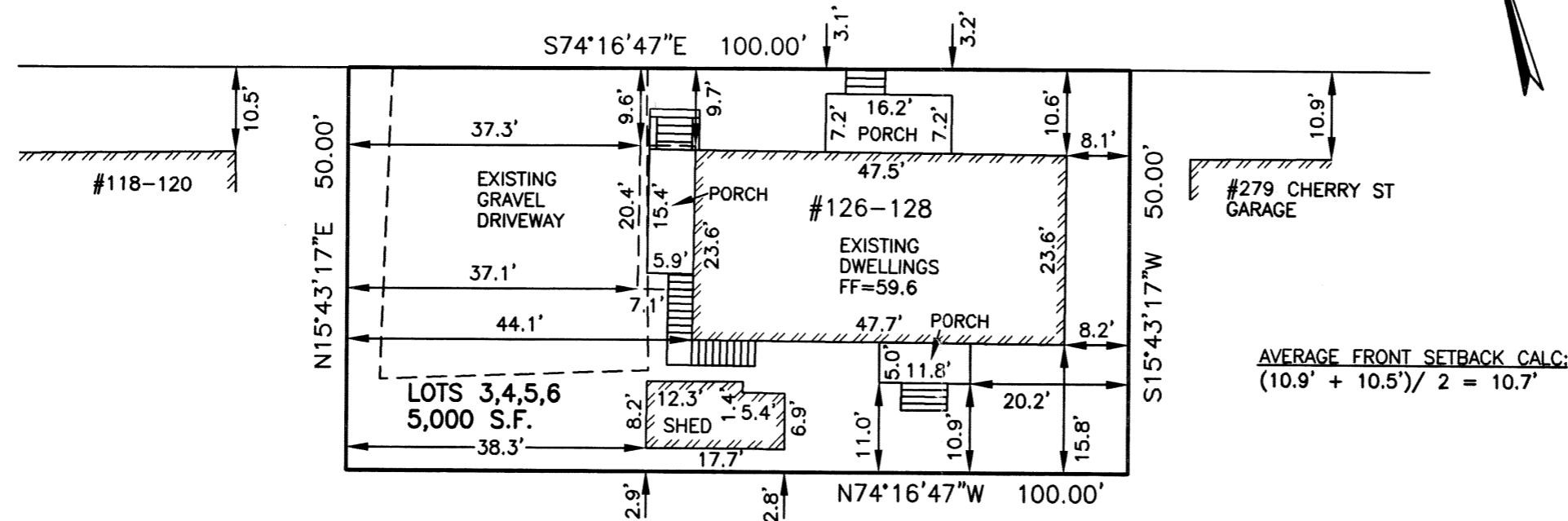
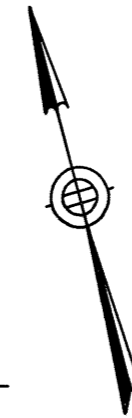
EMB

EVERETT M. BROOKS CO. SURVEYORS & ENGINEERS

49 LEXINGTON STREET
WEST NEWTON, MA 02465

(617) 527-8750
(617) 332-1578 FAX
info@everettbrooks.com

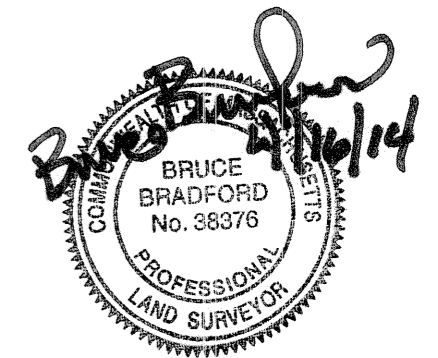
WESTLAND AVENUE



ZONE: SR-3
 PLAN REFERENCE: BK 186 PLAN 44
 PLAN DATED: SEPTEMBER 1, 1909
 DEED REFERENCE: BK 59901 PG 513

BUILDINGS:	1,565 S.F.
STRUCTURES	1,565 S.F.
DRIVE	1,256 S.F. ±
	2,821 S.F. ±
LOT COVERAGE	31.3% 30% (MAX)
OPEN SPACE	44% ± 50% (MIN.)
F.A.R.	0.45 0.55 (MAX)
BELOW	0 S.F.
1st FLOOR	1,133 S.F.
2nd FLOOR	1,133 S.F.
ABOVE	0 S.F.
	2,266 S.F.

ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.
AREAS FOR FAR CALCULATION PROVIDED BY ARCHITECT.



PLAN OF LAND IN NEWTON, MA

126-128 WESTLAND AVENUE EXISTING CONDITIONS

SCALE: 1 IN. = 20 FT.

DATE: APRIL 16, 2014

DRAWN: JF/ES

CHECK: BB

REVISIONS:

PROJECT NO. 24085

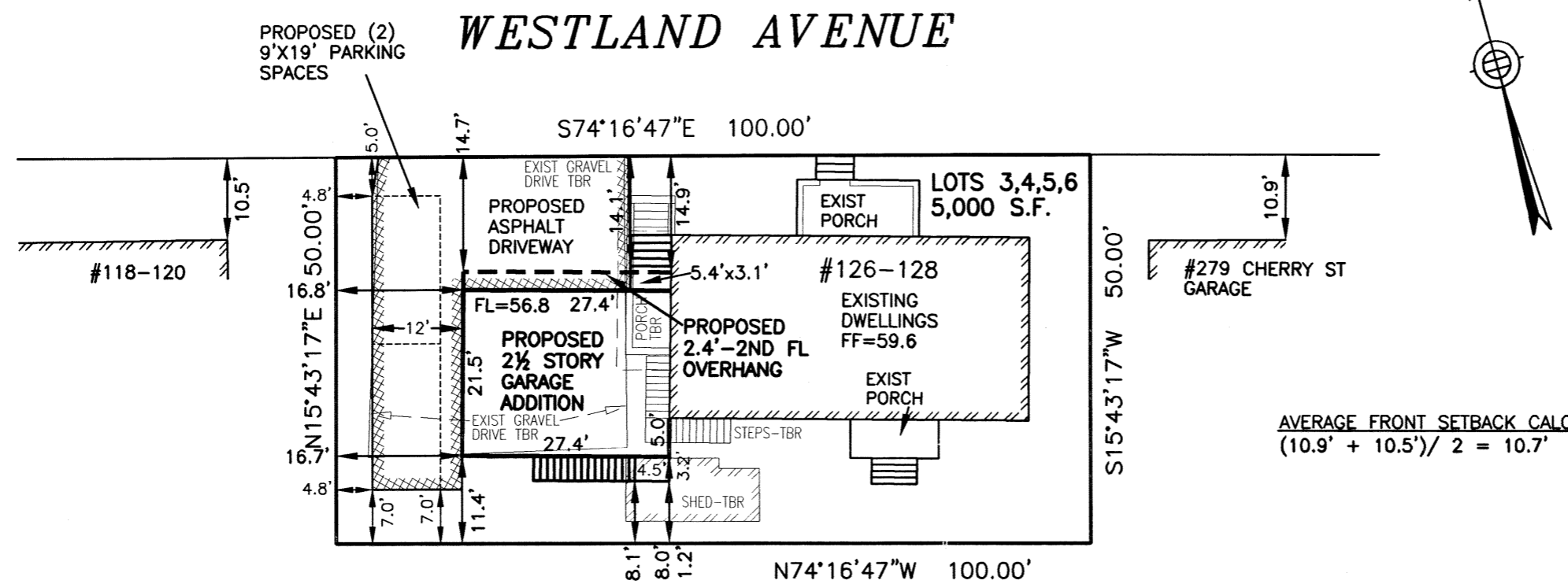
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ZONING INFORMATION

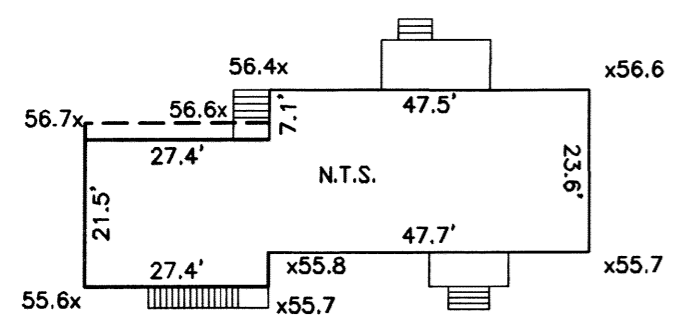
ZONE: SR-3

PLAN REFERENCE: BK 186 PLAN 44
PLAN DATED: SEPTEMBER 1, 1909

DEED REFERENCE: BK 59901 PG 513

	EXISTING	PROPOSED	REQUIRED
BUILDINGS:	1,565 S.F.	1,955 S.F.	
STRUCTURES	1,565 S.F.	1,973 S.F.	
DRIVE	1,256 S.F. ±	835 S.F. ±	
	2,821 S.F. ±	2,808 S.F. ±	
LOT COVERAGE	31.3%	39.1%	30% (MAX)
OPEN SPACE	44% ±	44% ±	50% (MIN.)
F.A.R.	0.45	0.70	0.55 (MAX)
BELOW	0 S.F.	0 S.F.	
1st FLOOR	1,133 S.F.	1,722 S.F.	
2nd FLOOR	1,133 S.F.	1,787 S.F.	
ABOVE	0 S.F.	0 S.F.	
	2,266 S.F.	3,509 S.F.	

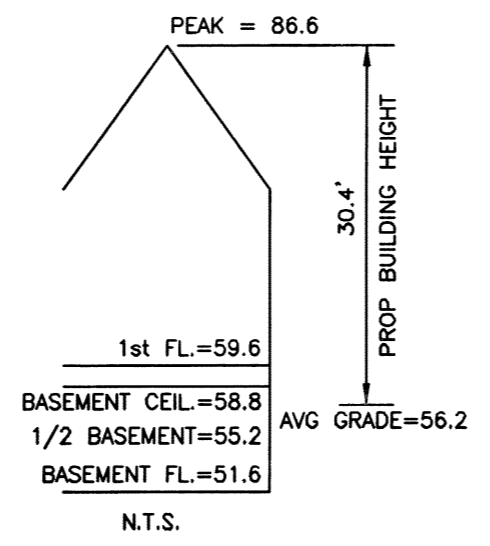
- NOTES**
- AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT
 - ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.



NOTE: ELEVATIONS REFER TO LOWEST FINISHED GRADE WITHIN 6' OF FOUNDATION.

AVERAGE GRADE PLANE CALCULATION:
(ORD Z-90)

AVG GRADE PLANE = $\sum[L(E1+E2)/2] / P$
AVG GRADE PLANE = 11,365.36 / 202.2 = 56.2



**PLAN OF LAND IN
NEWTON, MA**

126-128 WESTLAND AVENUE
PROPOSED ADDITION

SCALE: 1 IN. = 20 FT.
DATE: APRIL 16, 2014
DRAWN: JF/ES
CHECK: BB

REVISIONS:

PROJECT NO. 24085

ZONING INFORMATION

ZONE: SR-3

PLAN REFERENCE: BK 186 PLAN 44

PLAN DATED: SEPTEMBER 1, 1909

DEED REFERENCE: BK 59901 PG 513

LOT AREA: 5,000 S.F.

<u>BUILDINGS:</u>	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
HOUSE	1,125 S.F.	1,779 S.F.	
PORCH (FRONT)	117 S.F.	117 S.F.	
PORCH (SIDE)	126 S.F.	-	
PORCH (REAR)	59 S.F.	59 S.F.	
SHED	138 S.F.	-	
	<u>1,565 S.F.</u>	<u>1,955 S.F.</u>	

<u>STRUCTURES</u>	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
HOUSE	1,125 S.F.	1,779 S.F.	
PORCH (FRONT)	117 S.F.	117 S.F.	
PORCH (SIDE)	126 S.F.	-	
PORCH (REAR)	59 S.F.	59 S.F.	
LANDING (FRONT)	-	4 S.F.	
LANDING (REAR)	-	14 S.F.	
SHED	138 S.F.	-	
	<u>1,565 S.F.</u>	<u>1,973 S.F.</u>	

DRIVE 1,256 S.F. ± 835 S.F. ±

STRUCTURE + DRIVE 2,821 S.F. ± 2,808 S.F. ±

LOT COVERAGE	31.3%	39.1%	30% (MAX)
OPEN SPACE	44% ±	44% ±	50% (MIN.)

F.A.R.	0.45	0.70	0.55 (MAX)
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BELOW	0 S.F.	0 S.F.
1st FLOOR	1,133 S.F.	1,722 S.F.
2nd FLOOR	1,133 S.F.	1,787 S.F.
ABOVE	0 S.F.	0 S.F.
	<u>2,266 S.F.</u>	<u>3,509 S.F.</u>

NOTES

1. AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT
2. ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.

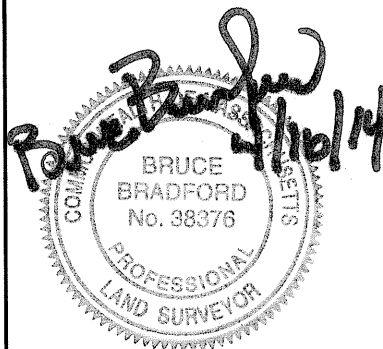
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ZONING INFORMATION

126-128 WESTLAND AVENUE

SCALE: 1 IN. = 20 FT.

DATE: APRIL 16, 2014

DRAWN: ES

CHECK: BB

PROJECT NO. 24085

GENERAL NOTES

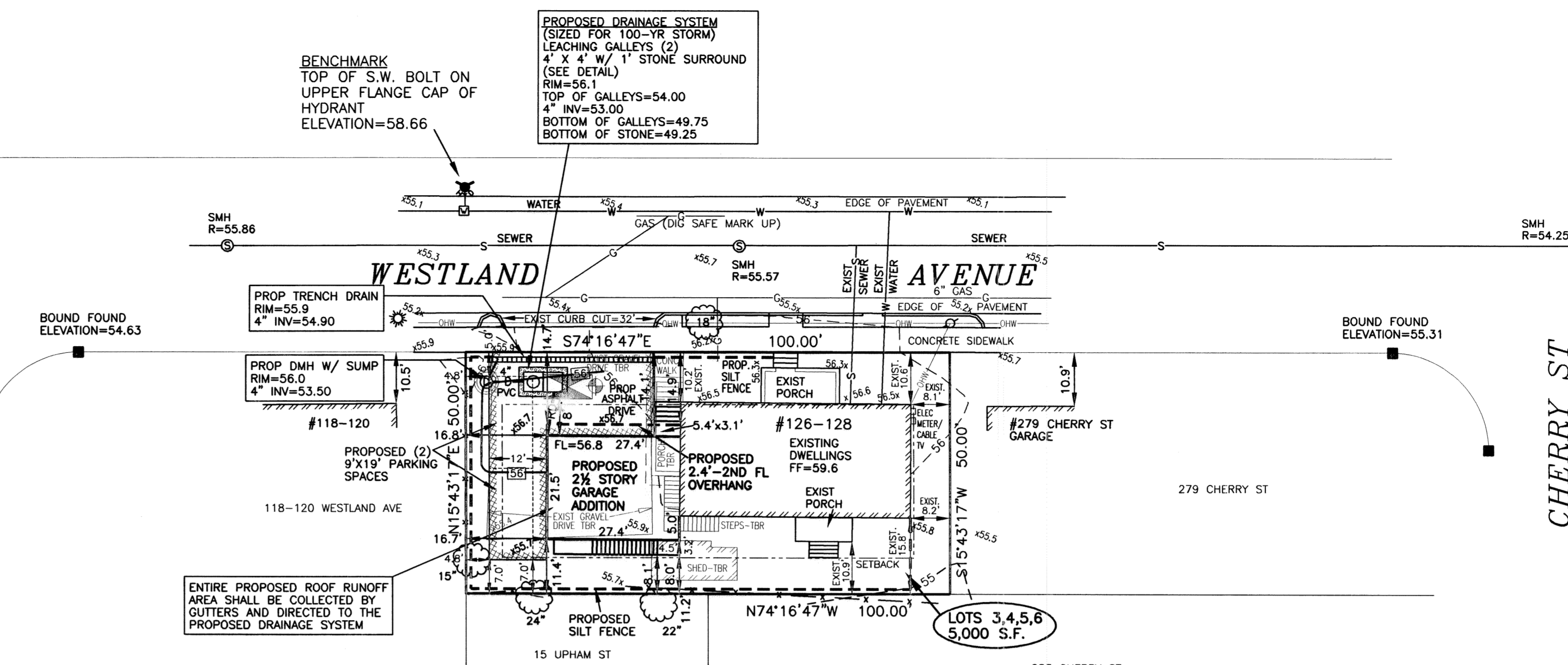
- ELEVATIONS REFER TO CITY OF NEWTON BASE. BENCHMARK: TOP OF S.W. BOLT ON UPPER FLANGE CAP OF HYDRANT, ELEVATION = 58.66.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 1-888-344-7233 IN ORDER TO COMPLY WITH STATE LAW.
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS, LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER.
- NO WORK WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY IS ALLOWED BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, THE APPLICANT MAY REQUEST PERMISSION FROM THE CITY ENGINEER, OR DESIGNEE FOR SUCH WORK.
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND JANUARY 2013.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
- NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE. HE HAS SUBMITTED, BY REGISTERED MAIL, WRITTEN NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:
 - SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY, AND TELEPHONE SERVICE IN THE CITY.
 - SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.
 - CITY OF NEWTON WATER & SEWER DEPARTMENT.
 SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.
- NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
- ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH 1.5 INCH DEPTH OF BITUMINOUS CONCRETE, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
- WITH THE EXCEPTION OF GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
- WARNING SIGNS SHALL CONFORM TO PAGE 12 OF THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.
- ALL TOPSOIL, SUBSOIL, OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING GALLEYS AND TO A DISTANCE 5' Laterally IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS. BACKFILL AS REQUIRED WITH A CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. THE SAND SHALL HAVE A PERCOLATION RATE OF 2 MINUTES PER INCH OR FASTER.
- IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, EVERETT M. BROOKS CO. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
- IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
- ALL OF THE ROOF RUNOFF FROM THE PROPOSED GARAGE ADDITION ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE PROPOSED LEACHING GALLEYS.
- PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES, AND DRAINAGE (INCLUDING SWINGS-TIES), EASEMENTS AND FINAL GRADING.
- THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING & UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT WITH THE DPW.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. EVERETT M. BROOKS CO. WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER & SEWER SERVICES INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY THEN BE BACKFILLED.
- IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONALITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTIONS, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.

SOIL LOG: JANUARY 3, 2013

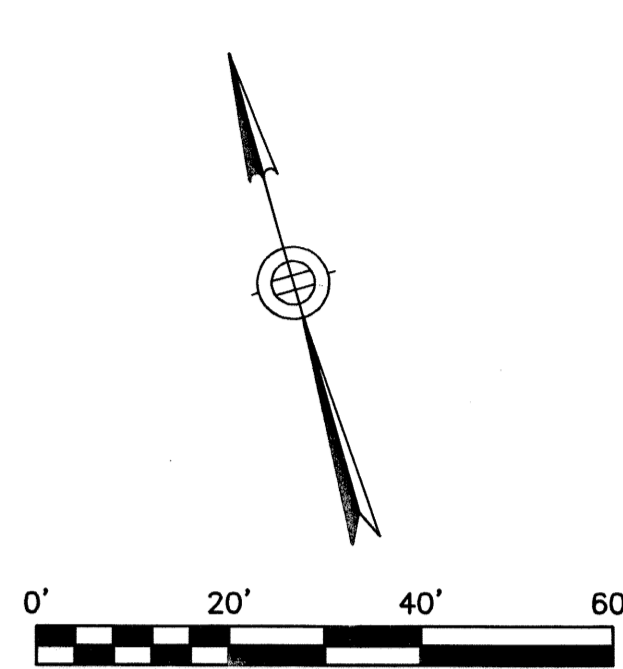
TEST HOLE #1 (TH#1)
ELEVATION = 55.8
0-14" FILL/ GRAVEL DRIVEWAY
14"-16" A SANDY LOAM 10 YR 2/2
16"-28" B SANDY LOAM 10 YR 5/8
28"-102" C SANDY LOAM 2.5 Y 6/4

NO MOTTLES OBSERVED
NO GROUNDWATER OBSERVED
NO LEDGE OBSERVED

PERCOLATION TEST #1 (PT#1)
DEPTH: 40"-52"
DESIGN RATE: 6 MPI

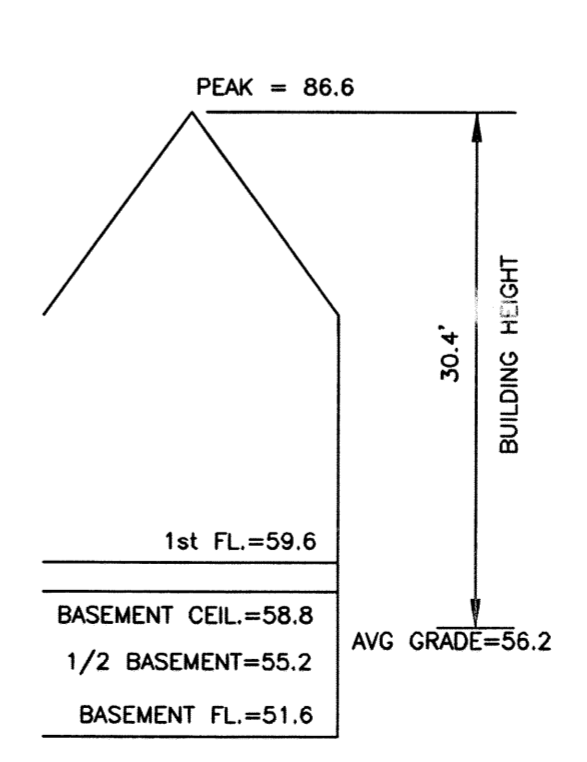
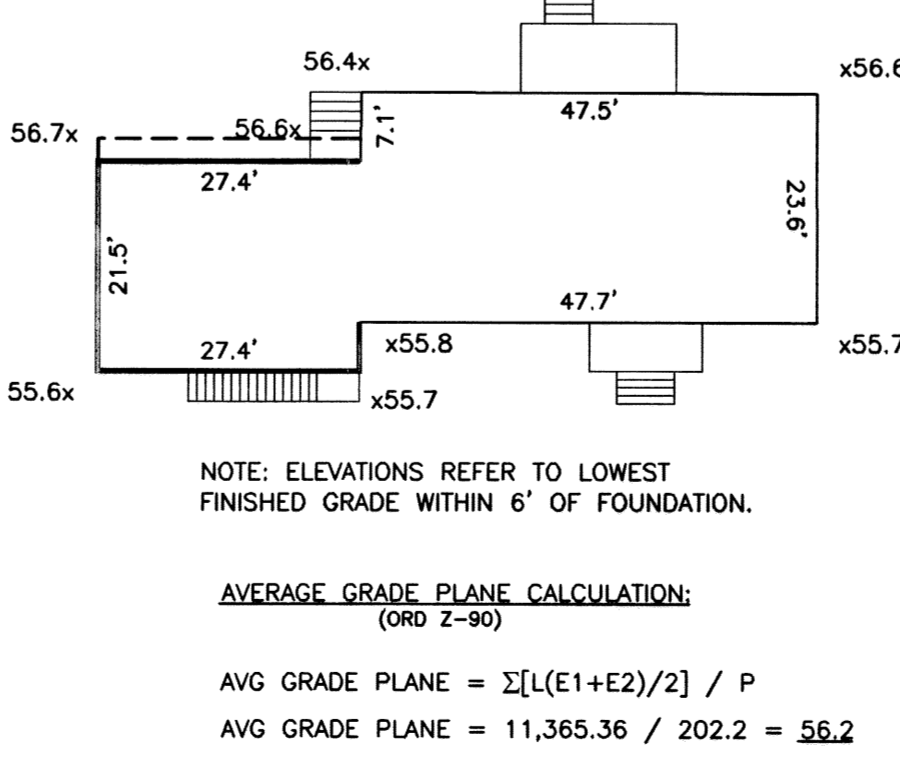
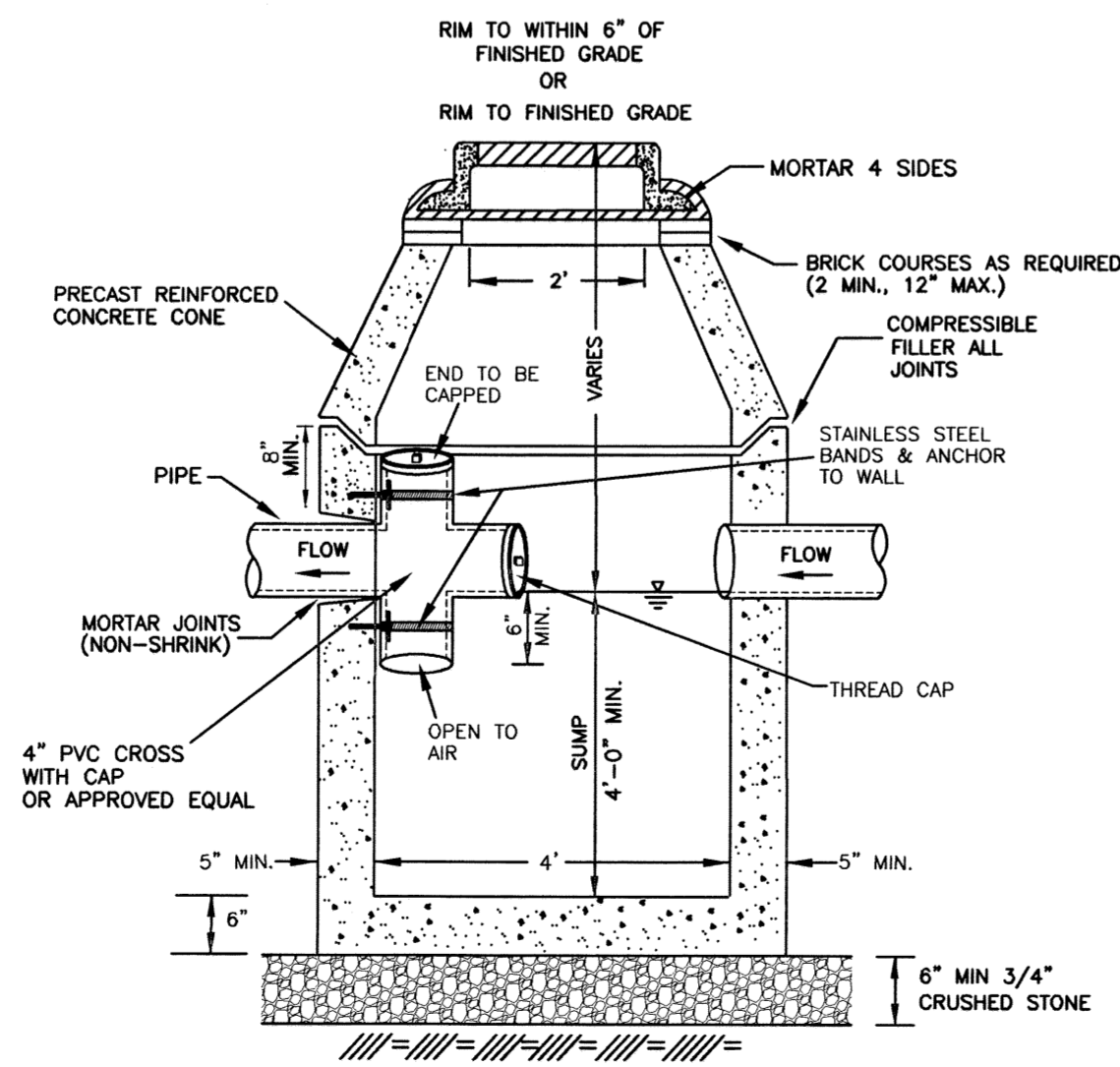
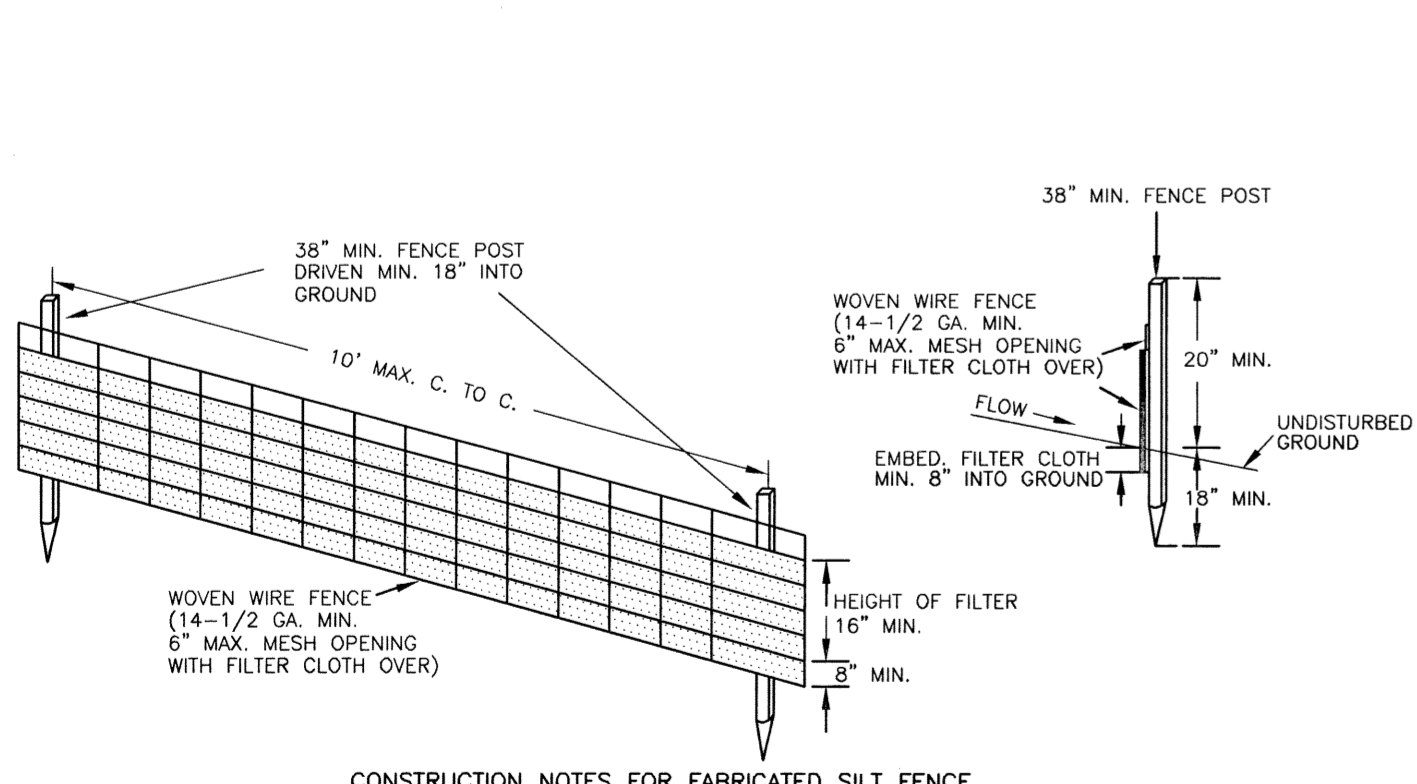
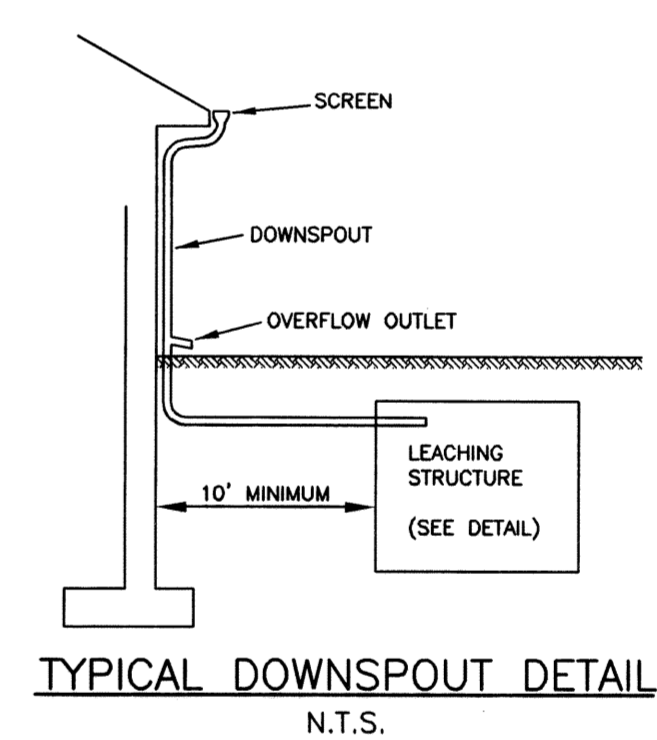
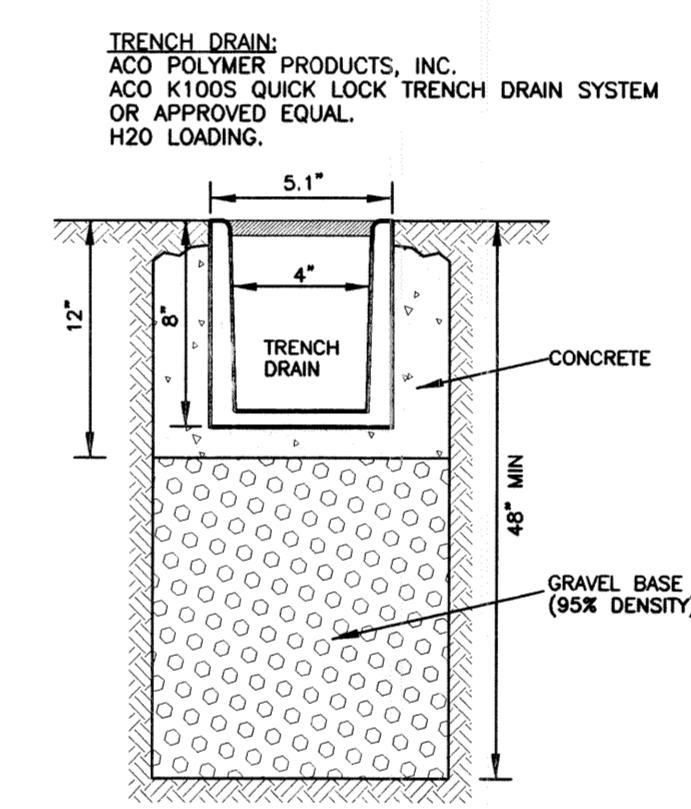
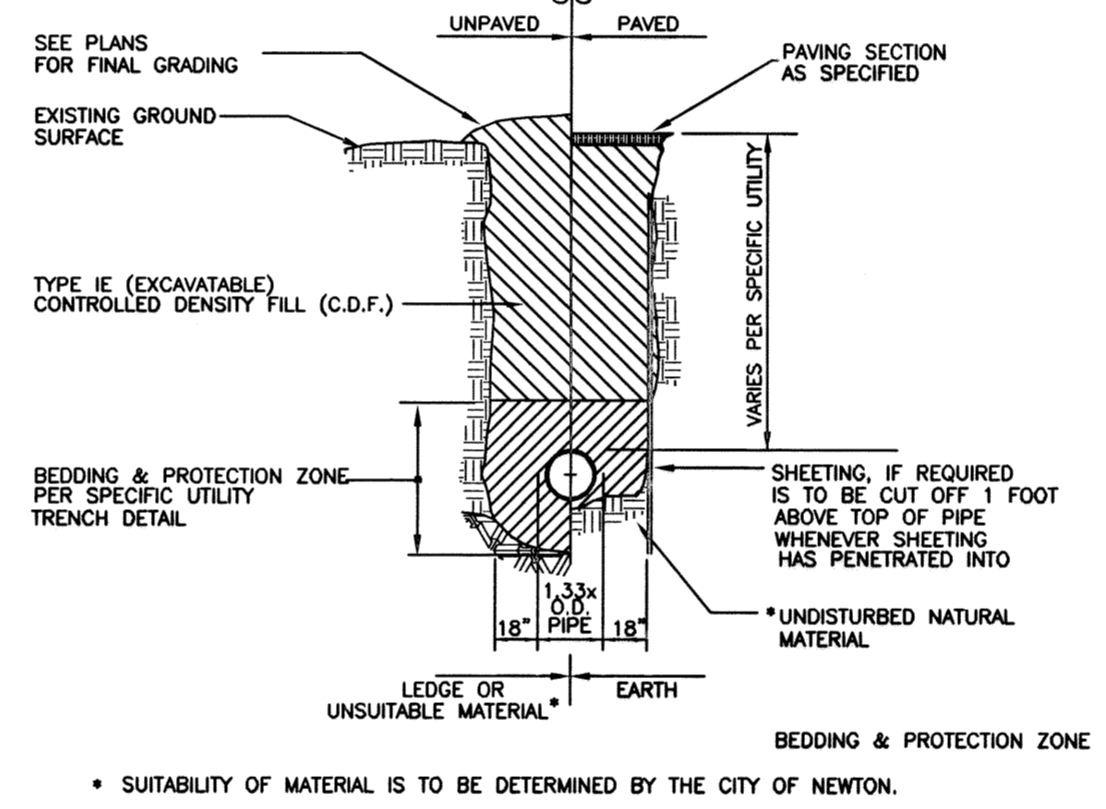
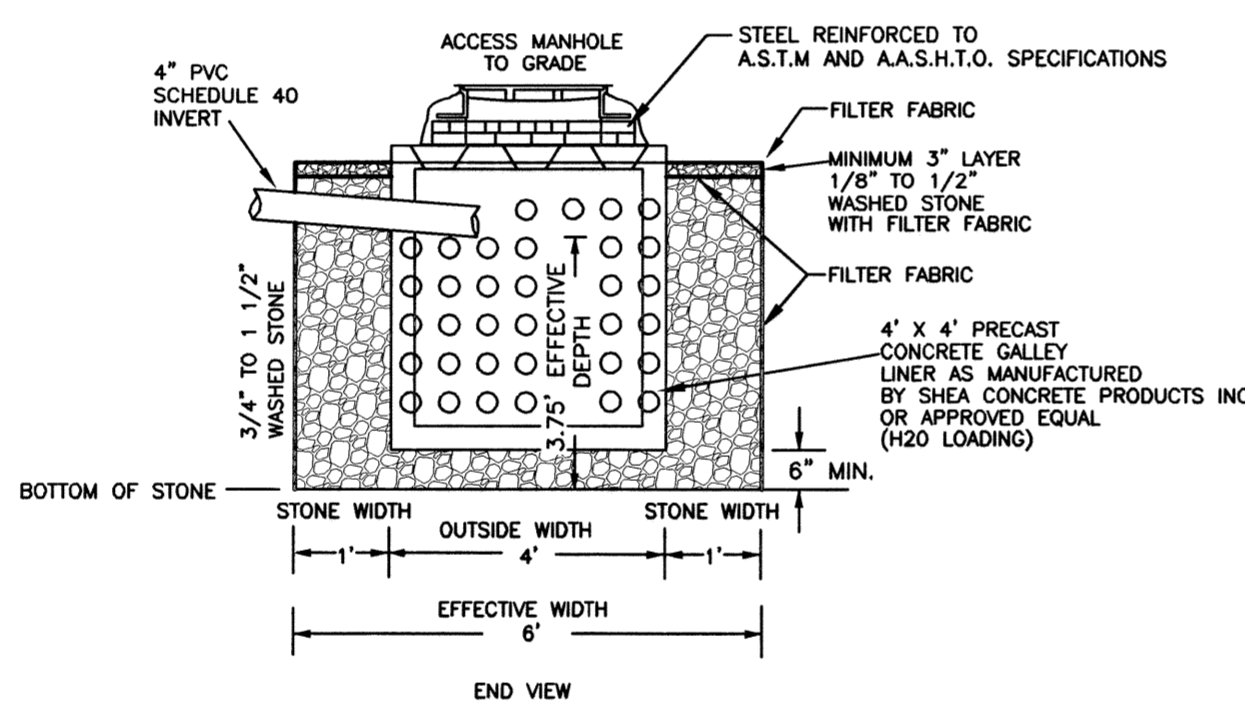


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LEGEND

- UTILITY POLE
- WATER GATE
- ⊕ HYDRANT
- ⊗ GAS GATE
- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊙ CATCH BASIN
- TREE
- ⊕ LIGHT POLE
- ⊕ SIGN
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- TH#1 DEEP TEST HOLE
- PT#1 PERCOLATION TEST
- 71.4 X SPOT ELEVATION
- 71 PROPOSED CONTOUR
- 71- EXISTING CONTOUR
- D- DRAIN LINE
- RD- ROOF DRAIN
- FD- FOUNDATION DRAIN
- W- WATER LINE
- S- SEWER LINE
- G- GAS LINE
- OHW- OVERHEAD WIRES
- X- FENCE
- ⊕ STONEWALL
- ⊕ HEDGE
- ⊕ TREE LINE

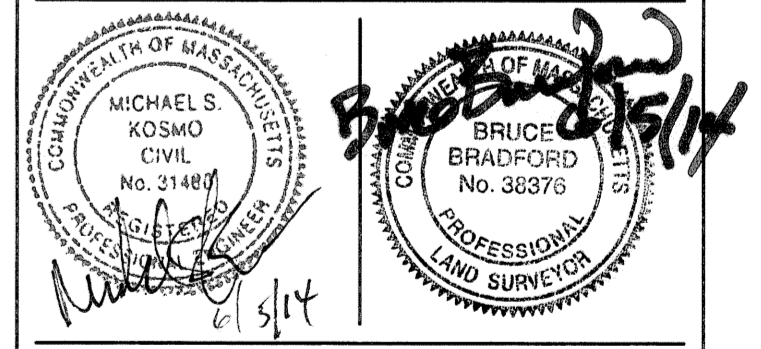


ZONING INFORMATION

ZONE: SR-3
PLAN REFERENCE: BK 186 PLAN 44
PLAN DATED: SEPTEMBER 1, 1909
DEED REFERENCE: BK 59901 PG 513

AVERAGE FRONT SETBACK CALC:
(10.9' + 10.5') / 2 = 10.7'

	EXISTING	PROPOSED	REQUIRED
BUILDINGS	1,565 S.F.	1,955 S.F.	
STRUCTURES	1,565 S.F.	1,973 S.F.	
DRIVE	1,258 S.F. ±	832 S.F. ±	
	2,821 S.F. ±	2,808 S.F. ±	
LOT COVERAGE	31.3%	39.1%	30% (MAX)
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2nd FLOOR	1,133 S.F.	1,787 S.F.	
ABOVE	0 S.F.	0 S.F.	
	2,266 S.F.	3,509 S.F.	

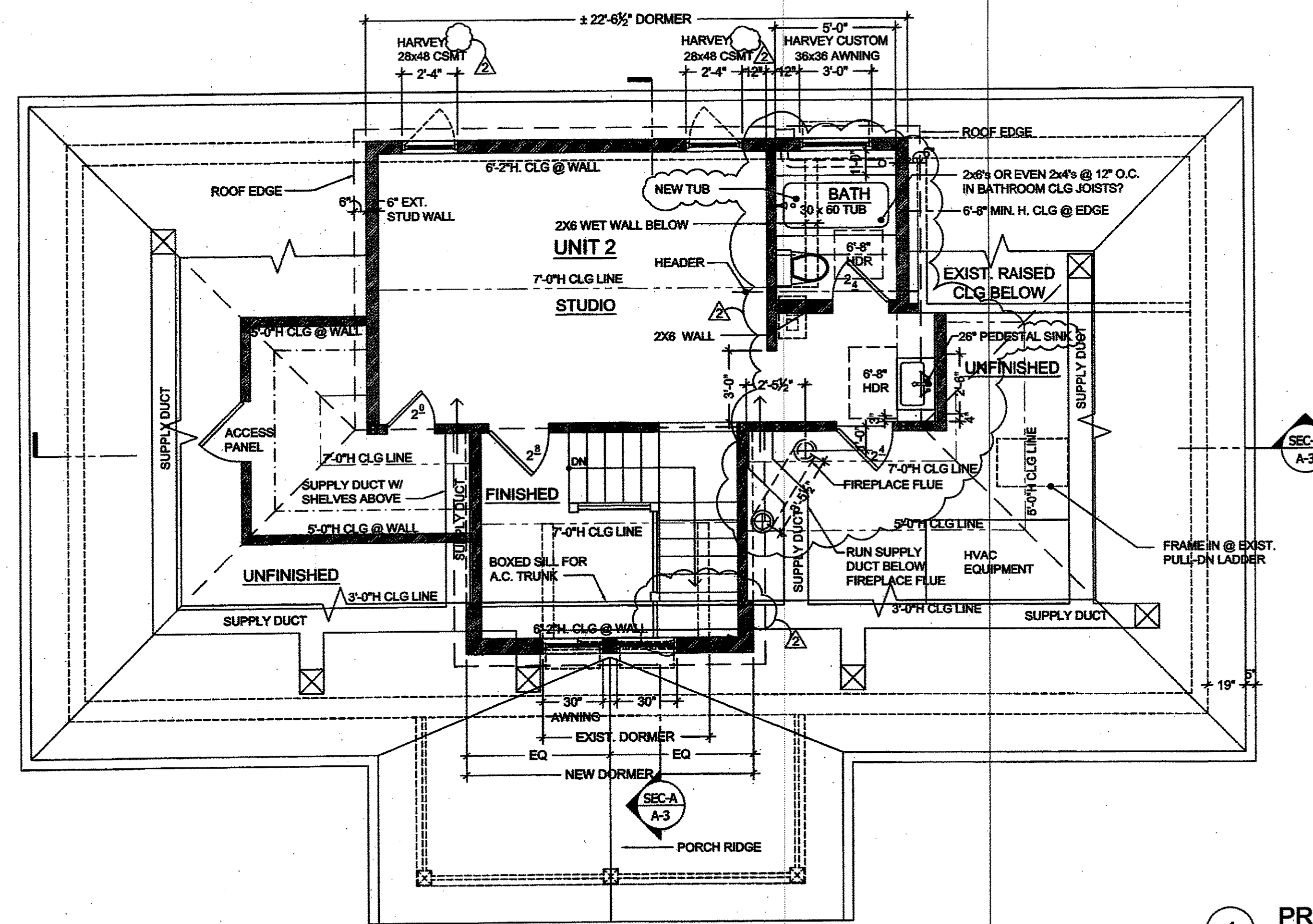


SITE PLAN OF LAND IN NEWTON, MA

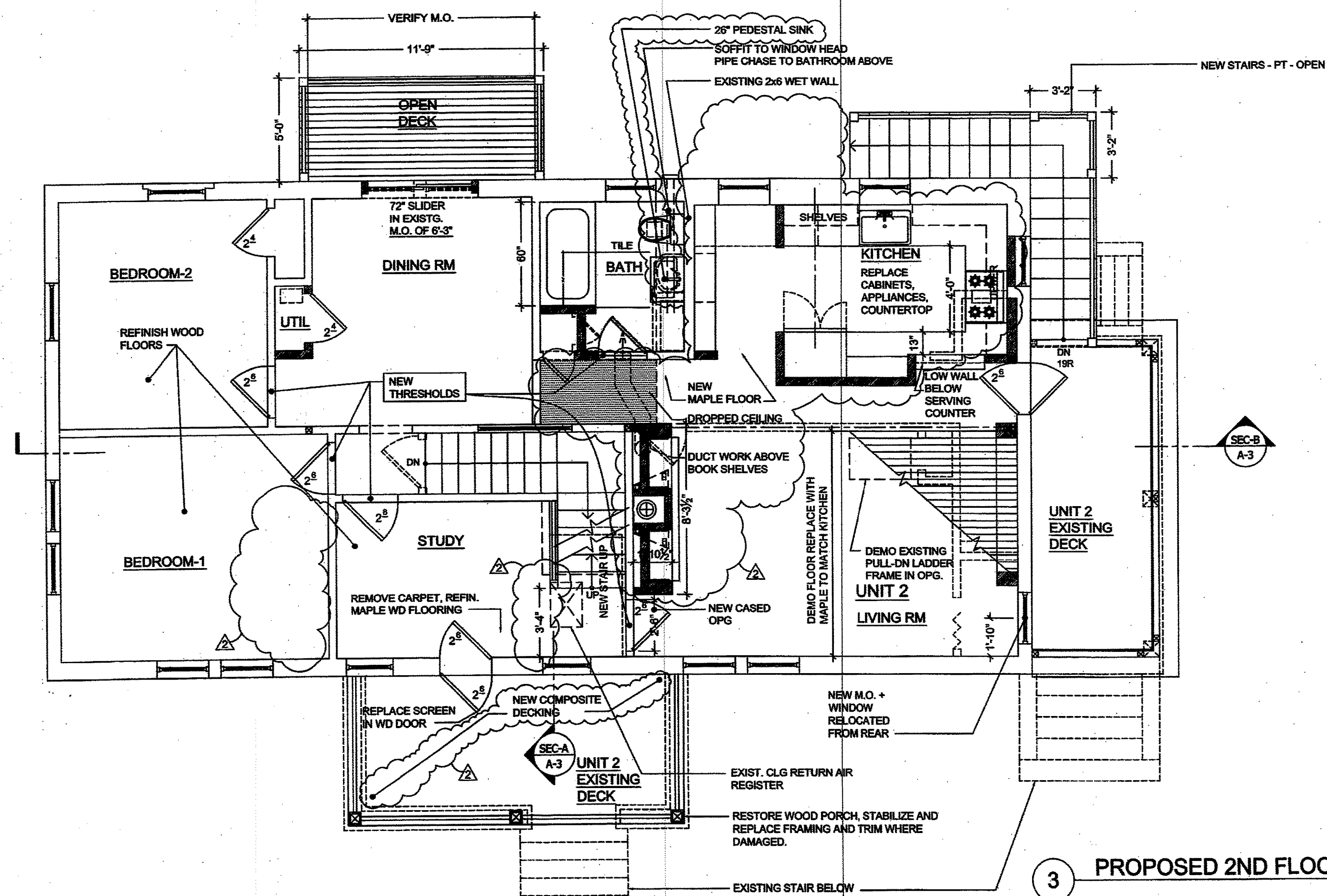
126-128 WESTLAND AVENUE

SCALE: 1 IN. = 20 FT.
DATE: JUNE 5, 2014
DRAWN: ES
CHECK: DB # MSK

REVISIONS:



4 PROPOSED ATTIC PLAN (PHASE-1)
Scale: 1/4"=1'-0"



3 PROPOSED 2ND FLOOR PLAN (PHASE-1)
Scale: 1/4"=1'-0"

CONSULTING STRUCTURAL ENGINEER:

SOUZA, TRUE AND PARTNERS, INC.
653 MOUNT AUBURN STREET
WATERTOWN, MA 02472
Ph: 617-928-6100, Fax: 617-924-4431

ARCHITECT:

PIERCE LAMB ARCHITECTS
1075 WASHINGTON STREET
WEST NEWTON, MA 02465
Ph: 617-964-1311, Fax: 617-630-9374

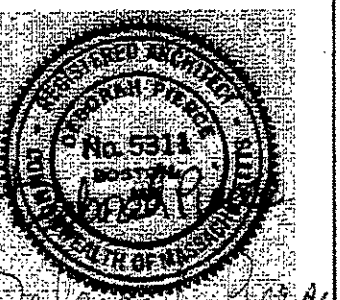
PROJECT:

**126 WESTLAND AVE
NEWTON, MA**

ISSUE:

09.10.2012 PERMIT SET
10.03.2012 BANK SET
10.16.2012 REVISED PERMIT SET
1.28.2013 REVISED

PROFESSIONAL SEAL:



DRAWING TITLE:

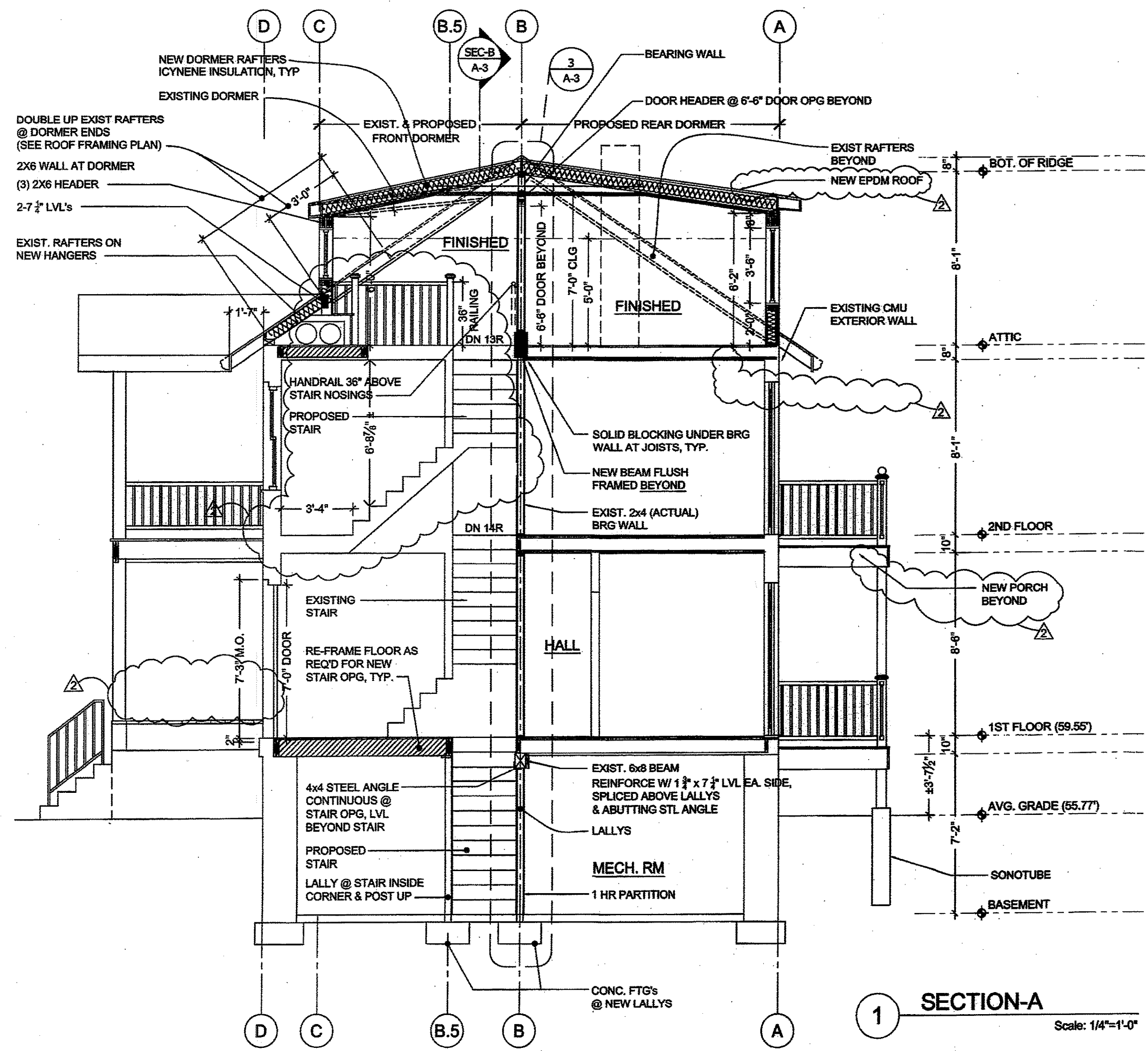
**PROPOSED PLANS
(PHASE 1)**

JOB No: 12-652

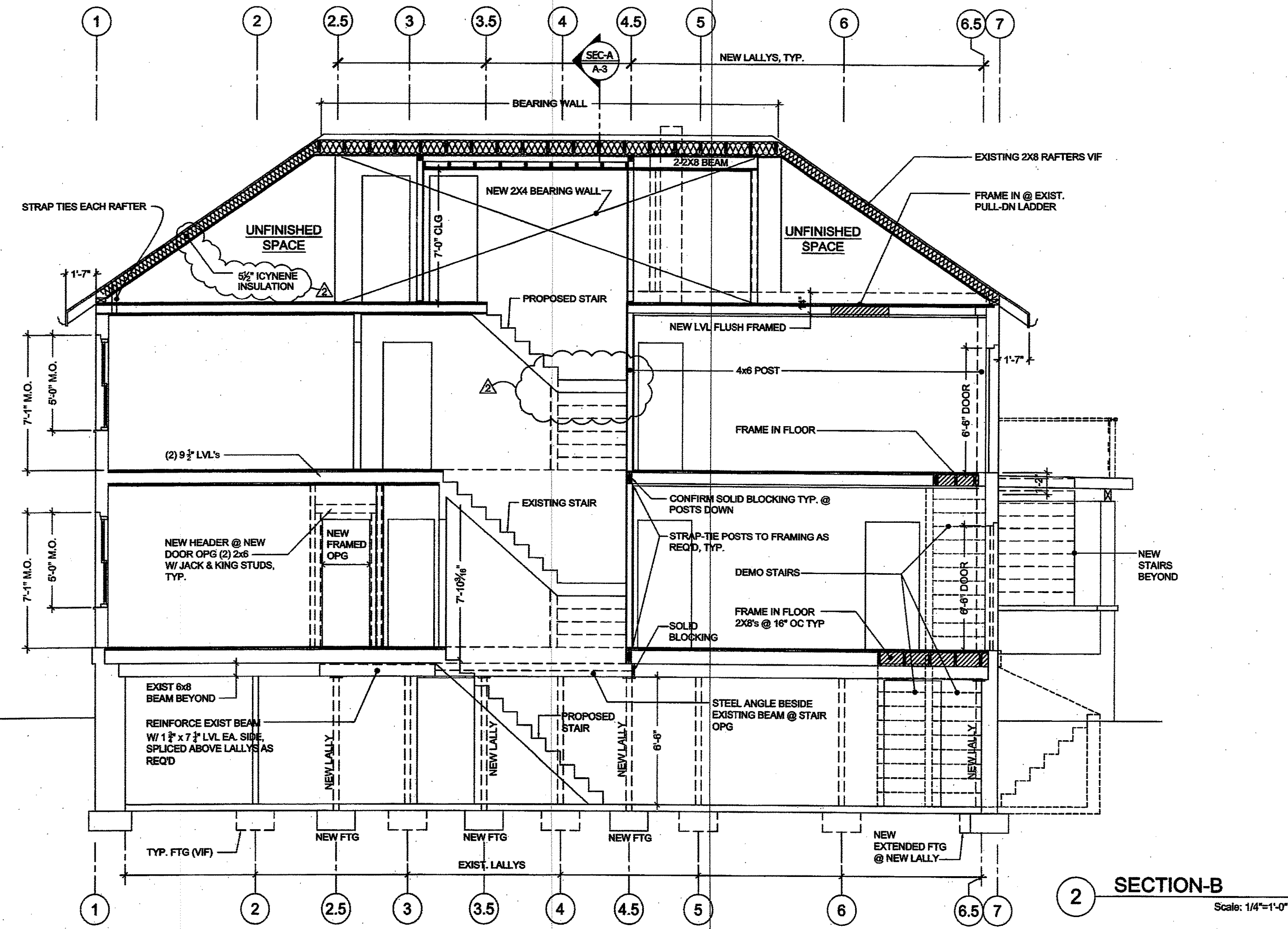
DATE: 11/16/2012

SCALE: AS NOTED

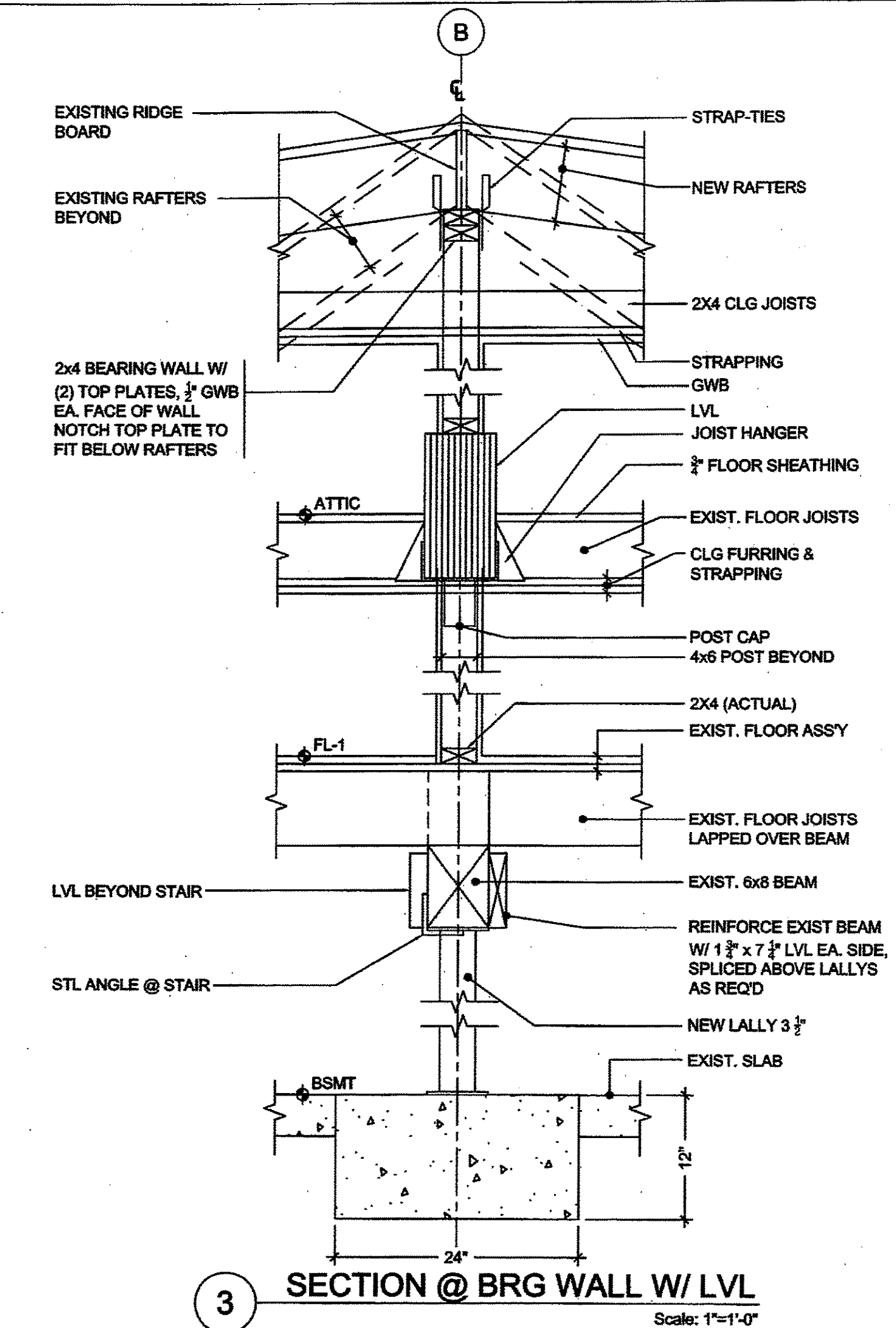
SHEET NO.:



SECTION-A
Scale: 1/4"=1'-0"



SECTION-B
Scale: 1/4"=1'-0"



SECTION @ BRG WALL W/ LVL
Scale: 1"=1'-0"

CONSULTING STRUCTURAL ENGINEER:
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PROJECT:
**126 WESTLAND AVE
NEWTON, MA**

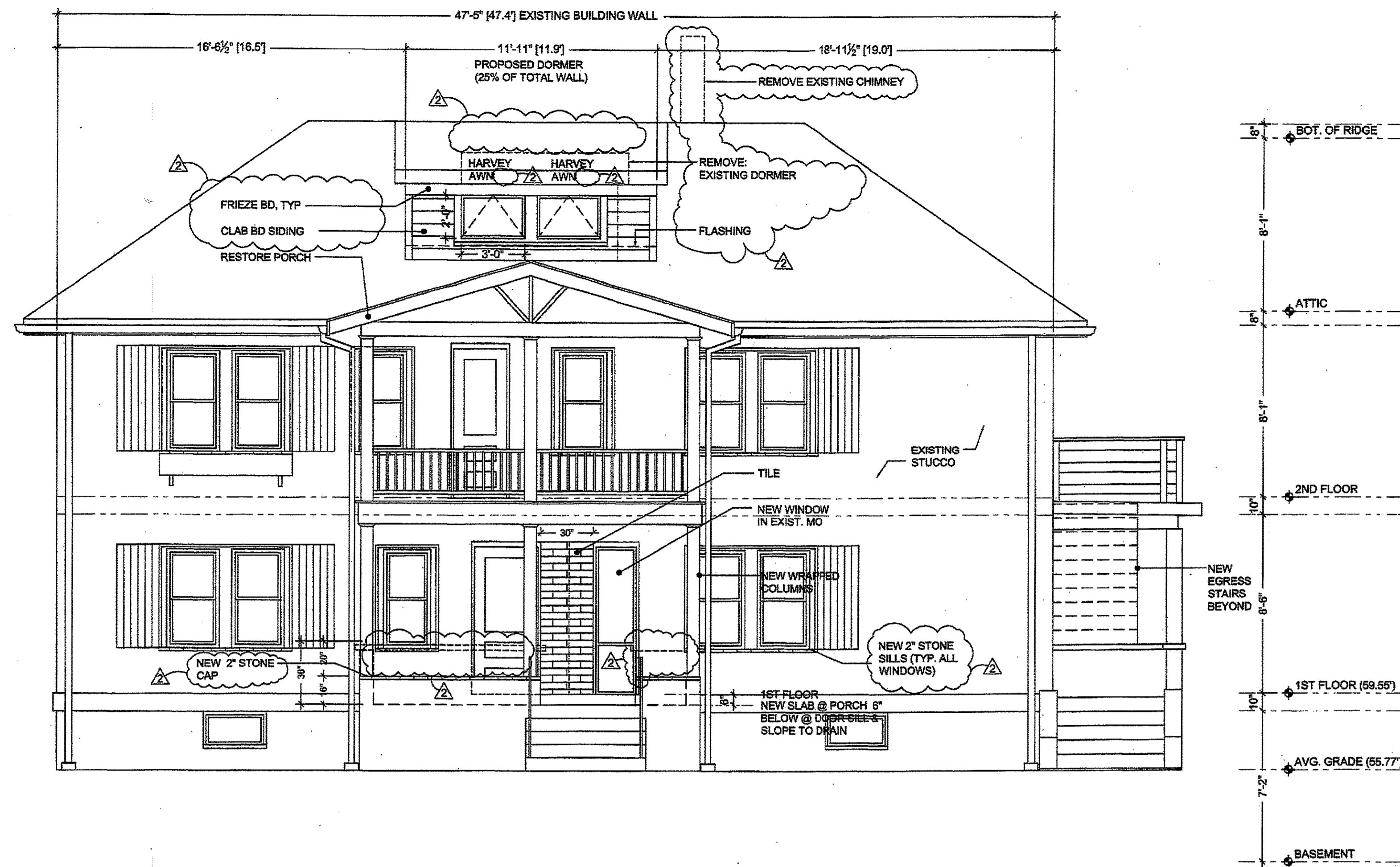
ISSUE:
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1.28.2013 REVISED

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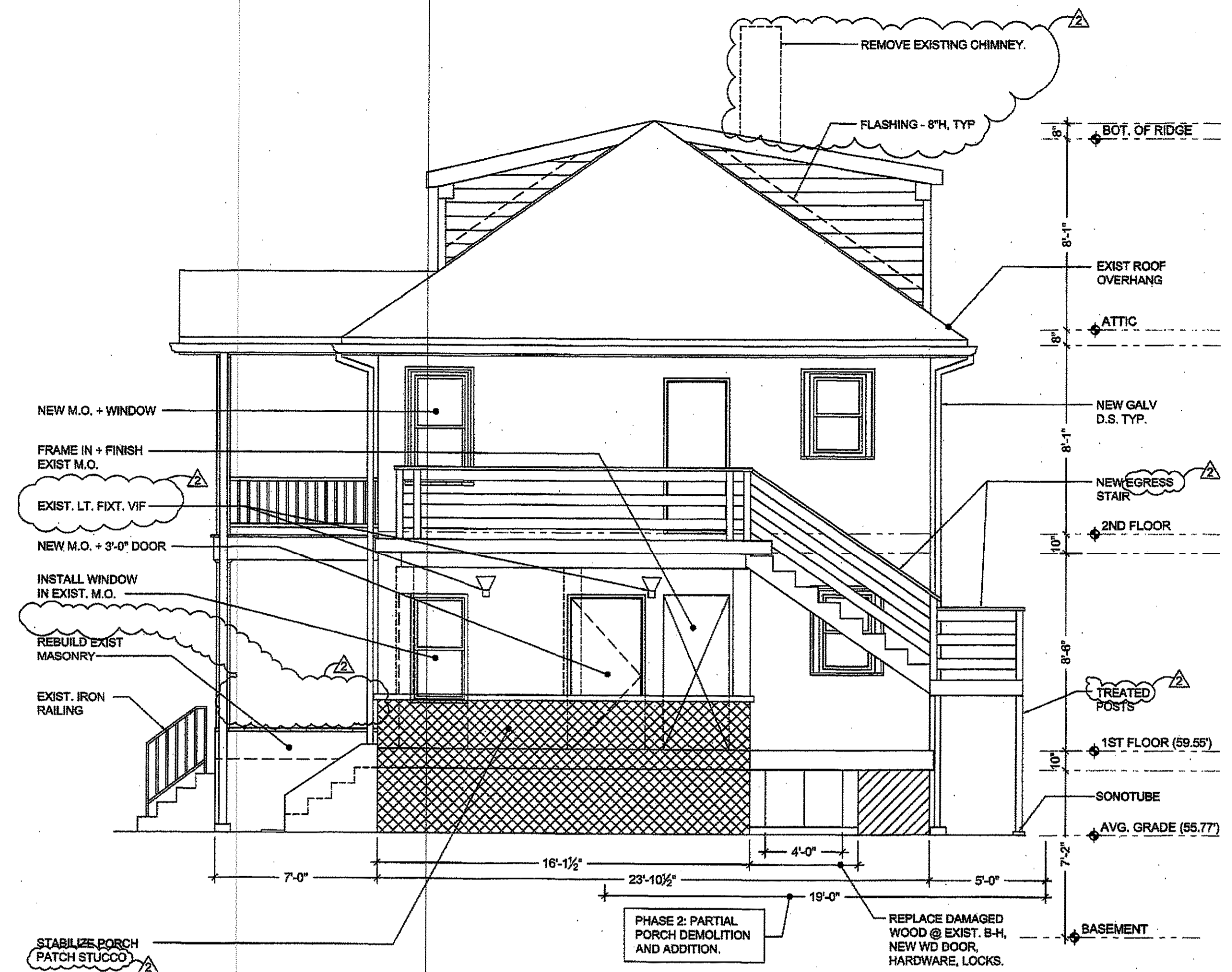
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ARCHITECTURAL SECTIONS (PHASE 1)

JOB No: 12-652
DATE: 11/16/2012
SCALE: AS NOTED
SHEET No.:

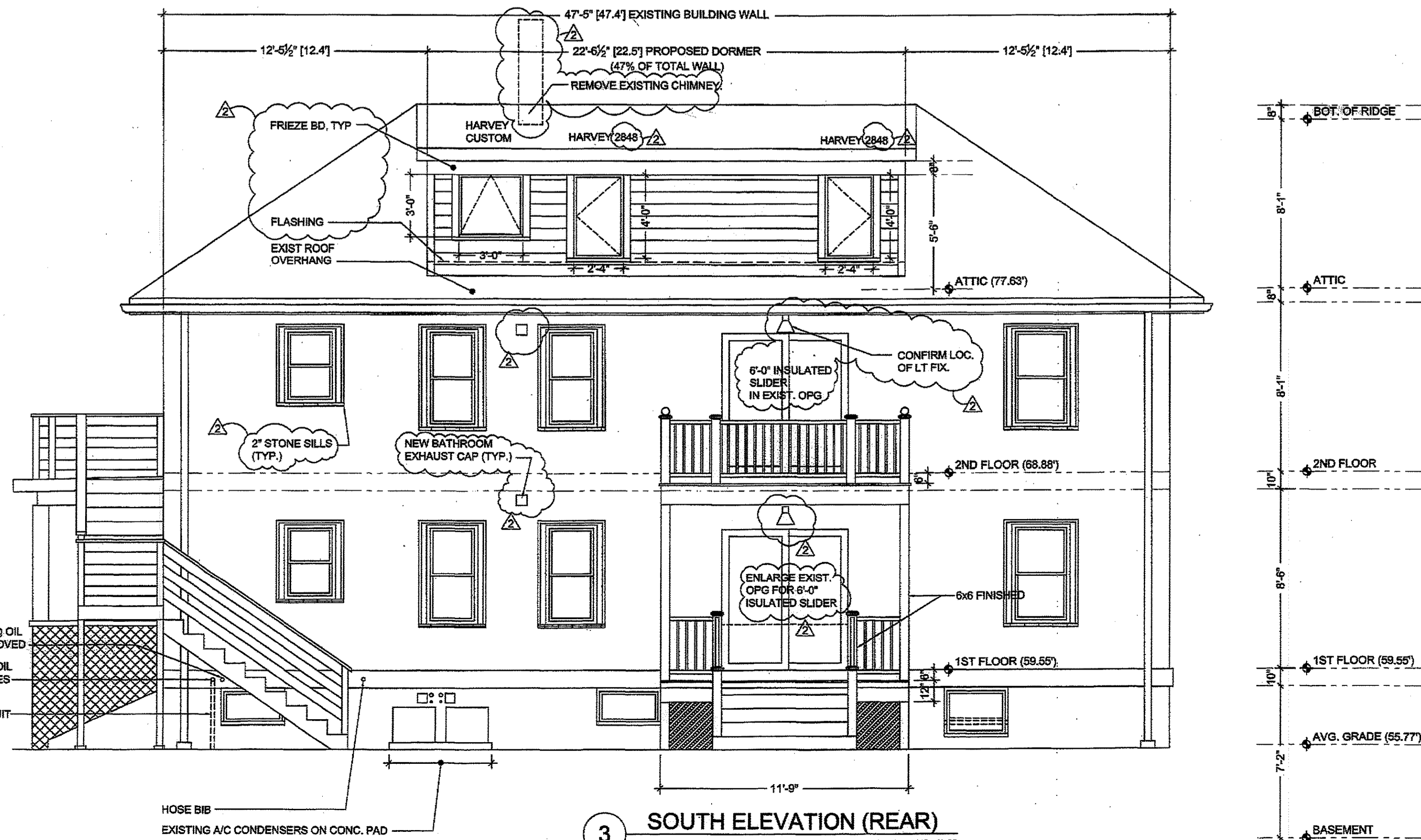
A-3



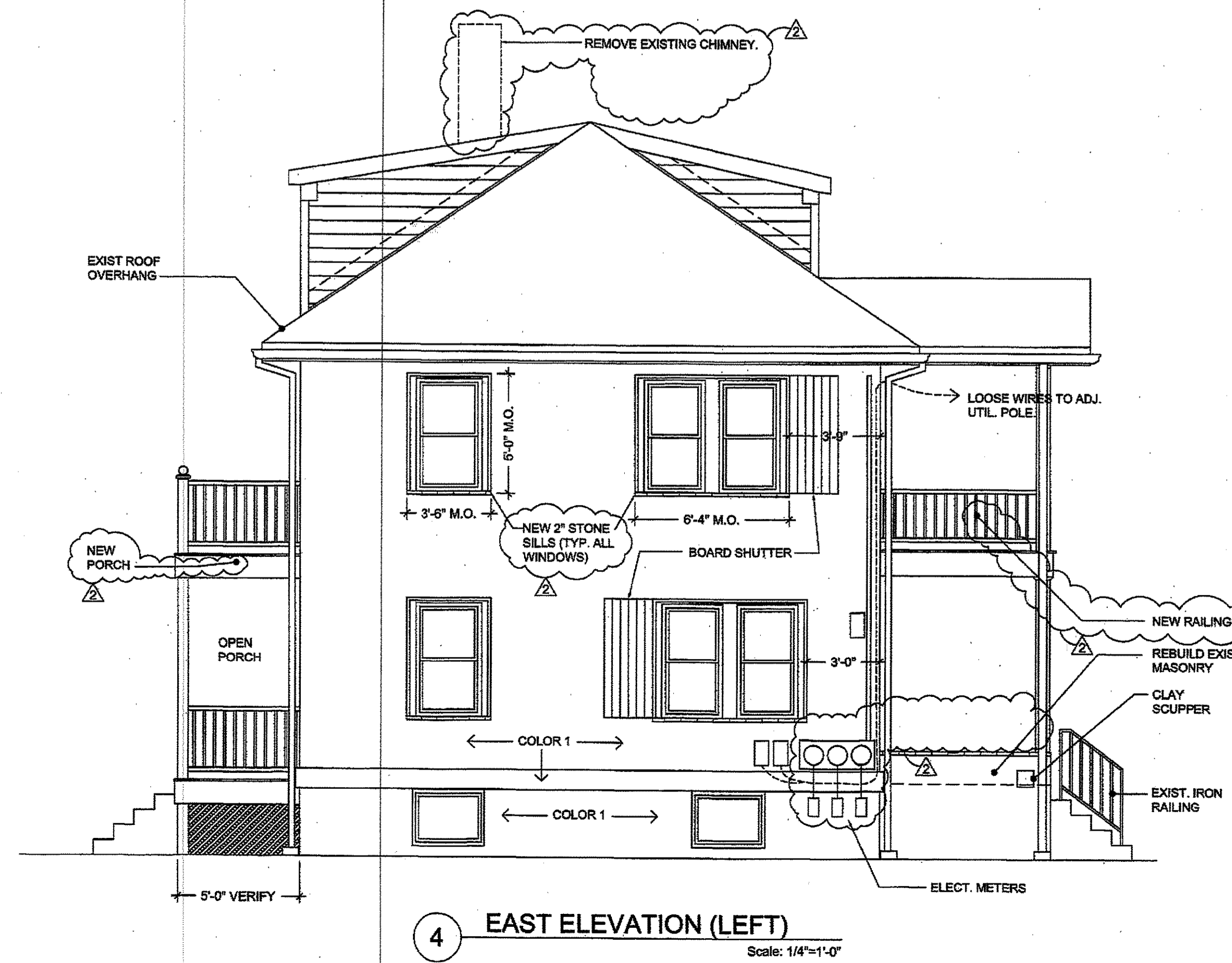
1 NORTH ELEVATION (FRONT)
Scale: 1/4"=1'-0"



2 WEST ELEVATION (RIGHT)
Scale: 1/4"=1'-0"



3 SOUTH ELEVATION (REAR)
Scale: 1/4"=1'-0"



4 EAST ELEVATION (LEFT)
Scale: 1/4"=1'-0"

CONSULTING STRUCTURAL ENGINEER:
SOUZA, TRUE AND PARTNERS, INC.
663 MOUNT ALBURN STREET
WATERTOWN, MA 02472
PH: 617-926-6100, Fax: 617-924-4431

ARCHITECT:
PIERCE LAMB ARCHITECTS
1075 WASHINGTON STREET
WEST NEWTON, MA 02465
PH: 617-864-1311, Fax: 617-630-9374

PROJECT:
**126 WESTLAND AVE
NEWTON, MA**

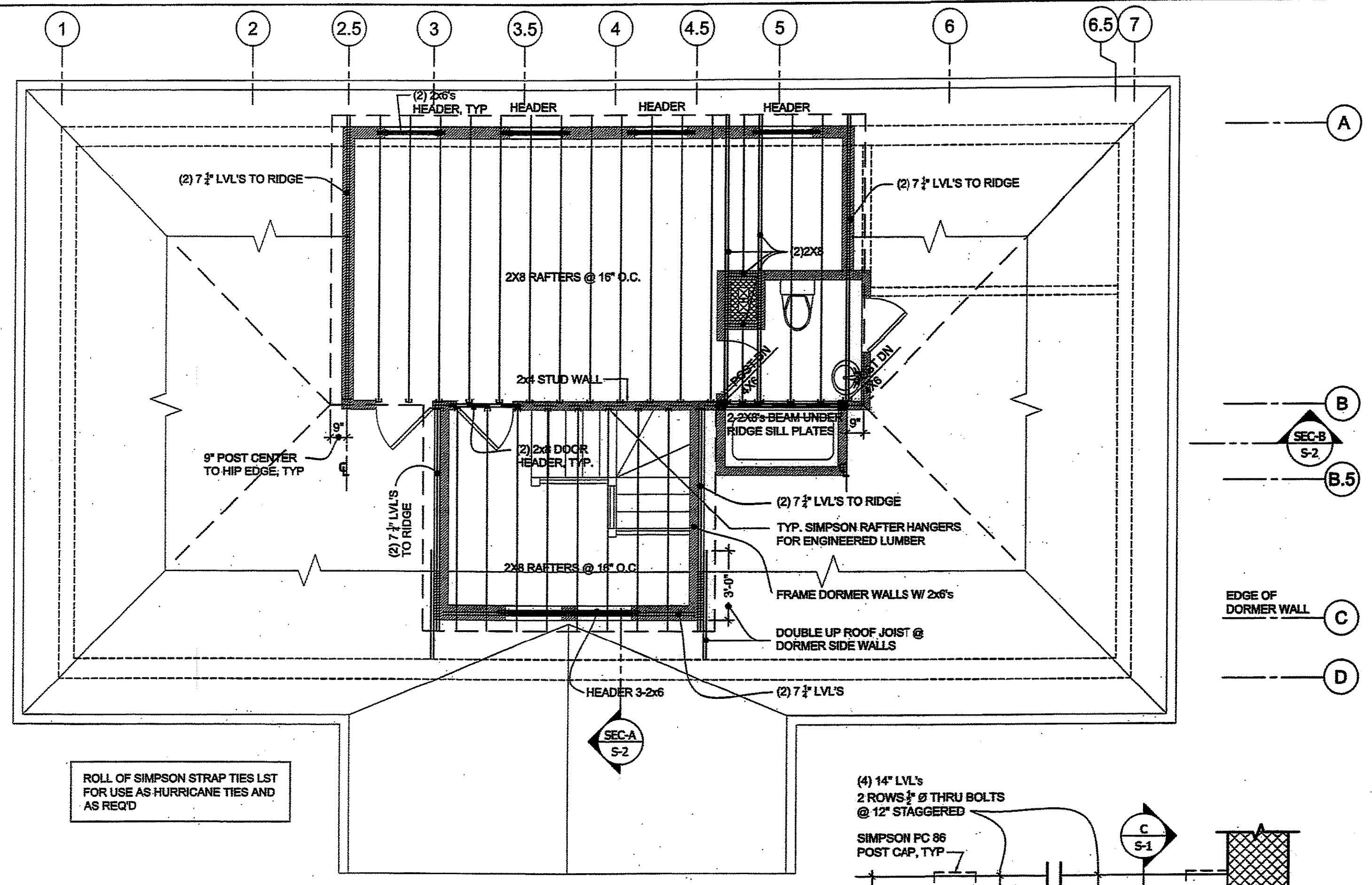
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09.10.2012 PERMIT SET
10.03.2012 BANK SET
10.16.2012 REVISED PERMIT SET
1.28.2013 REVISED

PROFESSIONAL SEAL:

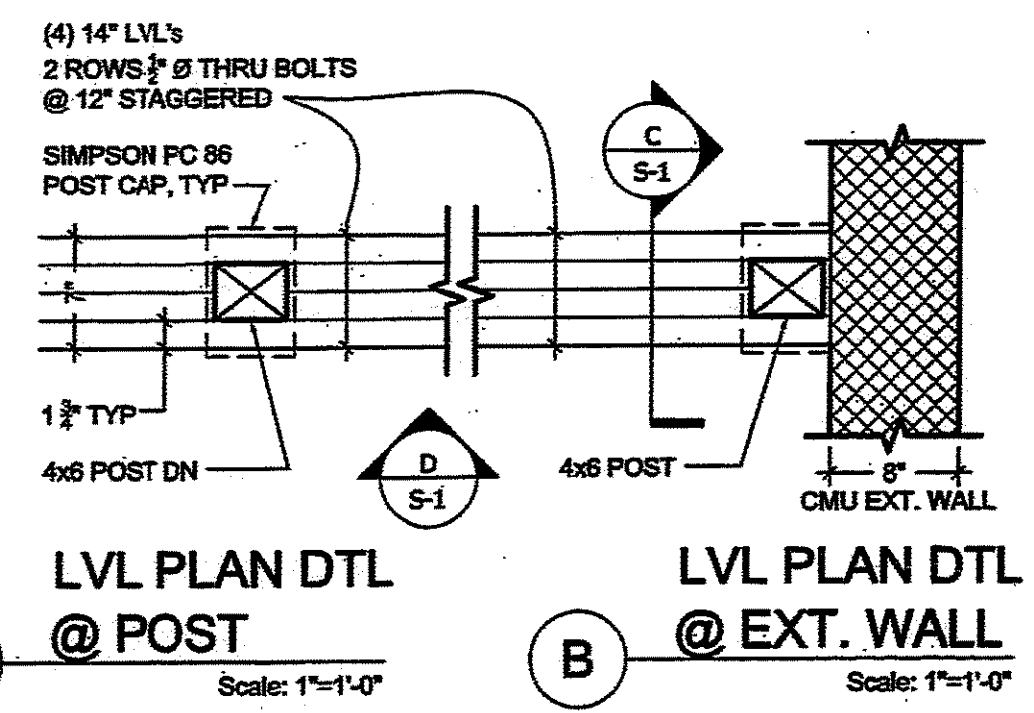
DRAWING TITLE:
ELEVATIONS (PHASE 1)

JOB No: 12-652
DATE: 11/16/2012
SCALE: AS NOTED
SHEET No.:

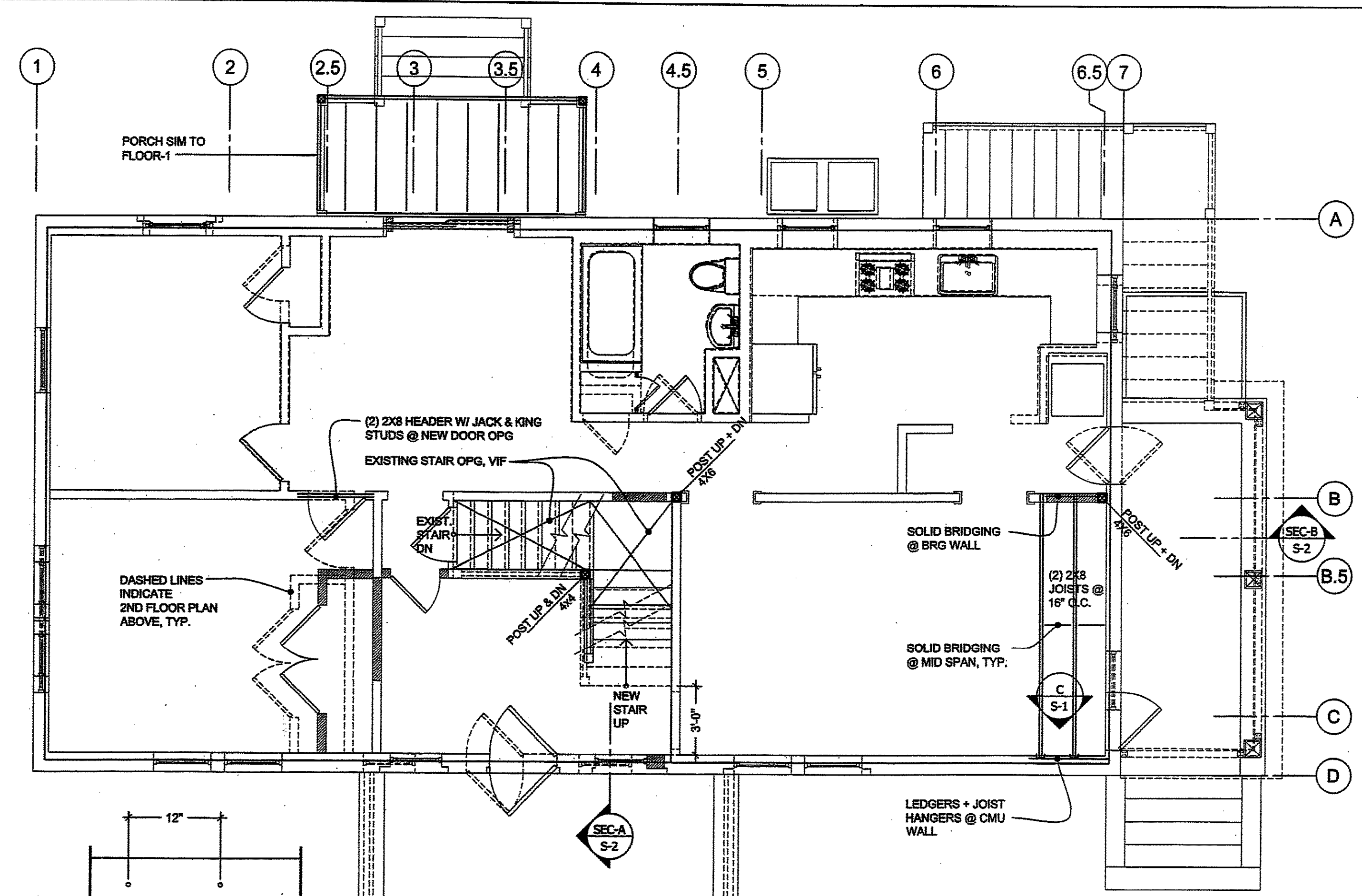
A-4



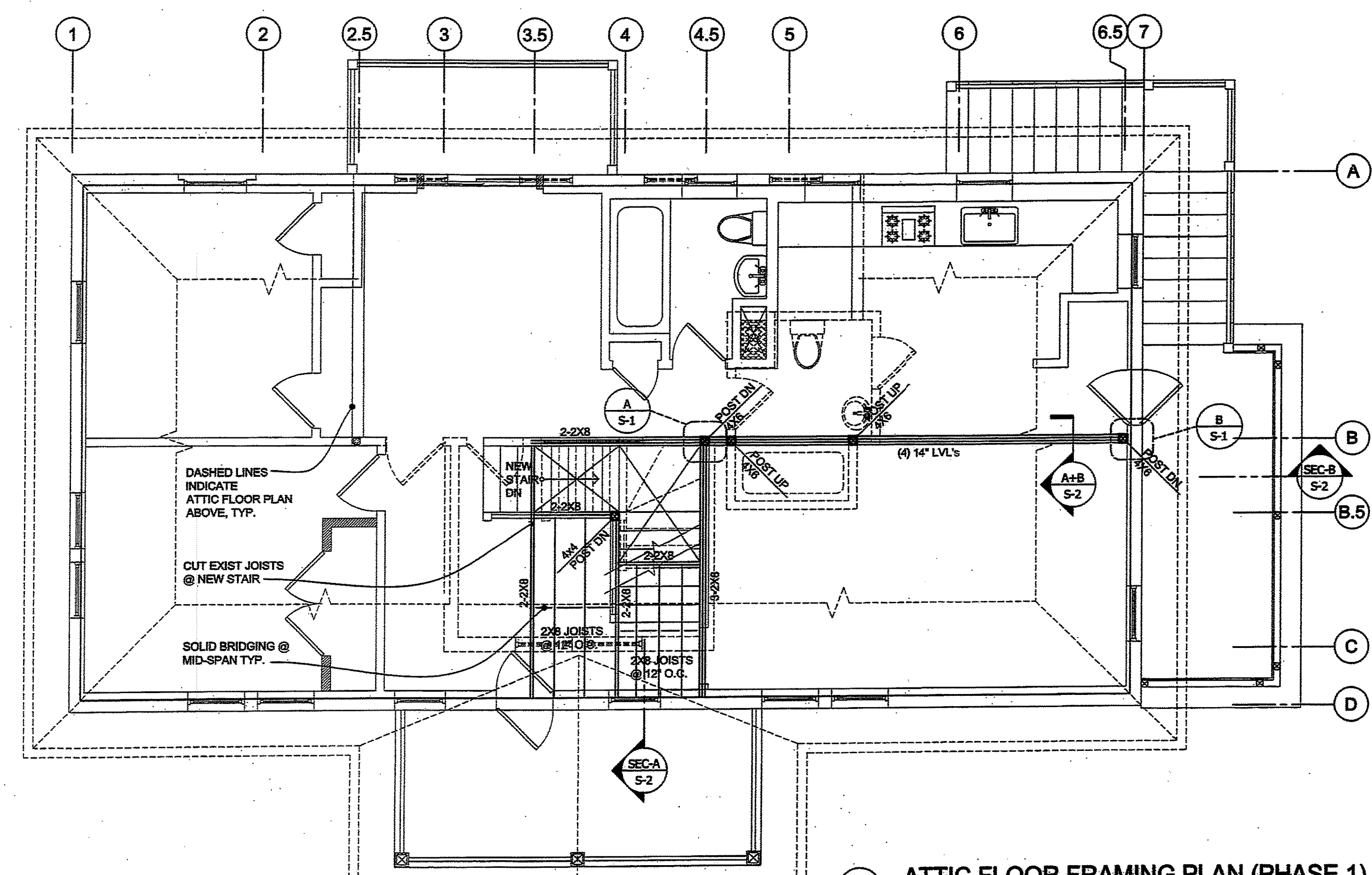
4 ROOF FRAMING PLAN (PHASE 1)
Scale: 1/4"=1'-0"



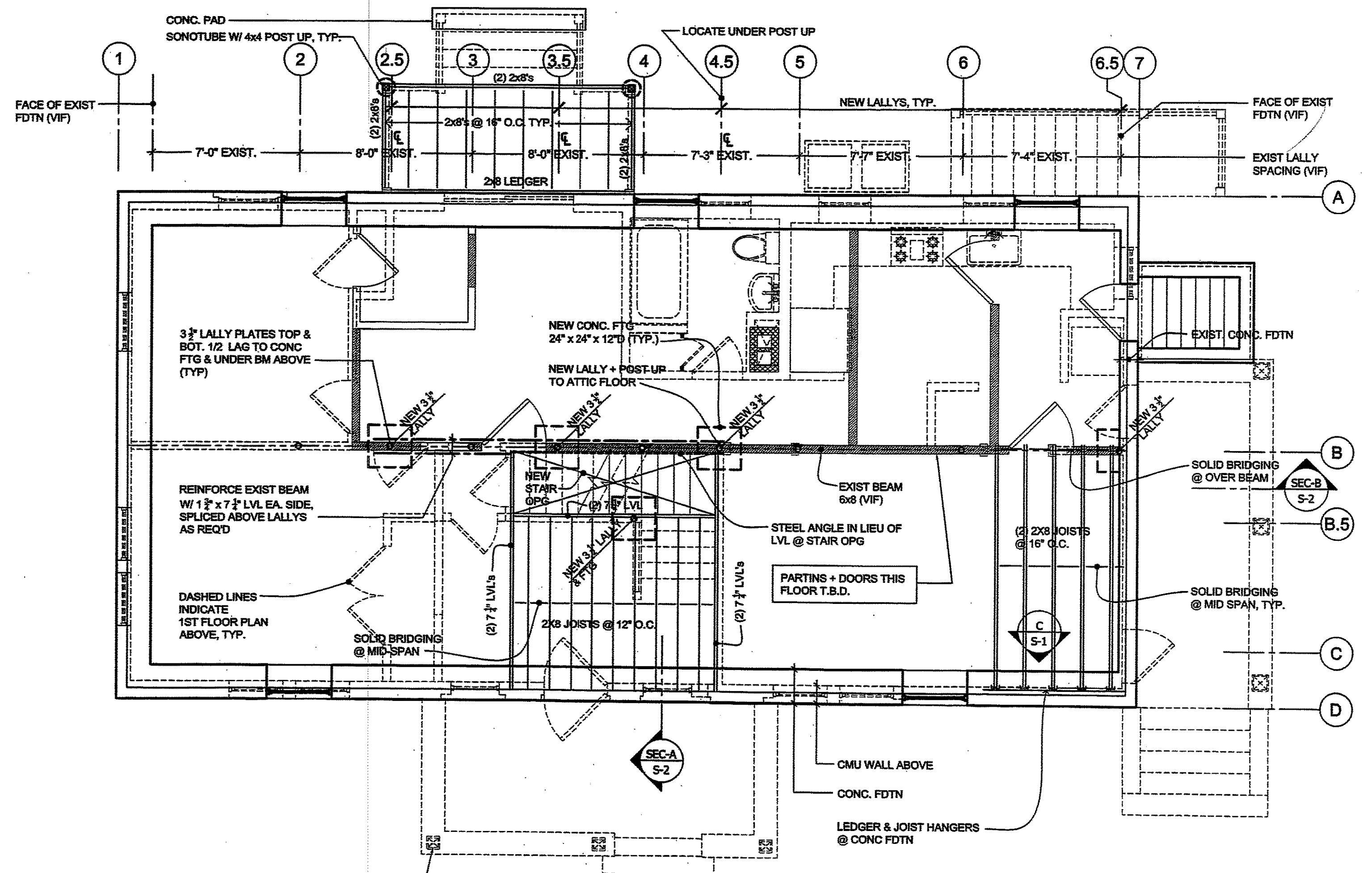
A LVL PLAN DTL @ POST Scale: 1"=1'-0"
 B LVL PLAN DTL @ EXT. WALL Scale: 1"=1'-0"
 C LVL SECT DTL Scale: 1"=1'-0"



2 2ND FLOOR FRAMING PLAN (PHASE 1)
Scale: 1/4"=1'-0"



3 ATTIC FLOOR FRAMING PLAN (PHASE 1)
Scale: 1/4"=1'-0"



1 FDTN & 1ST FLOOR FRAMING PLAN (PHASE 1)
Scale: 1/4"=1'-0"

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PROJECT:
**126 WESTLAND AVE
 NEWTON, MA**

ISSUE:
 09.10.2012 PERMIT SET
 10.03.2012 BANK SET

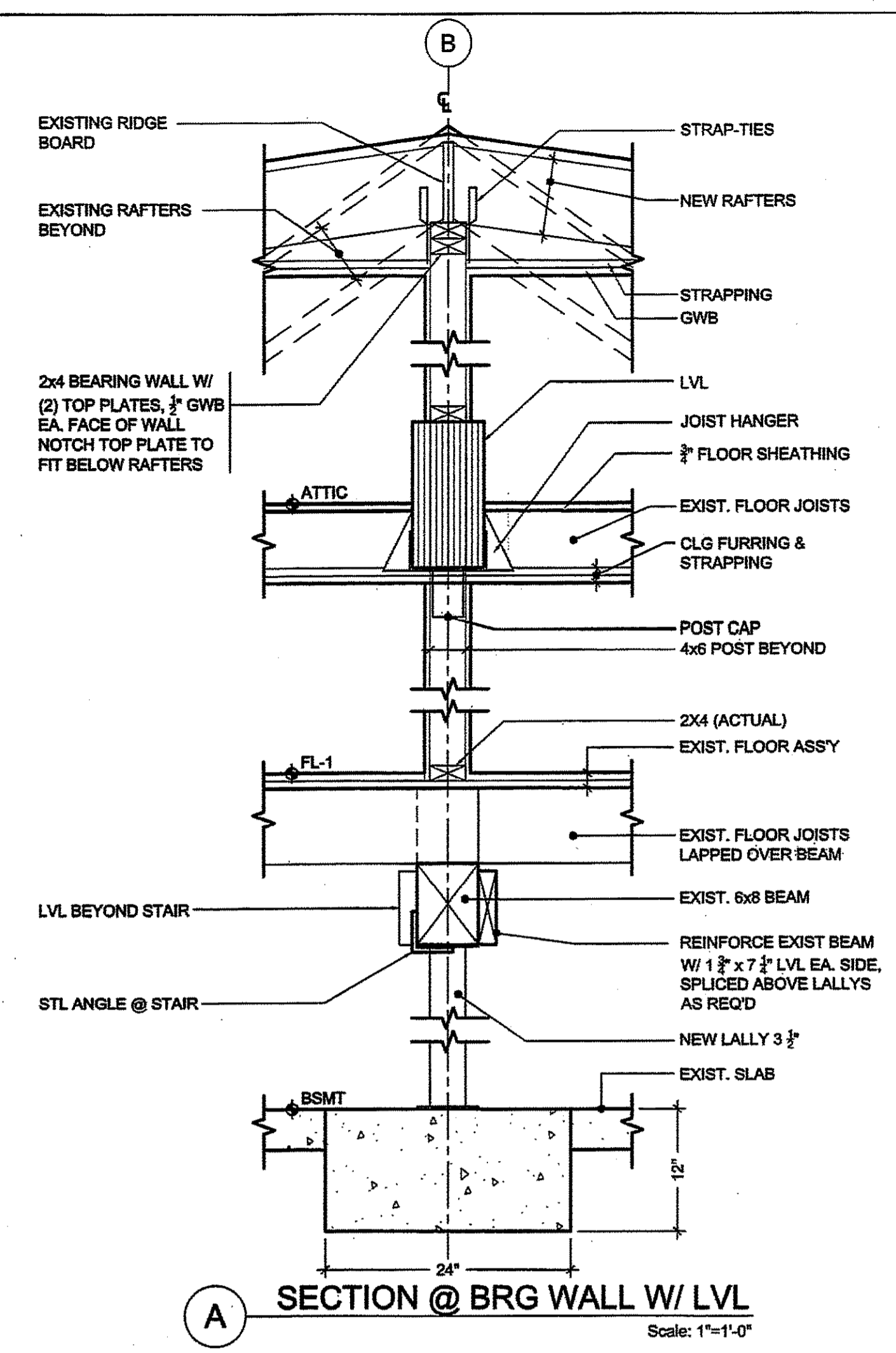
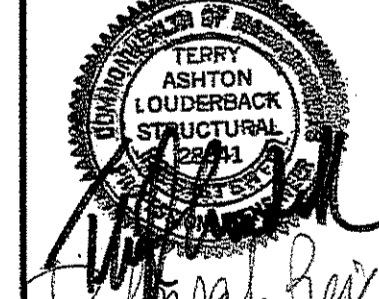
PROFESSIONAL SEAL:

 TERRY ASHTON
 LICENSED PROFESSIONAL ENGINEER
 STATE OF MASSACHUSETTS

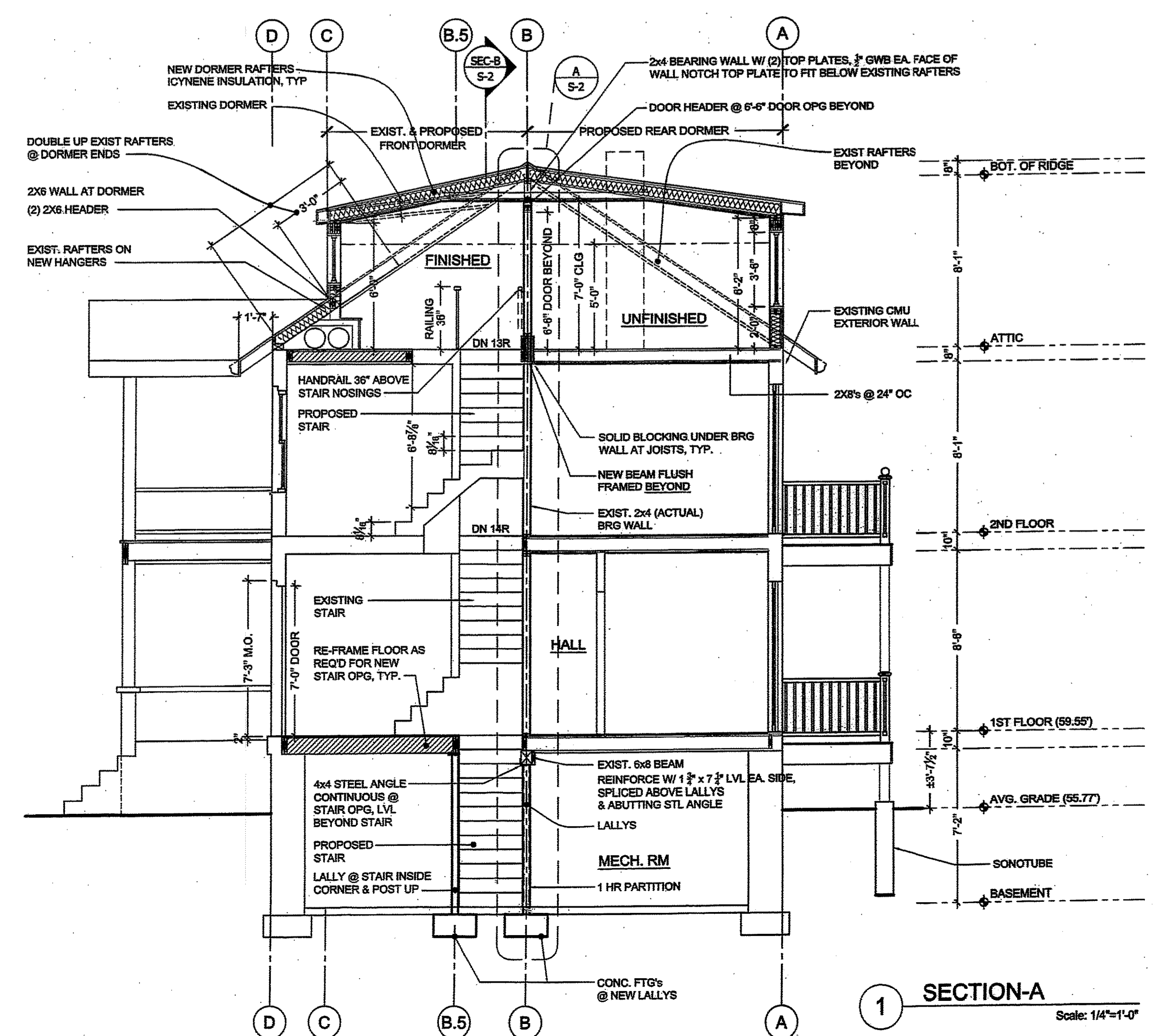
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**FRAMING PLANS
 (PHASE 1)**

JOB No: 12-652
 DATE: 10/05/2012
 SCALE: AS NOTED
 SHEET NO.:

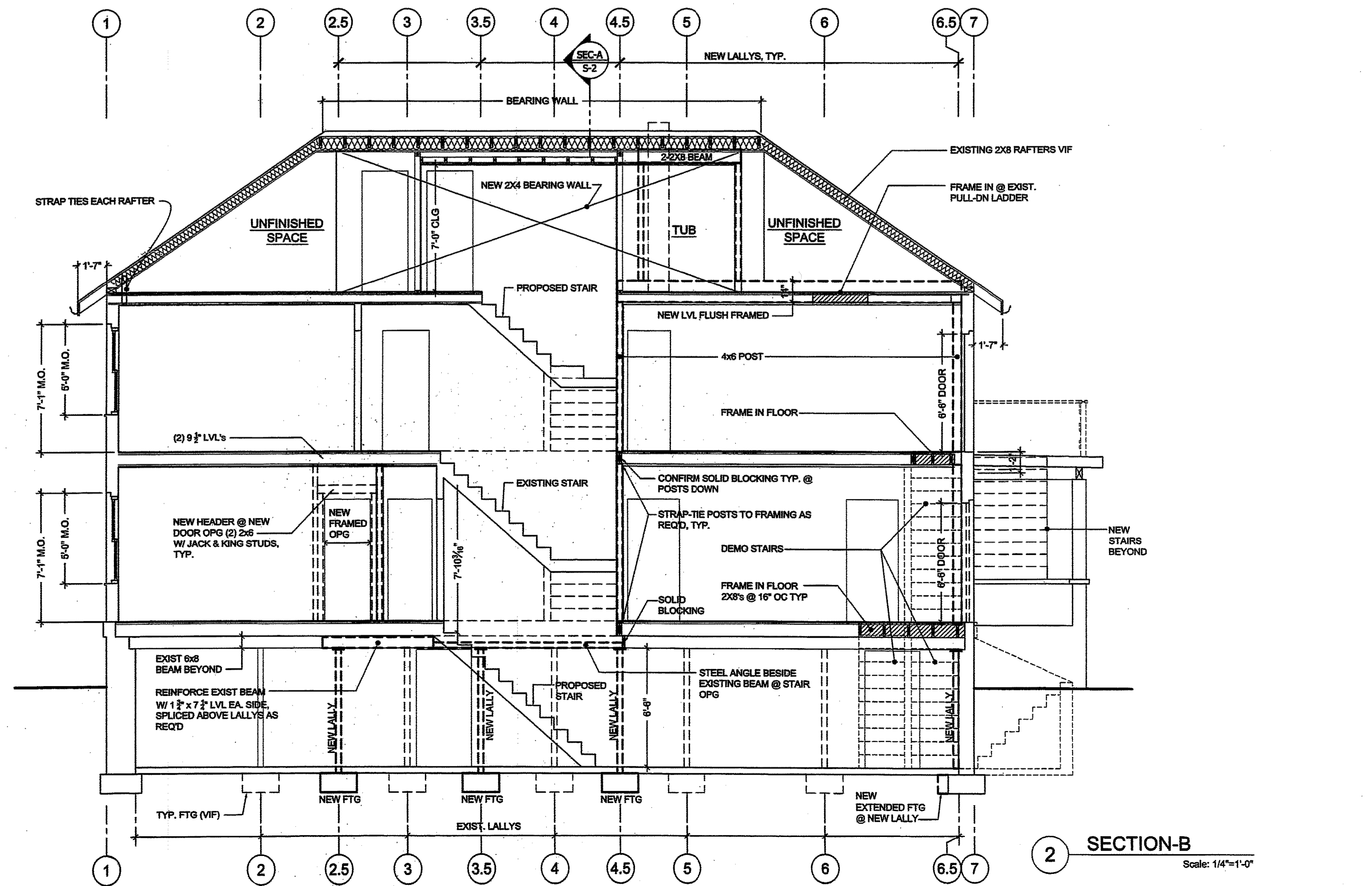
S-1



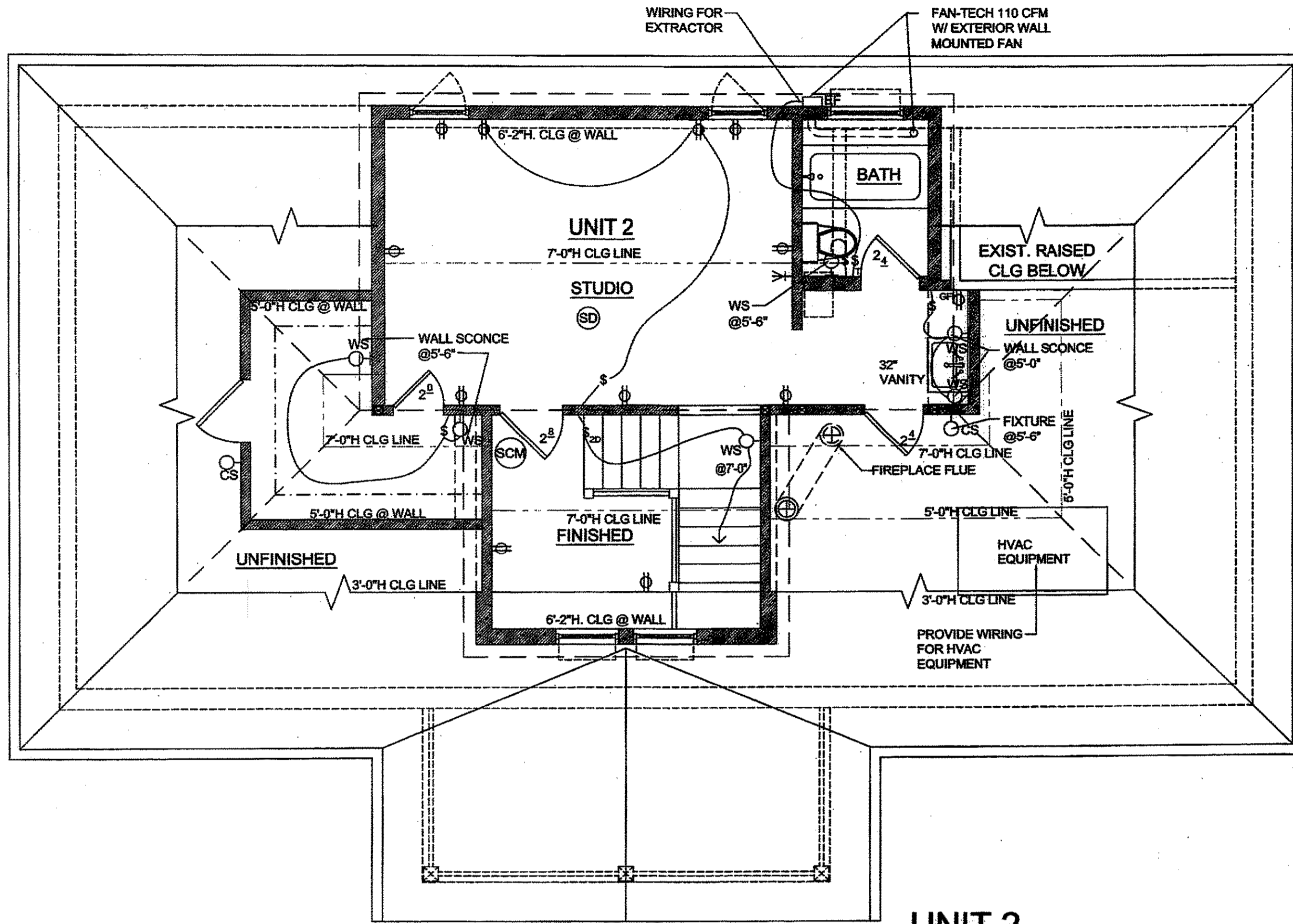
A SECTION @ BRG WALL W/ LVL
 Scale: 1"=1'-0"



1 SECTION-A
 Scale: 1/4"=1'-0"

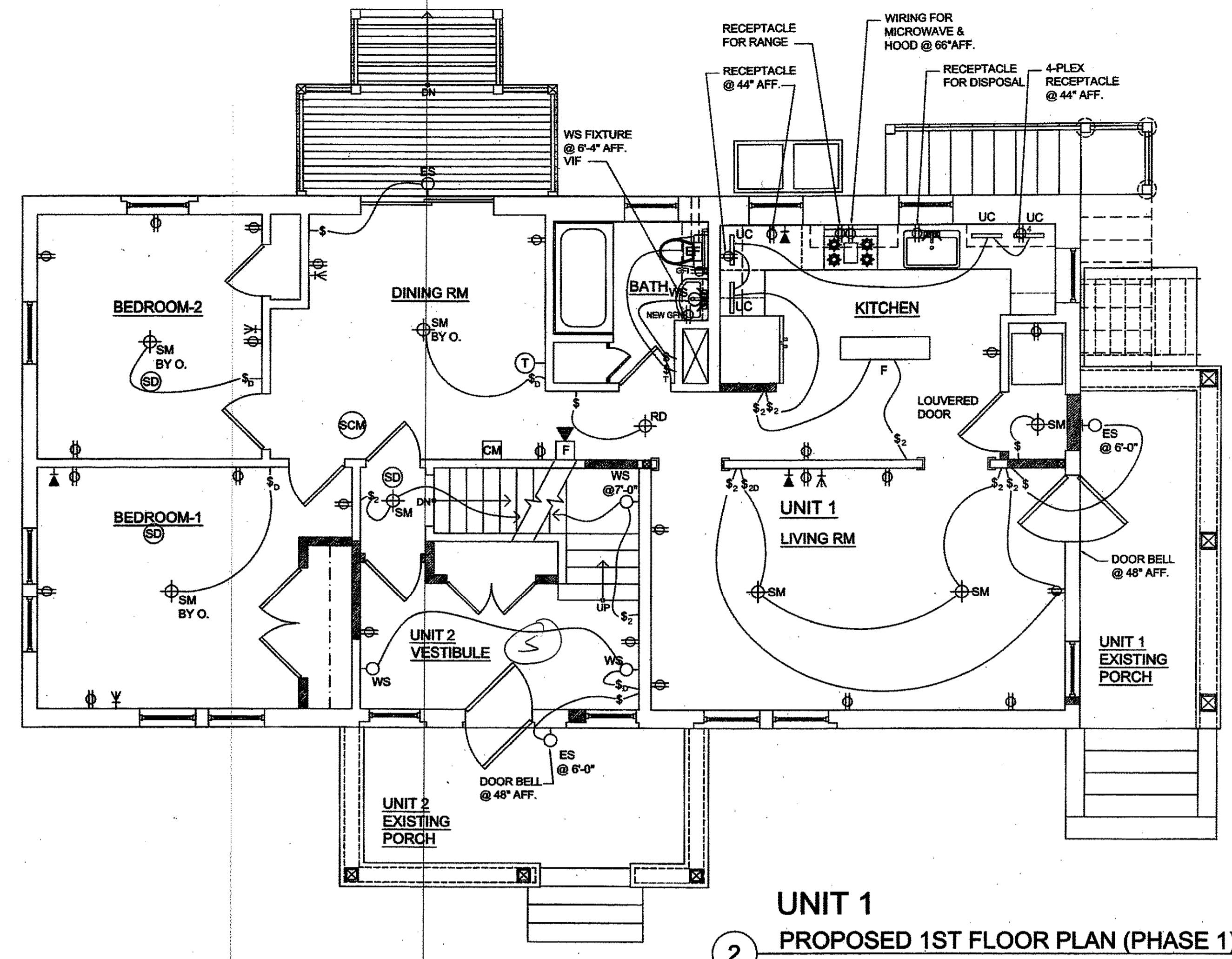


2 SECTION-B
 Scale: 1/4"=1'-0"

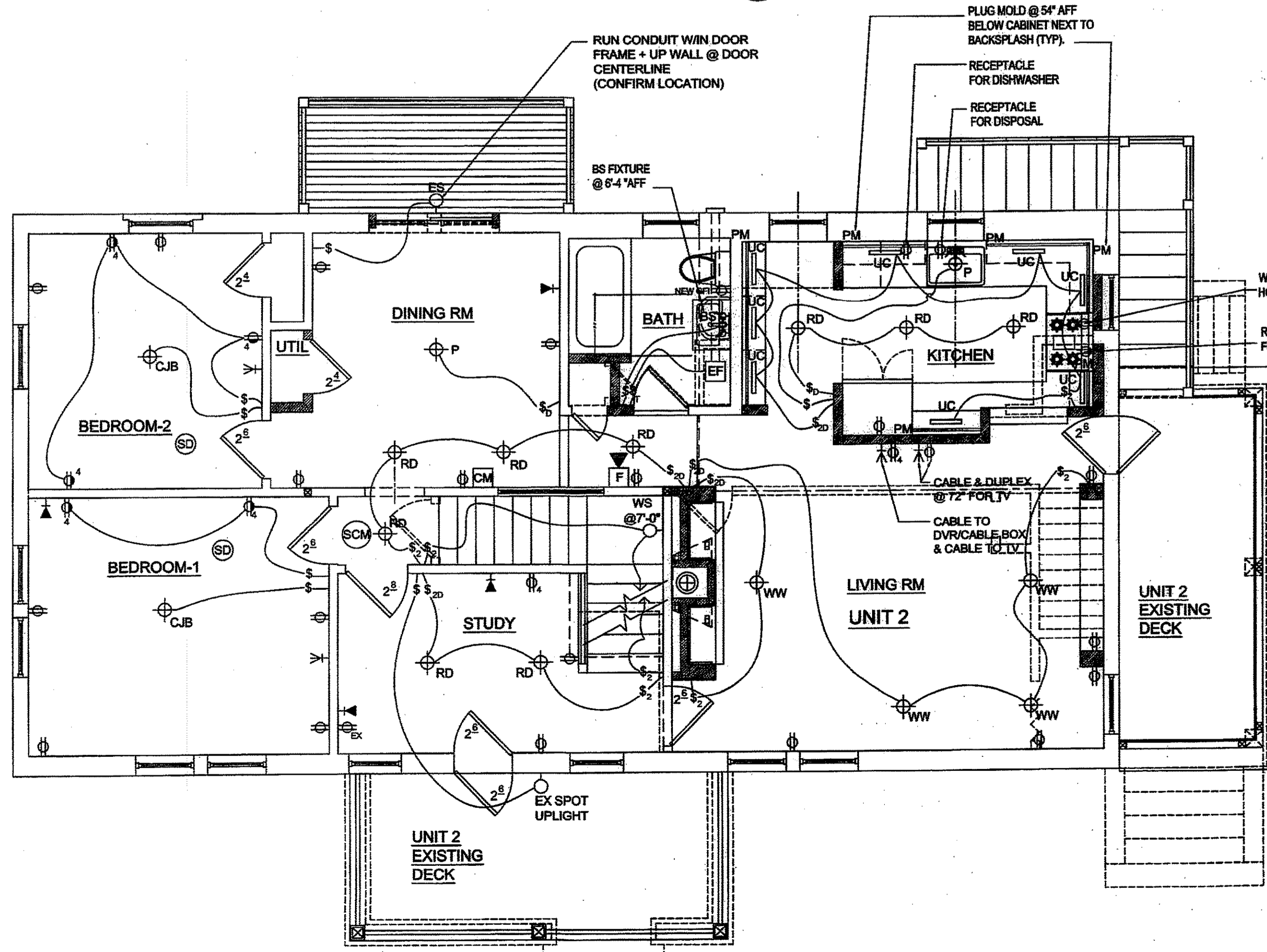


4 UNIT 2
PROPOSED ATTIC PLAN (PHASE-1)
Scale: 1/4"=1'-0"

SYM	DESCRIPTION
⊕ RD	RECESSED DOWN LIGHT
⊕ SM	SURFACE MOUNTED LIGHT FIXTURE
⊕ WW	WALL WASHER
⊕ P	PENDANT LIGHT
⊕ MP	MONOPOINT
⊕ RDD	RECESSED DOWNLIGHT DAMP LOCATION
⊕ CJB	CAPPED JUNCTION BOX
⊕ FL	FAN LIGHT PULL-CORD
⊕ WS	WALL SCONCE
⊕ WU	WEDGE UPLIGHT
⊕ ES	EXTERIOR SCONCE
⊕ SL	STEP LIGHTS (IKEA LOW VOLTAGE)
⊕ CS	CERAMIC SOCKET W/ PULL CHAIN
⊕ BS	BULB STRIP
⊕ UC	UNDER-CABINET LIGHT
⊕ F	FLOOR FIXT. 2 TUBE 48" STRIP
⊕ PM	UNDER-CABINET CONT. PLUGMOLD @ 54" AFF.
S	ELECT. SWITCH
S _T	TIMER ELECT. SWITCH
S ₃	THREE-WAY ELECT. SWITCH
S ₂	THREE-WAY ELECT. DIMMER SWITCH
⊕	DUPLEX RECEPTACLE OUTLET
⊕	4-PLEX RECEPTACLE OUTLET
⊕	SWITCHED DUPLEX OUTLET
⊕	SWITCHED 4-PLEX OUTLET
⊕	GFI DUPLEX RECEPTACLE OUTLET
⊕	EXISTING OUTLET
⊕	CAT-5 COMPUTER NETWORK DATA JACK
⊕	TELEVISION COAX CABLE JACK
⊕	HIGHER OUTLET/JACK (LOCATED BEHIND WALL-MTD TV)
⊕	SMOKE DETECTOR / ALARM
⊕	SMOKE & CARBON MONOXIDE DETECTOR / ALARM
⊕	FIRE ALARM HORN
⊕	THERMOSTAT
⊕	EXHAUST FAN
⊕	CHIME



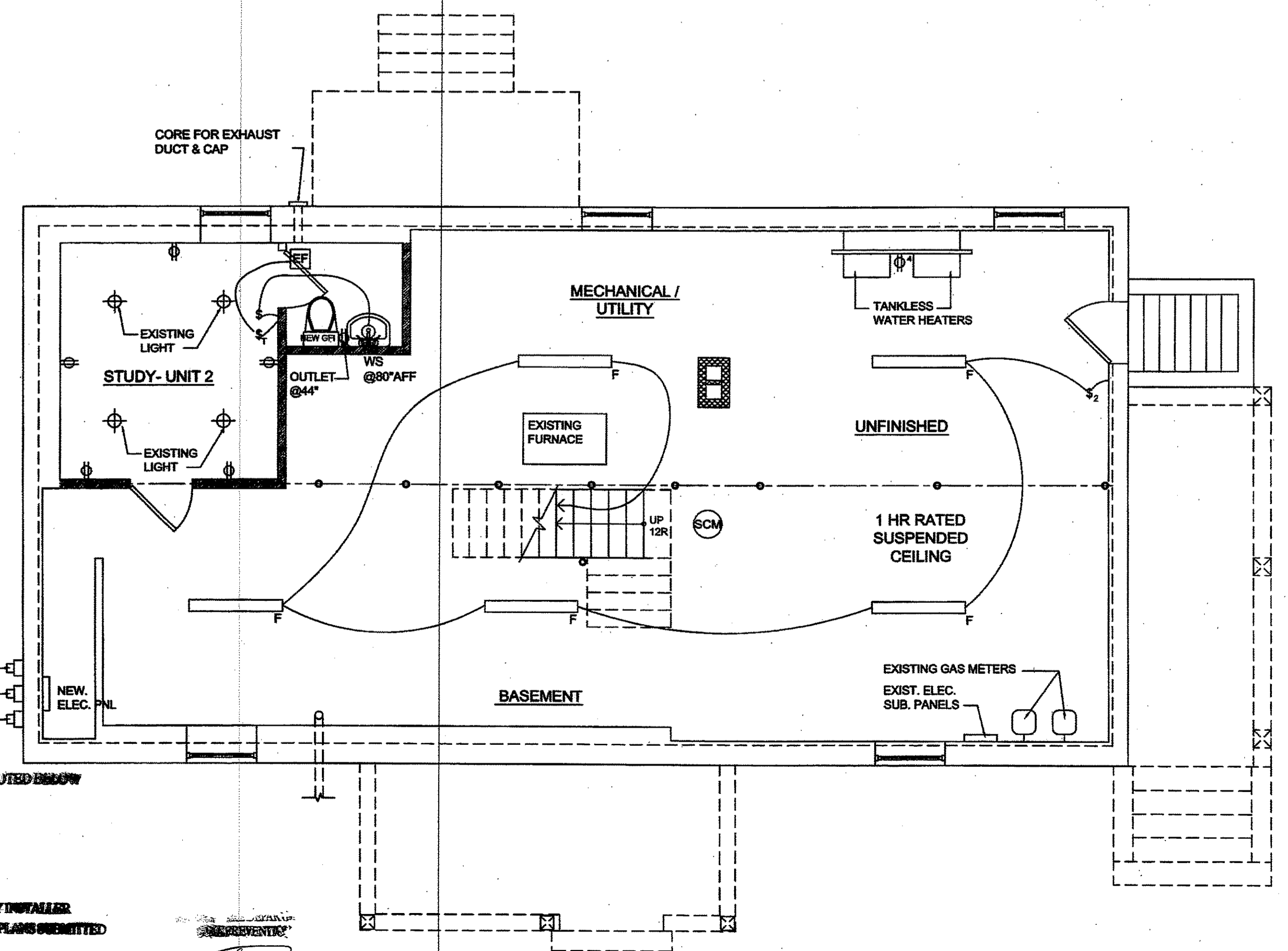
2 UNIT 1
PROPOSED 1ST FLOOR PLAN (PHASE 1)
Scale: 1/4"=1'-0"



3 UNIT 2
PROPOSED 2ND FLOOR PLAN (PHASE-1)
Scale: 1/4"=1'-0"

ALL WORK HAS BEEN REVIEWED AND ACCEPTED AS NOTED BELOW

- FOR BUILDING PERMIT ONLY
- FOR DEMOLITION ONLY
- FOR FIRE ALARM APPROVAL ONLY
- FOR SITE REVIEW ONLY
- FOR SPRINKLER APPROVAL ONLY
- FIRE PROT. TO BE DESIGNED & SUBMITTED BY INSTALLER
- NO FIRE PROTECTION REQUIRED - BASED ON PLANS SUBMITTED



1 PROPOSED BASEMENT PLAN (PHASE 1)
Scale: 1/4"=1'-0"

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PROJECT:
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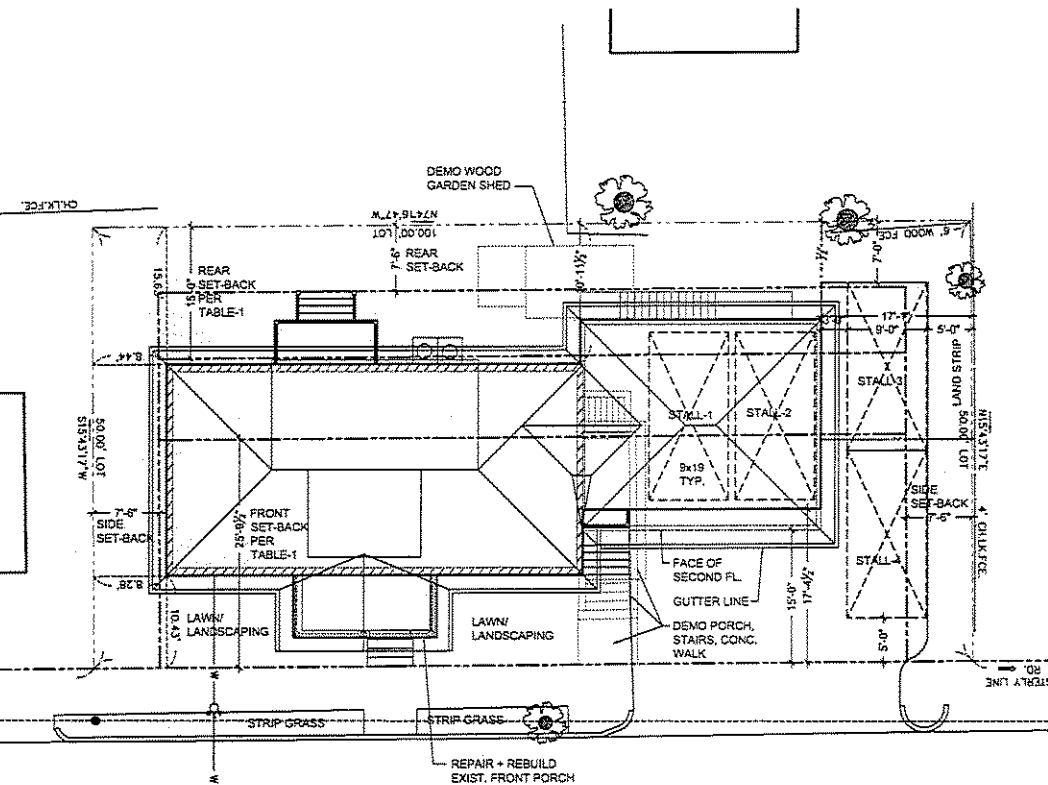
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PROFESSIONAL SEAL:

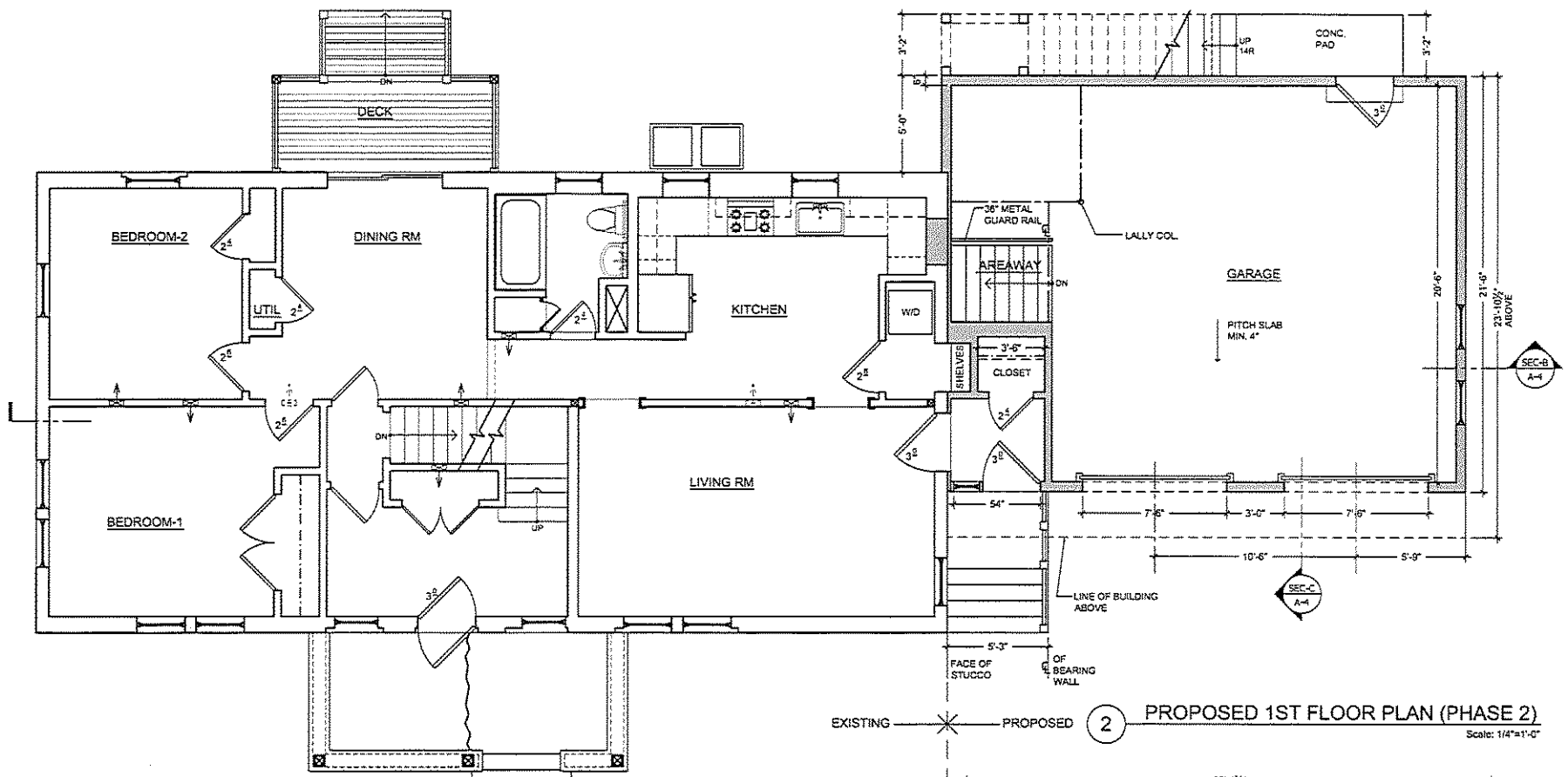
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PROPOSED ELECTRICAL PLANS (PHASE 1)

JOB No: 12-652
DATE: 11/16/2012
SCALE: AS NOTED
SHEET NO.:

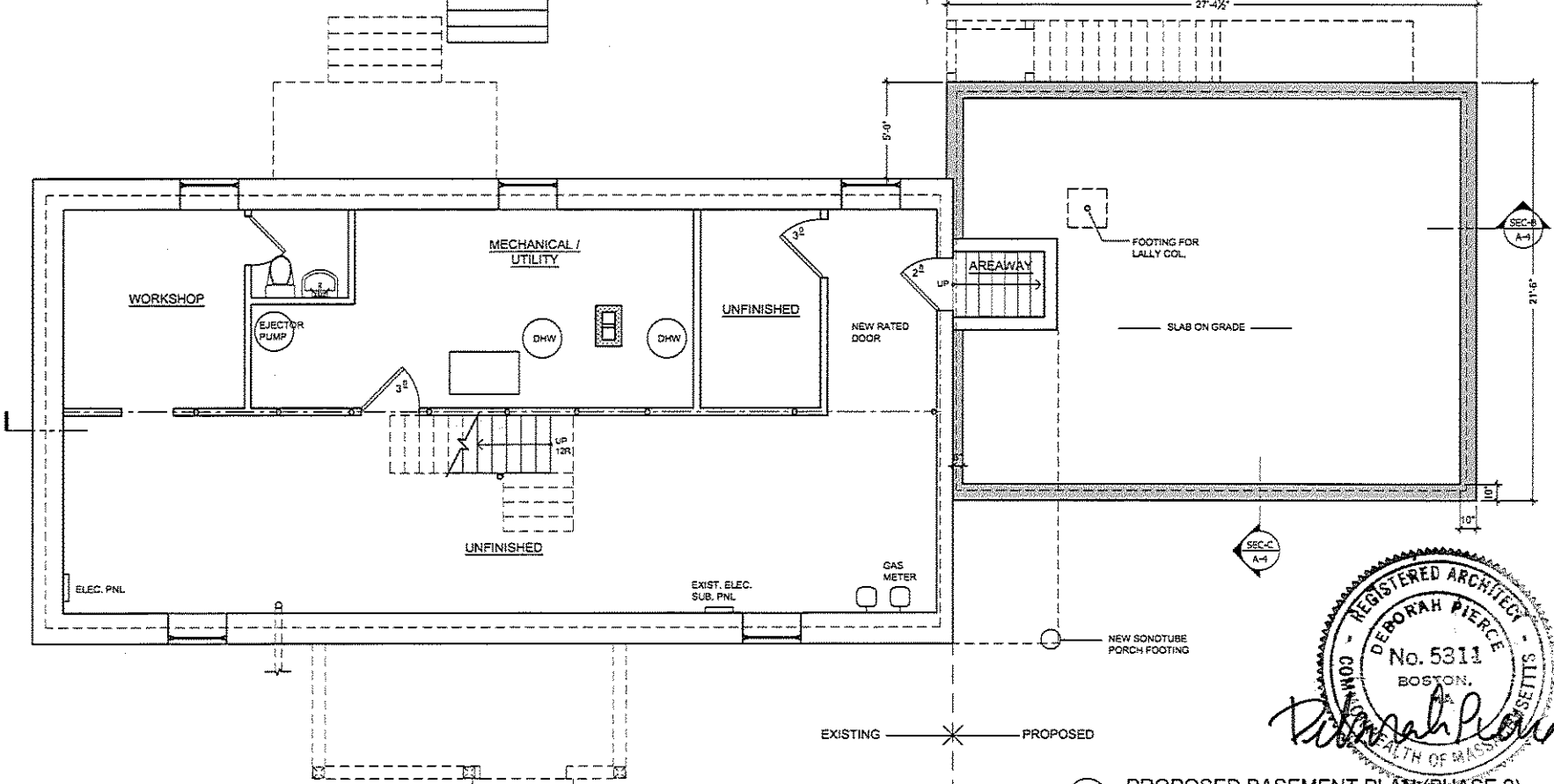
SKE-1



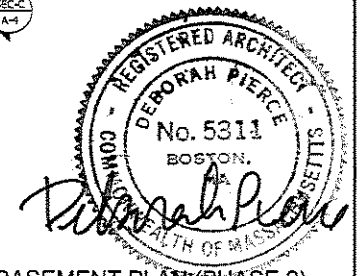
0 PROPOSED SITE PLAN (PHASE 2)
Scale: 1"=10'-0"



2 PROPOSED 1ST FLOOR PLAN (PHASE 2)
Scale: 1/4"=1'-0"



1 PROPOSED BASEMENT PLAN (PHASE 2)
Scale: 1/4"=1'-0"



CONSULTING STRUCTURAL ENGINEER:
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WEST NEWTON, MA 02465
PH: 617-954-1311, Fax: 617-630-9374

PROJECT:
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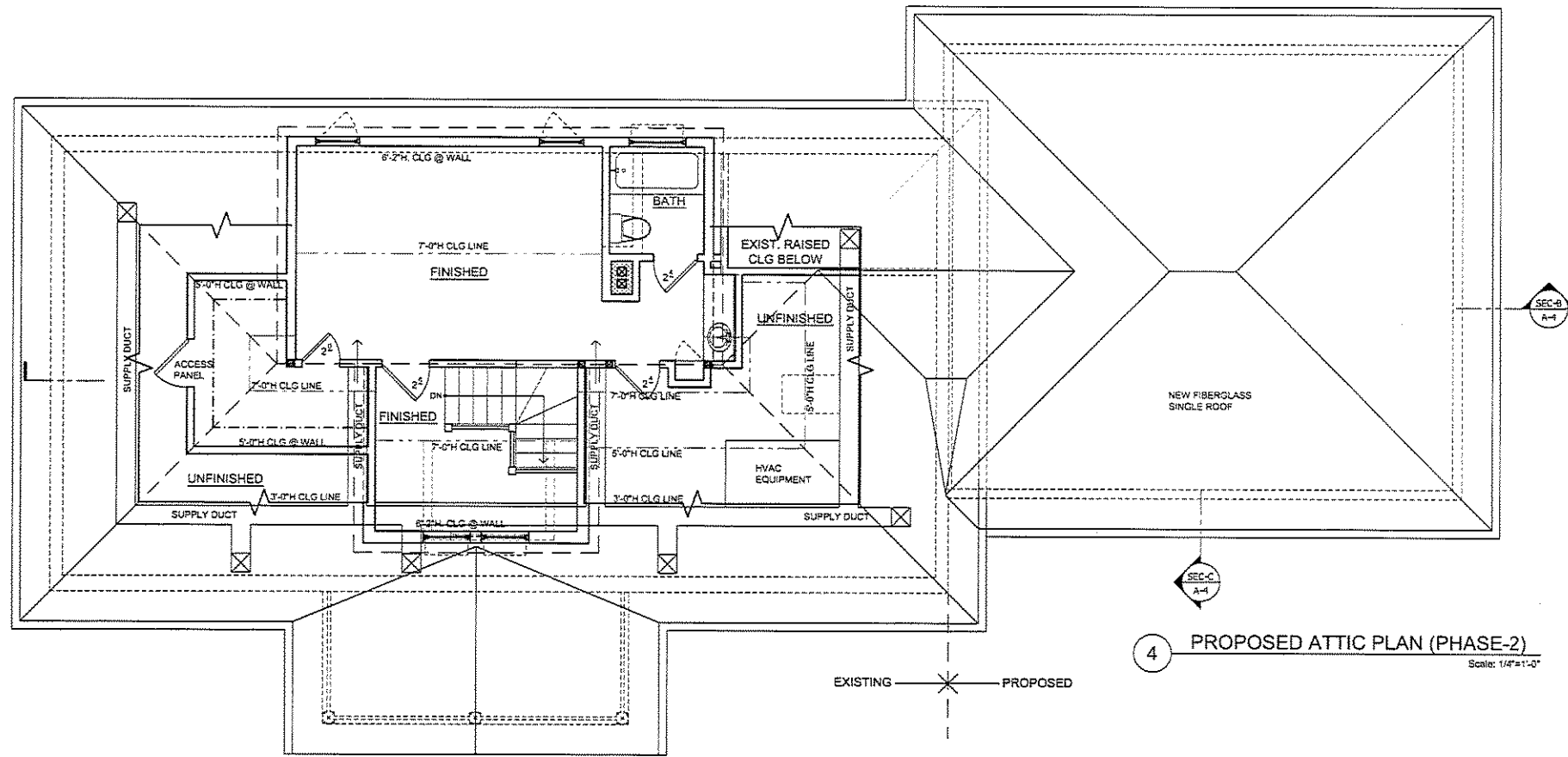
ISSUE:

PROFESSIONAL SEAL:

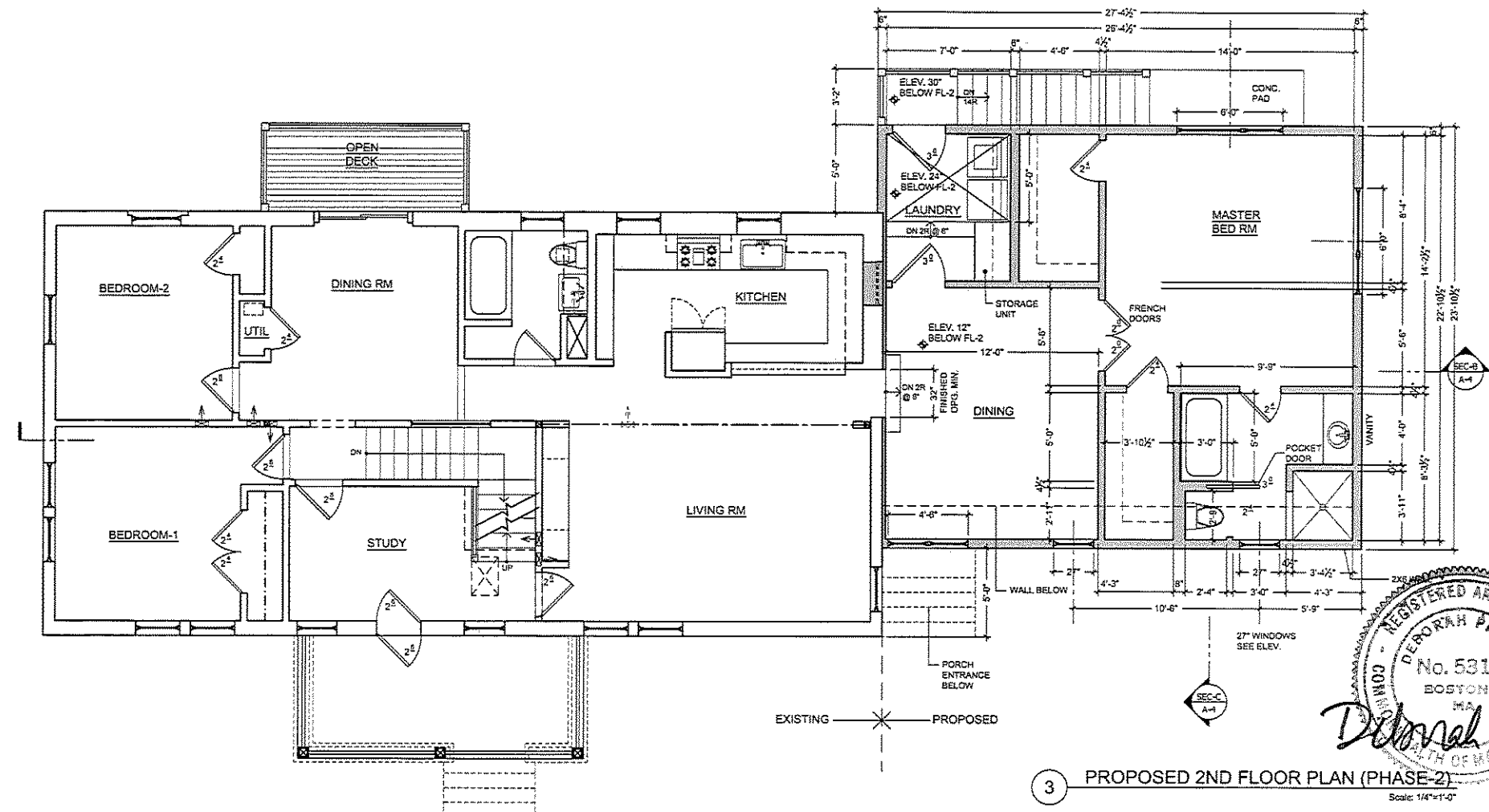
DRAWING TITLE:
**PROPOSED PLANS
(PHASE 2)**

JOB No: 12-652
DATE: 2/17/2014
SCALE: AS NOTED
SHEET NO.:

A-1



4 PROPOSED ATTIC PLAN (PHASE-2)
Scale: 1/4"=1'-0"



3 PROPOSED 2ND FLOOR PLAN (PHASE-2)
Scale: 1/4"=1'-0"

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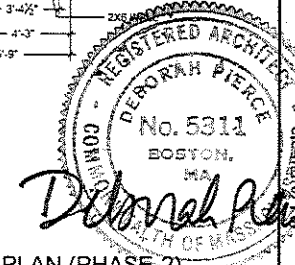
ARCHITECT:
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ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:
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PLANS
(PHASE 2)**



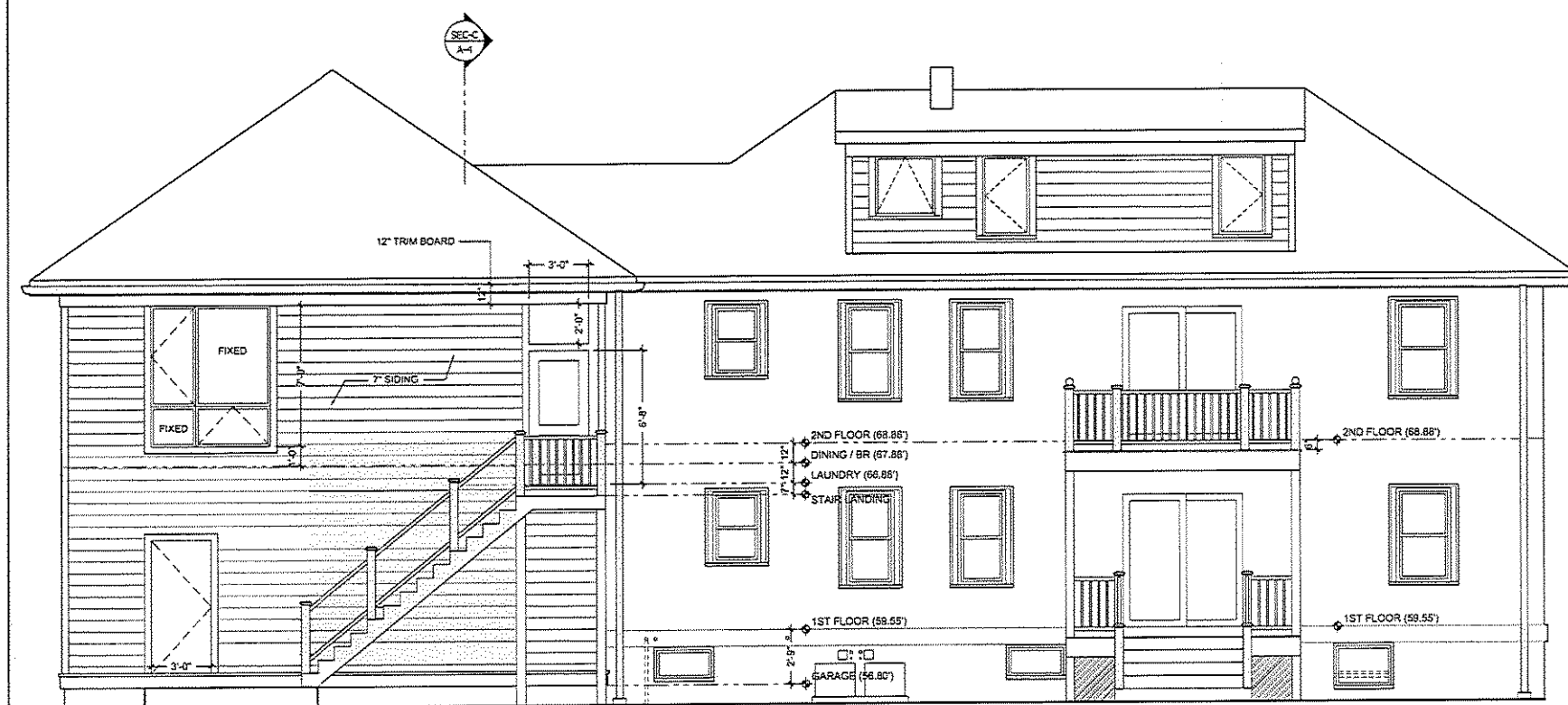
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DATE: 2/17/2014
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1 NORTH ELEVATION (FRONT)
Scale: 1/4"=1'-0"



2 WEST ELEVATION (RIGHT)
Scale: 1/4"=1'-0"



3 SOUTH ELEVATION (REAR)
Scale: 1/4"=1'-0"



4 EAST ELEVATION (LEFT)
Scale: 1/4"=1'-0"

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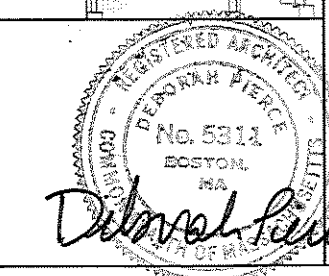
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ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:
ELEVATIONS
(PHASE 2)

JOB No: 12-652
DATE: 2/17/2014
SCALE: AS NOTED
SHEET NO.:



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