

212137am.dwg (Z-2012)

SECTION: 84 BLOCK: 34A LOTS: 2
ZONING DISTRICT: LMD

SECTION-84
BLOCK-34
LOT-2K

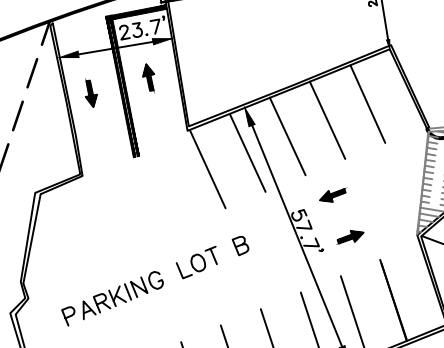
SECTION-84
BLOCK-34
LOT-2U

50.0' WIDE PERMANENT DRAIN & SEWER EASEMENT

WELLS AVENUE

ZONE DISTRICT: MR-1
ZONE DISTRICT: LIMITED MANUFACTURING

PROPOSED STOP SIGN



EXISTING SIGN TO BE RELOCATED



PROPOSED CHAINLINK FENCE

SECTION-84
BLOCK-34A
LOT-2

PROPOSED ONE(1) HOUR PARKING SIGN

PROPOSED STOP SIGN

SECTION-84
BLOCK-34
LOT-2T

PROPOSED DRIVEWAY

CONCRETE WALK

2 STORY BRICK #200

PROPOSED ONE(1) HOUR PARKING SIGN

PROPOSED STOP SIGN

SECTION-84
BLOCK-34
LOT-2S

SECTION-84
BLOCK-34A
LOT-1

LOT AREA
87,131±s.f.

SIGN "PARKING FOR 200 WELLS ONLY"

SIGN "PARKING FOR 200 WELLS ONLY"

DEDICATED OFF-SITE SCHOOL PARKING SPACES

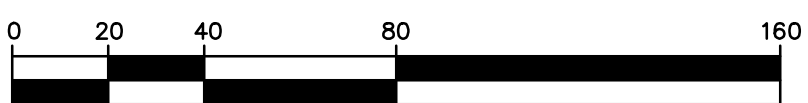
SECTION-84
BLOCK-34A
LOT-3

AREA PLAN
NEWTON, MASSACHUSETTS
AT
#200 WELLS AVENUE

SCALE: 1in.=40ft. DATE: JUNE 4, 2013
PROJECT: 212137

VTP
ASSOCIATES
INC.

LAND SURVEYORS - CIVIL ENGINEERS.
#132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458



SCALE: 1" = 40'

SECTION-84
BLOCK-34A
LOT-8

Russian School of Mathematics

200 Wells Avenue, Newton, MA 02459

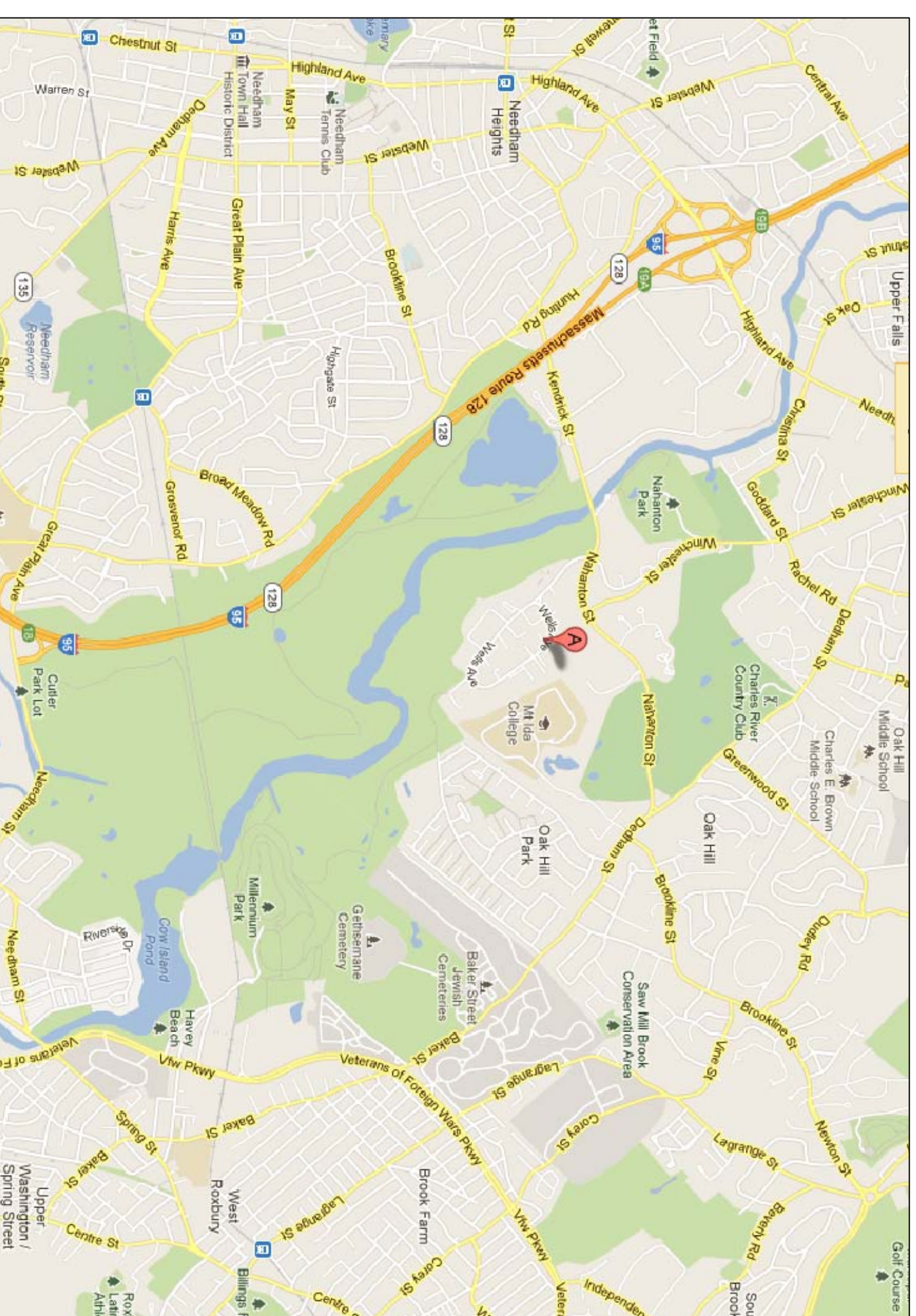
OWNER

Russian School of Mathematics
200 Wells Ave
Newton, MA 02459

ARCHITECT

Donald Lang Architects, Inc.
1643 Beacon Street Suite 22
Waban, MA 02468
Phone: (617) 969-8400
Fax: (617) 332-5461
E-Mail: donald@dlaboston.com

LOCATION MAP



DRAWING LIST:

COVER SHEET

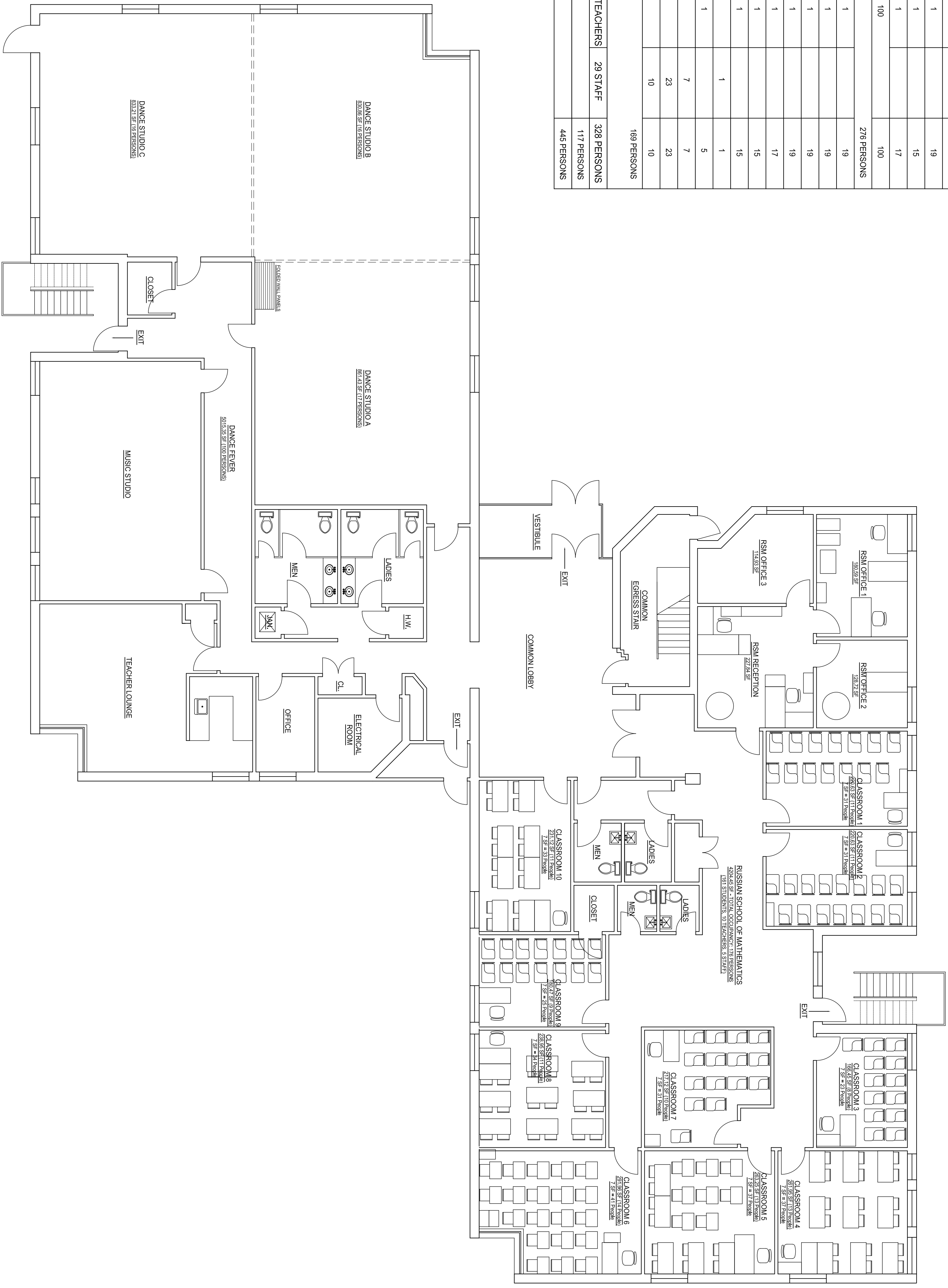
- EX1.0 EXISTING GROUND FLOOR PLAN
- EX1.1 EXISTING SECOND FLOOR PLAN
- EX4.0 EXISTING GROUND FLOOR REFLECTED CEILING PLAN
- EX4.1 EXISTING SECOND FLOOR REFLECTED CEILING PLAN

- A1.0 PROPOSED GROUND FLOOR PLAN
- A1.1 PROPOSED SECOND FLOOR PLAN
- A4.0 PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
- A4.1 PROPOSED SECOND FLOOR REFLECTED CEILING PLAN

Issued 03-04-2013
Revised 03-18-2013

Project No.	W200
File	W200/DWG/Existing Plan
X-refs	
Date Issued	03-04-13
Drawn By	DB
Checked By	DL

ROOM	S.F.	STUDENTS	TEACHERS	STAFF	ROOM TOTAL
RSM RECEPTION	227.84			2	2
RSM OFFICE 1	180.59			1	1
RSM OFFICE 2	128.72			1	1
RSM OFFICE 3	114.93			1	1
CLASSROOM 1	218.25	14	1		15
CLASSROOM 2	222.01	15	1		16
CLASSROOM 3	168.50	13	1		14
CLASSROOM 4	261.95	18	1		19
CLASSROOM 5	260.31	18	1		19
CLASSROOM 6	291.96	20	1		21
CLASSROOM 7	217.40	15	1		16
CLASSROOM 8	241.07	18	1		19
CLASSROOM 9	189.35	14	1		15
CLASSROOM 10	224.82	16	1		17
DANCE FEVER	5015.35		100		100
FIRST FLOOR TOTALS	7963.05 SF			276 PERSONS	
CLASSROOM 11	2298.36	18	1		19
CLASSROOM 12	321.50	18	1		19
CLASSROOM 13	346.64	18	1		19
CLASSROOM 14	398.27	18	1		19
CLASSROOM 15	179.23	16	1		17
CLASSROOM 16	158.76	14	1		15
CLASSROOM 17	154.54	14	1		15
RSM OFFICE 5	119.70			1	1
RSM TESTING OFFICE	102.77		4	1	5
BOSTON SPT/DESIGN	708.15			7	7
RSM HQ OFFICE	2280.08			23	23
O.A. SIGNATURE	1041.32			10	10
SECOND FLOOR TOTAL	6088.32 SF			189 PERSONS	
RSM TOTALS	6542.74 SF	281 STUDENTS	18 TEACHERS	29 STAFF	328 PERSONS
OTHER TENANT TOTALS	6784.82 SF				117 PERSONS
BUILDING TENANT TOTALS	13307.56 SF				445 PERSONS
FIRST FLOOR GROSS SF TOTAL	9758.69 SF				
SECOND FLOOR GROSS SF TOTAL	9592.51 SF				
BUILDING GROSS SF TOTAL	19351.20 SF				



1 EXISTING GROUND FLOOR PLAN (10845.19 S.F.)
 SCALE: 1/8" = 1'-0"
 EX.1.0

**Russian School of
Mathematics**
200 Wells Avenue
Newton, MA 02459

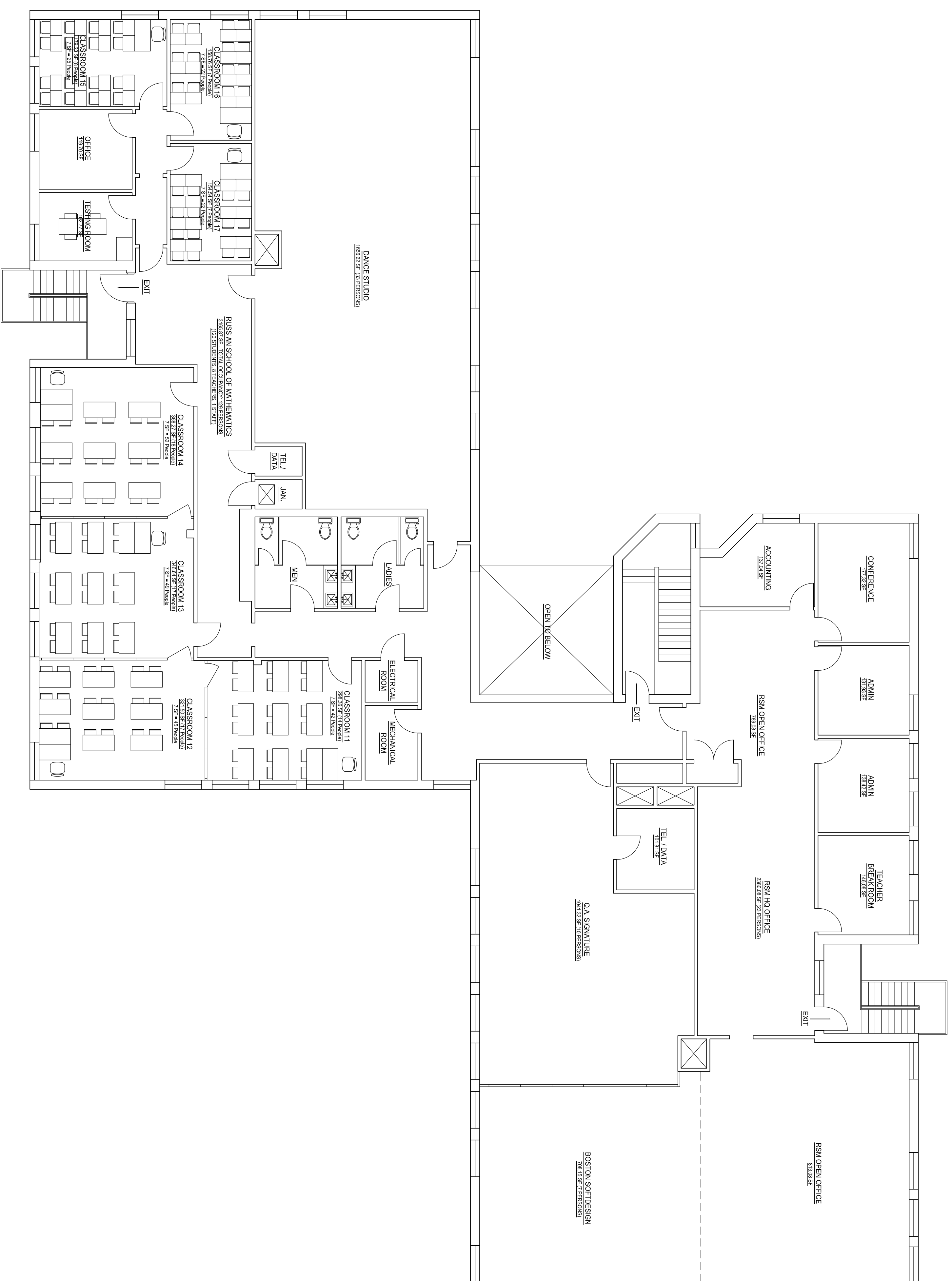
Revision: 03-18-13
Description:

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Project No. W200
File W200/DWG/Existing Plan
X-refs
Date Issued 03-04-13
Drawn By DB
Checked By DL

DRAWING TITLE
**EXISTING SECOND
FLOOR PLAN**

SHEET NUMBER

EX.1.1



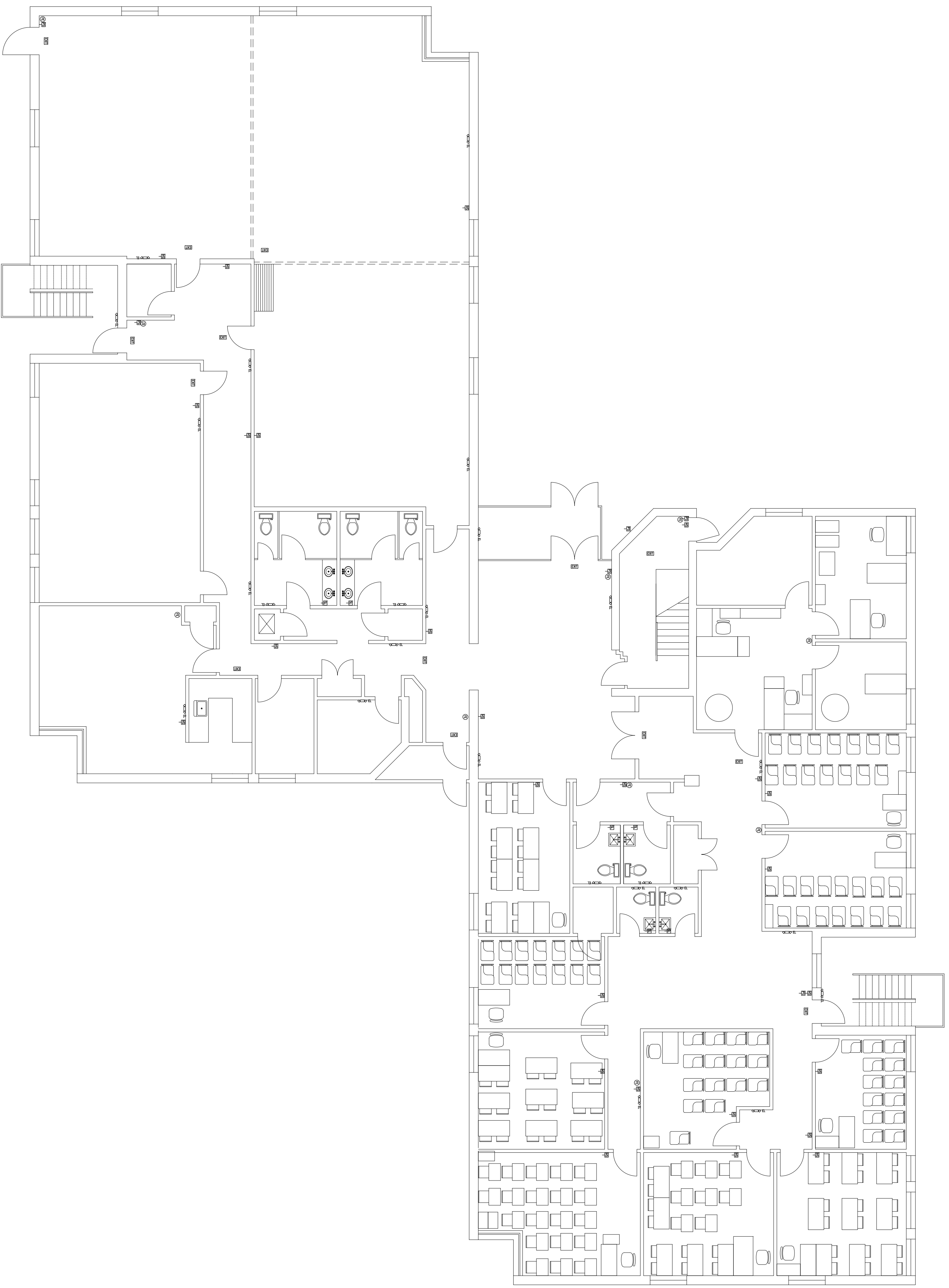
1 EXISTING SECOND FLOOR PLAN (10565.44 S.F.)
EX.1.1 SCALE: 1/8" = 1'-0"

REMAINING WORK NOTES (COMPLETE BY MARCH 29, 2013)

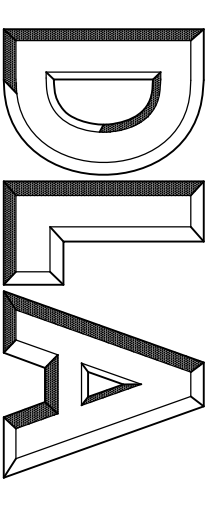
- MAIN ENTRANCE VESTIBULE
 1. OUTSIDE DOORS STICK AND NEED OPENING PRESSURE ADJUSTED TO 15 LBS.
 GROUND FLOOR LOBBY - MAIN STAIRWELL
 2. PROVIDE REQUIRED EMERGENCY LIGHTING WITH BATTERY BACKUP (E.L.)
 3. PROVIDE COMPLIANT WALL SIDE STAIRWAY HAND RAILS
 GROUND FLOOR LEFT HALLWAY
 4. PROVIDE SINGLE USER NON-HC ACCESSIBLE TOILET ROOMS
 5. DIRECTIONAL SIGNAGE POINTING TO HC TOILETS IS MISSING
 6. RELOCATE "TEACHERS ONLY" TOILET ROOM SIGN TO NON-HC ACCESSIBLE ROOM
 (2) EXISTING SINGLE USER HC ACCESSIBLE TOILET ROOMS
 7. COMPLIANT ROOM SIGNS WITH BRAILLE ARE MISSING
 SCHOOL OFFICE-RECEPTION AREA
 8. PROVIDE COMBINATION E.L./LIGHTED EXIT UNIT (COMBO) ABOVE EXIT DOOR TO HALLWAY
 9. CHECK HORN/ STROBE DEVICE FUNCTIONALITY IN SAME SPACE
 GROUND FLOOR RIGHT HALLWAY
 10. PROVIDE PANIC HARDWARE ON SINGLE EXIT DOOR NEAR CLOSET, ADJUST CLOSER PRESSURE
 11. PROVIDE E.L. IN SAME SPACE
 MULTISERV TOILET ROOMS, LOBBY HALLWAY
 12. PROVIDE COMBO E.L. AND EXIT UNIT AT DOOR TO ACCOUNTING
 13. PROVIDE COMPLIANT ROOM SIGNS TO THE SIDE OF EACH DOOR
 DANCE FEVER DANCE STUDIO 2A
 14. PROVIDE SECOND LIGHTED EXIT SIGN
 TEACHERS' LOUNGE
 15. PROVIDE LIGHTED EXIT SIGN
 SECOND FLOOR LOBBY
 16. PROVIDE E.L. AT UPPER LEVEL
 SECOND FLOOR LEFT SIDE
 17. REPAIR AND ADJUST EXISTING USE GROUP "B" (BUSINESS)
 18. PROVIDE COMBO E.L. AND EXIT UNIT AT DOOR TO ACCOUNTING
 19. PROVIDE HORN/STROBE AND E.L. WITHIN BREAK ROOM AREA.
 SECOND FLOOR RIGHT SIDE
 20. PROVIDE SINGLE USER NON-HC ACCESSIBLE TOILET ROOMS
 21. REPAIR AND ADJUST EXISTING USE GROUP "B" (BUSINESS)
 22. REPAIR PANIC HARDWARE ON SINGLE EXIT DOOR NEAR CLOSET, ADJUST CLOSER PRESSURE
 23. REPAIR PANIC BAR THAT IS MISSING PARTS
 24. REPAIR PANIC BAR THAT IS MISSING PARTS
 HALLWAY - ACCESSING CLASSROOM 16, 17 AND 18
 25. REMOVE ABANDONED WOOD DOOR FRAME AND JAMB
 MENS TOILET ROOM
 26. SUPPLY AND INSTALL COMPLIANT SIGN

FIRE ALARM EQUIPMENT LEGEND

- EL EMERGENCY LIGHT
 PS PULL STATION
 HS HORN STROBE
 SL STROBE LIGHT
 LXS LIGHTED EXIT SIGN
 FE FIRE EXTINGUISHER



1 EXISTING GROUND FLOOR REFLECTED CEILING PLAN
 EX4.0 SCALE: 1/8" = 1'-0"



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Revision	Description
03-18-13	

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 Project No. WZ00
 File WZ00DWCS-Existing Plan
 X-refs
 Date Issued 03-04-13
 Drawn By DB
 Checked By DL

DRAWING TITLE
EXISTING GROUND FLOOR REFLECTED CEILING PLAN

SHEET NUMBER
EX4.0

Russian School of
Mathematics
200 Wells Avenue
Newton, MA 02459

Revision Description
Date
03-18-13

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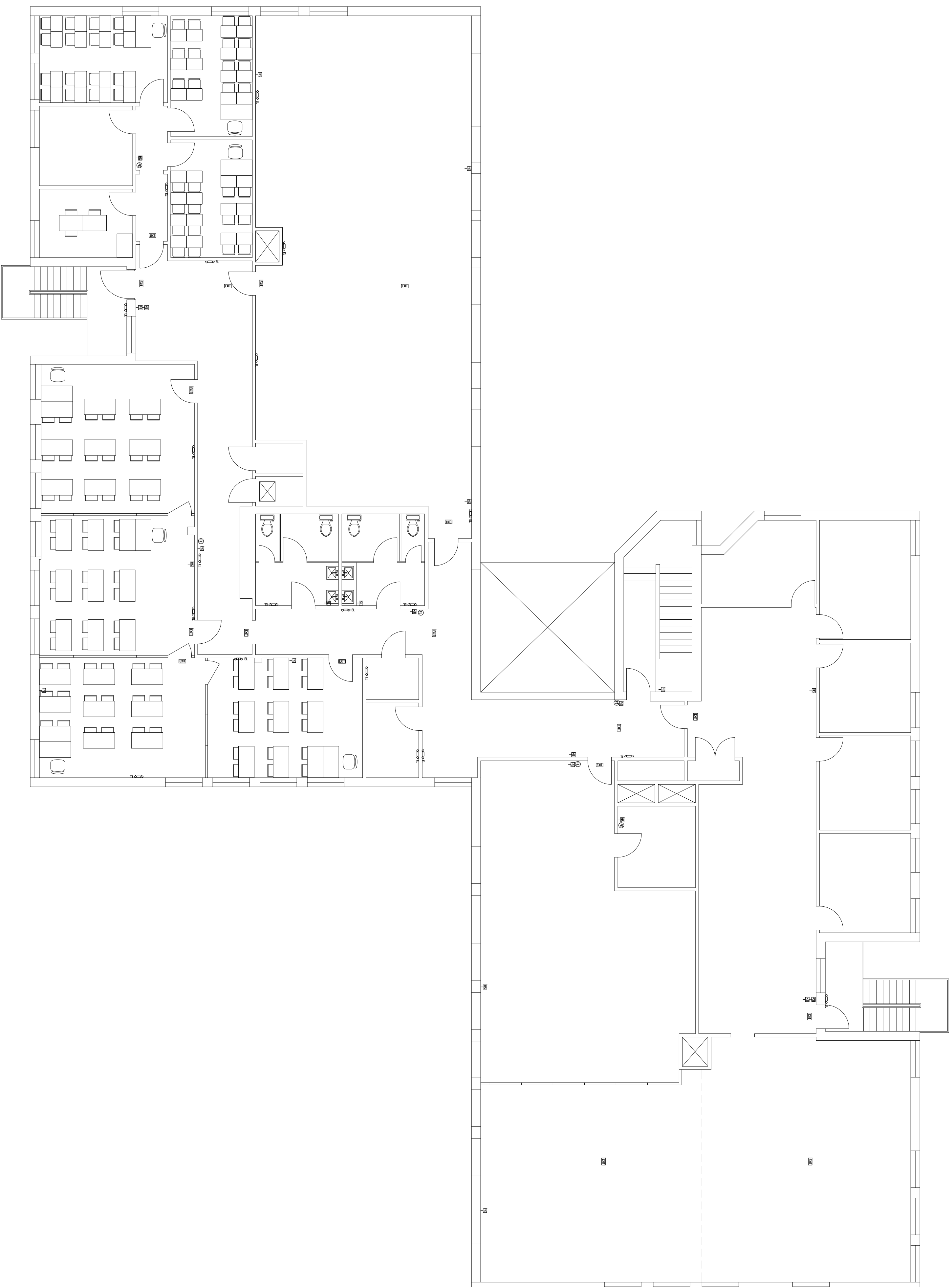
Project No. WZ00
File WZ00/DWG/Existing Plan
X-refs
Date Issued 03-04-13
Drawn By DB
Checked By DL

DRAWING TITLE

EXISTING SECOND
FLOOR REFLECTED
CEILING PLAN

SHEET NUMBER

EX4.1



EXISTING SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

**Russian School of
Mathematics**
200 Wells Avenue
Newton, MA 02459

Revision: 03-18-13
Description:

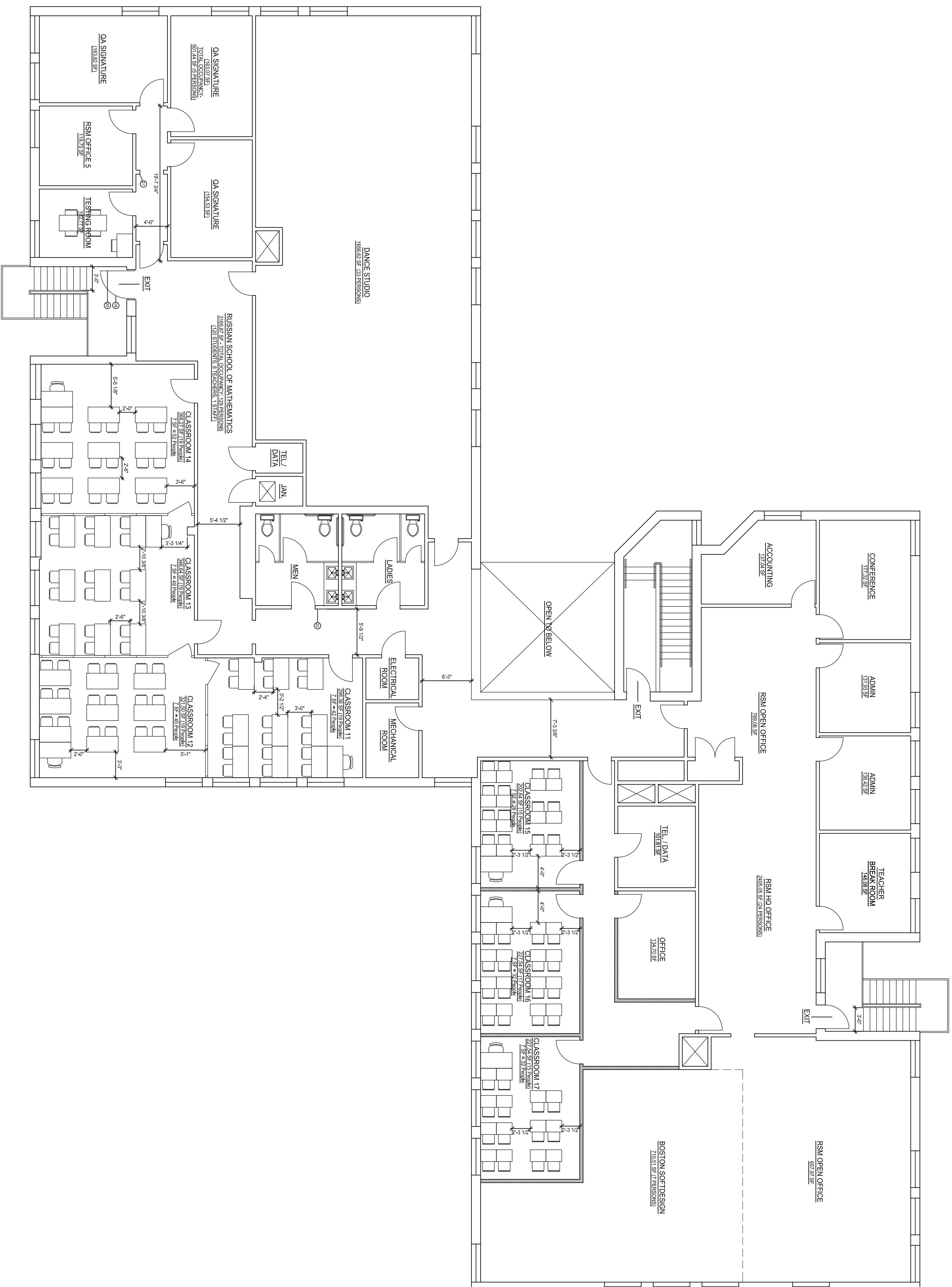
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Project No.	WZ00
File	WZ00\WCS\Proposed Plan
X-refs	
Date Issued	03-04-13
Drawn By	DB
Checked By	DL

DRAWING TITLE
**PROPOSED SECOND
FLOOR PLAN**

SHEET NUMBER

A1.1



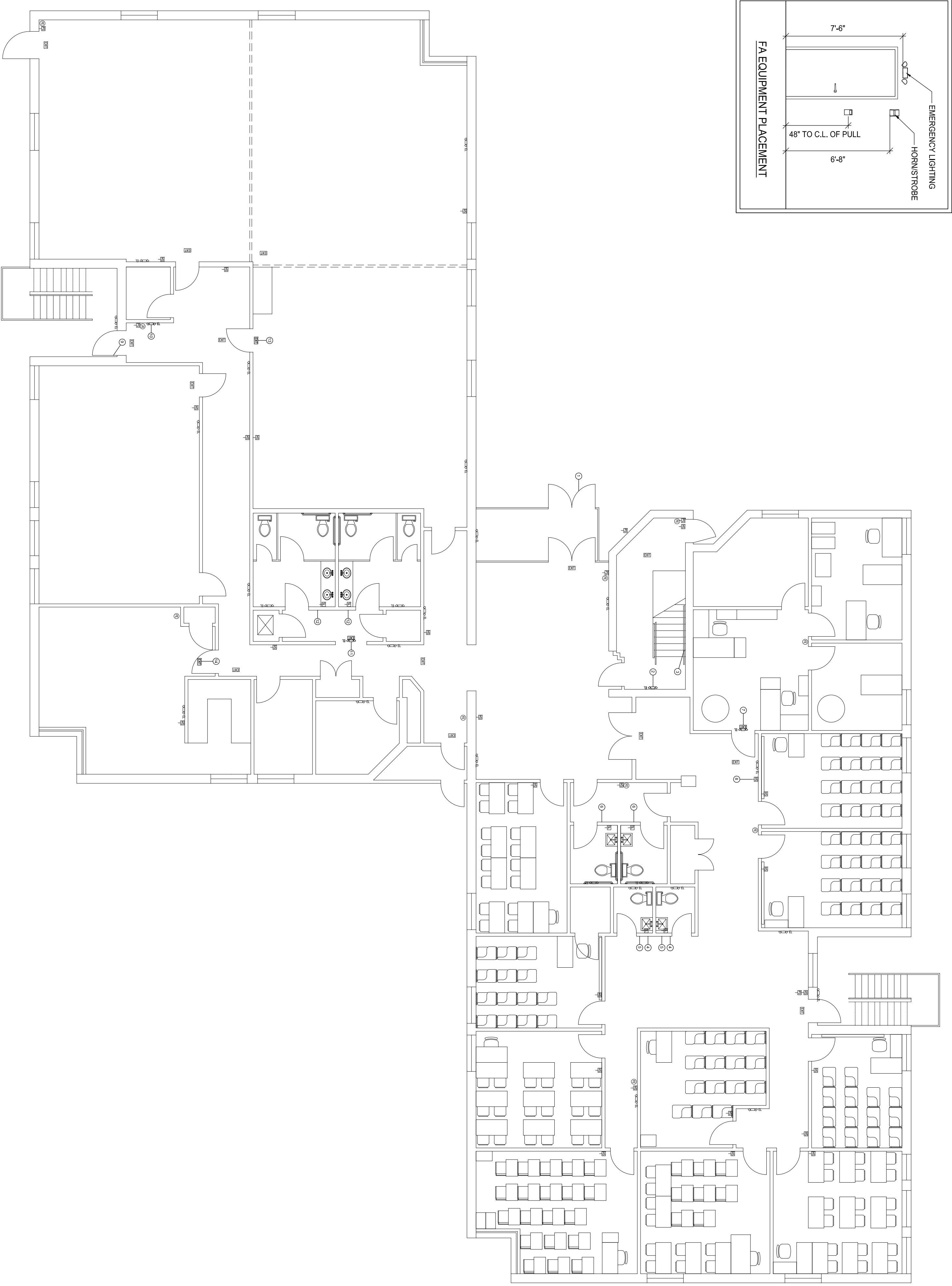
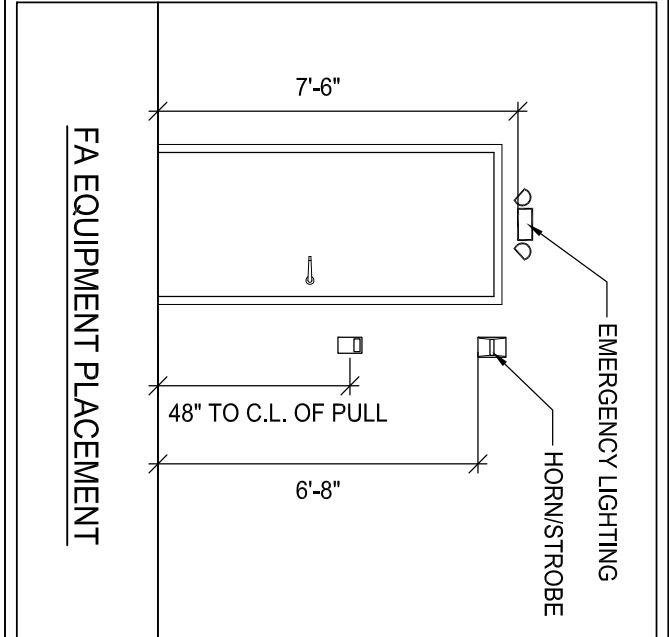
1 PROPOSED SECOND FLOOR PLAN (10565.44 S.F.)
A1.1 SCALE: 1/8" = 1'-0"

REMAINING WORK NOTES (COMPLETE BY MARCH 29, 2013)

1. MAIN ENTRANCE VESTIBULE
1. OUTSIDE DOORS STICK AND NEED OPENING PRESSURE ADJUSTED TO 15 LBS.
- GROUND FLOOR LOBBY - MAIN STAIRWELL
2. PROVIDE REQUIRED EMERGENCY LIGHTING WITH BATTERY BACKUP (E.L.)
3. PROVIDE COMPLIANT WALL SIDE STAIRWAY HAND RAILS
- GROUND FLOOR LEFT HALLWAY
2. EXISTING SINGLE USER, NON-HC ACCESSIBLE TOILET ROOMS
4. DIRECTIONAL SIGNAGE POINTING TO HC TOILETS IS MISSING
5. RELOCATE "TEACHERS ONLY" TOILET ROOM SIGN TO NON-HC ACCESSIBLE ROOM
2. EXISTING SINGLE USER HC ACCESSIBLE TOILET ROOMS
6. COMPLIANT ROOM SIGNS WITH BRAILLE ARE MISSING
- SCHOOL OFFICE - RECEPTION AREA
7. PROVIDE COMBINATION E.L./LIGHTED EXIT UNIT (COMBO) ABOVE EXIT DOOR TO HALLWAY
8. CHECK HORN/ STROBE DEVICE FUNCTIONALITY IN SAME SPACE
- GROUND FLOOR RIGHT HALLWAY
9. PROVIDE PANG HORIZONTAL ON SINGLE EXIT DOOR NEAR CLOSET - ADJUST CLOSER PRESSURE
10. PROVIDE E.L. IN SAME SPACE
- MULTIUSER TOILET ROOMS, LOBBY HALLWAY
11. PROVIDE COMBO (E.L. AND EXIT UNIT AT DOOR TO ACCOUNTING
12. PROVIDE COMPLIANT ROOM SIGNS TO THE SIDE OF EACH DOOR
- DANCE REVER DANCE STUDIO "A"
13. PROVIDE SECOND LIGHTED EXIT SIGN
- TEACHERS LOUNGE
14. PROVIDE LIGHTED EXIT SIGN
- SECOND FLOOR LOBBY
15. PROVIDE E.L. AT OPEN LEVEL
- SECOND FLOOR LEFT SIDE
- REMAINING ACCOUNTING USE GROUP "B" - (BUSINESS)
16. PROVIDE (2) E.L.S.
17. PROVIDE COMBO (E.L. AND EXIT UNIT AT DOOR TO ACCOUNTING
18. PROVIDE HORN/STROBE AND E.L. WITHIN BREAK ROOM AREA.
- SECOND FLOOR RIGHT SIDE
- FIRE ESCAPE #1 - ADJACENT TO TESTING ROOM
19. ADJUST EXIT DOOR CLOSER PRESSURE TO SLOW
20. REPAIR PANG BAR THAT IS MISSING PARTS
- HALLWAY - ACCESSING CLASSROOM 16, 17 AND 18
21. REMOVE ABANDONED WOOD DOOR FRAME AND JAMB
- MENS TOILET ROOM
22. SUPPLY AND INSTALL COMPLIANT SIGN

FIRE ALARM EQUIPMENT LEGEND

- ⊕ E.L. EMERGENCY LIGHT
- ⊞ PULL STATION
- ⊞ HORN/STROBE
- ⊞ STROBE LIGHT
- ⊞ LIGHTED EXIT SIGN
- ⊞ FIRE EXTINGUISHER



1
A4.0
SCALE: 1/8" = 1'-0"
PROPOSED GROUND FLOOR REFLECTED CEILING PLAN

Revision	Description
03-18-13	

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Project No.	WZ00
File	WZ00\WGS\Proposed Plan
X-Refs	
Date Issued	03-04-13
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Checked By	DL

**Russian School of
Mathematics**
200 Wells Avenue
Newton, MA 02459

Revision Description
Date
03-18-13

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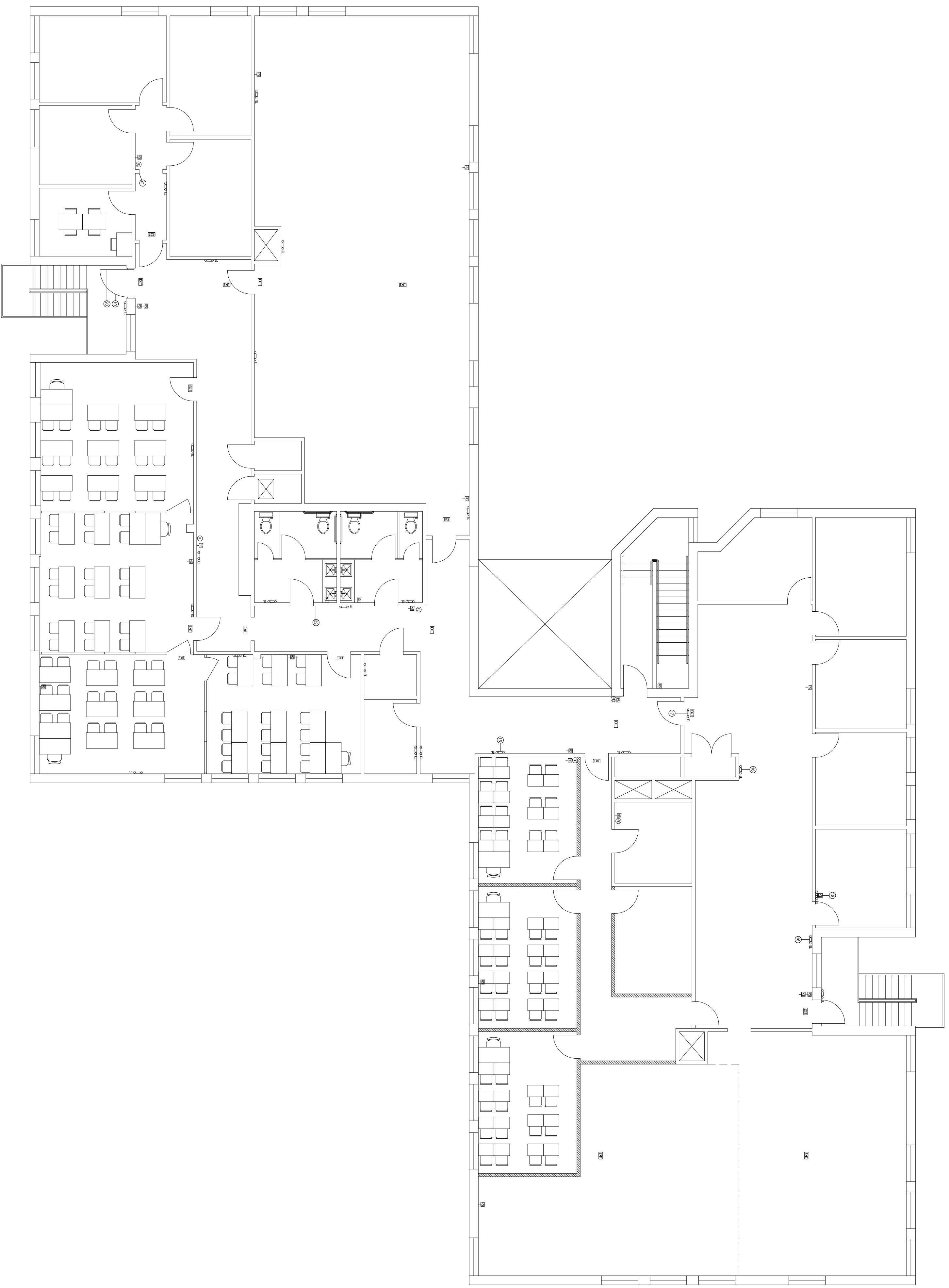
Project No. W200
File W200\01\03\Proposed Plan
X-refs
Date Issued 03-04-13
Drawn By DB
Checked By DL

DRAWING TITLE

**PROPOSED SECOND
FLOOR REFLECTED
CEILING PLAN**

SHEET NUMBER

A4.1



PROPOSED SECOND FLOOR REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

PARKING LOT A			
REGULATION	REQUIRED	EXISTING	PROPOSED
STANDARD PARKING SPACE (WxD)	9.0'x19.0'	VARIABLES	--
HANDICAP PARKING SPACE (WxD)	12.0'x19.0'	VARIABLES	--
PARKING LOT FRONT SETBACK	25.0'	38.5'	--
PARKING LOT SIDE SETBACK	20.0'	8.8'**	--
ENTRANCE/EXIT DRIVEWAY WIDTH	20.0'	23.7'	--
MANEUVERING SPACE (DxW) FOR END STALL	5.0'x9.0'	5.3'x19.3'	--
HANDICAP SPACES	4%/MIN. 3	3	--
MINIMUM AISLE WIDTH	24.0'	19.8'	--

*2.0' OVERHANG SECTION 30-19 (h) (2)d
 **PRE-EXISTING NON-CONFORMING

PARKING LOT B			
REGULATION	REQUIRED	EXISTING	PROPOSED
STANDARD PARKING SPACE (WxD)	9.0'x19.0'	VARIABLES	--
HANDICAP PARKING SPACE (WxD)	12.0'x19.0'	VARIABLES	--
PARKING LOT FRONT SETBACK	25.0'	23.6'**	--
PARKING LOT SIDE SETBACK	20.0'	17.6'**	--
ENTRANCE/EXIT DRIVEWAY WIDTH	20.0'	23.8'	--
MANEUVERING SPACE (DxW) FOR END STALL	5.0'x9.0'	3.5'x18.5'	--
MINIMUM AISLE WIDTH	24.0'	23.6'	--

*2.0' OVERHANG SECTION 30-19 (h) (2)d
 **PRE-EXISTING NON-CONFORMING

TOTAL EXISTING OFFSITE
 PARKING SPACES 24
 AS-BUILT PARKING SPACES 61
 AS-BUILT HANDICAP SPACES 3
 TOTAL AS-BUILT SPACES 64

ZONING CHART			
NEWTON, MASSACHUSETTS			
ZONE:	SUBMISSION: PROPOSED		
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000.0s.f.	87,131±s.f.	N/A
FRONT SETBACK	25.0'	93.6'	N/A
SIDE SETBACK	20.0'	65.9'	N/A
SIDE SETBACK	20.0'	21.4'	N/A
BUILD HEIGHT	36.0'	24.6'	N/A
MAX. STORIES	3	2	N/A
AVERAGE GRADE	N/A	99.4'	N/A
LOT COVERAGE	25.0%	13.0%	N/A
OPEN SPACE	N/A	62.7%	N/C

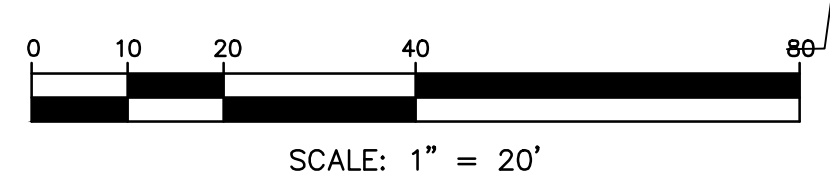
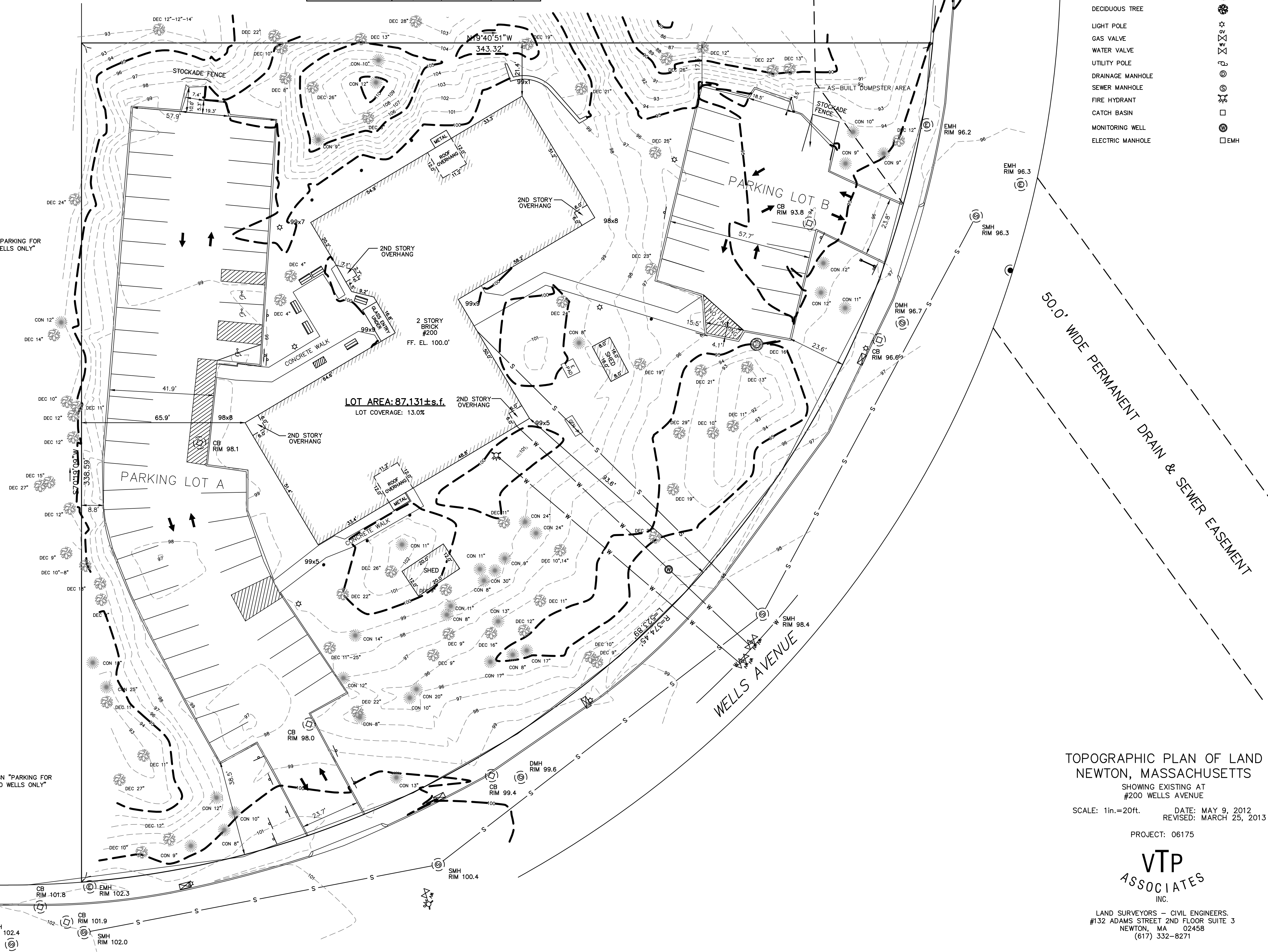
LEGEND	
STORM SEWER	D
SANITARY SEWER	S
WATER MAIN	W
OVERHEAD ELECTRIC	OE
CONTOUR	21
BUILDING	
CHAINLINK FENCE	X
PROPERTY LINE W/ BEARING DISTANCE	N85°23'35"W 346.41'
CONIFEROUS TREE	
DECIDUOUS TREE	
LIGHT POLE	
GAS VALVE	
WATER VALVE	
UTILITY POLE	
DRAINAGE MANHOLE	
SEWER MANHOLE	
FIRE HYDRANT	
CATCH BASIN	
MONITORING WELL	
ELECTRIC MANHOLE	EMH

DEDICATED OFFSITE SCHOOL PARKING SPACES

24 SPACES

SIGN "PARKING FOR 200 WELLS ONLY"

SIGN "PARKING FOR 200 WELLS ONLY"



TOPOGRAPHIC PLAN OF LAND
 NEWTON, MASSACHUSETTS
 SHOWING EXISTING AT
 #200 WELLS AVENUE
 SCALE: 1in.=20ft. DATE: MAY 9, 2012
 REVISED: MARCH 25, 2013
 PROJECT: 06175

VTP
 ASSOCIATES
 INC.

LAND SURVEYORS - CIVIL ENGINEERS.
 #132 ADAMS STREET, 2ND FLOOR SUITE 3
 NEWTON, MA 02458
 (617) 332-8271

212137topo_proposed_2.cad 01/09/2013 2:44p (2/2013)

PARKING LOT A			
REGULATION	REQUIRED	EXISTING	PROPOSED
STANDARD PARKING SPACE (WxD)	9.0'x19.0'	VARIABLES	--
HANDICAP PARKING SPACE (WxD)	12.0'x19.0'	VARIABLES	--
PARKING LOT FRONT SETBACK	25.0'	38.5'	--
PARKING LOT SIDE SETBACK	20.0'	8.8'**	--
ENTRANCE/EXIT DRIVEWAY WIDTH	20.0'	23.7'	--
MANEUVERING SPACE (DxW) FOR END STALL	5.0'x9.0'	5.3'x19.3'	--
HANDICAP SPACES	4%/MIN. 3	3	--
MINIMUM AISLE WIDTH	24.0'	19.8'	--

*2.0' OVERHANG SECTION 30-19 (h) (2)d
 **PRE-EXISTING NON-COMFORMING

PARKING LOT B			
REGULATION	REQUIRED	EXISTING	PROPOSED
STANDARD PARKING SPACE (WxD)	9.0'x19.0'	VARIABLES	--
HANDICAP PARKING SPACE (WxD)	12.0'x19.0'	VARIABLES	--
PARKING LOT FRONT SETBACK	25.0'	23.6'**	--
PARKING LOT SIDE SETBACK	20.0'	17.6'**	--
ENTRANCE/EXIT DRIVEWAY WIDTH	20.0'	23.8'	--
MANEUVERING SPACE (DxW) FOR END STALL	5.0'x9.0'	3.5'x18.5'	--
MINIMUM AISLE WIDTH	24.0'	23.6'	--

*2.0' OVERHANG SECTION 30-19 (h) (2)d
 **PRE-EXISTING NON-COMFORMING

NOTE: THE EXISTING DIMENSIONAL REQUIREMENTS FOR PARKING LOT A AND PARKING LOT B HAVE BEEN APPROVED BY BOARD ORDER 325-06.

TOTAL EXISTING OFFSITE PARKING SPACES 24
TOTAL SPACES 62
PARKING LOT A PARKING SPACES 45 HANDICAP 3
PARKING LOT B PARKING SPACES 14

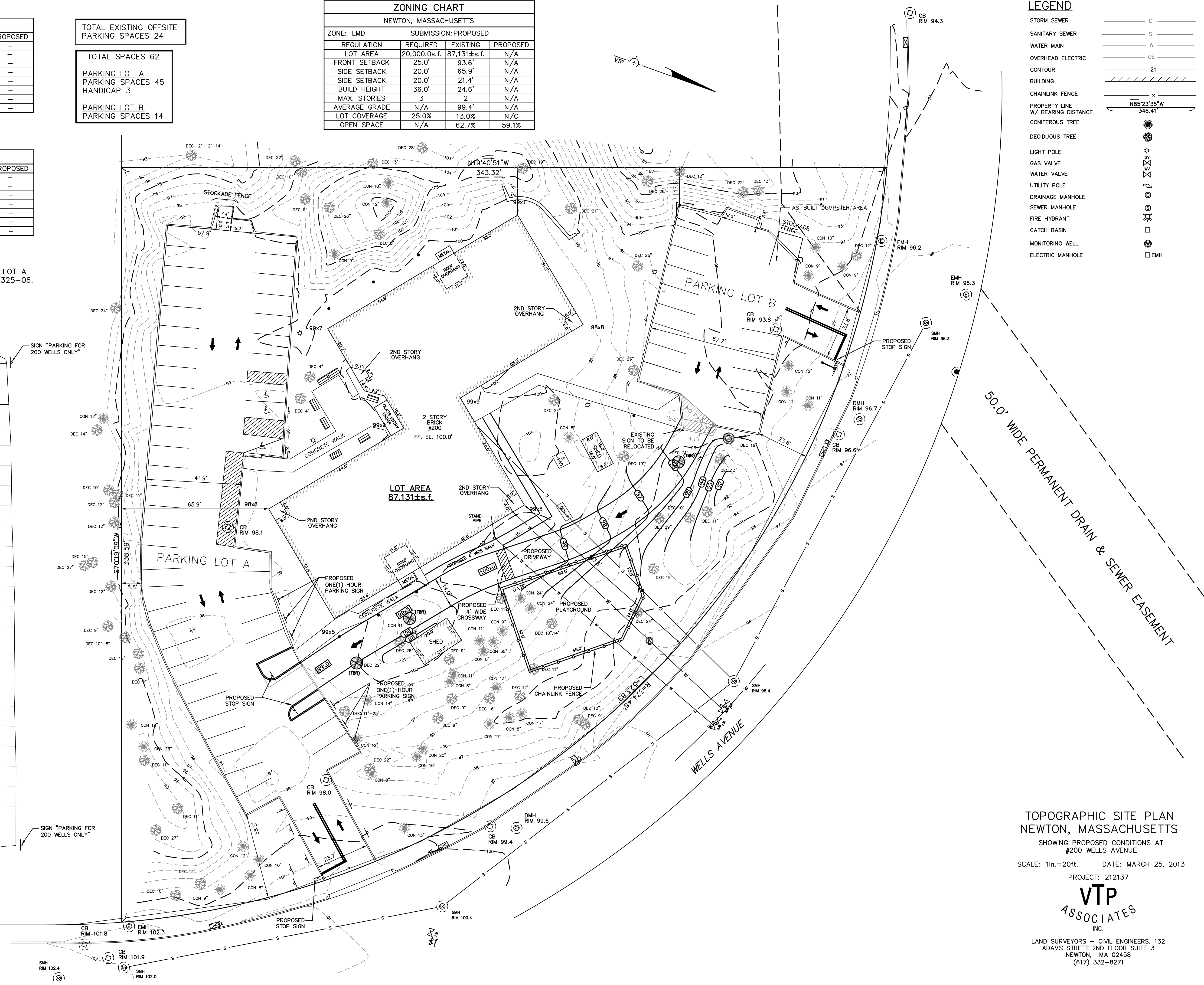
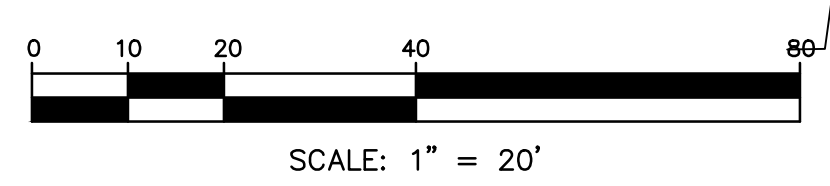
ZONING CHART			
NEWTON, MASSACHUSETTS			
ZONE:	SUBMISSION: PROPOSED		
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000.0s.f.	87,131±s.f.	N/A
FRONT SETBACK	25.0'	93.6'	N/A
SIDE SETBACK	20.0'	65.9'	N/A
SIDE SETBACK	20.0'	21.4'	N/A
BUILD HEIGHT	36.0'	24.6'	N/A
MAX. STORIES	3	2	N/A
AVERAGE GRADE	N/A	99.4'	N/A
LOT COVERAGE	25.0%	13.0%	N/C
OPEN SPACE	N/A	62.7%	59.1%

LEGEND	
STORM SEWER	D
SANITARY SEWER	S
WATER MAIN	W
OVERHEAD ELECTRIC	OE
CONTOUR	21
BUILDING	[Symbol]
CHAINLINK FENCE	X
PROPERTY LINE W/ BEARING DISTANCE	N85°23'35"W 346.41'
CONIFEROUS TREE	[Symbol]
DECIDUOUS TREE	[Symbol]
LIGHT POLE	[Symbol]
GAS VALVE	[Symbol]
WATER VALVE	[Symbol]
UTILITY POLE	[Symbol]
DRAINAGE MANHOLE	[Symbol]
SEWER MANHOLE	[Symbol]
FIRE HYDRANT	[Symbol]
CATCH BASIN	[Symbol]
MONITORING WELL	[Symbol]
ELECTRIC MANHOLE	[Symbol]

DEDICATED OFFSITE SCHOOL PARKING SPACES

24 SPACES

50.0' WIDE PERMANENT DRAIN & SEWER EASEMENT



TOPOGRAPHIC SITE PLAN
 NEWTON, MASSACHUSETTS
 SHOWING PROPOSED CONDITIONS AT
 #200 WELLS AVENUE

SCALE: 1in.=20ft. DATE: MARCH 25, 2013

PROJECT: 212137

VTP
 ASSOCIATES
 INC.

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