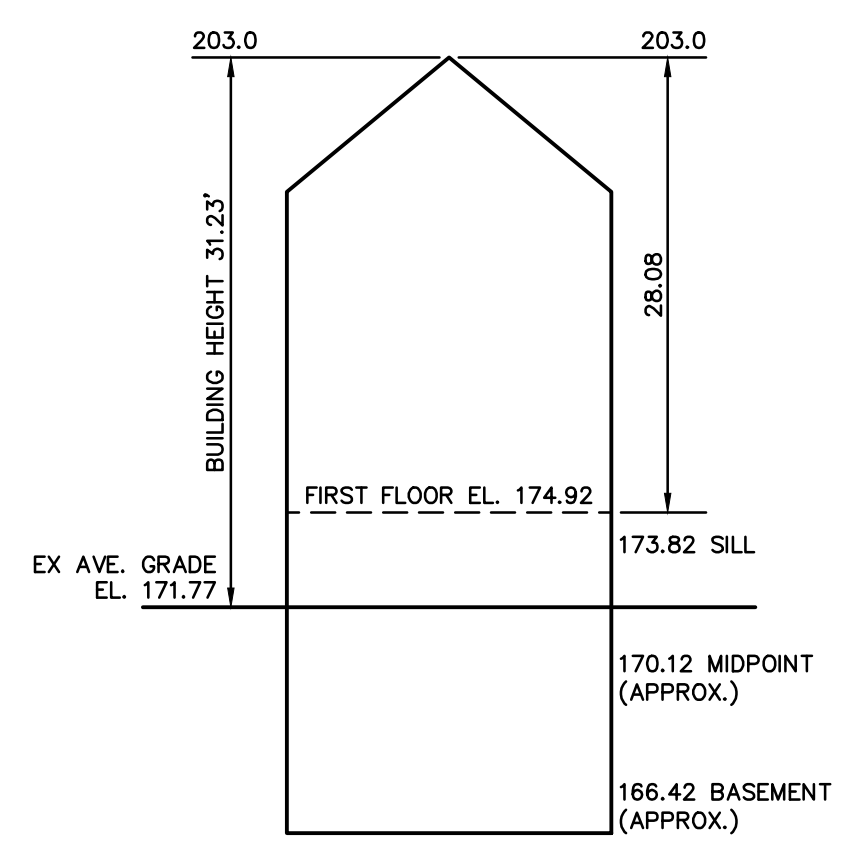
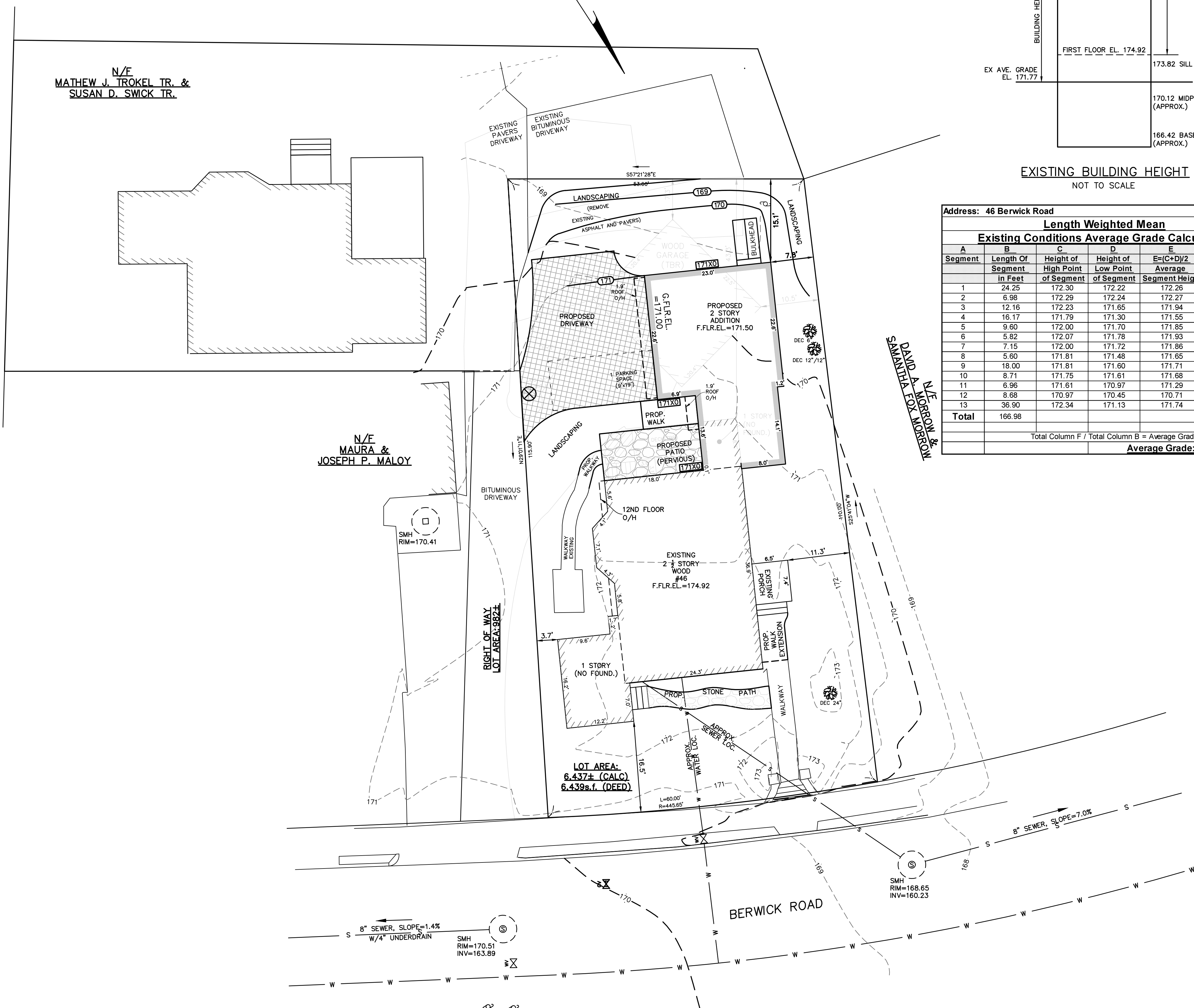


218142tps.dwg (2-2018)

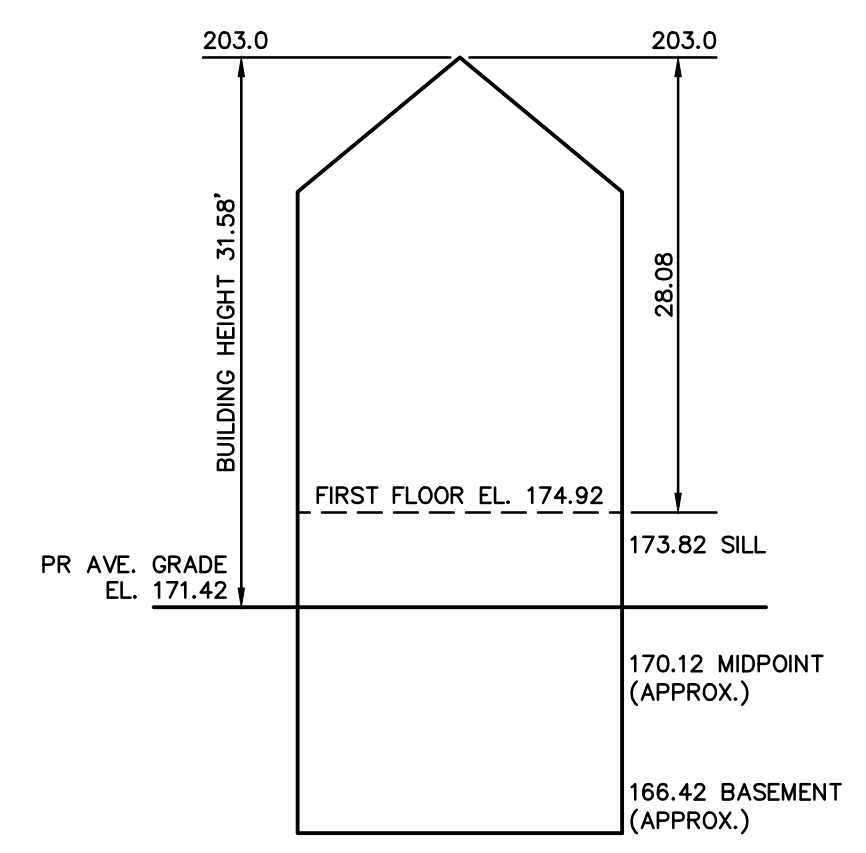
LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°56'34"E 116.23'
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
DRAIN LINE	D
WATER LINE	W
GAS LINE	G
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22"
CONIFEROUS TREE	CON. 12"

SAXON ROAD



EXISTING BUILDING HEIGHT
NOT TO SCALE



PROPOSED BUILDING HEIGHT
NOT TO SCALE

Address: 46 Berwick Road

Length Weighted Mean Existing Conditions Average Grade Calculation

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Segment Height	F=BxE
1	24.25	172.30	172.22	172.26	4177.31 Sq. Ft.
2	6.98	172.29	172.24	172.27	1202.41 Sq. Ft.
3	12.16	172.23	171.65	171.94	2090.79 Sq. Ft.
4	16.17	171.79	171.30	171.55	2773.88 Sq. Ft.
5	9.60	172.00	171.70	171.85	1649.76 Sq. Ft.
6	5.82	172.07	171.78	171.93	1000.60 Sq. Ft.
7	7.15	172.00	171.72	171.86	1228.80 Sq. Ft.
8	5.60	171.81	171.48	171.65	961.21 Sq. Ft.
9	18.00	171.81	171.60	171.71	3090.69 Sq. Ft.
10	8.71	171.75	171.61	171.68	1495.33 Sq. Ft.
11	6.96	171.61	170.97	171.29	1192.18 Sq. Ft.
12	8.68	170.97	170.45	170.71	1481.76 Sq. Ft.
13	36.90	172.34	171.13	171.74	6337.02 Sq. Ft.
Total	166.98				28681.75 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 171.77'

Address: 46 Berwick Road

Length Weighted Mean Proposed Conditions Average Grade Calculation

Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	E=(C+D)/2 Segment Height	F=BxE
1	24.25	172.30	172.22	172.26	4177.31 Sq. Ft.
2	6.98	172.29	172.24	172.27	1202.41 Sq. Ft.
3	12.16	172.23	171.65	171.94	2090.79 Sq. Ft.
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8	5.60	171.81	171.48	171.65	961.21 Sq. Ft.
9	18.00	171.81	171.60	171.71	3078.00 Sq. Ft.
10	13.60	171.00	171.00	171.00	2325.60 Sq. Ft.
11	6.90	171.00	171.00	171.00	1179.90 Sq. Ft.
12	22.60	171.00	171.00	171.00	3864.60 Sq. Ft.
13	23.00	169.58	169.07	169.33	3894.48 Sq. Ft.
14	22.60	170.05	169.00	169.53	3831.27 Sq. Ft.
15	14.10	170.79	170.04	170.42	2402.85 Sq. Ft.
16	8.00	171.35	170.96	171.16	1369.24 Sq. Ft.
17	36.90	172.64	172.19	172.42	6362.11 Sq. Ft.
Total	253.43				43392.81 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 171.22'

IMPERVIOUS AREA

LOT AREA	6,437.0 s.f.
EXISTING IMPERVIOUS AREA	3,255.0 s.f.
PROPOSED IMPERVIOUS AREA	2,988.9 s.f.
4% LOT AREA	257.5 s.f.
INCREASE IN IMPERVIOUS AREA	-266.1 s.f.
-318.6s.f. < 257.5s.f (DRAINAGE NOT REQUIRED)	

ZONING CHART
NEWTON, MASSACHUSETTS

ZONE: SR-2(OLD) SUBMISSION: BUILDING PERMIT

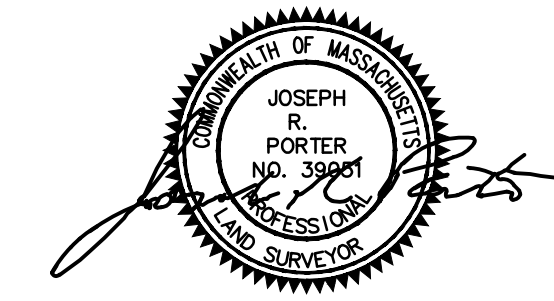
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000s.f.	6,437±s.f.*	N/C
LOT FRONTAGE	80.0'	60.0'*	N/C
FRONT SETBACK	25.0'	16.5'*	N/C
SIDE SETBACK	7.5'	3.7'*	N/C
REAR SETBACK	15.0'	4.3.3'	15.0'
BUILDING HEIGHT	36.0'	31.23'	31.58'
AVERAGE GRADE	-	171.77	171.42
LOT COVERAGE	30.0%	26.7%	29.9%
OPEN SPACE	50.0%	53.1%	58.3%

*DOES NOT MEET REQUIREMENTS

TOPOGRAPHIC SITE PLAN
NEWTON, MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT
#46 BERWICK ROAD

SCALE: 1in.=10ft. DATE: AUGUST 21, 2018;
REVISED: NOVEMBER 7, 2018;
NOVEMBER 19, 2018

PROJECT: 218142



VTP ASSOCIATES INC.

LAND SURVEYORS - CIVIL ENGINEERS. 132
ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

SHEET 1 OF 1

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