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# Tsao Residence

## Zoning Review Set

### Residential Renovation & Addition

1771 Washington Street  
Newton, ma. 02466

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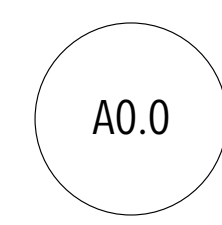
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& Addition  
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#	DESCRIPTION / DATE

SCALE N/A  
DATE 02/08/17  
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PROJECT NO. 0716

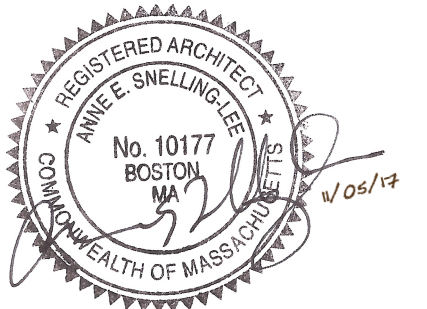
<p>CLIENT</p> <p>Hensin &amp; Sandy Tsao 1771 Washington Street Newton, Ma 02466</p> <p>hensintsao@gmail.com</p>	<p>ARCHITECT</p> <p>a+s studios inc., Architects 54 Carver Road Newton, MA 02461 (617) 454-4665 http://www.aslstudios.com</p> <p>Anne Snelling-Lee</p>	<p>CONTRACTOR</p> <p>T.B.D.</p>	<p>LAND SURVEYOR</p> <p>Snelling &amp; Hamel Associates, Inc. 10 Lewis Street Lincoln, MA 01773</p> <p>snellingandhamel@aol.com 781-249-9208</p>
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Title Sheet









**DIVISION 1 - GENERAL REQUIREMENTS AND NOTES**

- DRAWINGS REPRESENT DESIGN SERVICES ONLY. ADDITIONAL PROFESSIONAL SERVICES REQUIRED FOR THE ENGINEERING AND PERMITTING OF WORK SHALL BE COORDINATED BY CONTRACTOR. DESIGNER RESERVES THE RIGHT TO REVIEW AND APPROVE ALL ENGINEERING CALCULATIONS AND DRAWINGS.
- THE WORK CONSISTS OF FURNISHING ALL MATERIAL, LABOR & SERVICES OF EVERY DESCRIPTION NECESSARY TO COMPLETE THE RESIDENTIAL ADDITION & RENOVATION AT 1771 WASHINGTON STREET, NEWTON, MA..
- DESIGN AND DRAWINGS SHALL NOT BE REVISED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT.
- DO NOT SCALE DRAWINGS. ALL WORK REQUIRING MEASURING SHALL BE DONE IN ACCORDANCE TO FIGURES ON DRAWINGS. ANY MISSING DIMENSIONS WILL BE FURNISHED UPON REQUEST.
- QUESTIONS REGARDING DOCUMENTS SHALL BE DIRECTED TO ARCHITECT FOR CLARIFICATIONS. WHERE INCONSISTENCIES EXIST IN THE DRAWINGS, LARGER SCALE DRAWINGS SHALL GOVERN. IF DIMENSIONS ARE INCONSISTENT OR NOT CORRECT, CONTACT ARCHITECT PRIOR TO CONSTRUCTION.
- THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. TO INTERPRET AND EXPLAIN THE DRAWINGS OTHER INFORMATION DEEMED NECESSARY BY THE ARCHITECT WILL BE FURNISHED TO THE CONTRACTOR WHEN AND AS REQUIRED BY THE WORK.
- WHERE A DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- ALL WORK SHALL COMPLY WITH APPLICABLE STATE AND LOCAL CODES. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE CONSTRUCTION AND SHALL PAY ALL RELATED FEES AND EXPENSES.
- CONTRACTOR SHALL VERIFY ALL MEASUREMENTS FOR WORK AND MATERIALS AT THE JOB AND BE RESPONSIBLE FOR THE ACCURACY OF SAME BEFORE THE ORDERING OF ANY MATERIALS OR LABOR.
- EXAMINE ARCHITECTURAL, STRUCTURAL, MECHANICAL & ELECTRICAL FIXTURE DRAWINGS FOR VERIFICATION OF DIMENSIONS AND LOCATIONS SHOWN ON ELECTRICAL AND PLUMBING DRAWINGS PROVIDED BY CONTRACTOR.
- CONTRACTOR TO LEAVE THE PREMISES AT THE END OF THE PROJECT IN A CLEAN CONDITION WITH THE REMOVAL OF ALL DEBRIS AND CONSTRUCTION RELATED EQUIPMENT, CLEAN ALL WINDOWS, ETC.
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS.
- THE CONTRACTOR SHALL PROVIDE OWNER WITH ALL WARRANTIES, GUARANTEES, AND INSTRUCTIONS ON ALL EQUIPMENT AND APPLIANCES.
- PROVIDE A MIN. 12 MONTH WARRANTY ON ALL NEW CONSTRUCTION, COMMENCING WITH THE FINAL APPROVED APPLICATION FOR PAYMENT. ALSO PROVIDE A SUBCONTRACTORS RELEASE OF LIENS TO THE OWNER WITH THE FINAL APPLICATION OF PAYMENT.
- ALL TEMPORARY UTILITIES NECESSARY FOR THE PROGRESS OF THE WORK SHALL BE OBTAINED BY THE CONTRACTOR AND PAID FOR BY THE OWNER.
- ALL WORK SHALL BE ACCOMPLISHED BY SKILLED MECHANICS WITH GOOD WORKMANSHIP.

**DIVISION 2 - SITE WORK**

- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS FOR THE CONSTRUCTION AND SHALL PAY ALL RELATED FEES AND EXPENSES.
- CONTRACTOR TO ROUGH GRADE AT ALL DISTURBED LANDSCAPED AREAS THAT ARE AFFECTED IN ANY WAY BY THE CONSTRUCTION PROCESS.
- CONTRACTOR TO REMOVE DEAD TREE + LARGE TREE NEAR GROUND EXCAVATION AREA.

**DIVISION 3 - CONCRETE**

- EXTENT OF CONCRETE WORK INCLUDES THE FURNISHING AND PLACING OF ALL CONCRETE AS SHOWN INCLUDING FOUNDATIONS, FOOTINGS, REINFORCING, DOWELS, ANCHORS, FORMWORK AND SLABS.
- ALL SLABS AND EXTERIOR FOUNDATION WALLS TO BE INSULATED AND WATERPROOFED PER CODE.

**DIVISION 6 - CARPENTRY**

- LUMBER TO BE SOUND STOCK, NEW, STRAIGHT, FREE FROM DEFECTS, OF CONSISTENT SIZE, AND KILN DRIED. EXPOSED WOOD MEMBERS, SHALL BE SELECTED FOR BEST POSSIBLE APPEARANCE. LUMBER SHALL BE SURFACED FOUR SIDES AND SHALL BE FURNISHED IN LONGEST PRACTICAL LENGTH.
- PROVIDE SOLID BLOCKING AT WALL ATTACHMENTS, BATH & MUDROOM ACCESSORIES, KITCHEN CABINETS AND ALL AREAS INDICATED ON DRAWINGS.
- GENERAL CARPENTRY MATERIAL SCHEDULE:  
STUD WALL: EXTERIOR 2x6 TYPICAL, INTERIOR 2x4 TYPICAL  
SHEATHING (EXTERIOR GRADE):  
WALLS 1/2" ZIP WALL  
ROOF 5/8" CDX
- 'TANALISED' ECOWOOD TREATMENT, OR EQUAL: ALL LUMBER FOR USE AS WOOD BLOCKINGS, CURBS, CANTS, NAILERS, ETC. IN DIRECT CONTACT CONC. FOUNDATION WALLS, OR AT MOISTURE PRONE AREAS.
- EXTERIOR: PRIMED CEDAR SHINGLES
- INTERIOR TRIM: TO MATCH EXISTING EXCEPT AT BASEMENT.  
BASEMENT = 1x4 NOMINAL (3/4" x 3 1/2" ACTUAL) FLAT STOCK FOR CASINGS. SQUARE EDGE SILLS. REFER TO DETAILS. ALL INTERIOR WOOD TO BE PAINT GRADE.
- EXTERIOR TRIM: TO MATCH EXISTING:  
1x NOMINAL CEDAR, PROFILE TO MATCH EXISTING, PAINT GRADE  
CEDAR WOOD SILLS, PAINT GRADE.

**DIVISION 7 - MOISTURE PROTECTION**

- NEW ASPHALT ROOF TO MATCH EXISTING.  
METAL GUTTERS AND DOWNSPOUTS TO MATCH EXISTING.  
ROOF EDGE & FLASHING TO MATCH EXISTING.
- INSULATION:**  
**CEILING:** R-40 CLOSED-CELL AT ALL CEILINGS - PROVIDE PROPER VENTILATION.  
**WALLS:** R-20 CLOSED-CELL - PROVIDE PROPER VENTILATION.  
**SLAB-ON-GRADE:** EXTEND R-12 WEATHER RESISTANT INSULATION 24" MIN. VERTICALLY & HORIZONTALLY AROUND ENTIRE ON-GRADE PERIMETER.
- PROVIDE DRAIN BOARD, 'ROXUL' OR EQUAL AT PERIMETER OF FOUNDATION WALL AS REQUIRED BY CODE.
- INSTALL FLASHING @ ALL EXTERIOR WALL & ROOF PENETRATIONS.

**DIVISION 8 - DOORS, WINDOWS, GLASS**

- INTERIOR WOOD DOORS:  
TRU-STILE (OR EQUAL) 1-3/8" PAINT GRADE PINE.
- EXTERIOR WINDOWS: MARVIN INTEGRITY
- EXTERIOR DOORS: REFER TO DOOR SCHEDULE  
RE-USE EXISTING ENTRY BULKHEAD DOOR.
- DOORS SHALL BE PREPARED FOR HARDWARE INSTALLATION PRIOR TO FINISHING. DOORS TO HAVE 3 SETS OF HINGES HAGER OR EQUAL. ALL HARDWARE FOR DOORS AND WINDOWS (INCLUDING HINGES) TO BE BRASS. CONTRACTOR TO PROVIDE AND INSTALL HARDWARE.

**DIVISION 9 - FINISHES**

- WALLS AND CEILING TO BE 1/2" PLASTERBOARD WITH SKIMCOAT PLASTER.
- INTERIOR PAINTING: ECO-SPEC WATER BASED PAINTS. WORK SHALL BE THOROUGHLY PREPARED FOR PAINTING BY PROPER WALL PREPARATION & SANDING IN ACCORDANCE WITH INDUSTRY STANDARDS. WOOD CASINGS SHALL BE MADE LEVEL AND TRUE WITH PROPER MITER JOINTS, ETC. AND MADE FLUSH PRIOR TO ANY PAINTING. ALL PLASTER CRACKS, HOLES, SPRAWLS, AND IMPERFECT CORNERS TO BE FILLED, TAPED, FLOATED AND SANDED PRIOR TO ANY PAINTING. WALL & CEILING COLORS SELECTION BY ARCHITECT.
- EXTERIOR PAINTING: PAINT ALL PRE-PRIMED CEDAR SHINGLES
- FLOORING:  
NEW WOOD FLOORING: TO MATCH EXISTING  
AT ALL ADDITION AREAS (EXCEPT BASEMENT & MASTER BATH)  
AT RENOVATED KITCHEN  
  
EXISTING WOOD FLOORING: SAND AND REFINISH  
FIRST FLOOR HALL OUTSIDE STAIR  
DINING ROOM  
LIVING ROOM (PATCH AS REQ'D @ NEW KITCHEN OPENING)  
  
CERAMIC TILE AT BATHROOMS  
  
PORCELAIN TILE AT MUDROOM
- WALL TILE:  
CERAMIC TILE AT KITCHEN BACKSPLASH  
CERAMIC TILE AT M.BATHROOM WALLS/SHOWER/TUB FACE.
- CEMENTICIOUS BACKER BOARD AT ALL AREAS TO RECEIVE TILE.
- 5/4" GRANITE COUNTERTOP AT KITCHEN AND MASTER BATH.
- KITCHEN CABINETS: RECESSED PANEL RAIL & STILE WITH FAUX INSET LOOK (BY INSTALLING END PANELS) = PAINTED WOOD.
- MUDROOM HOUSE MANAGEMENT CENTER = PTD. WOOD SHELF, PIN-UP BOARD ON WALL AND SMALL DRAWERS/CUBBIES FOR CELLPHONES AND CHARGERS.
- M.BEDROOM CLOSET. EXPLORE PRE-FAB CLOSET OPTIONS WITH OWNER. OTHER CLOSETS = CHROME ROD & PTD. WOOD SHELF.

**DIVISION 10 - SPECIAL**

- GAS FIREPLACE = 'COSMO' DIRECT VENT GAS FIREPLACE = PLACE HOLDER ONLY.

**DIVISION 11 - EQUIPMENT**

- CONTRACTOR TO PROVIDE SEPARATED QUOTE FOR INSTALL LABOR.  
**REFER TO PROJECT BOOK FOR FIXTURE SELECTIONS**  
  
KITCHEN: 30" OVEN & SPEED OVEN  
24" DRAWER MICROWAVE  
36" COOKTOP & DOWNDRAFT UNDERCABINET HOOD  
36" REFRIGERATOR  
24" DISHWASHER  
24" BEVERAGE CENTER  
INSINKERATOR "BADGER" GARBAGE DISPOSAL

**DIVISION 15- MECHANICAL AND PLUMBING**

- SYSTEM SHALL BE DESIGNED BY THE CONTRACTOR'S HVAC SUBCONTRACTOR. CONTRACTOR & SUBCONTRACTOR SHALL EXPLORE WITH ARCHITECT POSSIBILITY OF EXPANDING EXISTING EQUIPMENT TO ACCOMMODATE ADDITION VERSUS ADDING A SEPARATE AIR HANDLER & CONDENSER.
- SYSTEM MUST INCLUDE ALL NECESSARY EQUIPMENT, CONTROLS, ETC., FOR A COMPLETE OPERATIONAL HEATING/COOING FORCED AIR SYSTEM. REVIEW OF PROPOSAL SHALL BE MADE BY THE ARCHITECT PRIOR TO ANY INSTALLATION. SYSTEM SHALL MEET ALL LOCAL CODES AND ORDINANCES.
- BATH FANS: 'FANTECH' INLINE, BACK DRAFT HOUSINGS, REMOTE MOTOR.
- DOMESTIC WATER PIPING SHALL BE TYPE "PEX-C" APPROVED FOR POTABLE WATER. ALL PIPING EXPOSED IN BATHROOMS SHALL BE CHROME. PROVIDE SHUT-OFF VALVES FOR ALL SUPPLY LINES AT POINT OF CONNECTION TO ANY APPLIANCE, FIXTURE OR PIECE OF MECHANICAL EQUIPMENT. ALL HEATING, HOT WATER PIPING AND DUCTWORK SHALL BE INSULATED.
- CONTRACTOR TO PROVIDE ALLOWANCE FOR ALL PLUMBING FIXTURES. ALLOWANCE TO INCLUDE FIXED COST FOR SELECTED FIXTURES.  
**REFER TO PROJECT BOOK FOR FIXTURE SELECTIONS**  
  
CONTRACTOR TO PRVIDE RADON PIPE AND BASEMENT AT EXISTING
- BASEMENT.

**DIVISION 16- ELECTRICAL**

- ALL OUTLETS AND SWITCHES TO BE 'LUTRON', ROCKER PLATE SWITCHES, SLIDING DIMMERS, AND MATCHING PLUGS. GANG SWITCHES WHERE POSSIBLE. ALL EXTERIOR OUTLETS TO BE WEATHERPROOF. PROVIDE G.F.I. CIRCUIT BREAKER RECEPTACLES AT WET AREAS. PROVIDE DIGITAL, PROGRAMMABLE THERMOSTATS. OWNER TO SUPPLY APPLIANCES, CONTRACTOR TO INSTALL. ELECTRICAL SUBCONTRACTOR TO VERIFY SCHEDULE PART NUMBER AND ANY ASSOCIATED PART COMPONENTS.
- CONTRACTOR WILL SCHEDULE "ROUGH" WALK-THROUGH WITH OWNER TO VERIFY TYPES, LOCATION & SWITCHING OF ELECTRICAL DEVICES/FIXTURE.
- THERMOSTATS SHALL BE NEST. OWNER TO PROVIDE & CONTRACTOR TO INSTALL.
- SPEAKERS & CONTROLS SHALL BE SONOS. OWNER TO PROVIDE CEILING SPEAKERS AND SONOS BOXES. CONTRACTOR TO INSTALL RECESSED CEILING SPEAKERS AND RUN SPEAKER WIRE TO BASEMENT & LOCATION AGREED UPON IN FIELD FOR SONOS CONTROLS.

**ALTERNATE SCOPE TO PRICE SEPARATELY**

- PROVIDE SEPARATE PRICE/ESTIMATE FOR SALVAGING EXISTING RAISED DECK MATERIAL AND INSTALLING DECK AT EAST SIDE OF ADDITION.
- PROVIDE ALTERNATE ALLOWANCE FOR REFINISHING EXISTING ALL FIRST FLOOR WOOD FLOORS.
- ADDING ZONES TO EXISTING HVAC TO:  
SEPARATE ZONE FOR 1ST FLOOR  
SEPARATE ZONE FOR 2ND FLOOR MASTER BEDROOM SUITE.  
SEPARATE ZONE FOR BASEMENT FINISHED SPACES.
- PROVIDE SEPARATE PRICE/ESTIMATE FOR ELEC. RADIANT HEAT AT:  
MUDROOM  
M.BATHROOM

**Tsao Residence**

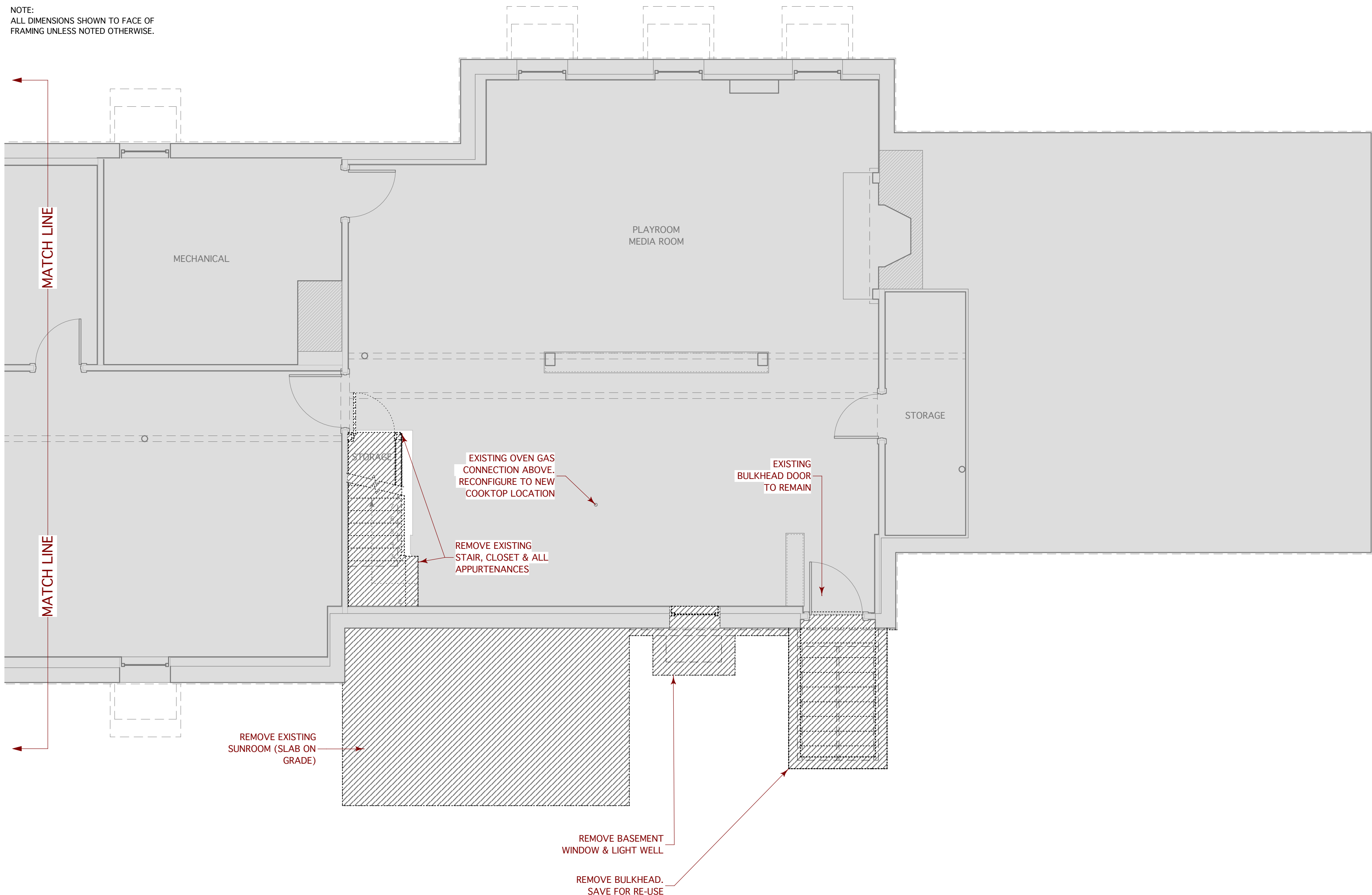
Residential Renovation  
& Addition  
1771 Washington Street  
Newton, ma. 02466

#	DESCRIPTION / DATE

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**Notes**

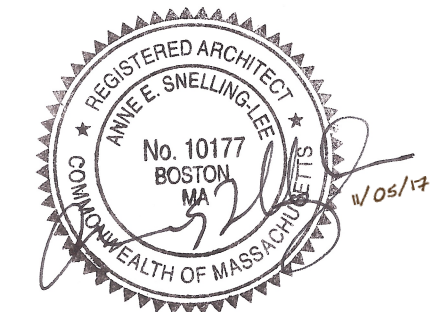
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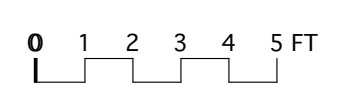
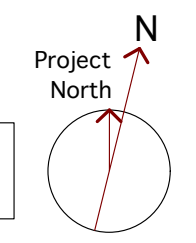
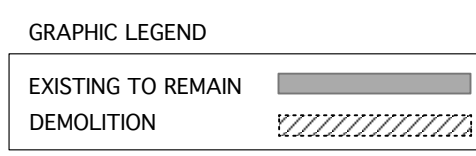
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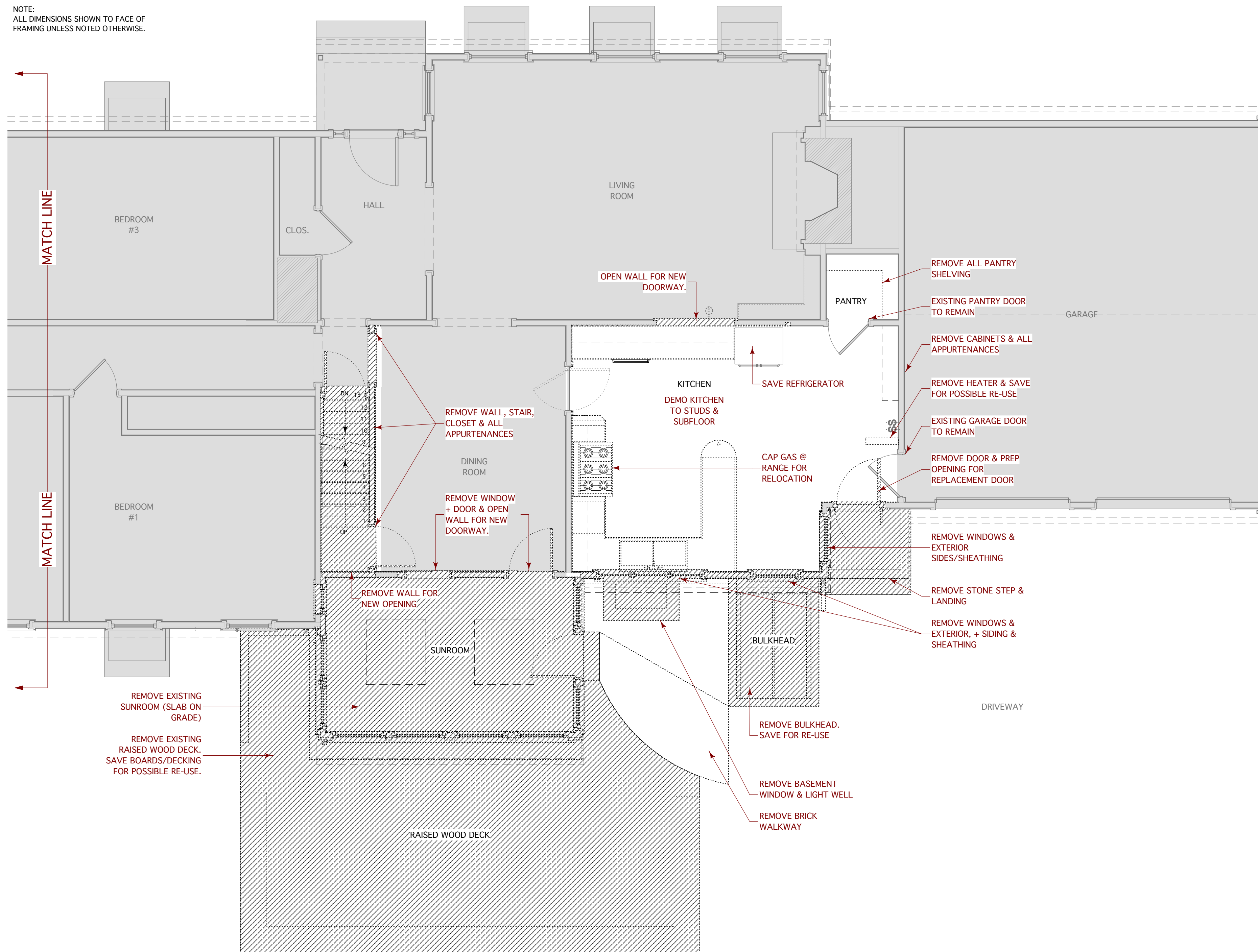
DEMOLITION  
Basement Plan



D1.0



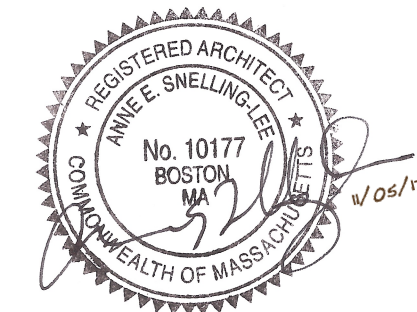
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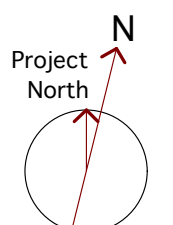
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DEMOLITION  
First  
Floor Plan

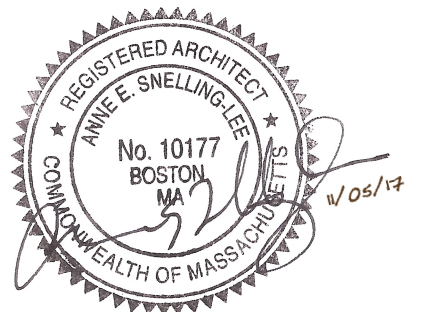
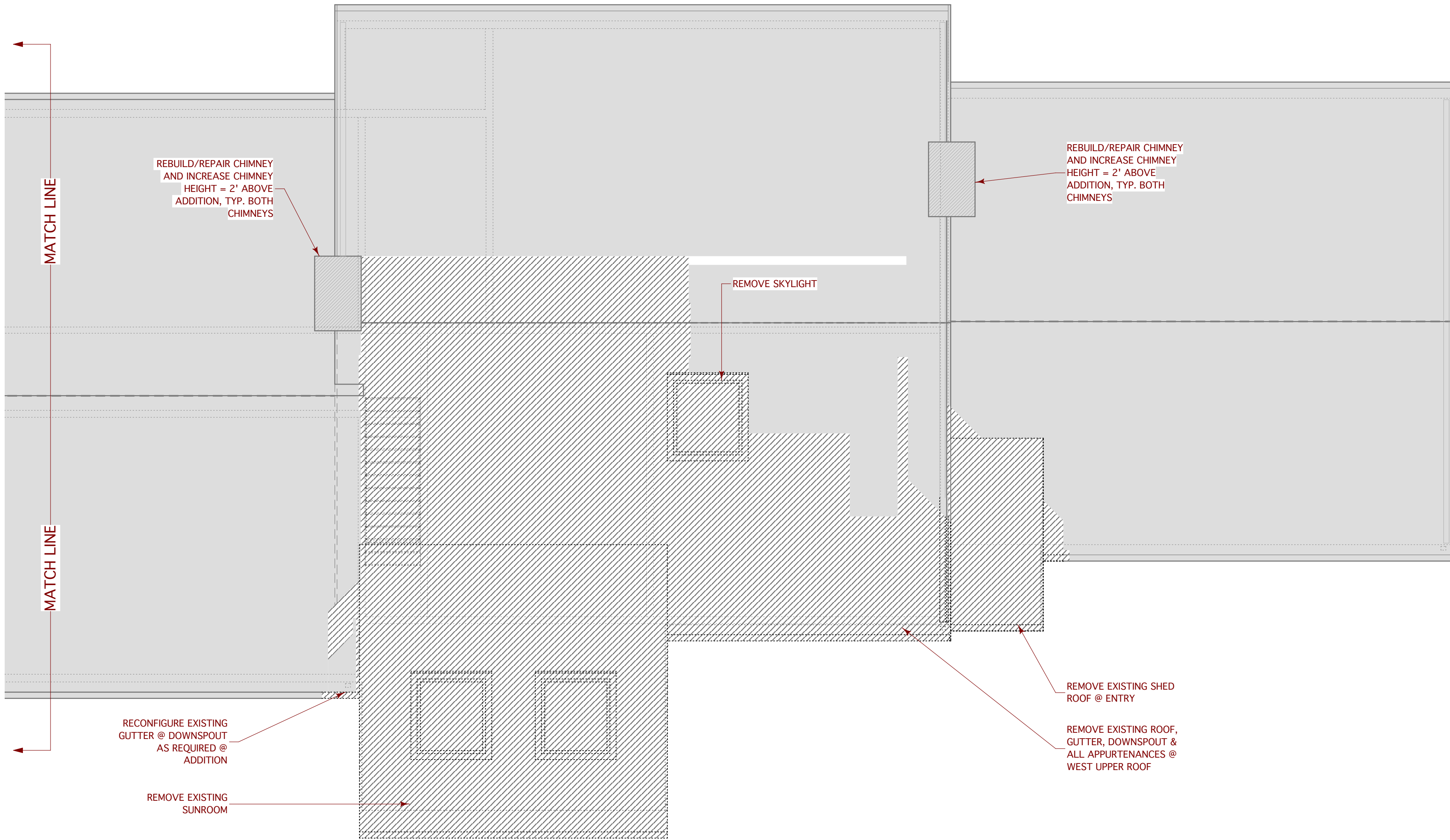
D1.1

GRAPHIC LEGEND  
EXISTING TO REMAIN  
DEMOLITION



0 1 2 3 4 5 FT

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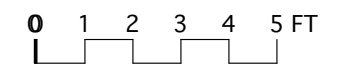
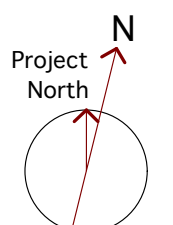
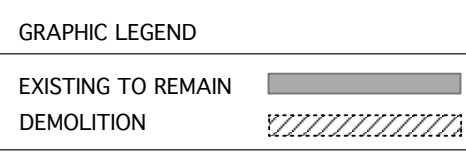
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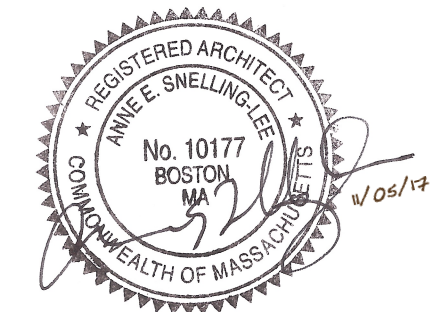
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DEMOLITION  
Roof Plan

D1.2







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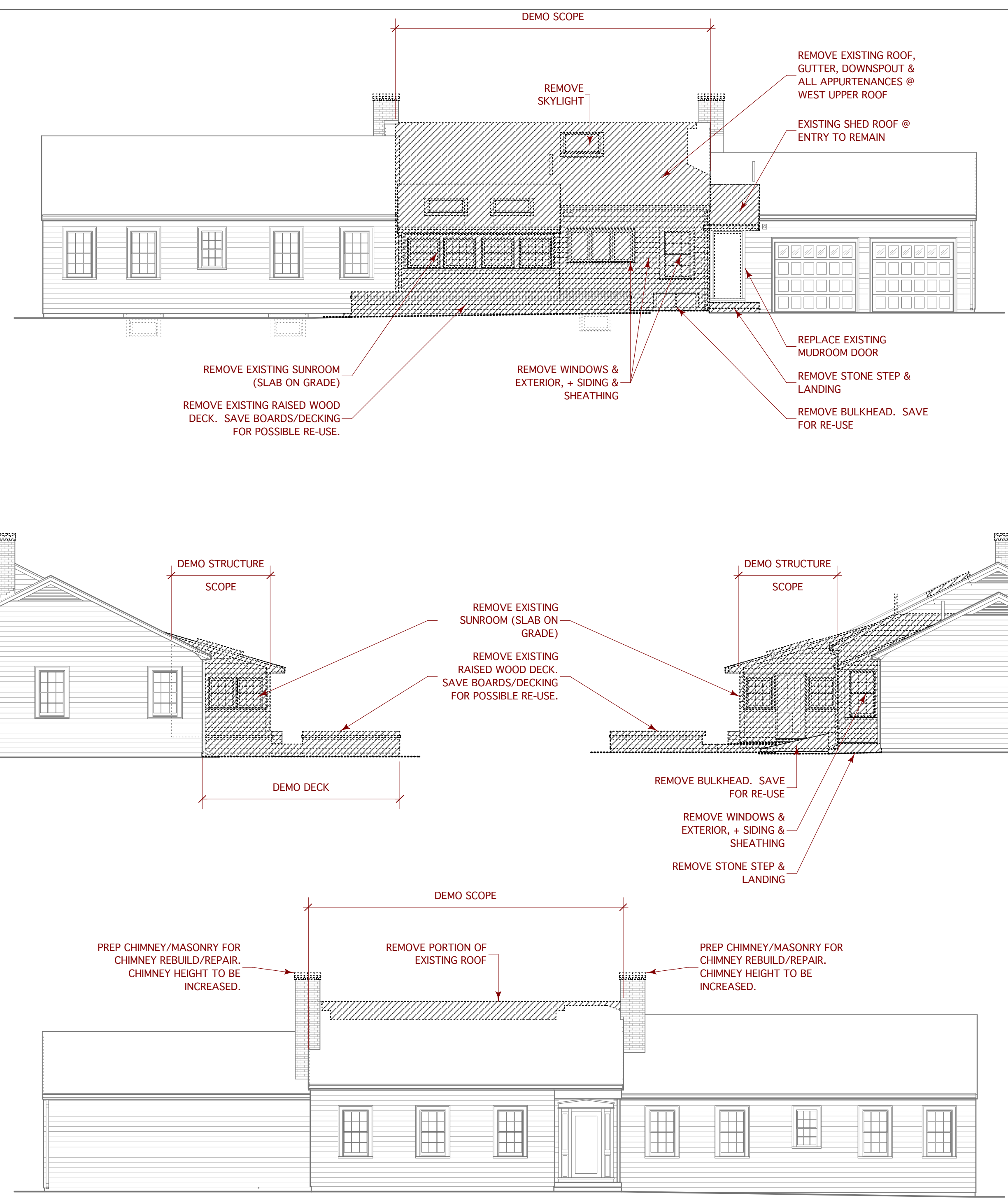
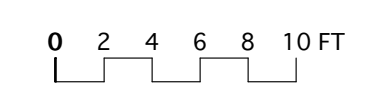
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DEMOLITION  
 Exterior Elevations

D2.0



PREP CHIMNEY/MASONRY FOR CHIMNEY REBUILD/REPAIR. CHIMNEY HEIGHT TO BE INCREASED.

PREP CHIMNEY/MASONRY FOR CHIMNEY REBUILD/REPAIR. CHIMNEY HEIGHT TO BE INCREASED.

REMOVE EXISTING SUNROOM (SLAB ON GRADE)  
 REMOVE EXISTING RAISED WOOD DECK. SAVE BOARDS/DECKING FOR POSSIBLE RE-USE.

REMOVE WINDOWS & EXTERIOR, + SIDING & SHEATHING

REPLACE EXISTING MUDROOM DOOR  
 REMOVE STONE STEP & LANDING  
 REMOVE BULKHEAD. SAVE FOR RE-USE

REMOVE EXISTING SUNROOM (SLAB ON GRADE)  
 REMOVE EXISTING RAISED WOOD DECK. SAVE BOARDS/DECKING FOR POSSIBLE RE-USE.

REMOVE BULKHEAD. SAVE FOR RE-USE  
 REMOVE WINDOWS & EXTERIOR, + SIDING & SHEATHING  
 REMOVE STONE STEP & LANDING

PREP CHIMNEY/MASONRY FOR CHIMNEY REBUILD/REPAIR. CHIMNEY HEIGHT TO BE INCREASED.

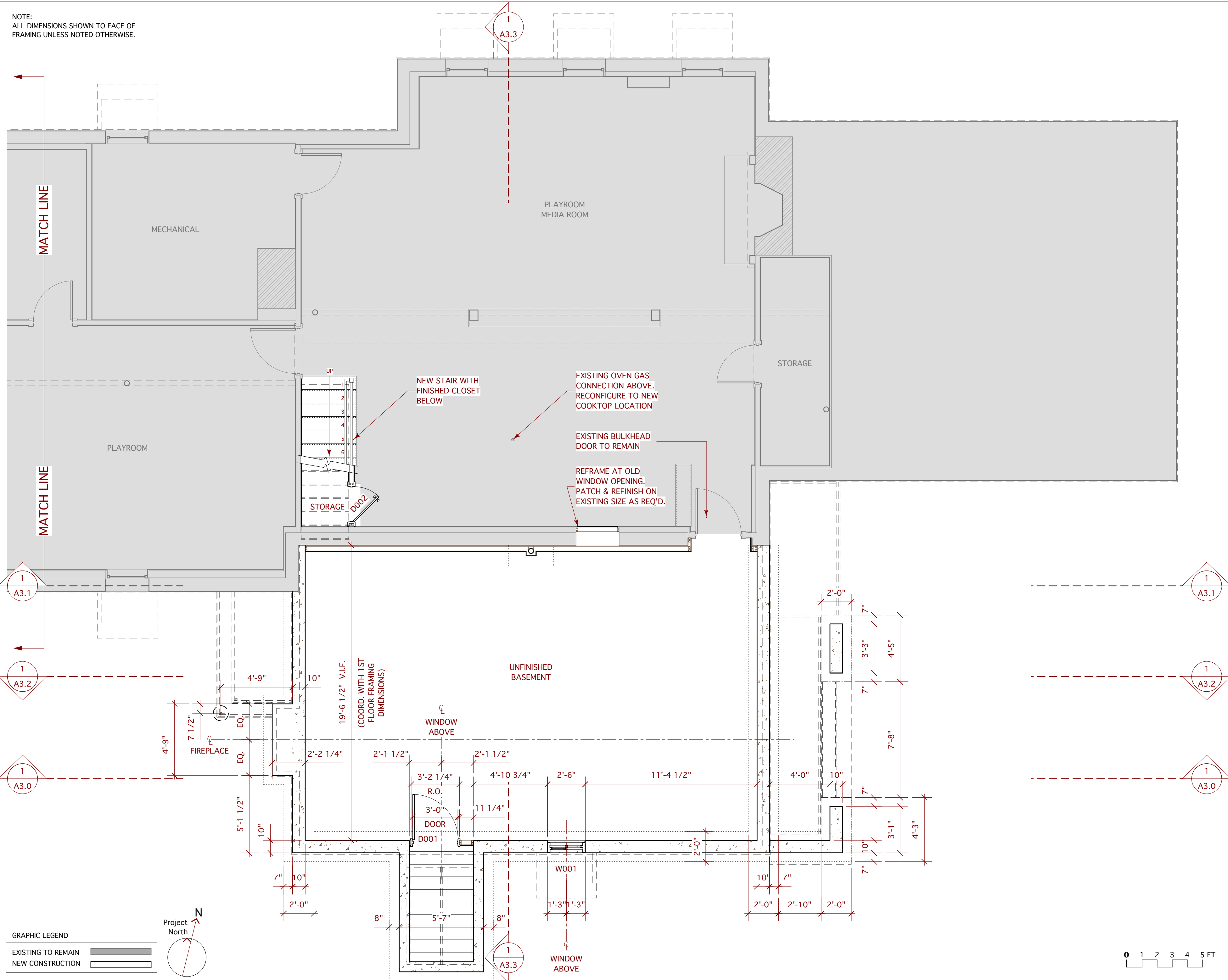
REMOVE PORTION OF EXISTING ROOF

PREP CHIMNEY/MASONRY FOR CHIMNEY REBUILD/REPAIR. CHIMNEY HEIGHT TO BE INCREASED.





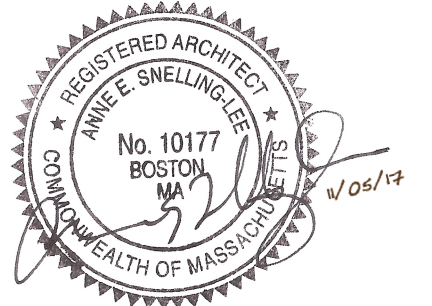
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FLOOR PLAN  
Basement Plan

A1.1



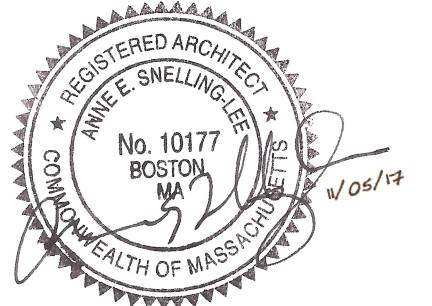


NOTE:  
ALL DIMENSIONS SHOWN TO FACE OF  
FRAMING UNLESS NOTED OTHERWISE.

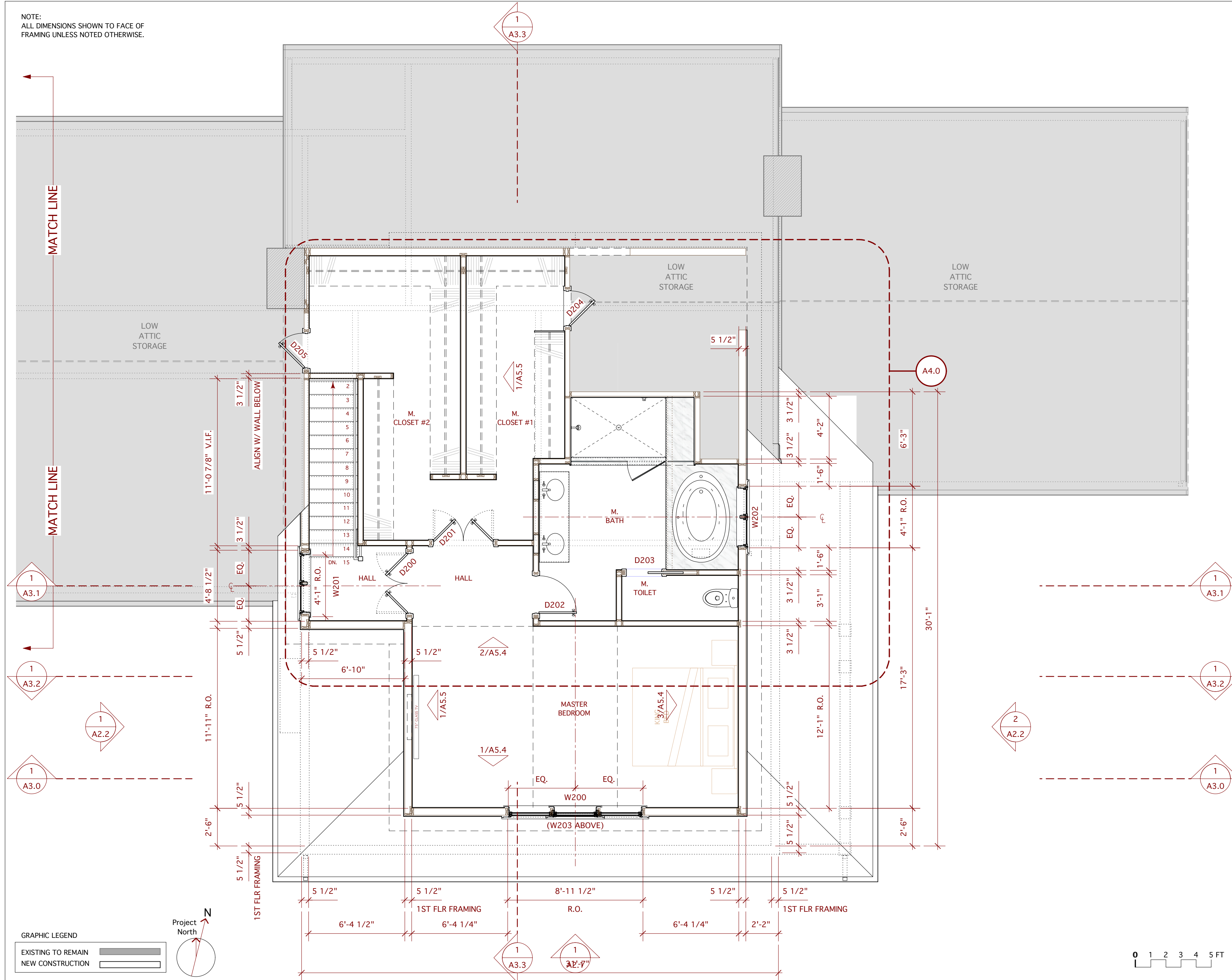
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**Tsao Residence**  
Residential Renovation  
& Addition  
1771 Washington Street  
Newton, ma. 02466

#1	CLIENT DESIGN CHANGES
#	DESCRIPTION / DATE

SCALE 1/4"=1'-0"  
DATE 02/08/17  
DRAWN BY ASL  
PROJECT NO. 0716

FLOOR PLAN  
Attic Plan

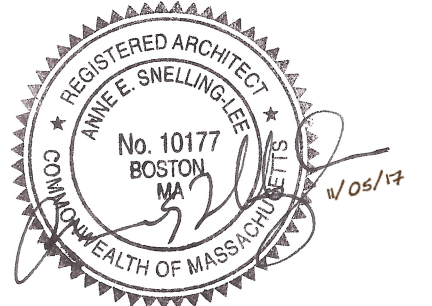
A1.3

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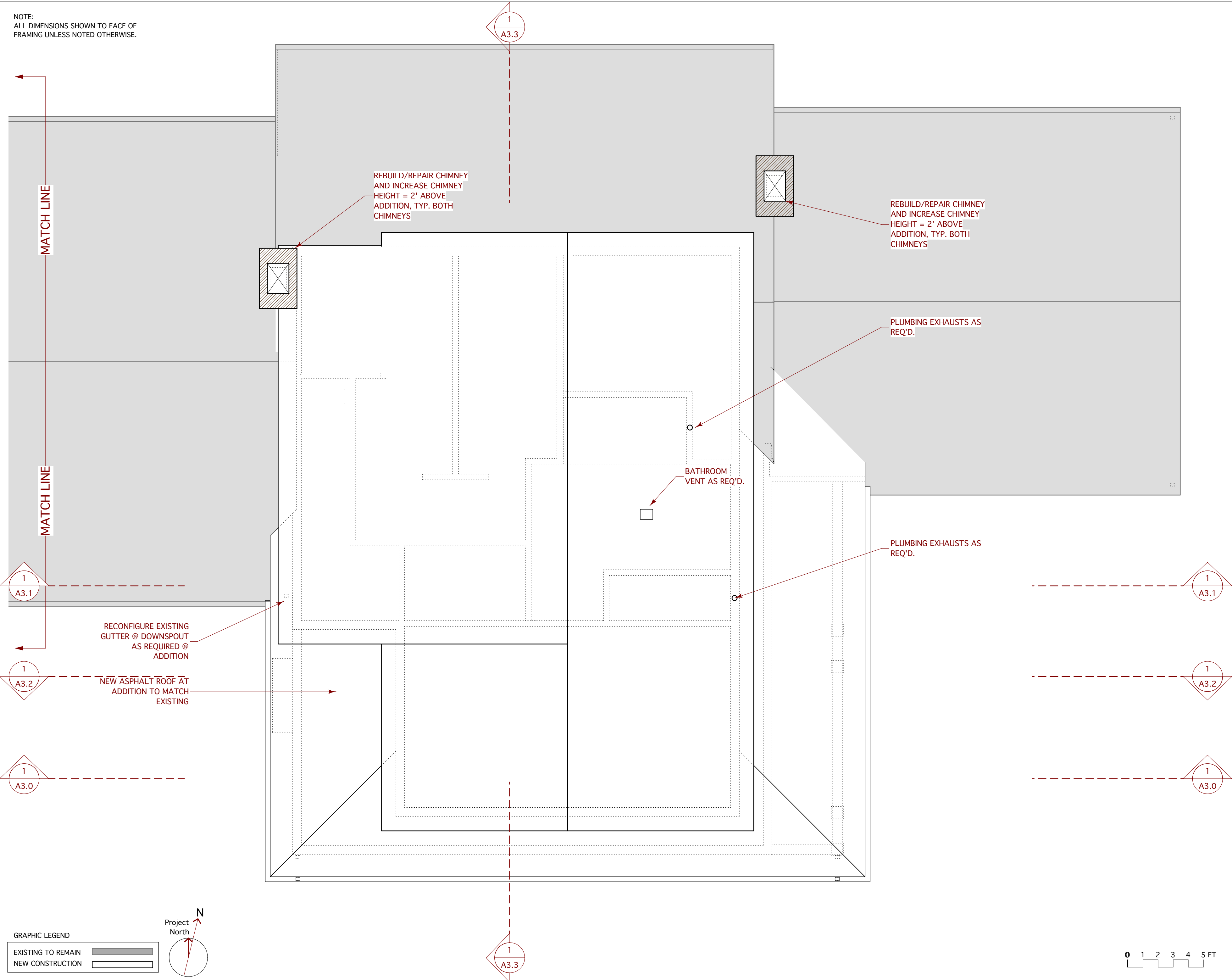
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MATCH LINE

MATCH LINE

REBUILD/REPAIR CHIMNEY  
AND INCREASE CHIMNEY  
HEIGHT = 2' ABOVE  
ADDITION, TYP. BOTH  
CHIMNEYS

REBUILD/REPAIR CHIMNEY  
AND INCREASE CHIMNEY  
HEIGHT = 2' ABOVE  
ADDITION, TYP. BOTH  
CHIMNEYS

PLUMBING EXHAUSTS AS  
REQ'D.

BATHROOM  
VENT AS REQ'D.

PLUMBING EXHAUSTS AS  
REQ'D.

RECONFIGURE EXISTING  
GUTTER @ DOWNSPOUT  
AS REQUIRED @  
ADDITION

NEW ASPHALT ROOF AT  
ADDITION TO MATCH  
EXISTING

1  
A3.1

1  
A3.2

1  
A3.0

1  
A3.3

1  
A3.1

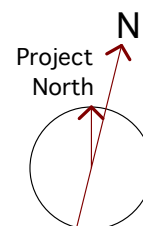
1  
A3.2

1  
A3.0

1  
A3.3

GRAPHIC LEGEND

EXISTING TO REMAIN  
NEW CONSTRUCTION



0 1 2 3 4 5 FT

**Tsao Residence**  
Residential Renovation  
& Addition  
1771 Washington Street  
Newton, ma. 02466

# DESCRIPTION / DATE  
SCALE 1/4" = 1'-0"  
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FLOOR PLAN  
Roof Plan

A1.4





NOTE:  
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FRAMING UNLESS NOTED OTHERWISE.

REFLECTED CEILING PLAN NOTES  
1 REFER TO ELECTRICAL PLANS (E1.1) FOR FIXTURE TYPES AND SWITCHING.  
2 REFER TO E1.0 FOR ELECTRICAL FIXTURE LEGEND & NOTES.  
3 CLIENT TO CONFIRM LOCATIONS FOR CLG. SPEAKERS IN THE FIELD.



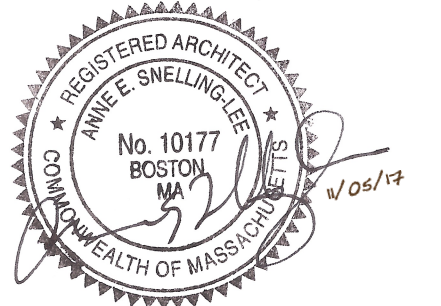
54 Carver Road  
newton, ma 02136  
t1 617-454-4665  
www.aslstudios.com

Architects, inc.  
NCARB LEED AP BD+C

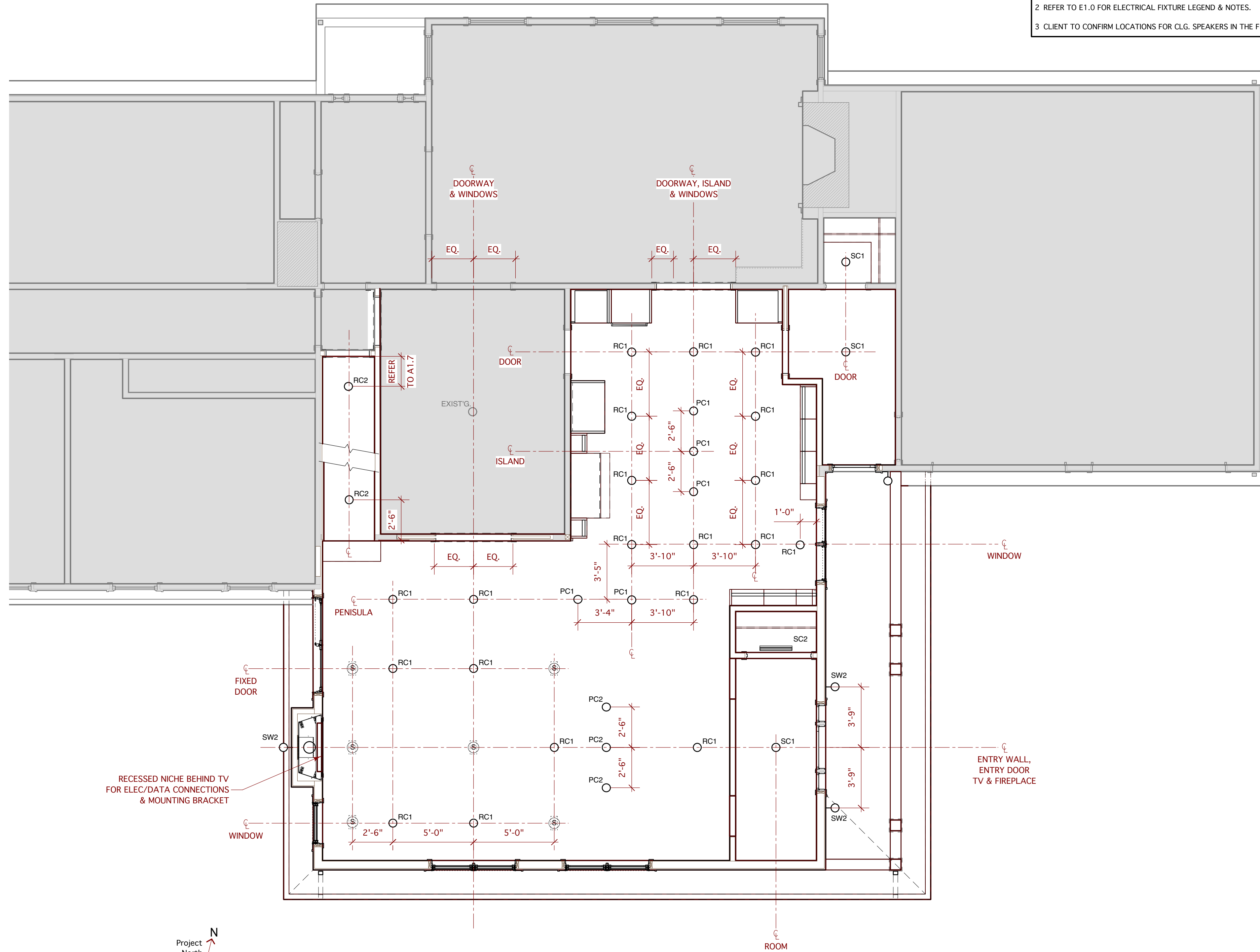
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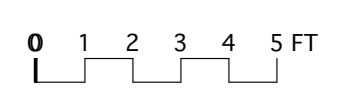
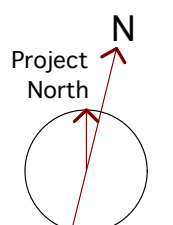
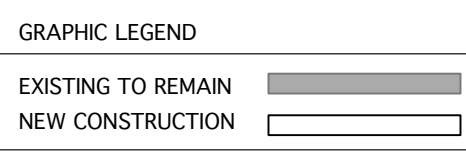
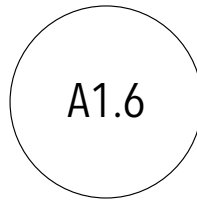


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Residential Renovation  
& Addition  
1771 Washington Street  
Newton, ma. 02466

#	DESCRIPTION / DATE

SCALE \_\_\_\_\_  
DATE 02/08/17  
DRAWN BY ASL  
PROJECT NO. 0716

REFLECTED CEILING PLAN  
First  
Floor Plan



NOTE:  
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REFLECTED CEILING PLAN NOTES

- 1 REFER TO ELECTRICAL PLANS (E1.2) FOR FIXTURE TYPES AND SWITCHING.
- 2 REFER TO E1.0 FOR ELECTRICAL FIXTURE LEGEND & NOTES.
- 3 CLIENT TO CONFIRM LOCATIONS FOR CLG. SPEAKERS IN THE FIELD.



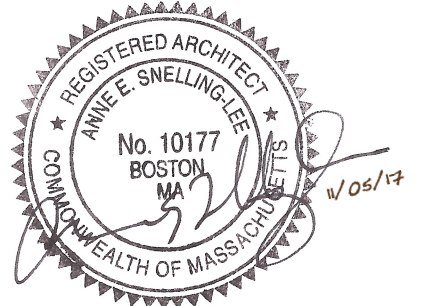
54 Carver Road  
Newton, MA 02459  
Tel: 617-454-4665  
www.aslstudios.com

Architects, Inc.  
NCARB LEED AP BD+C

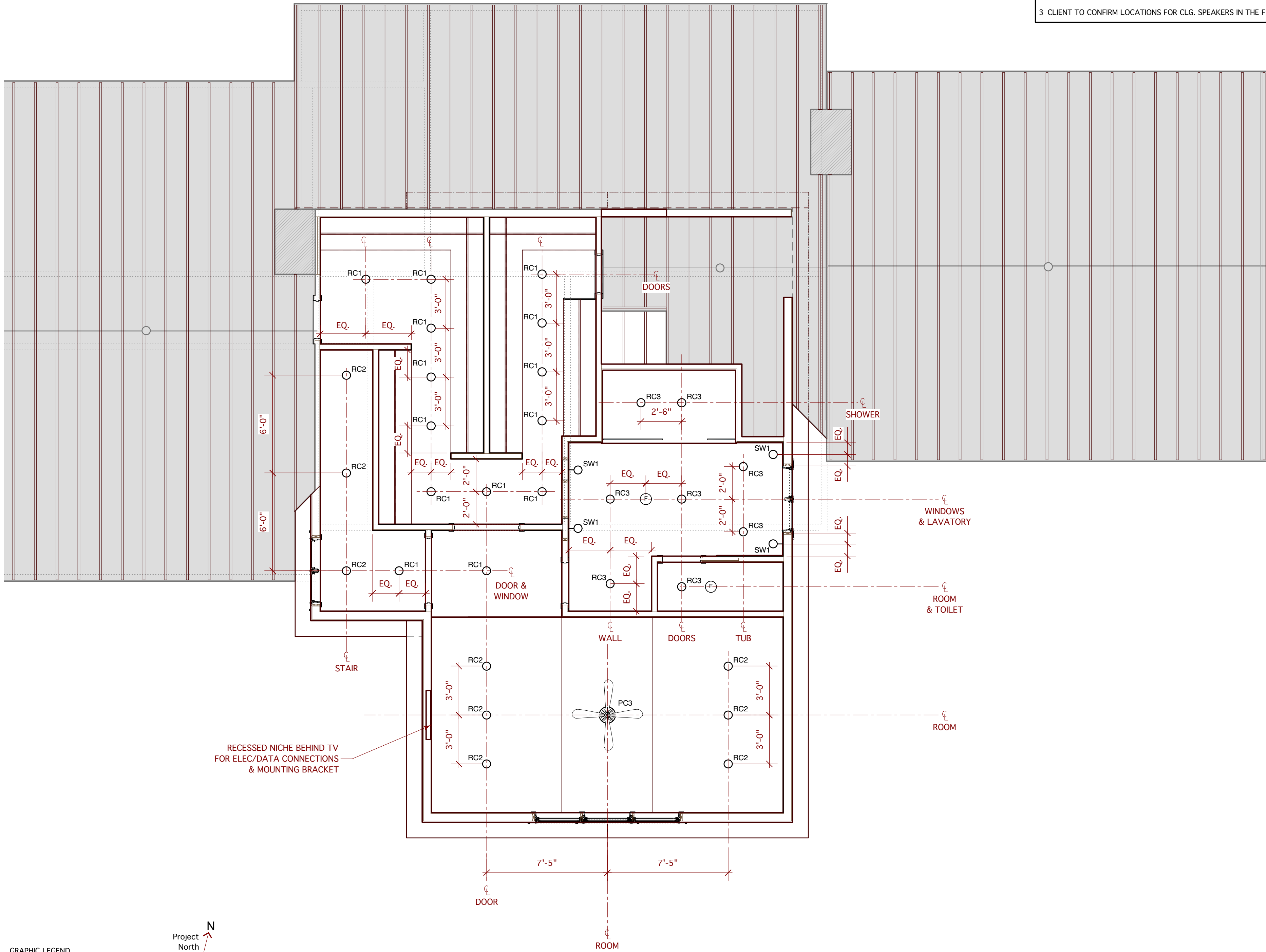
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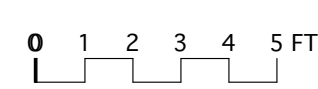
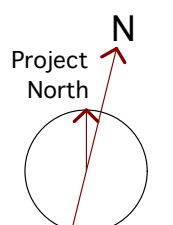
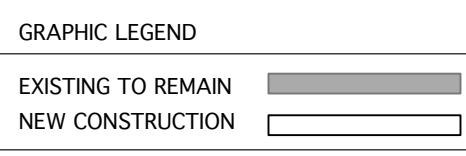
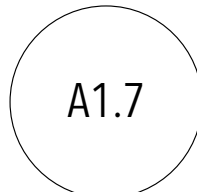


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Newton, MA 02466

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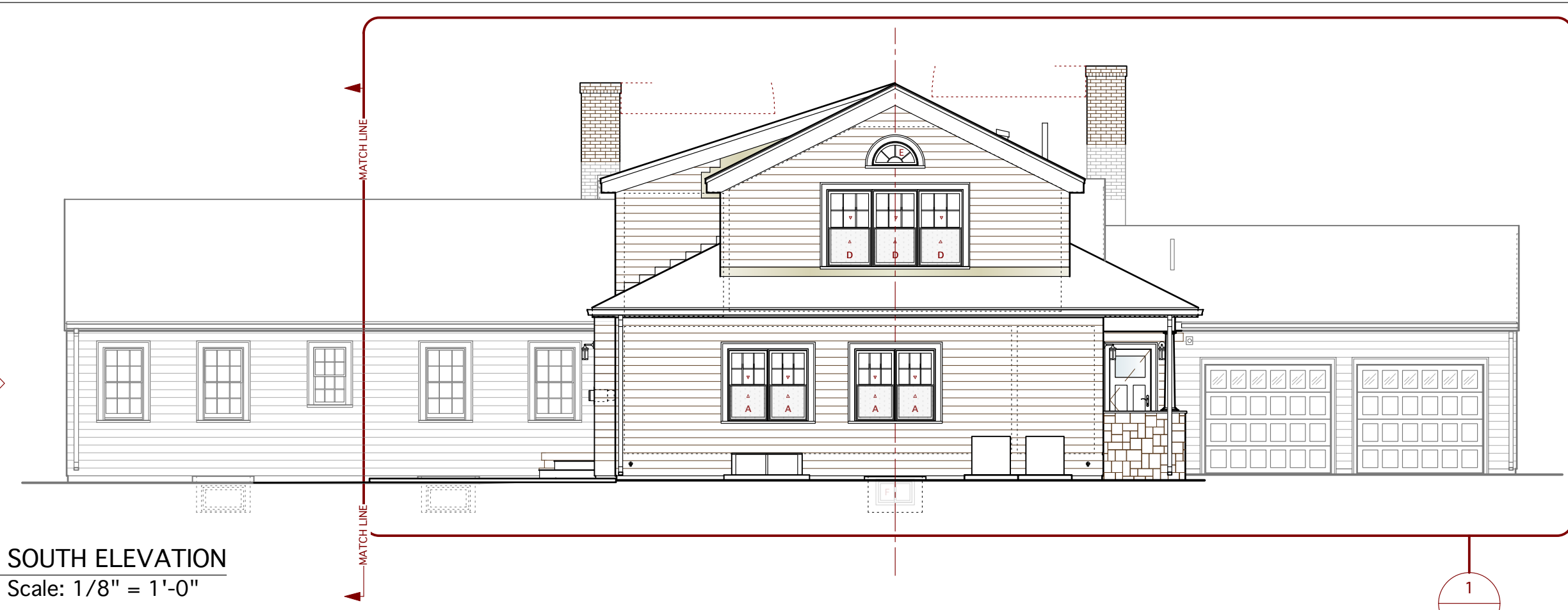
REFLECTED CEILING PLAN  
Attic Plan



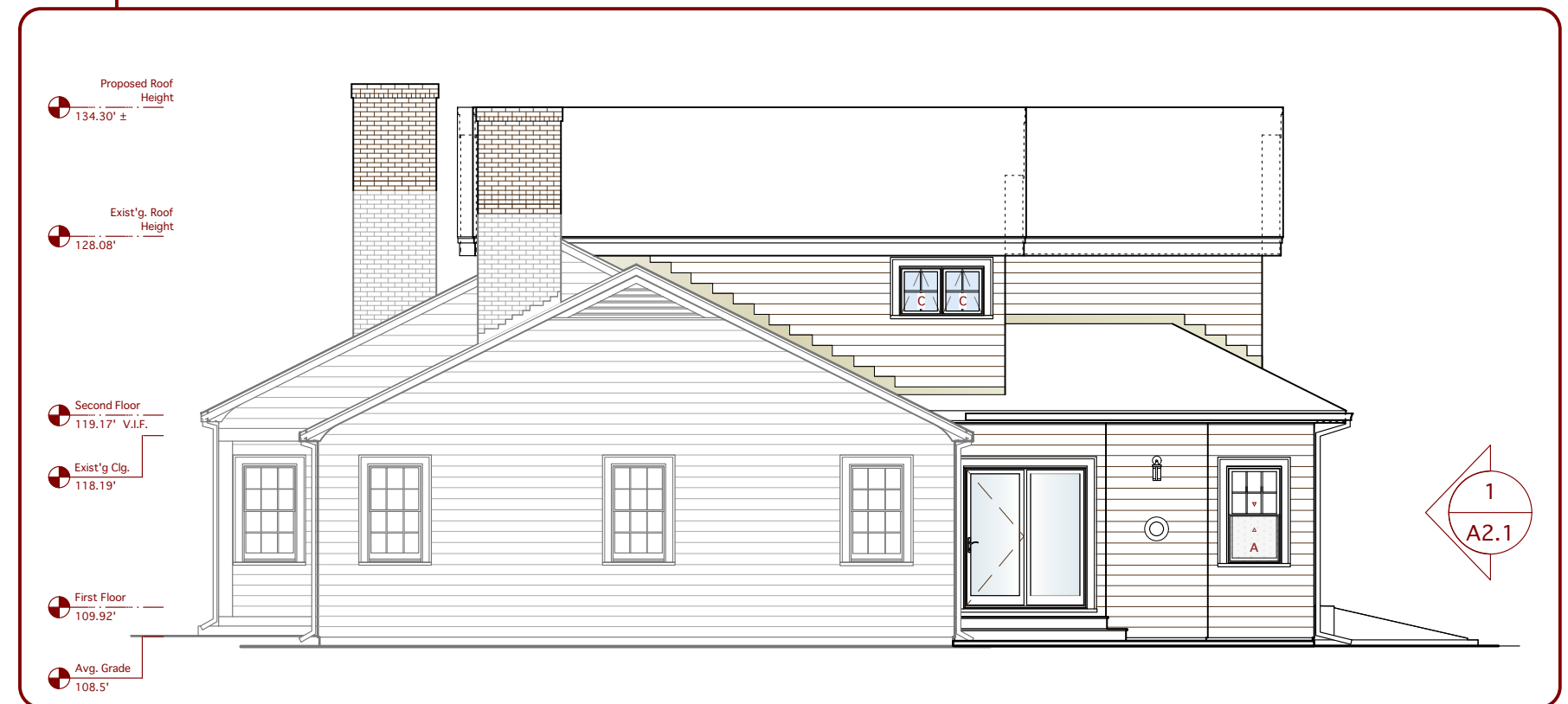




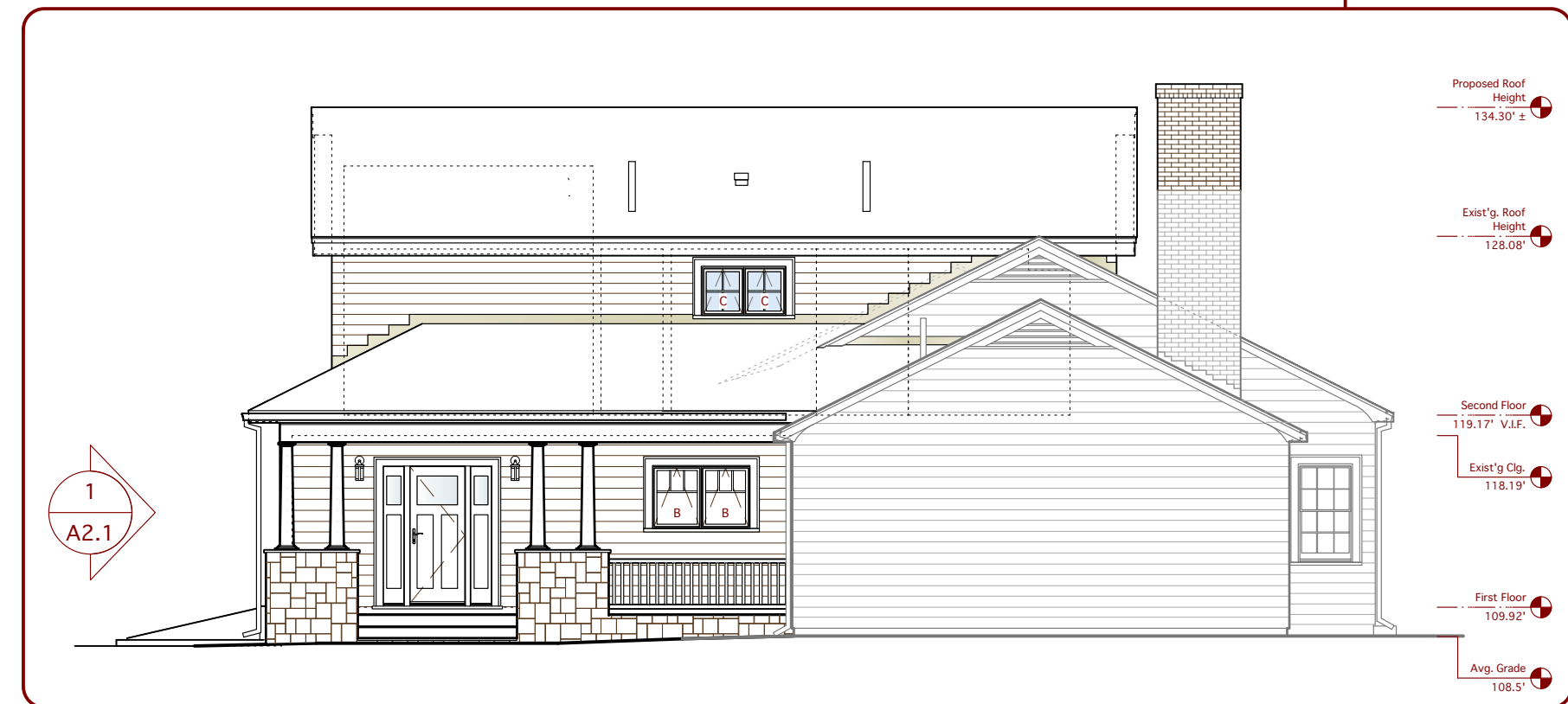
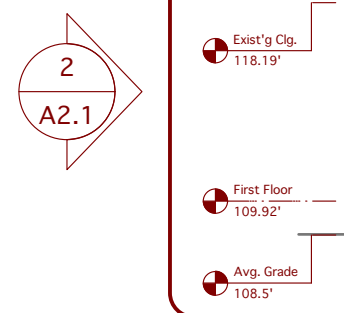
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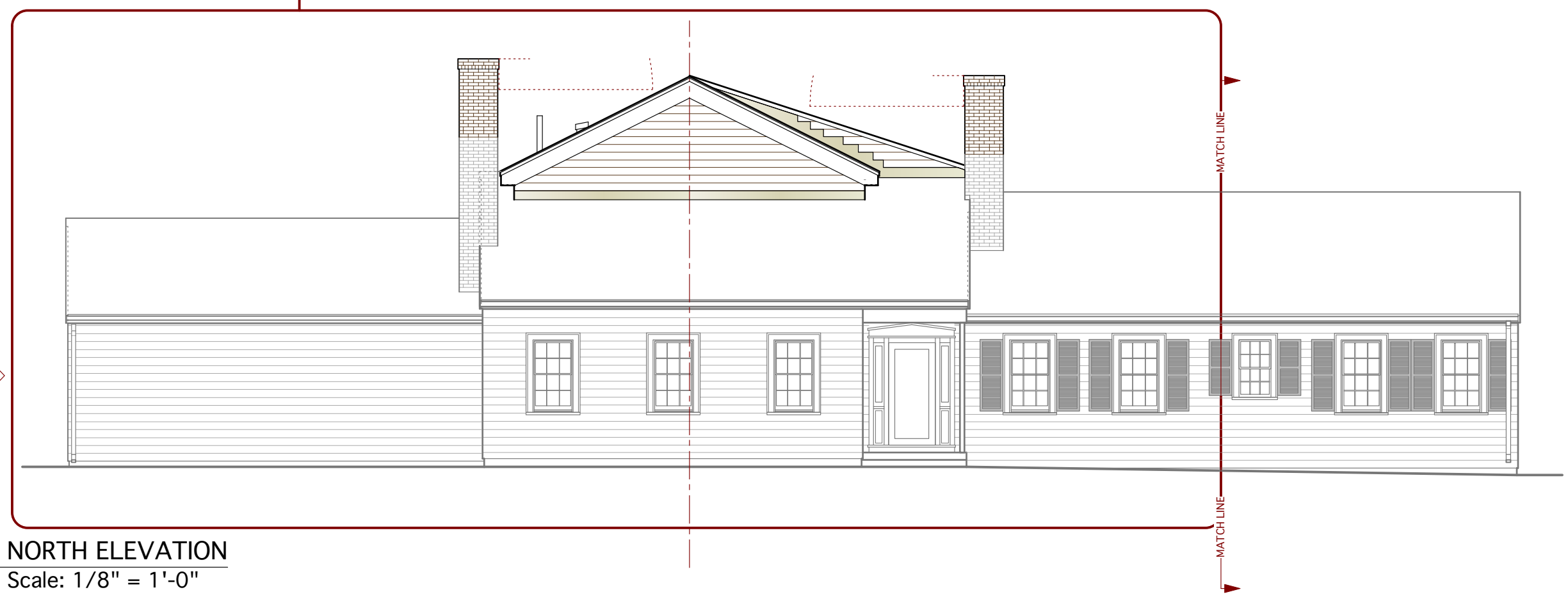
1 SOUTH ELEVATION  
 Scale: 1/8" = 1'-0"



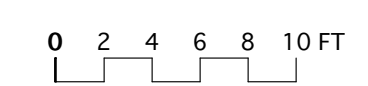
2 WEST ELEVATION  
 Scale: 1/8" = 1'-0"



3 EAST ELEVATION  
 Scale: 1/8" = 1'-0"



4 NORTH ELEVATION  
 Scale: 1/8" = 1'-0"

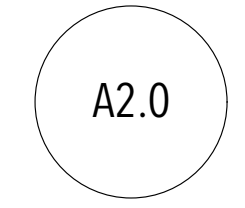


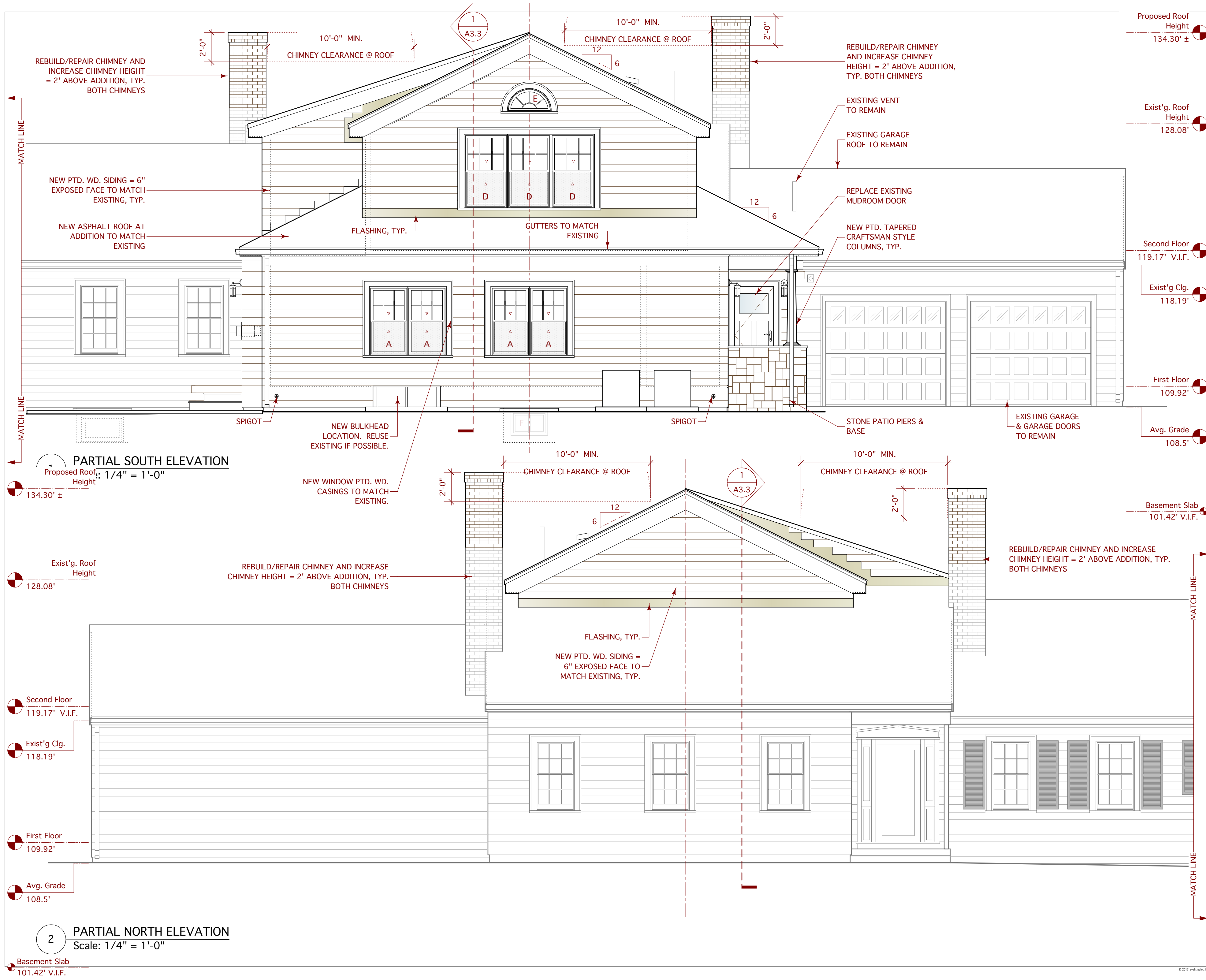
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SCALE 1/8" = 1'-0"  
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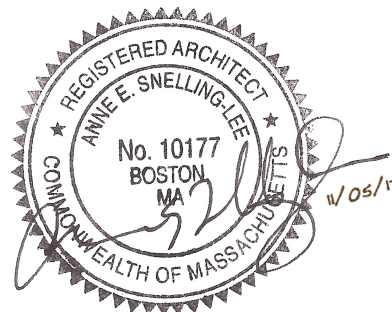
EXTERIOR ELEVATIONS  
 Small Scale  
 Elevation





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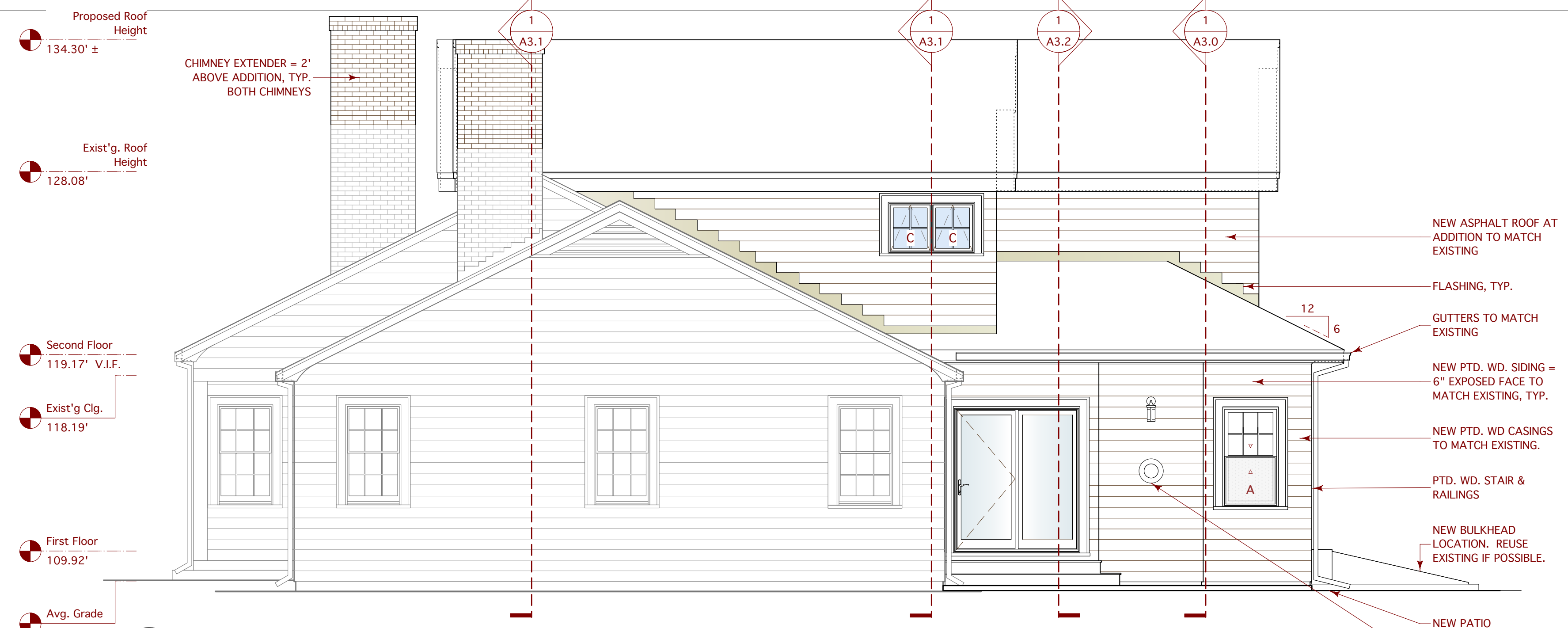
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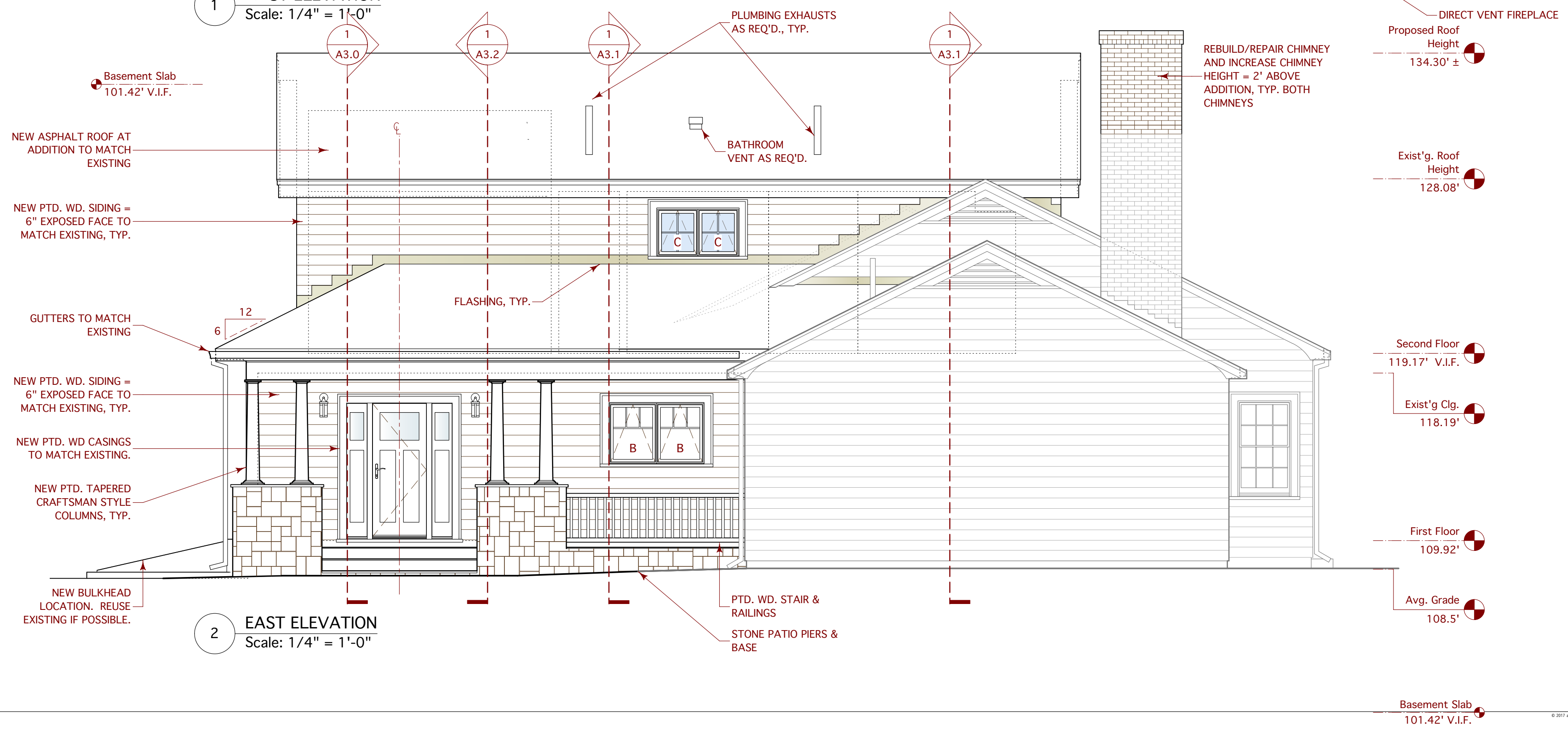
EXTERIOR ELEVATIONS  
 West  
 Partial Elevation



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**1 WEST ELEVATION**  
 Scale: 1/4" = 1'-0"



**2 EAST ELEVATION**  
 Scale: 1/4" = 1'-0"

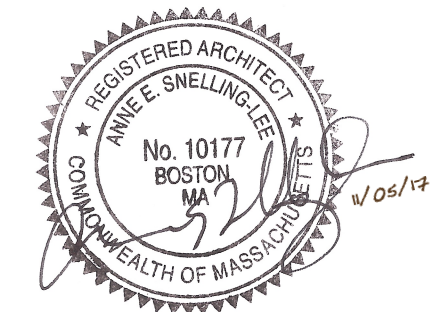
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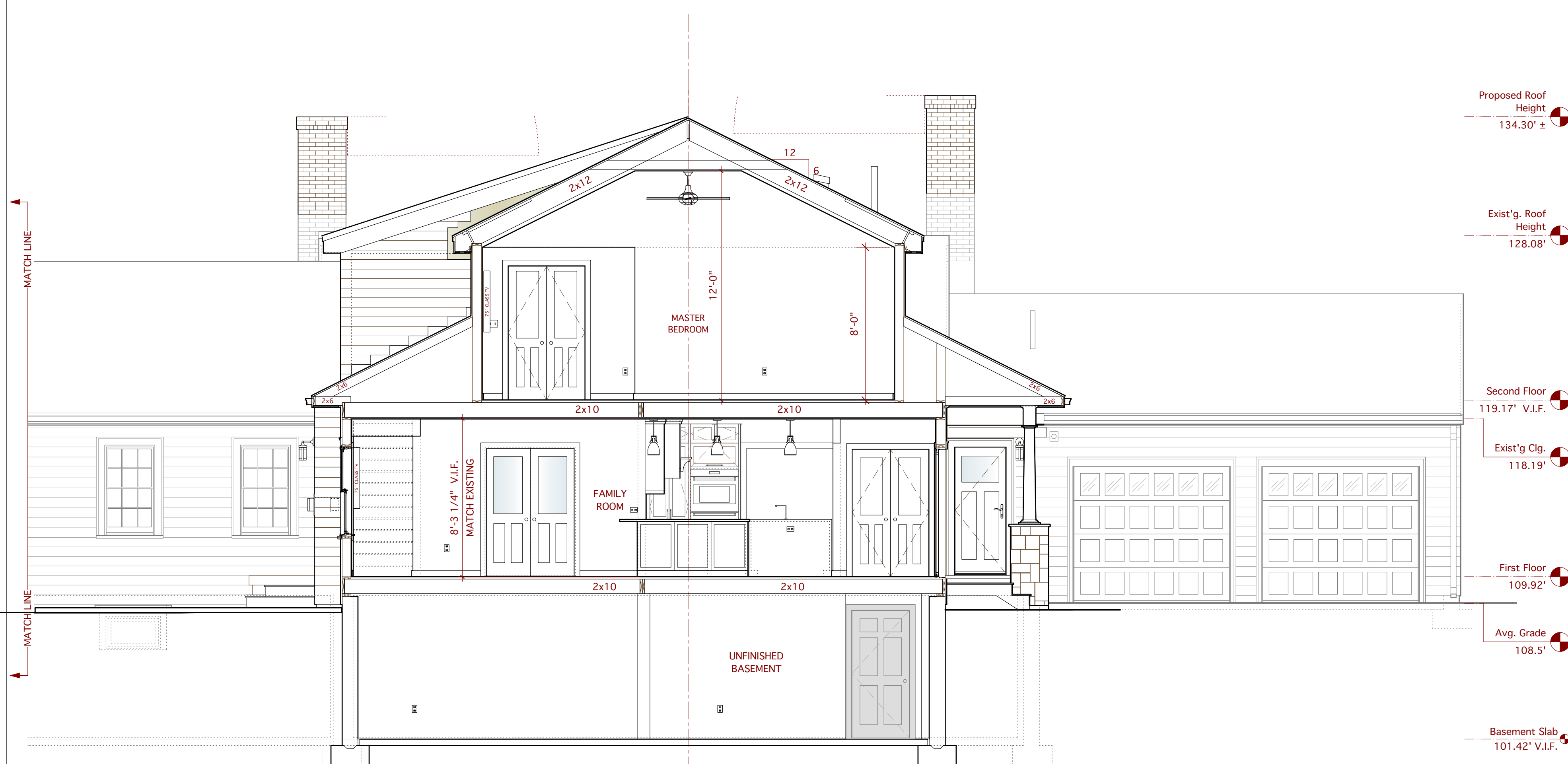
SCALE: 1/4" = 1'-0"  
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EXTERIOR ELEVATIONS  
 North & South  
 Partial Elevations





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1 SECTION LOOKING NORTH  
Scale: 1/4" = 1'-0"

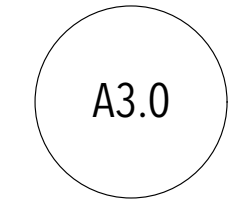
- Proposed Roof Height 134.30' ±
- Exist'g. Roof Height 128.08'
- Second Floor 119.17' V.I.F.
- Exist'g. Clg. 118.19'
- First Floor 109.92'
- Avg. Grade 108.5'
- Basement Slab 101.42' V.I.F.

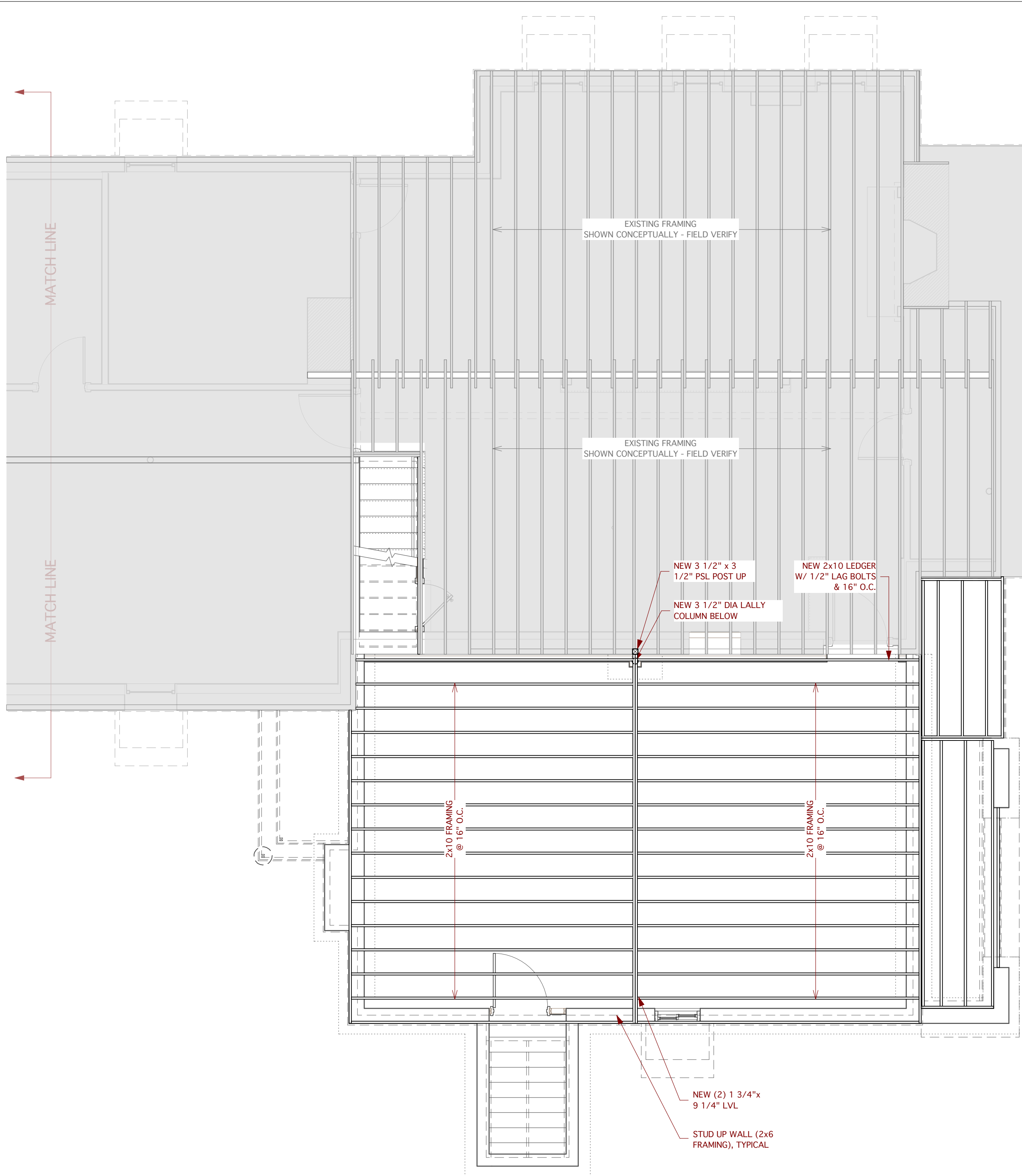
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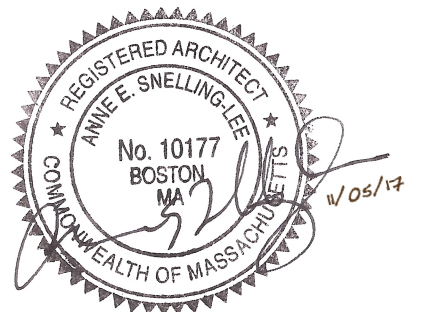
BUILDING SECTIONS  
West  
Section-1





STRUCTURAL GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. IN CASE OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED AND SHALL RESOLVE THE CONFLICT.
2. THE CONTRACTOR SHALL MAKE NO DEVIATION FROM DESIGN DRAWINGS WITHOUT PRIOR REVIEW BY THE ARCHITECT.
3. WORK NOT INDICATED ON A PART OF THE DRAWINGS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
4. ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND LOCAL LAWS AND REGULATIONS.
5. THE STRUCTURAL DESIGN OF THE BUILDING IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAKE PROPER AND ADEQUATE PROVISIONS FOR STABILITY OF, AND ALL STRESSES TO, THE STRUCTURE DUE TO ANY CAUSE DURING CONSTRUCTION.
6. VERIFY AND COORDINATE DIMENSIONS RELATED TO THE PROJECT.
7. EXAMINE ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR VERIFICATION OF LOCATION AND DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS.
8. CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL REQUEST ALL DIMENSIONS OR INFORMATION REQUIRED TO PERFORM THE WORK FROM THE ARCHITECT. WORK COMPLETED BY THE CONTRACTOR WITHOUT DIMENSIONS OR INFORMATION SHALL BE DONE AT HIS OWN RISK AND SHALL BE REMOVED AND REINSTALLED TO THE SPECIFICATIONS OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
9. MEANS AND METHODS OF CONSTRUCTION AS WELL AS COMPLIANCE WITH OSHA AND OTHER SAFETY LAWS AND REGULATIONS IS EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR, HIS SUBCONTRACTOR(S), SUPPLIERS, CONSULTANTS AND SERVANTS.
10. OPENINGS IN SLABS AND WALLS LESS THAN 12" MAXIMUM DIMENSION ARE GENERALLY NOT SHOWN ON STRUCTURAL DRAWINGS. OPENINGS SHOWN ON STRUCTURAL DRAWINGS SHALL NOT BE REVISED WITHOUT PRIOR WRITTEN APPROVAL OF THE ARCHITECT
11. EXISTING STRUCTURAL FRAMING ASSUMED BASED ON LIMITED VISIBILITY. DURING DEMOLITION EXPOSE SECTIONS FOR REVIEW.
12. CODES: MASSACHUSETTS STATE BUILDING CODE - 8TH EDITION + IBC + AMMENDMENTS  
IBC - INTERNATIONAL BUILDING CODE 2009
13. DESIGN LOADS:  
LIVE LOADS  
LIVING AREAS 40 PSF  
BEDROOMS 30 PSF  
ATTICS 20 PSF  
SNOW LOAD  
GROUND SNOW LOAD 45 PSF  
FLAT ROOF SNOW LOAD 31.5 PSF  
SLOPED ROOF SNOW LOAD 31.5 PSF  
WIND LOAD  
BASIC WIND SPEED 110 MPH  
WIND IMPORTANCE FACTOR 1.0 (OCCUPANCY II)  
WIND EXPOSURE EXPOSURE C
14. MINIMUM 6 MIL POLYETHYLENE VAPOR BARRIER SHALL BE INSTALLED UNDER ALL CONCRETE SLABS-ON-GRADE, U.N.O..
15. CALCIUM CHLORIDE OR ADMIXTURES CONTAINING CALCIUM CHLORIDE OR WHICH INCREASE THE POTENTIAL FOR CORROSION OF EMBEDDED METAL ITEMS SHALL NOT BE USED IN ANY CONC.
16. ALUMINUM ITEMS SHALL NOT BE PLACED IN CONCRETE.
17. PIPE OR CONDUIT EMBEDDED IN SLAB SHALL NOT EXCEED 1/3 THE SLAB THICKNESS AND SHALL BE PLACED WITHIN THE SLAB MIDDLE THIRD OF THICKNESS. MINIMUM CLEAR SPACING OF CONDUIT/PIPE IS 3xOD. NO CONDUIT/PIPE TO BE PLACED CLOSER THAN 12" FROM COLUMN FACE.
18. CONTRACTOR IS RESPONSIBLE FOR PROPER AND ADEQUATE SHORING OF CONCRETE WORK.
19. FRAMING LUMBER SHALL BE MARKED S-DRY. ALL MATERIALS SHALL BE CHECKED BEFORE USE, WITH ALL CHECKED, SPLIT AND OTHERWISE DEFICIENT STOCK REJECTED, OR USED ONLY FOR MISCELLANEOUS BLOCKING, FURRING OR OTHER INCIDENTAL USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL MEMBERS WHICH, DUE TO WARPAGE, TWIST, SPLITTING, OR CHECKING, RESULT IN UNSATISFACTORY WORK. SUCH REPLACEMENT SHALL BE REQUIRED AT ANY TIME, WHETHER BEFORE OR AFTER APPLICATION OF FINISH MATERIAL.
20. FRAMING LUMBER FOR BEAMS AND HEADERS SHALL BE SURFACE DRY HEM-FIR NUMBER 2 OR SURFACE DRY SPRUCE-PINE-FIR NUMBER 2, SHALL HAVE A MINIMUM BENDING STRESS FB NOT LESS THAN 875 PSI SINGLE MEMBER USE.
21. FRAMING LUMBER FOR STUDS SHALL BE SURFACE DRY HEM-FIR, SPRUCE-PINE-FIR STUD GRADE OR OTHER STUD GRADE LUMBER WITH AN FC PARALLEL TO THE GRAIN OF 550 PSI OR GREATER.
22. FLOOR SEATHING SHALL BE 3/4" THICK CDX GRADE STRUCTURAL PLYWOOD AND ROOF SHEATHING SHALL BE 5/8" THICK CDX GRADE STRUCTURAL PLYWOOD. PLYCLIPS SHALL BE USED AT ALL UNSUPPORTED EDGES. WALL SHEATHING SHALL BE 5/8" THICK CDX STRUCTURAL PLYWOOD.
23. ALL WOOD EXPOSED TO WEATHER, ALL WOOD BLOCKING ON ROOFS, INCLUDING NAILERS, BLOCKING AND CURBS, & THAT WHICH WILL BE CONCEALED BY ROOFING OR FLASHING WORK, OR WOOD IN CONTACT WITH CONCRETE OR MASONRY OR WITHIN 12 INCHES OF ADJACENT GRADE SHALL BE PRESSURE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS INSTITUTE.
24. FABRICATED HARDWARE SHALL BE SELECTED FOR SIZE OF MEMBERS JOINED OR SUPPORTED & TO DEVELOP THE FULL STRENGTH OF THE MEMBERS, AS DIRECTED BY THE ENGINEER. IN EXTERIOR AREAS OR WHERE IN CONTACT WITH CONCRETE OR MASONRY ROUGH HARDWARE SHALL BE HOT-DIPPED GALVANIZED. IN OTHER AREAS ELECTROGALVANIZING WILL BE ACCEPTABLE.
25. CONNECTIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND SHALL DEVELOP THE FULL CAPACITY OF THE MEMBERS JOINED.
26. LAMINATED VENEER LUMBER SHALL BE 1.9E MICROLLAM BY ILEVEL (WEYERHAUSER) OR EQUAL. FLEXURAL STRESS TO BE NO LESS THAN 2,600 PSI.

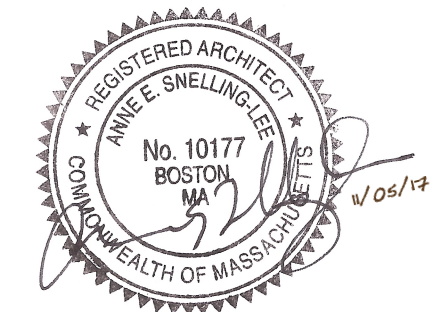


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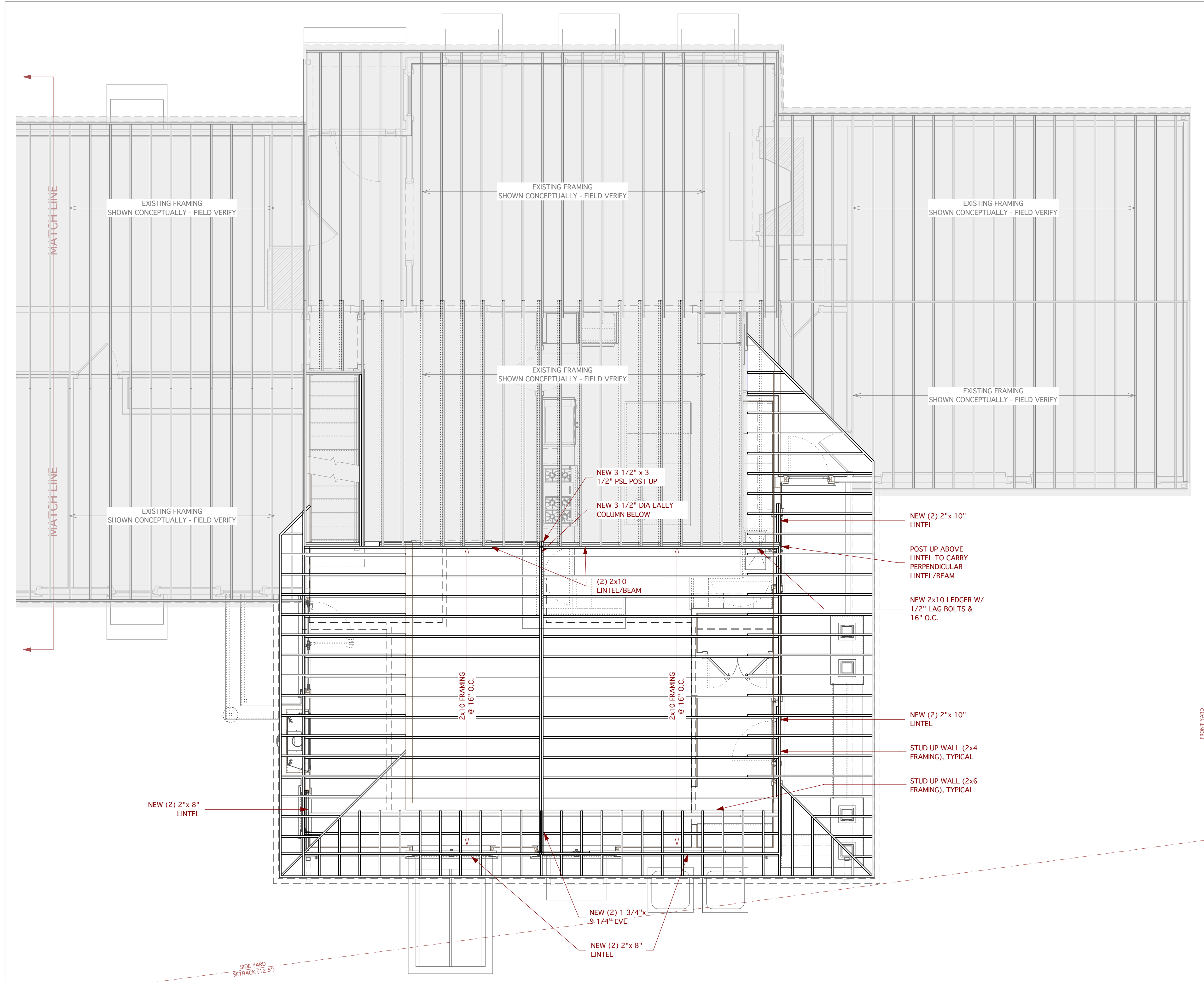
**Tsao Residence**  
 Residential Renovation & Addition  
 1771 Washington Street  
 Newton, MA 02466

#	DESCRIPTION / DATE
SCALE	1/4" = 1'-0"
DATE	02/08/17
DRAWN BY	ASL
PROJECT NO.	0716

STRUCTURAL  
 First Floor  
 Framing Plan



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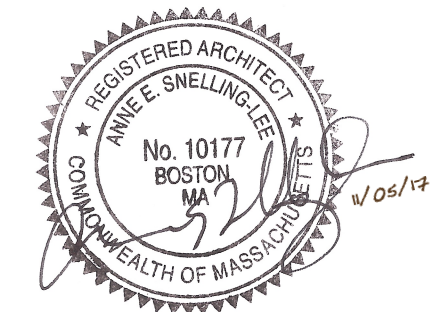
STRUCTURAL  
Attic/Roof  
Framing Plan

S1.2

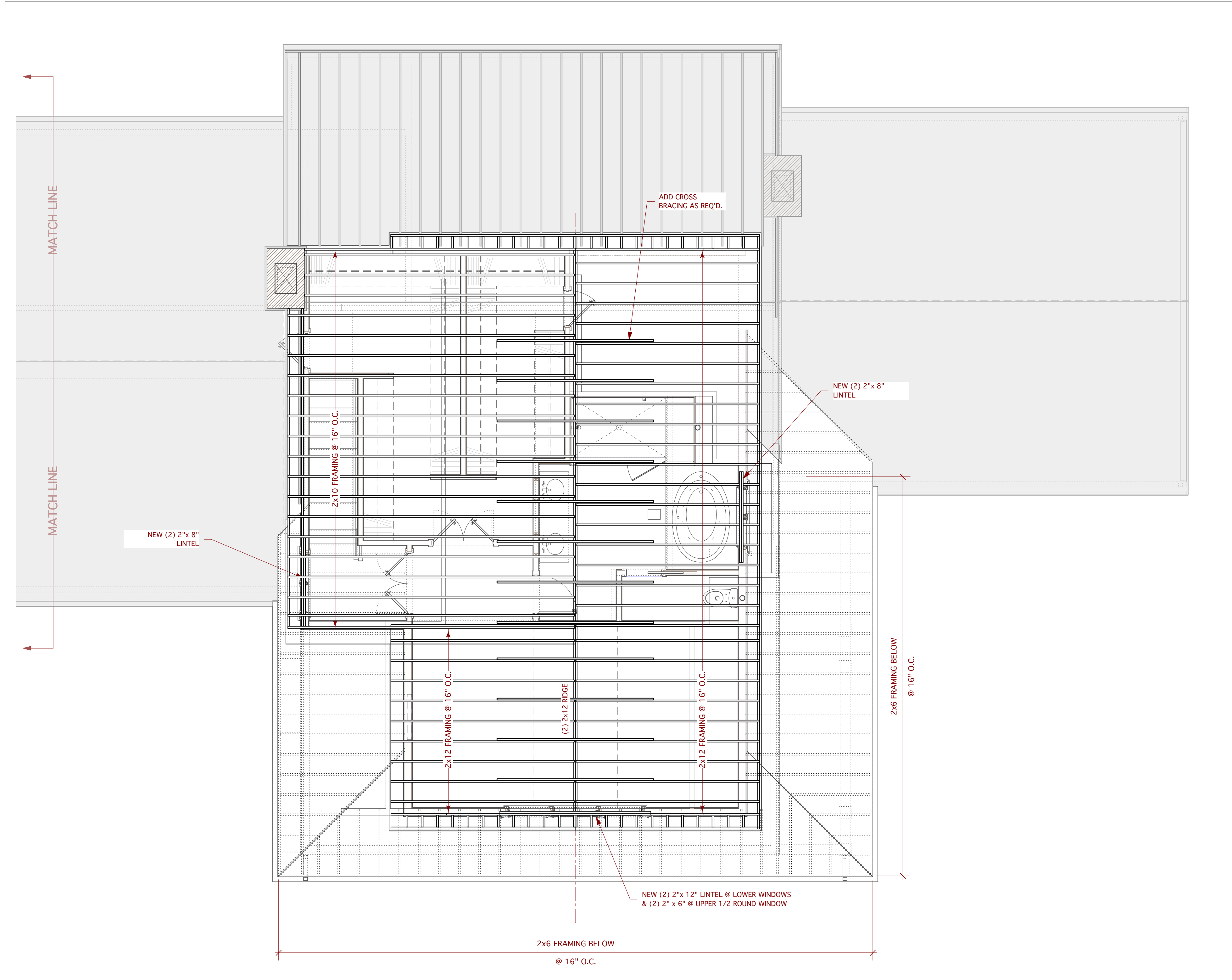
FRONT YARD SETBACK (25')

SIDE YARD SETBACK (12.5')





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