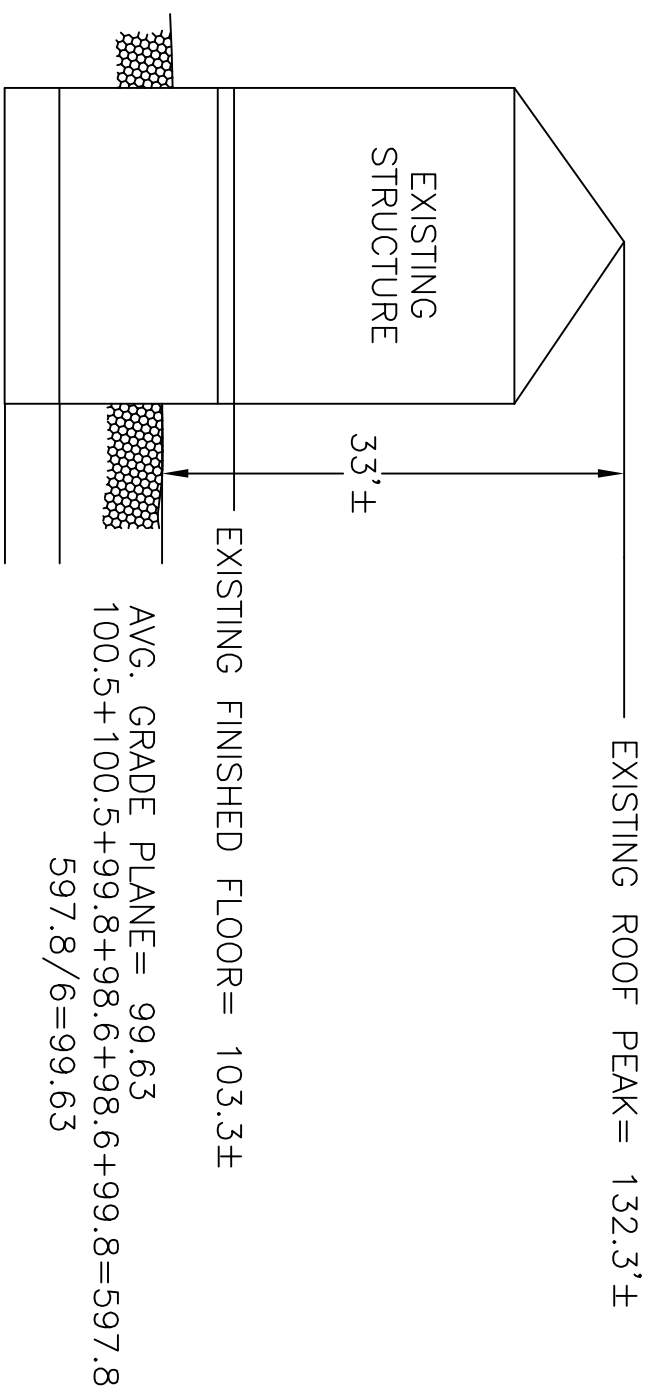
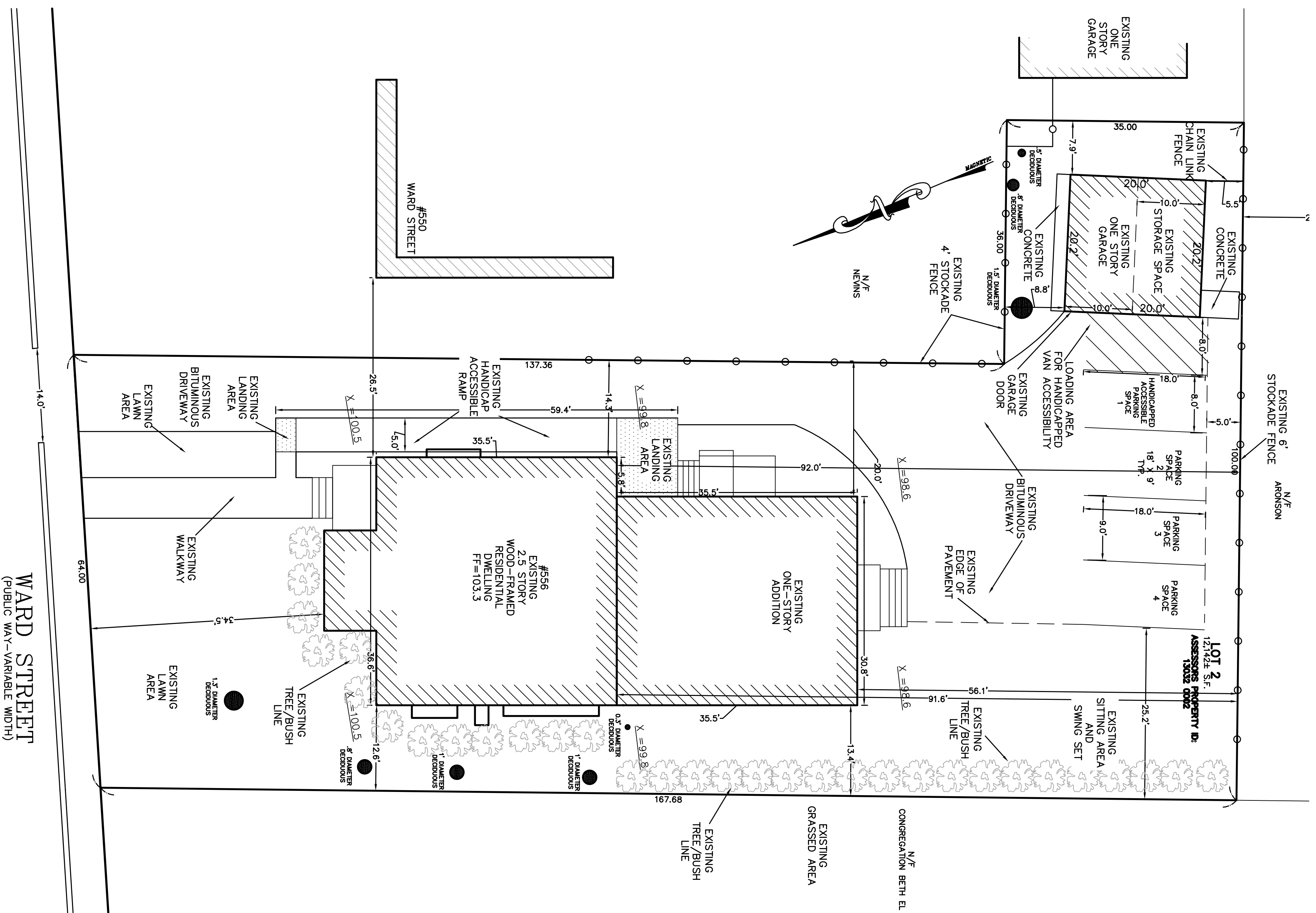
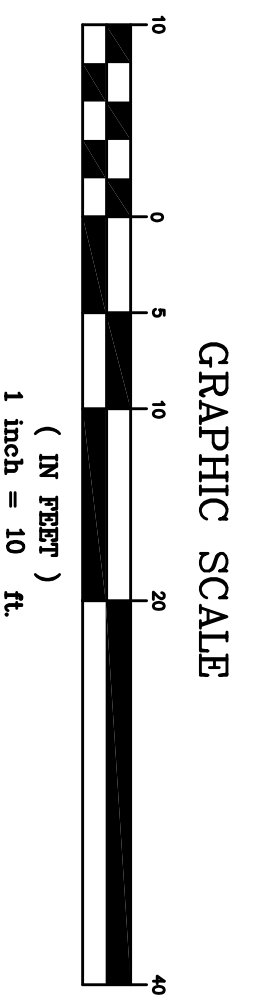


- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC ON 07-25-13
 2. DEED REFERENCE BOOK 1306 PAGE 117, MIDDLESEX SOUTH REGISTRY OF DEEDS.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. ELEVATIONS SHOWN ARE ASSUMED DATUM.



EXISTING PROFILE
NOT TO SCALE



ZONING LEGEND

ZONING DISTRICT:	REQUIRED	EXISTING	COMPLIANCE
SINGLE RESIDENCE 2 (LOT CREATED BEFORE 12/07/1953)	10,000 S.F.	12,130± S.F.	YES
MIN. AREA	80'	64.0'	EXISTING NON-CONFORMING
MIN. FRONTAGE	25'	34.5'	YES
MIN. YARD FRONT	7.5'	12.6'	YES
MIN. YARD REAR	15'	56.1'	YES
MAX. LOT COV.	30%	26%	YES
MIN. OPEN SPACE	50%	42%	EXISTING NON-CONFORMING
MAX. BLDG. HEIGHT	36'	33'±	YES
MAX. STORES	2.5	2.5	YES

TABLE 2

ZONING DISTRICT:	REQUIRED	EXISTING	COMPLIANCE
SINGLE USE NON-PROFIT USE - SECTION 30-15	15,000 S.F.	12,130± S.F.	DOVER AMENDMENT ISD DETERMINATION YES
MIN. AREA	MIN. FRONTAGE	64.0'	YES
MIN. FRONTAGE	30'	34.5'	YES
MIN. YARD FRONT	15'	EAST 14.3' WEST 12.8'	DOVER AMENDMENT ISD DETERMINATION YES
MIN. YARD REAR	15'	56.1'	YES
MAX. LOT COV.	30%	26%	YES
MIN. OPEN SPACE	50%	42%	EXISTING NON-CONFORMING
MAX. BLDG. HEIGHT	36'	33'±	YES
MAX. STORES	3	2.5	YES
MIN. WIDTH DRIVE	12'*	9.3'	BD. OF ALDERMEN WAIVER

* SECTION 30-19(3)(3)-FOR PARKING FACILITIES WITH 5 OR FEWER SPACES

SCALE	1"=10'
DATE	04/15/14
SHEET	1 OF 1
PLAN NO.	556 WARD STREET NEWTON MASSACHUSETTS CERTIFIED PLOT PLAN
CHECKED BY	PETER NOLAN & ASSOCIATES LLC
DATE	04/15/14
REVISION	
BY	

PETER NOLAN & ASSOCIATES LLC
LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS
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EMAIL: pnolan@pnsurveyors.com

COMMONWEALTH OF MASSACHUSETTS
REGISTERED PROFESSIONAL LAND SURVEYOR
PETER J. NOLAN
No. 49185
07/27/13

SHEET NO. 1