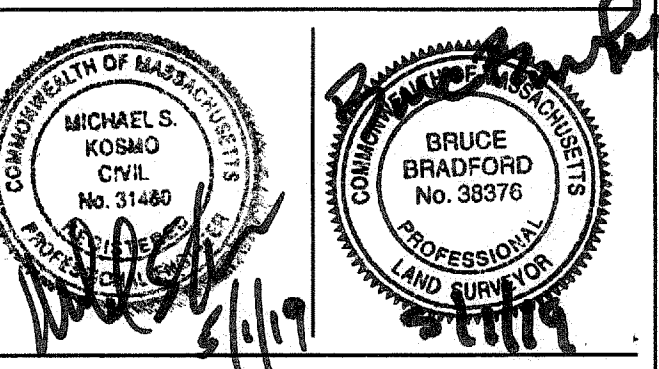


- LEGEND**
- UTILITY POLE
 - WATER GATE
 - ⊗ HYDRANT
 - ⊞ GAS GATE
 - ⊙ SEWER MANHOLE
 - ⊕ DRAIN MANHOLE
 - ⊗ ELECTRIC MANHOLE
 - ⊖ TELEPHONE MANHOLE
 - ⊠ CATCH BASIN
 - TREE
 - ⊙ TREE
 - ⊙ LIGHT POLE
 - ⊙ SIGN
 - FF FIRST FLOOR
 - BFL BASEMENT FLOOR
 - TWL TOP OF WALL
 - BWL BOTTOM OF WALL
 - TBR TO BE REMOVED
 - TBA TO BE ABANDONED
 - TH#1 DEEP TEST HOLE
 - PT#1 PERCOLATION TEST
 - 71.4 X SPOT ELEVATION
 - [] — PROPOSED CONTOUR
 - 71 --- EXISTING CONTOUR
 - D — DRAIN LINE
 - RD — ROOF DRAIN LINE
 - W — WATER LINE
 - FP — FIRE PROTECTION WATER LINE
 - S — SEWER LINE
 - G — GAS LINE
 - E — ELECTRIC LINE
 - T — TELEPHONE LINE
 - X — FENCE
 - OHW — OVERHEAD WIRES
 - H — HEDGE
 - TL — TREE LINE
 - U — UNIT MAIN ENTRANCE

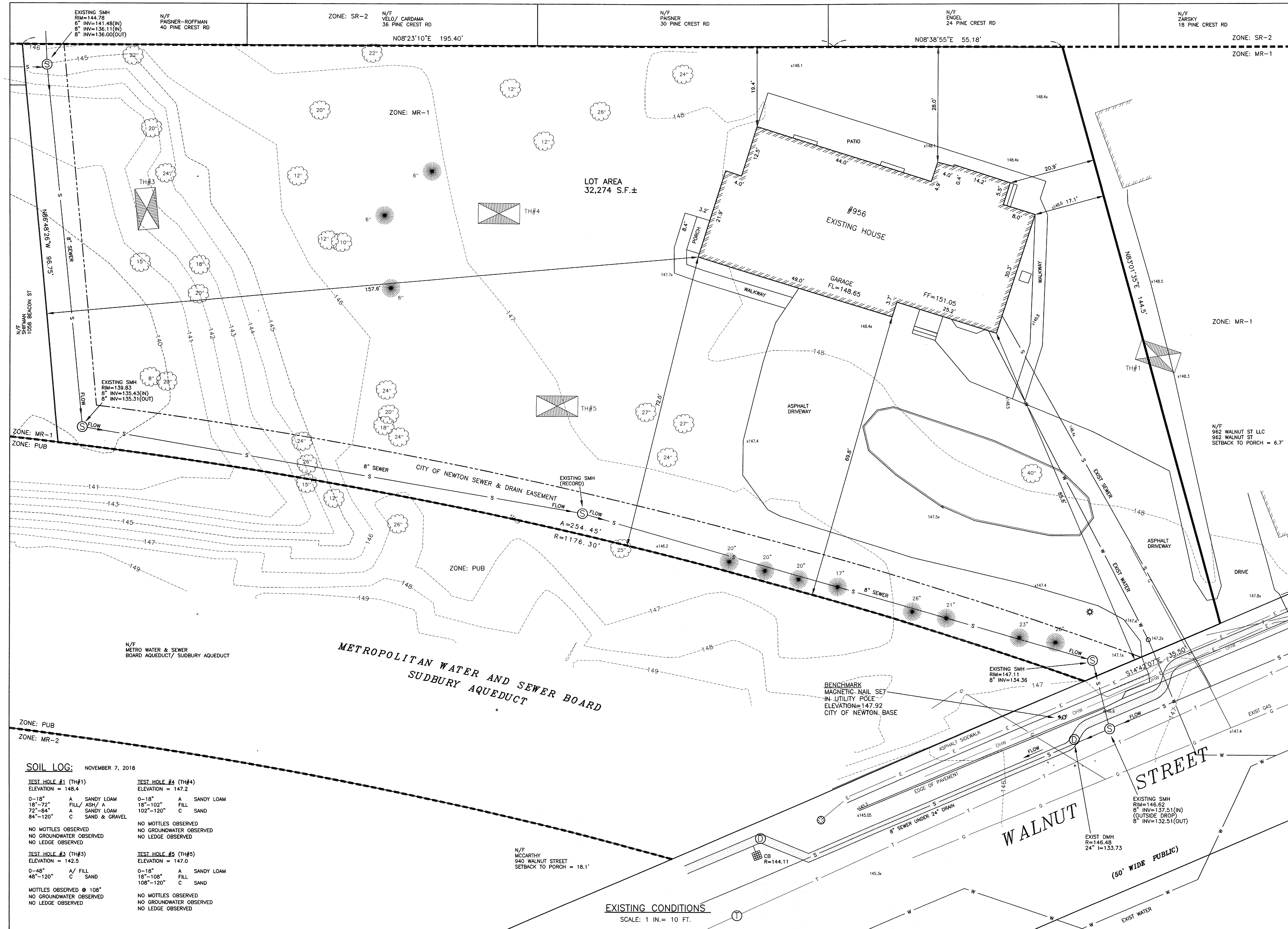


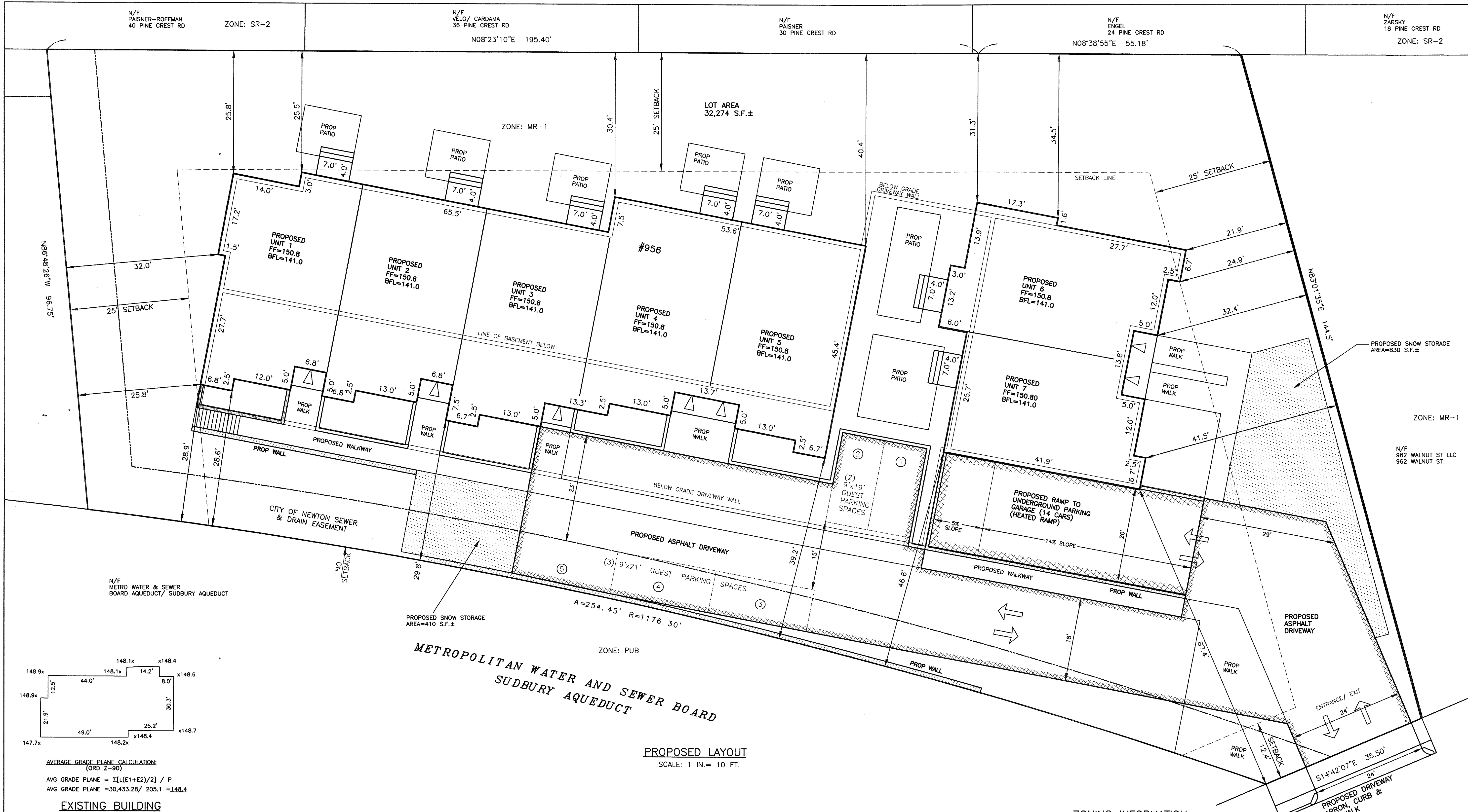
SITE PLAN OF LAND IN NEWTON, MA
 956 WALNUT STREET
 RESIDENCES AT FOUR CORNERS

SCALE: 1 IN. = 10 FT.
 DATE: MAY 1, 2019
 DRAWN: ES
 CHECK: MSK & BB

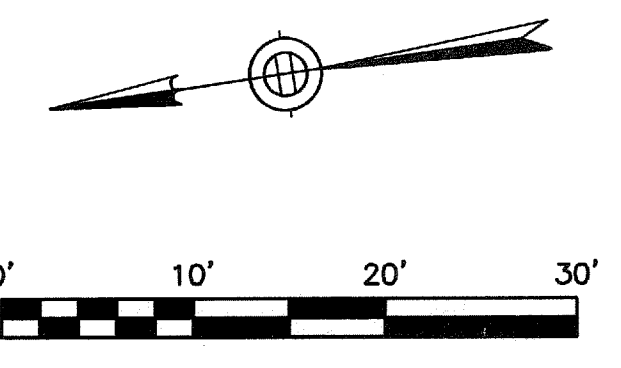
REVISIONS:

PROJECT NO. 25694 SHEET 1 OF 4

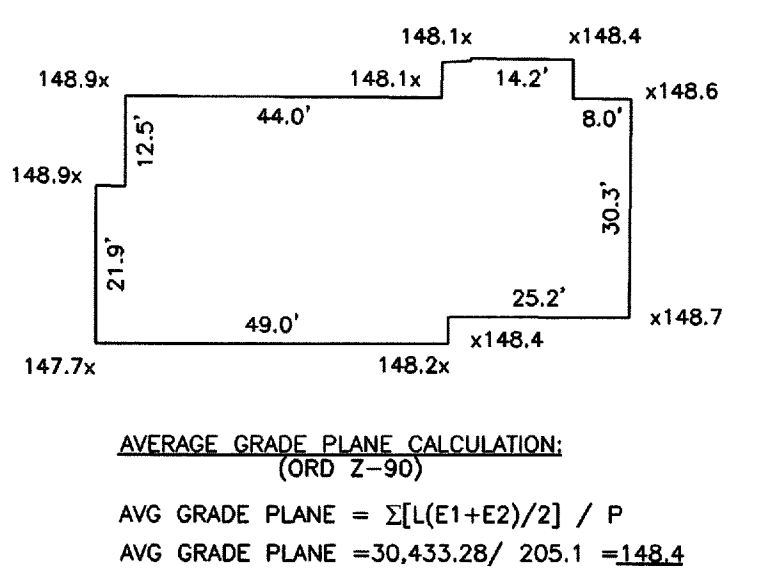




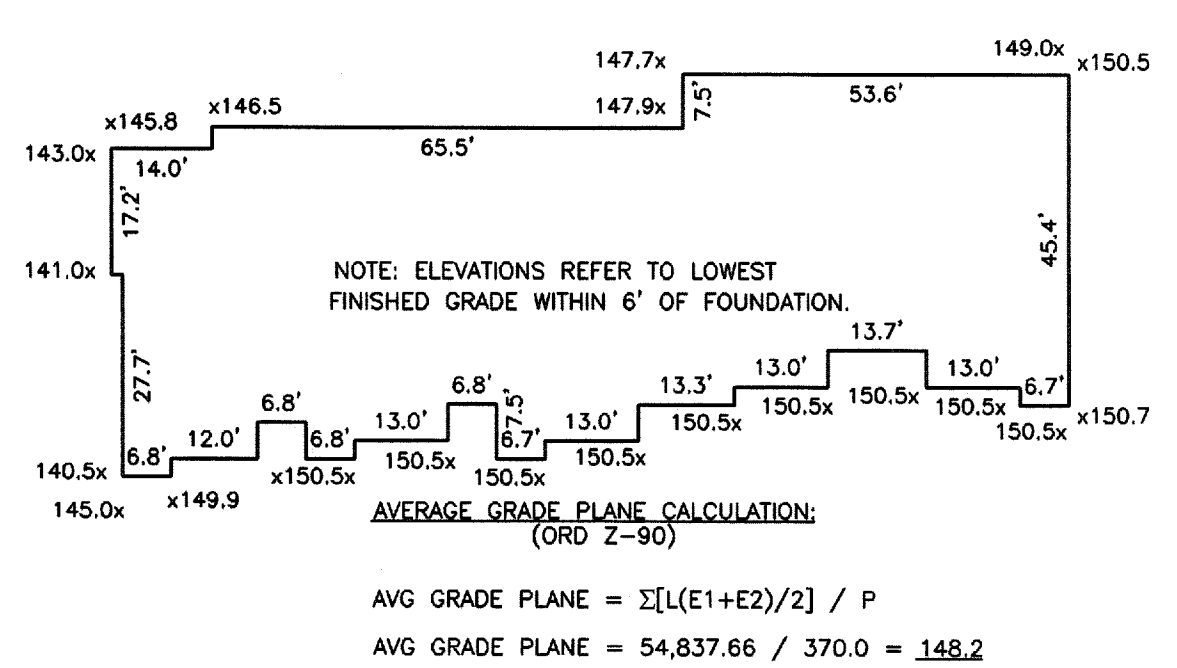
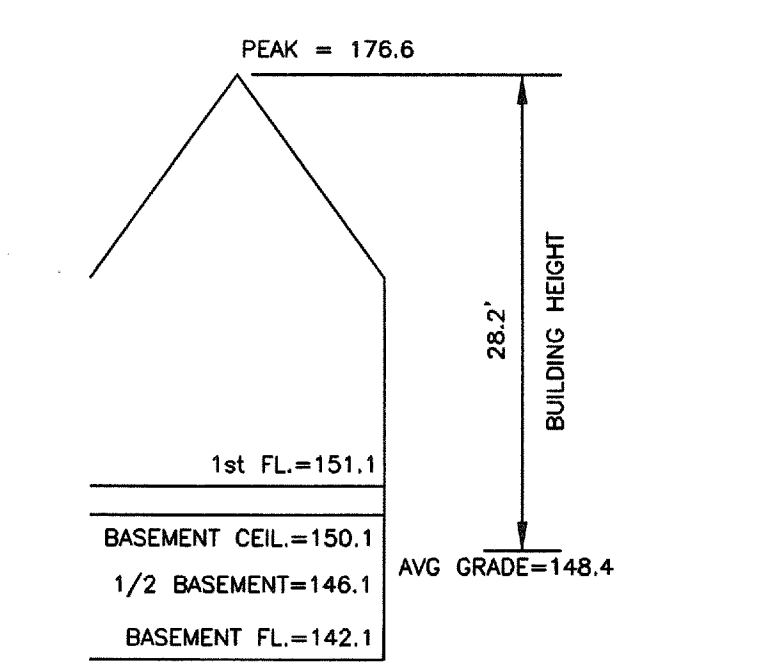
ESTABLISHED 1916
EMB
 EVERETT M. BROOKS CO.
 SURVEYORS & ENGINEERS
 49 LEXINGTON STREET
 WEST NEWTON, MA 02465
 (617) 527-8750
 info@everettbrooks.com



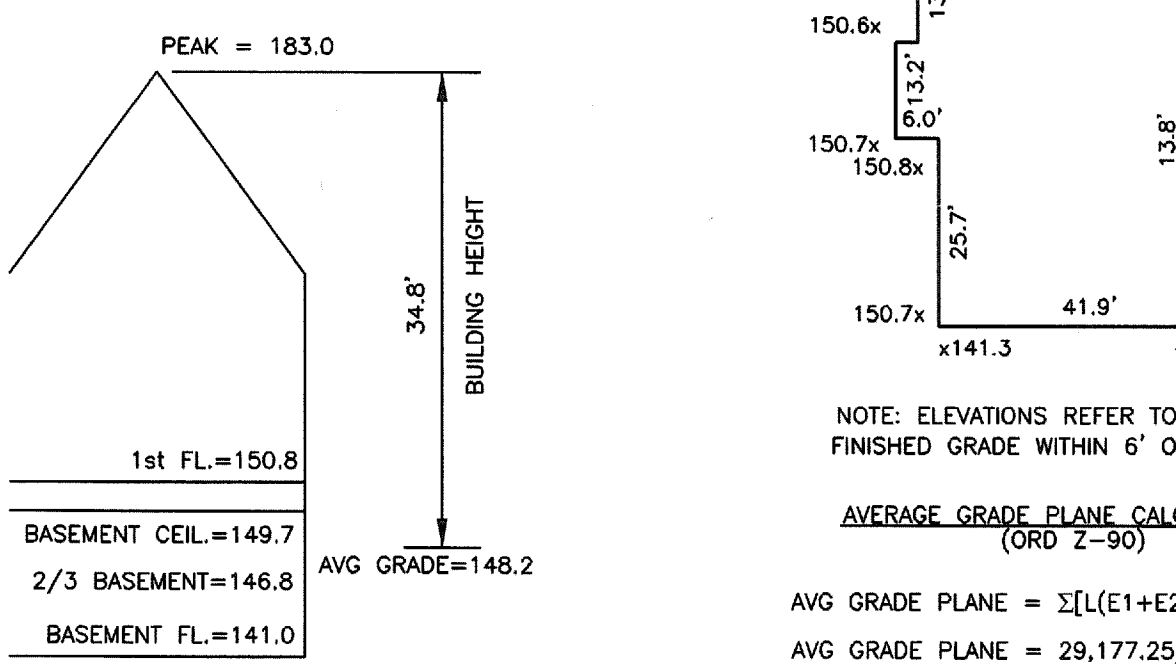
- LEGEND**
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 - ⊙ SEWER MANHOLE
 - ⊖ DRAIN MANHOLE
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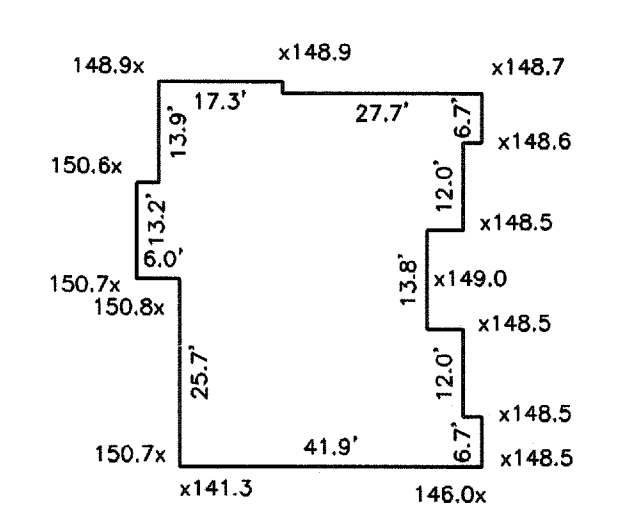
EXISTING BUILDING AVERAGE GRADE PLANE DETAIL
 N.T.S.



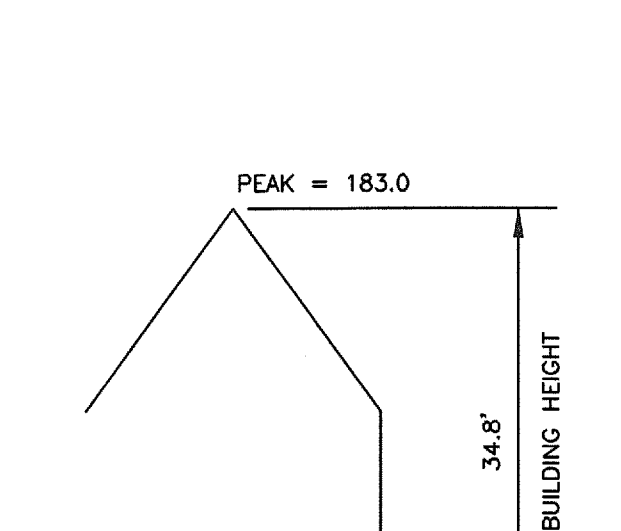
PROPOSED UNITS 1-5 AVERAGE GRADE PLANE DETAIL
 N.T.S.



PROPOSED UNITS 1-5 BUILDING HEIGHT DETAIL
 N.T.S.



PROPOSED UNITS 6-7 AVERAGE GRADE PLANE DETAIL
 N.T.S.



PROPOSED UNITS 6-7 BUILDING HEIGHT DETAIL
 N.T.S.

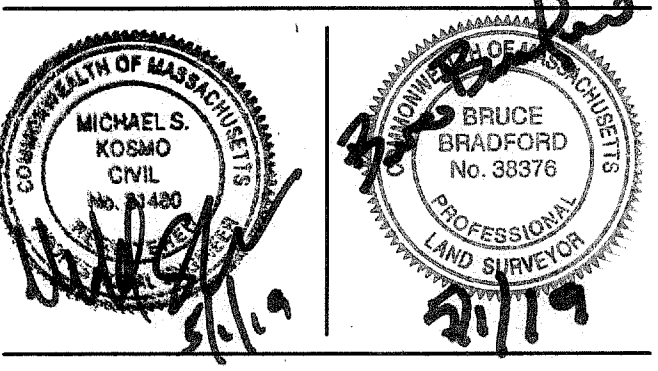
ZONING INFORMATION

ZONE: MR-1
 PLAN DATED: DESCRIPTION BY DEED
 DEED REFERENCE: BOOK 64330 PAGE 6
 WALNUT STREET AVERAGE SETBACK CALC:
 $(18.1' + 6.7') / 2 = 12.4'$

	EXISTING	PROPOSED	PERMITTED/REQUIRED	
LOT AREA	32,274 S.F.	32,274 S.F.	15,000 S.F. MIN.	
LOT AREA	32,274 S.F.	4,611 S.F.	4,000 S.F./UNIT MIN.	
LOT COVERAGE	7.9%	24.0%	25% MAX.	
FRONTAGE	35.50'	35.50'	80' MIN.	
OPEN SPACE	79% ±	55% ±	50% MIN.	
SETBACKS:			EXIST: PROP:	
FRONT	85.6'	67.4'	12.4'	12.4'
SIDE	69.8'	17.1'	28.6'	0/25'
REAR	19.4'	25.5'	15'	25' MIN.
NO. OF STORIES	2.5	3	3 MAX.	
HEIGHT	28.2'	34.8'	36' MAX.	
BUILDINGS	2,555 S.F.	7,746 S.F.		
STRUCTURES	2,555 S.F.	7,843 S.F.		
DRIVE	4,138 S.F. ±	6,700 S.F. ±		
DRIVE	6,690 S.F. ±	14,543 S.F. ±		

NOTES
 1. SEE ARCHITECTURAL PLANS FOR F.A.R. CALCULATION.
 2. ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.

WALNUT STREET
 (50' WIDE PUBLIC)

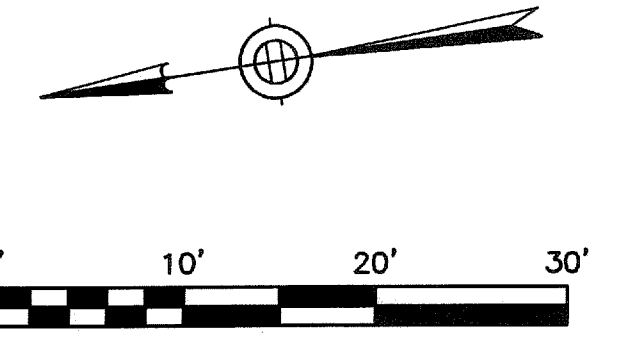


SITE PLAN OF LAND IN NEWTON, MA
 956 WALNUT STREET
 RESIDENCES AT FOUR CORNERS

SCALE: 1 IN. = 10 FT.
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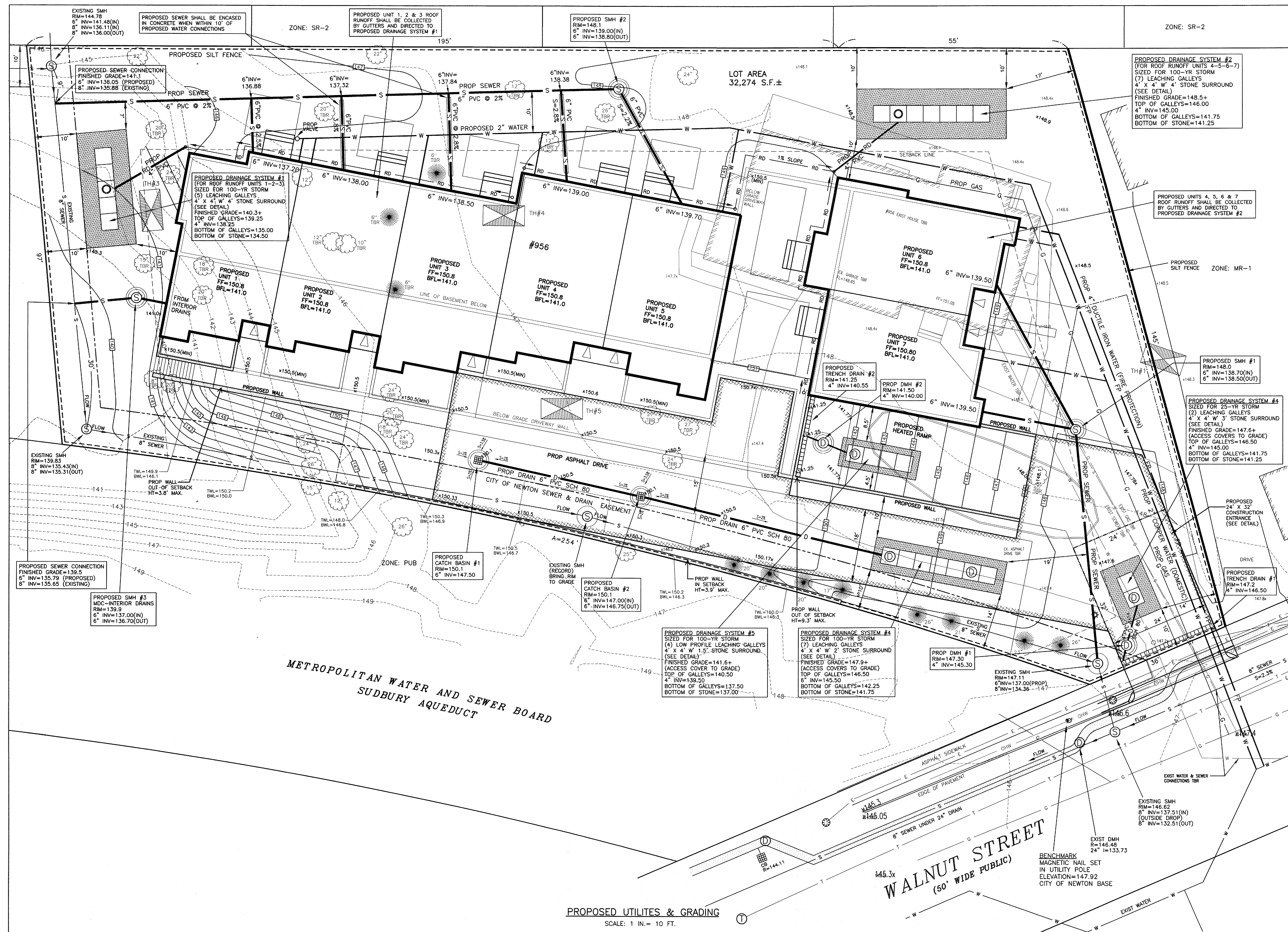
REVISIONS:

PROJECT NO. 25694 SHEET 2 OF 4



LEGEND

- UTILITY POLE
- WATER GATE
- HYDRANT
- GAS GATE
- SEWER MANHOLE
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- CATCH BASIN
- TREE
- TREE
- LIGHT POLE
- SIGN
- FF
- BFL
- TWL
- BWL
- TBR
- TBA
- DEEP TEST HOLE
- PERCOLATION TEST
- 71.4 X
- [Dashed line]
- [Solid line]
- D
- RD
- W
- FP
- S
- G
- E
- T
- FENCE
- OHW
- TREE LINE
- UNIT MAIN ENTRANCE



PROPOSED DRAINAGE SYSTEM #2
 (FOR ROOF RUNOFF UNITS 4-5-6-7)
 SIZED FOR 100-YR STORM
 (7) LEACHING GALLEYS
 4" X 4" W/ 4" STONE SURROUND
 (SEE DETAIL)
 FINISHED GRADE=148.5+
 TOP OF GALLEYS=146.00
 4" INV=145.00
 BOTTOM OF GALLEYS=141.75
 BOTTOM OF STONE=141.25

PROPOSED UNITS 4, 5, 6 & 7
 ROOF RUNOFF SHALL BE COLLECTED
 BY GUTTERS AND DIRECTED TO
 PROPOSED DRAINAGE SYSTEM #2

PROPOSED DRAINAGE SYSTEM #4
 SIZED FOR 25-YR STORM
 (2) LEACHING GALLEYS
 4" X 4" W/ 3" STONE SURROUND
 (SEE DETAIL)
 FINISHED GRADE=147.6+
 (ACCESS COVERS TO GRADE)
 TOP OF GALLEYS=146.50
 4" INV=145.00
 BOTTOM OF GALLEYS=141.75
 BOTTOM OF STONE=141.25

PROPOSED DRAINAGE SYSTEM #5
 SIZED FOR 100-YR STORM
 (4) LOW PROFILE LEACHING GALLEYS
 4" X 4" W/ 1.5" STONE SURROUND
 (SEE DETAIL)
 FINISHED GRADE=141.6+
 (ACCESS COVER TO GRADE)
 TOP OF GALLEYS=140.50
 4" INV=139.50
 BOTTOM OF GALLEYS=137.50
 BOTTOM OF STONE=137.00

PROPOSED DRAINAGE SYSTEM #4
 SIZED FOR 100-YR STORM
 (7) LEACHING GALLEYS
 4" X 4" W/ 2" STONE SURROUND
 (SEE DETAIL)
 FINISHED GRADE=147.9+
 (ACCESS COVERS TO GRADE)
 TOP OF GALLEYS=146.50
 6" INV=145.50
 BOTTOM OF GALLEYS=142.25
 BOTTOM OF STONE=141.75

**METROPOLITAN WATER AND SEWER BOARD
 SUDBURY AQUEDUCT**

**WALNUT STREET
 (60' WIDE PUBLIC)**

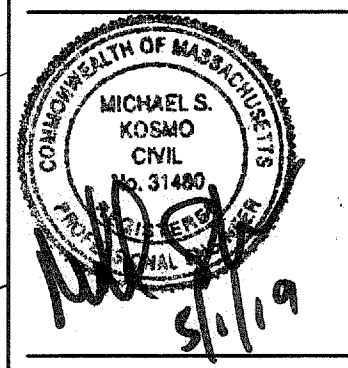
PROPOSED UTILITIES & GRADING
 SCALE: 1 IN. = 10 FT.

**SITE PLAN OF LAND IN
 NEWTON, MA**
 956 WALNUT STREET
 RESIDENCES AT FOUR CORNERS

SCALE: 1 IN. = 10 FT.
 DATE: MAY 1, 2019
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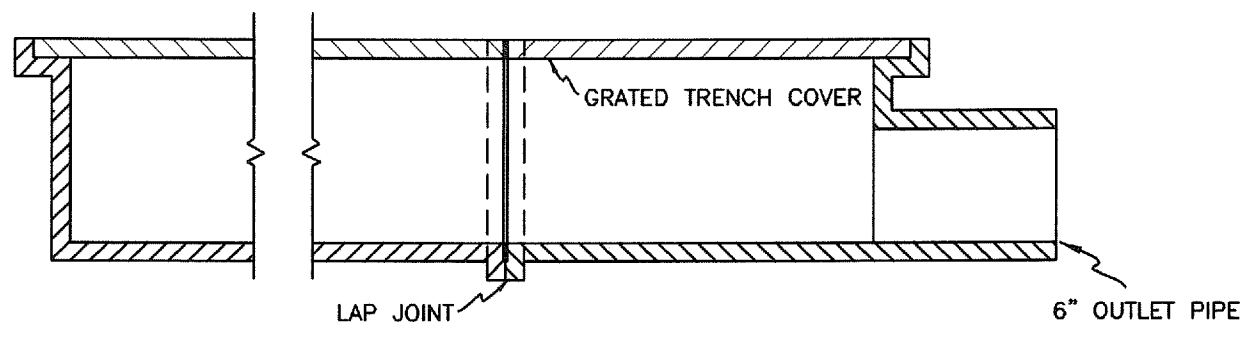
REVISIONS:

PROJECT NO. 25694 SHEET 3 OF 4

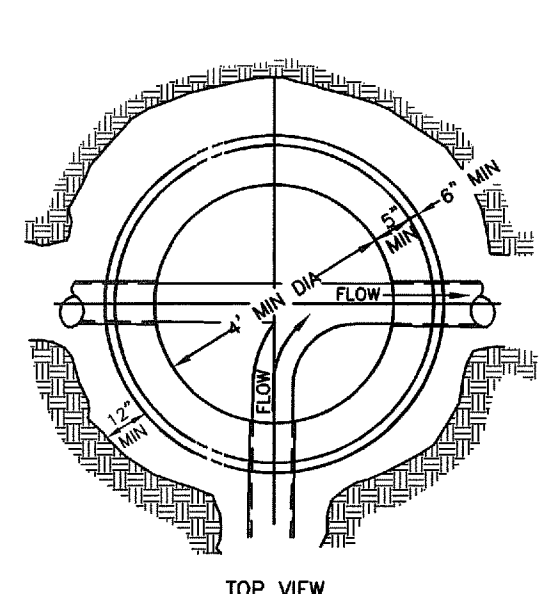


GENERAL NOTES

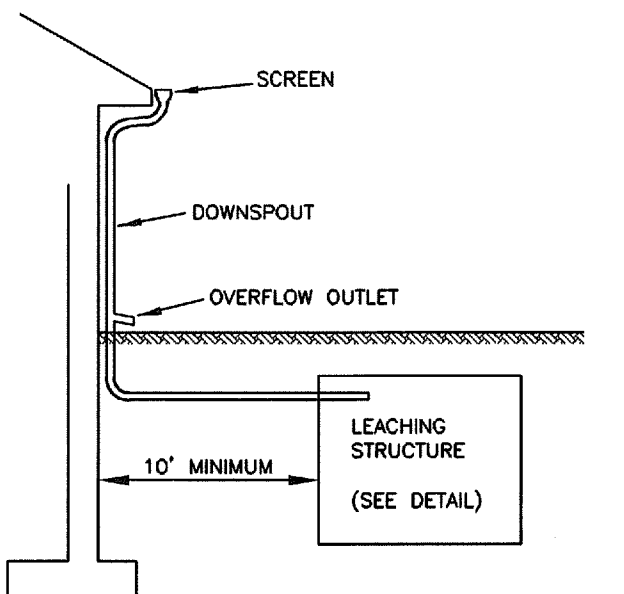
- ELEVATIONS REFER TO CITY OF NEWTON BASE. BENCHMARK: PK NAIL SET IN UTILITY POLE NEAR NORTH WEST PROPERTY CORNER, ELEVATION = 147.92.
- THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 1-888-344-7233 IN ORDER TO COMPLY WITH STATE LAW.
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS, LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER.
- NO WORK WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY IS ALLOWED BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, THE APPLICANT MAY REQUEST PERMISSION FROM THE CITY ENGINEER, OR DESIGNEE FOR SUCH WORK.
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.
- PROPOSED DOMESTIC WATER SERVICES SHALL BE 1" OR 2" TYPE K COPPER.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND 10/30/18.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
- NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE. HE HAS SUBMITTED, BY REGISTERED MAIL, WRITTEN NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:
 - SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY, AND TELEPHONE SERVICE IN THE CITY.
 - SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.
 - CITY OF NEWTON WATER & SEWER DEPARTMENT.
 SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.
- NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
- ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH 1.5 INCH DEPTH OF BITUMINOUS CONCRETE, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
- WITH THE EXCEPTION OF GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
- WARNING SIGNS SHALL CONFORM TO PAGE 12 OF THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.
- ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING GALLEYS AND TO A DISTANCE 5' LATERALLY IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS. BACKFILL AS REQUIRED WITH A CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. THE SAND SHALL HAVE A PERCOLATION RATE OF 2 MINUTES PER INCH OR FASTER.
- IN CASES WHERE LEDGE OR BouldERS ARE ENCOUNTERED, EVERETT M. BROOKS CO. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
- IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
- ALL OF THE ROOF RUNOFF FROM THE AND PROPOSED ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE PROPOSED DRAINAGE SYSTEMS INDICATED.
- PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES, AND DRAINAGE (INCLUDING SWING-TIES), EASEMENTS AND FINAL GRADING.
- THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING & UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT WITH THE DPW.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. EVERETT M. BROOKS CO. WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.
- WHEREVER THE PROPOSED SEWER PIPE DOES NOT HAVE A MINIMUM OF 10' HORIZONTAL SEPARATION OR IS NOT AT LEAST 18" VERTICALLY BELOW THE EXISTING WATER PIPE, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER & SEWER SERVICES INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY THEN BE BACKFILLED.
- ANY PROPOSED DRAINAGE PIPES WITH LESS THAN 4' OF COVER IN DRIVEWAYS OR ROADWAYS SHALL BE PVC SCH 80 OR DUCTILE IRON (H2O LOADING).
- THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND BE COMPLETELY REMOVED FROM THE SITE AND PROPERLY BACKFILLED. THE ENGINEERING DIVISION MUST INSPECT THIS WORK; FAILURE TO HAVE THIS WORK INSPECTED MAY RESULT IN THE DELAY OF ISSUANCE OF THE UTILITY CONNECTION PERMIT.
- IF A CERTIFICATE OF OCCUPANCY IS REQUESTED PRIOR TO ALL SITE WORK BEING COMPLETED, THE APPLICANT WILL BE REQUIRED TO POST A CERTIFIED BANK CHECK IN THE AMOUNT TO COVER THE REMAINING WORK. THE CITY ENGINEER SHALL DETERMINE THE VALUE OF THE UNCOMPLETED WORK.
- THE PROPOSED SEWER SERVICE LINE WILL NEED TO BE PRESSURE TESTED PRIOR TO USE.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON, HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONALITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTIONS, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
- PROPOSED WALLS BY OTHERS.
- SOIL TEST PITS SHALL BE COMPLETED WITHIN 25' OF THE PROPOSED LEACHING SYSTEMS PRIOR TO APPLYING FOR A BUILDING PERMIT.



TRENCH DRAIN DETAIL
N.T.S.

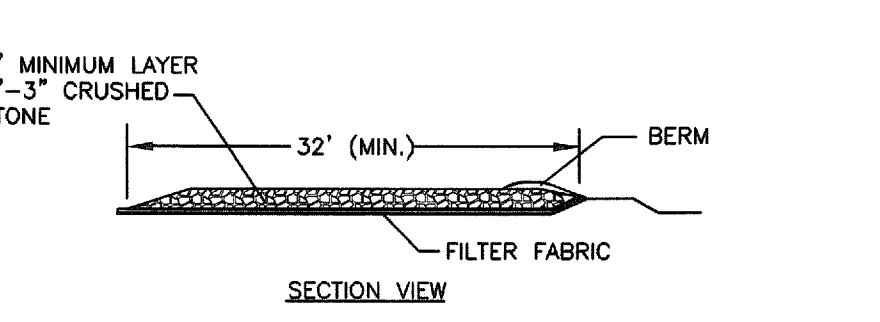


INVERT TABLE PLAN
N.T.S.

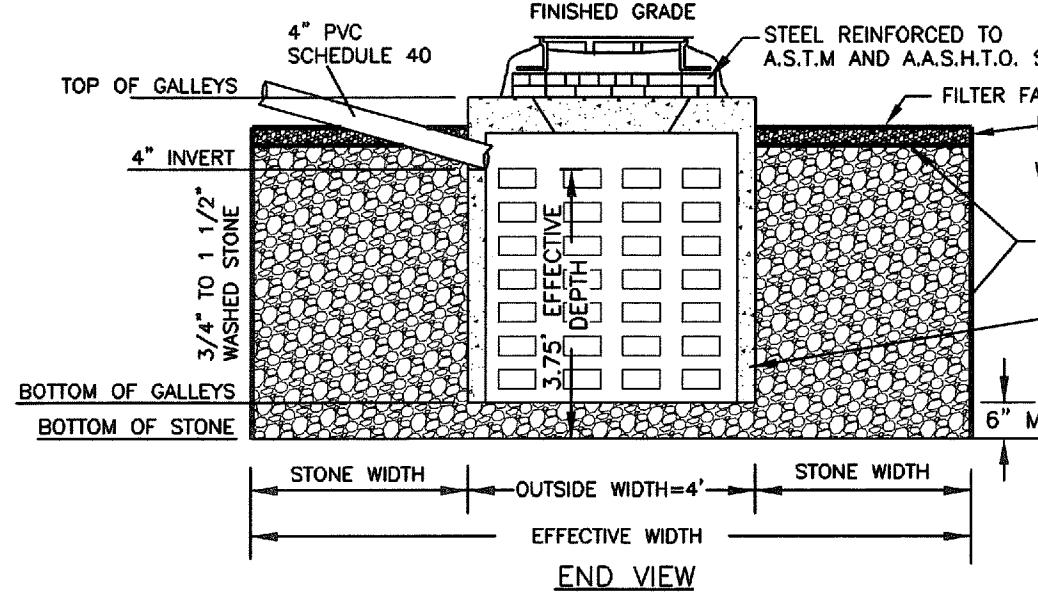


TYPICAL DOWNSPOUT DETAIL
N.T.S.

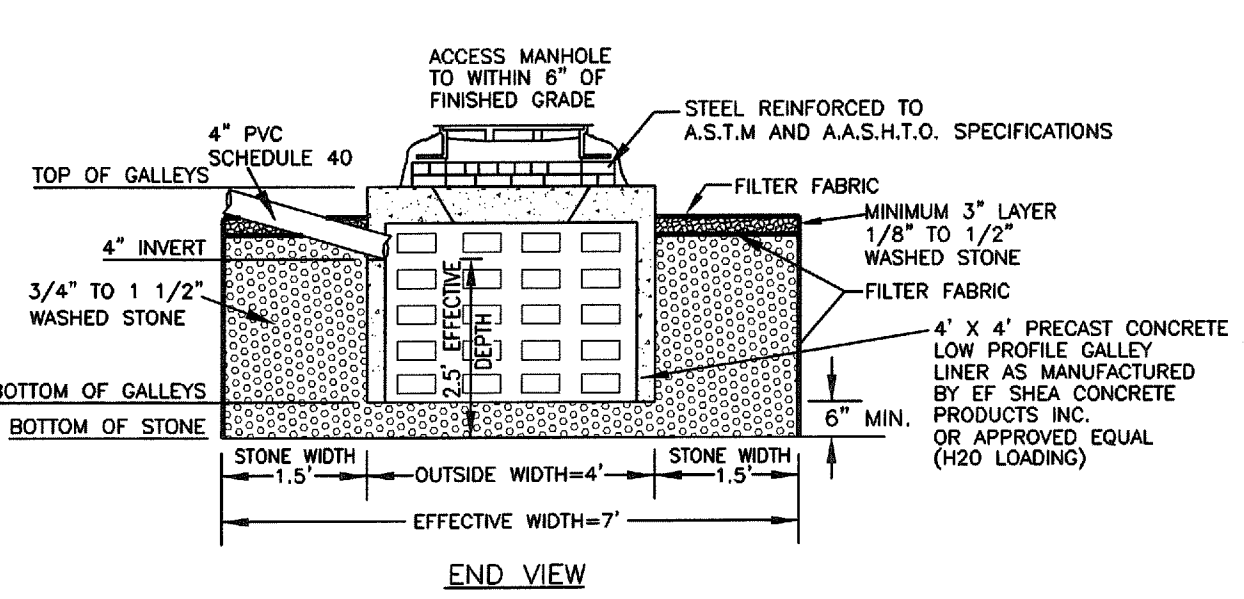
ESTABLISHED 1916
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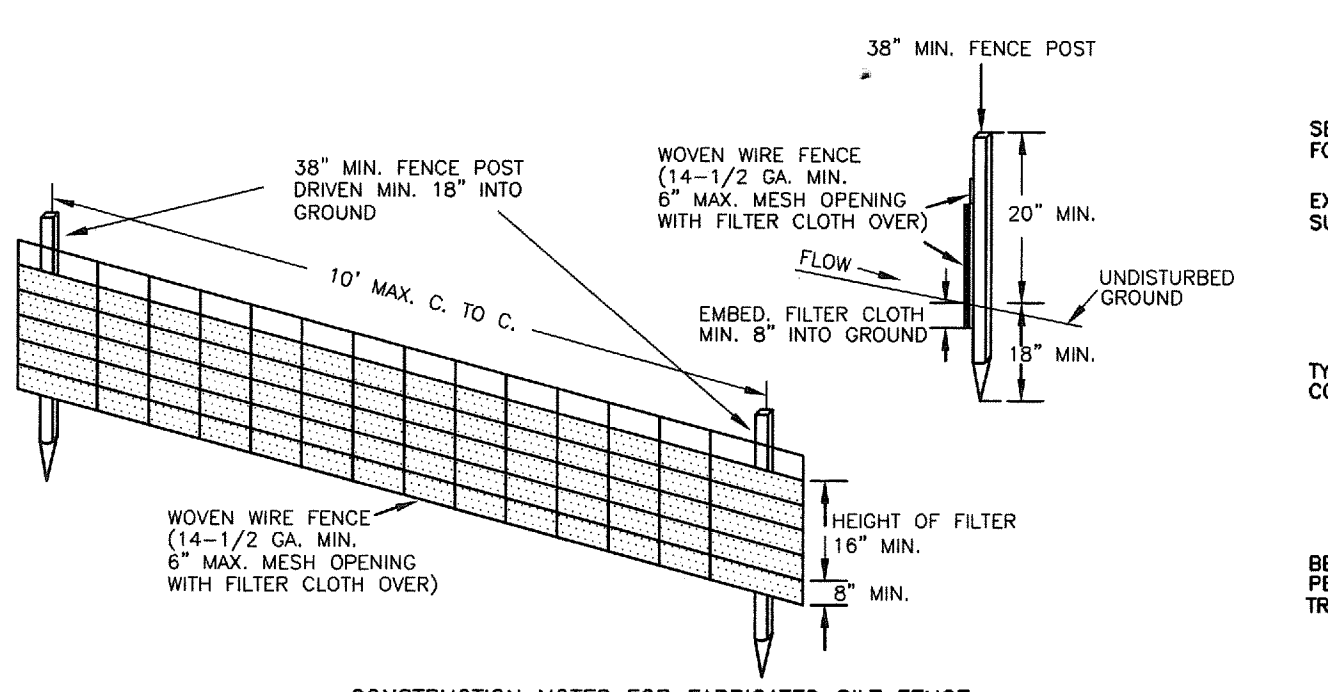
CONSTRUCTION ENTRANCE
N.T.S.



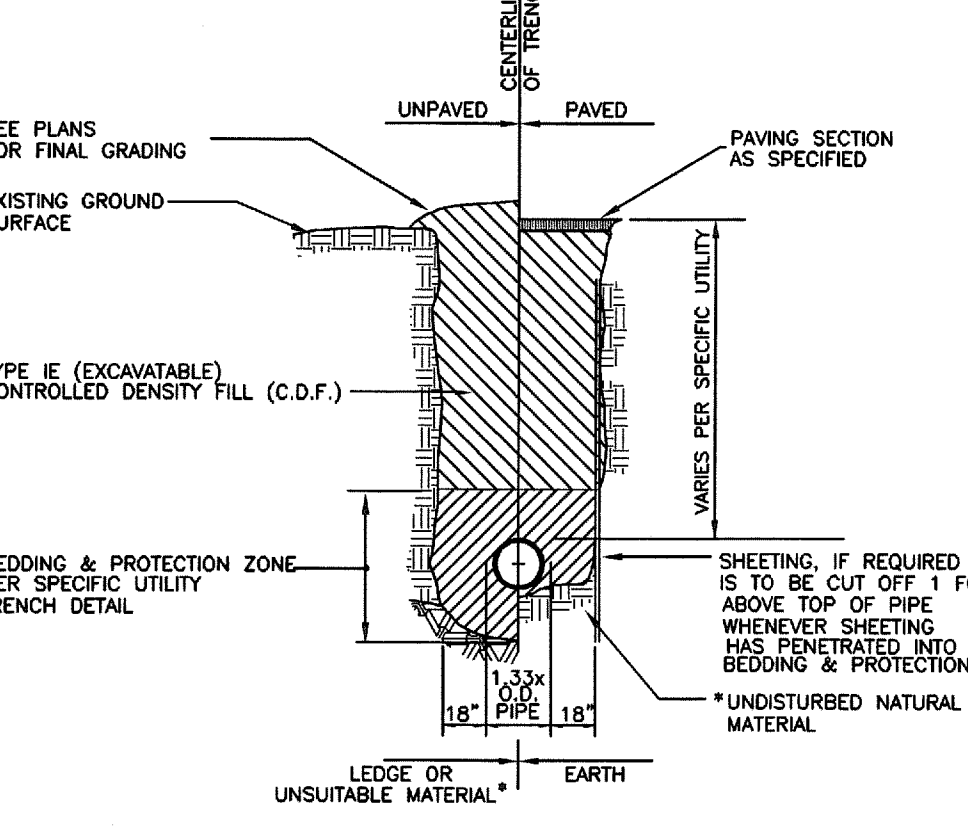
STANDARD LEACHING GALLEY DETAIL
N.T.S.



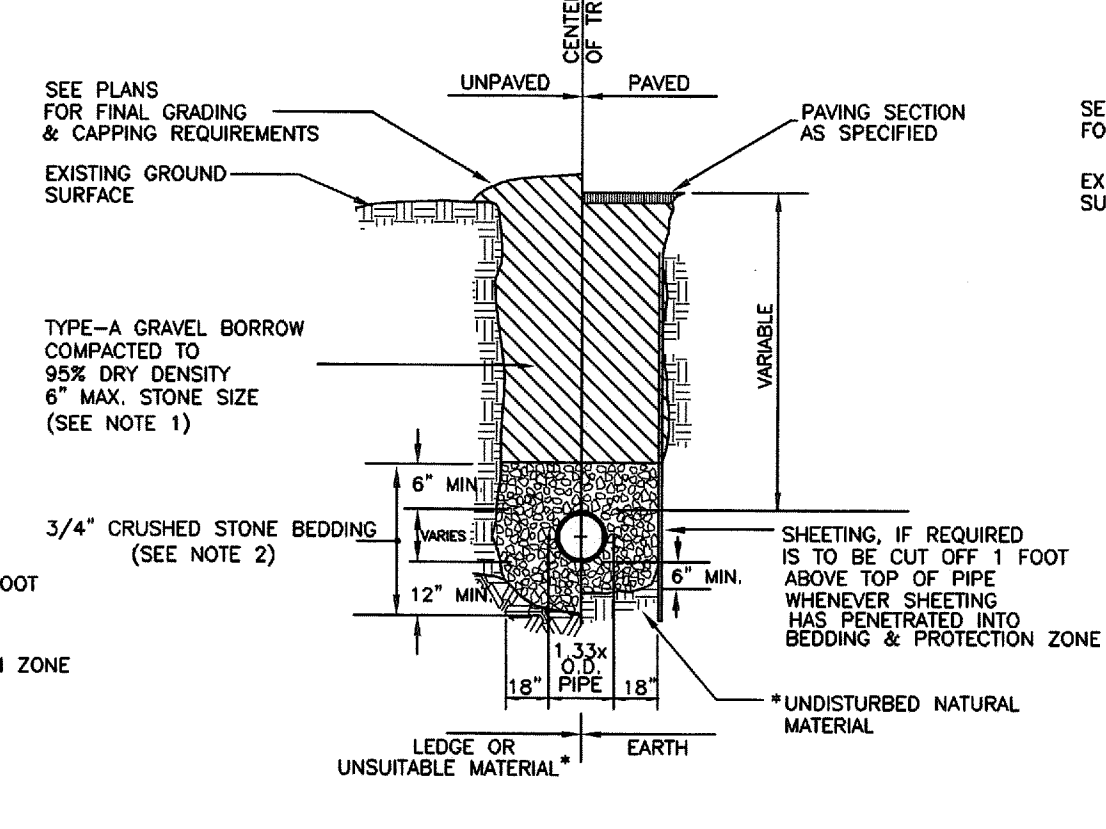
LOW PROFILE LEACHING GALLEY DETAIL
N.T.S.



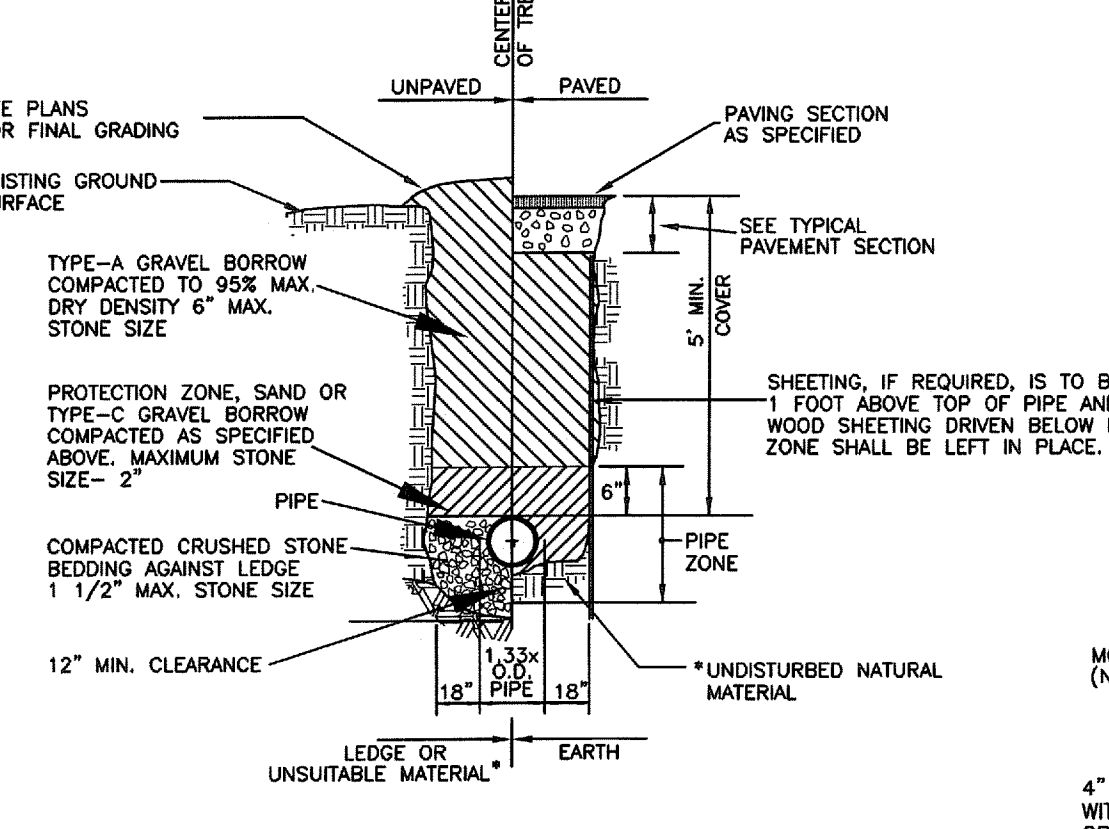
CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
N.T.S.



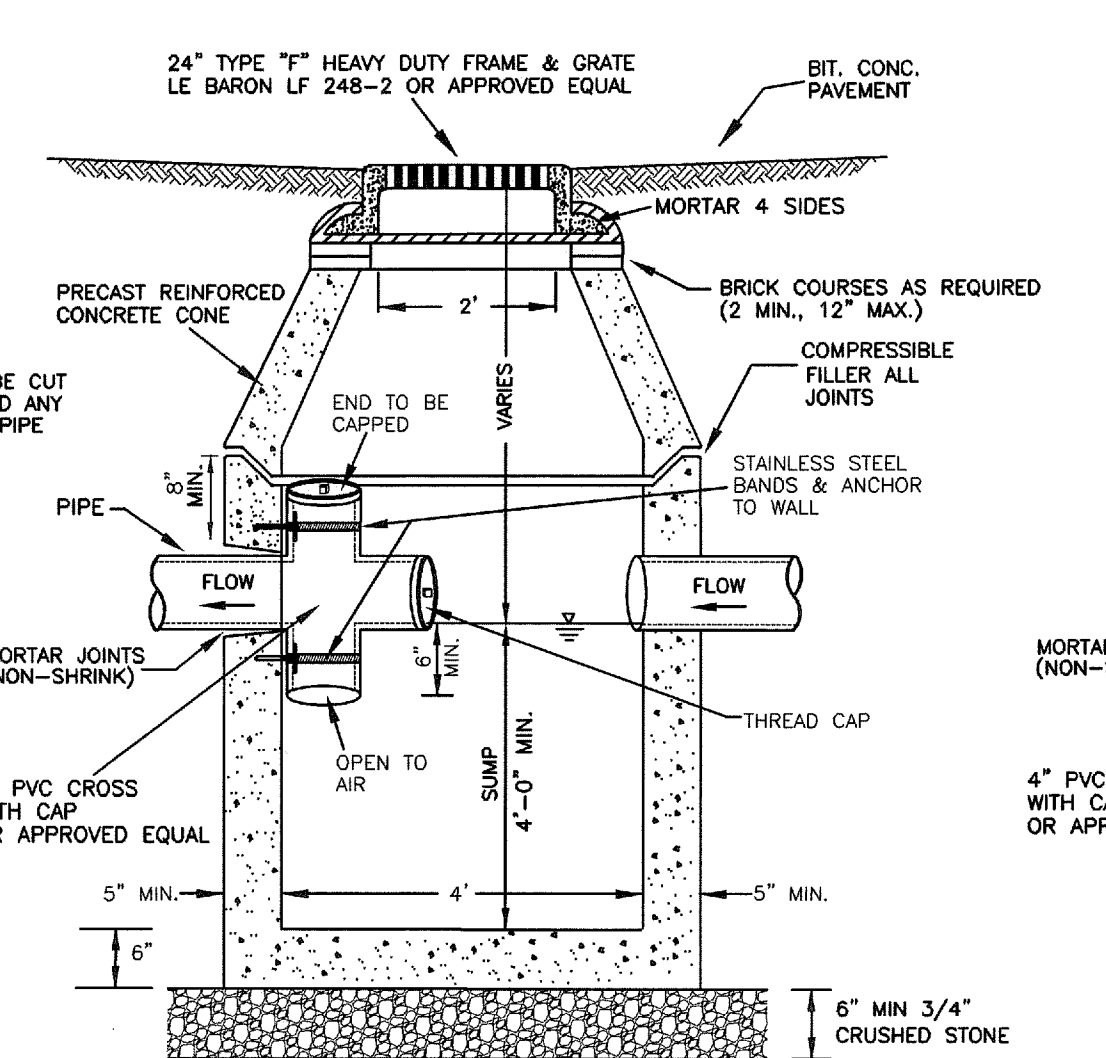
TYPICAL C.D.F. TRENCH DETAIL
N.T.S.



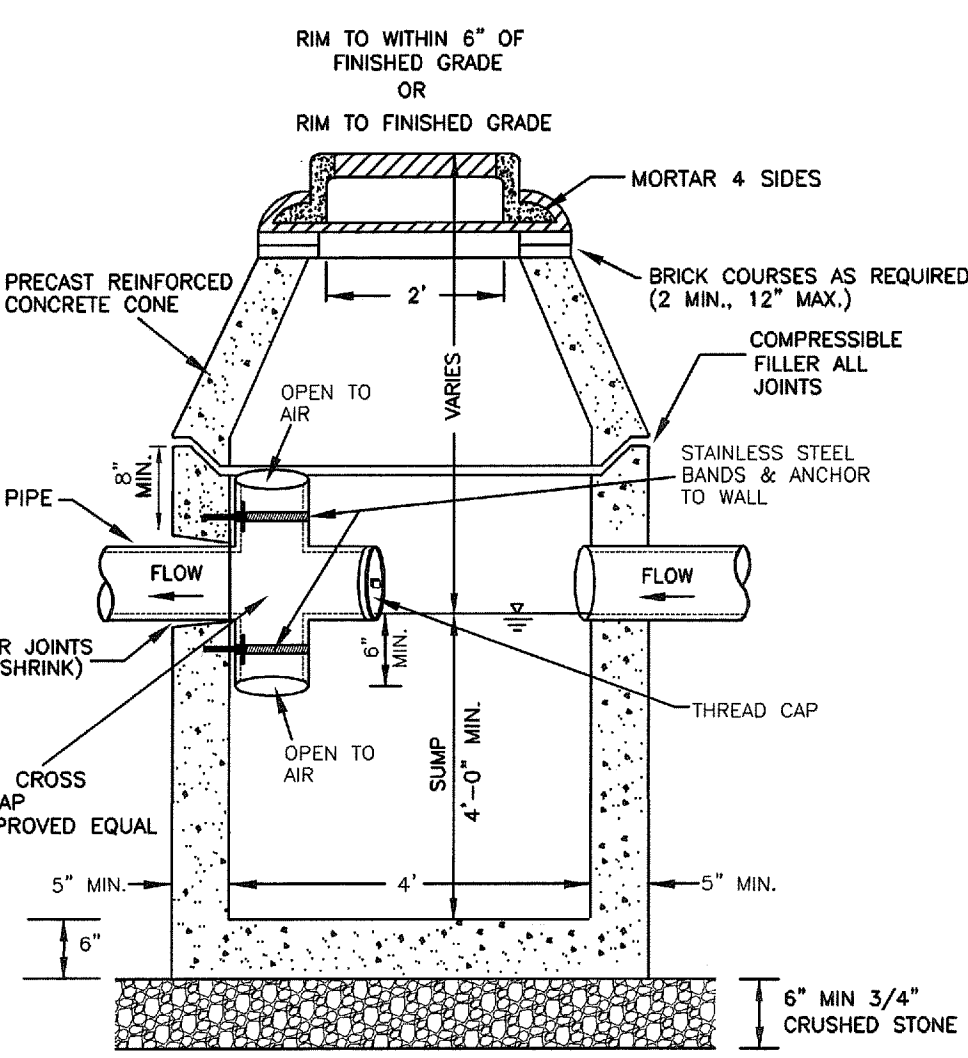
GRAVITY SEWER TRENCH DETAIL
N.T.S.



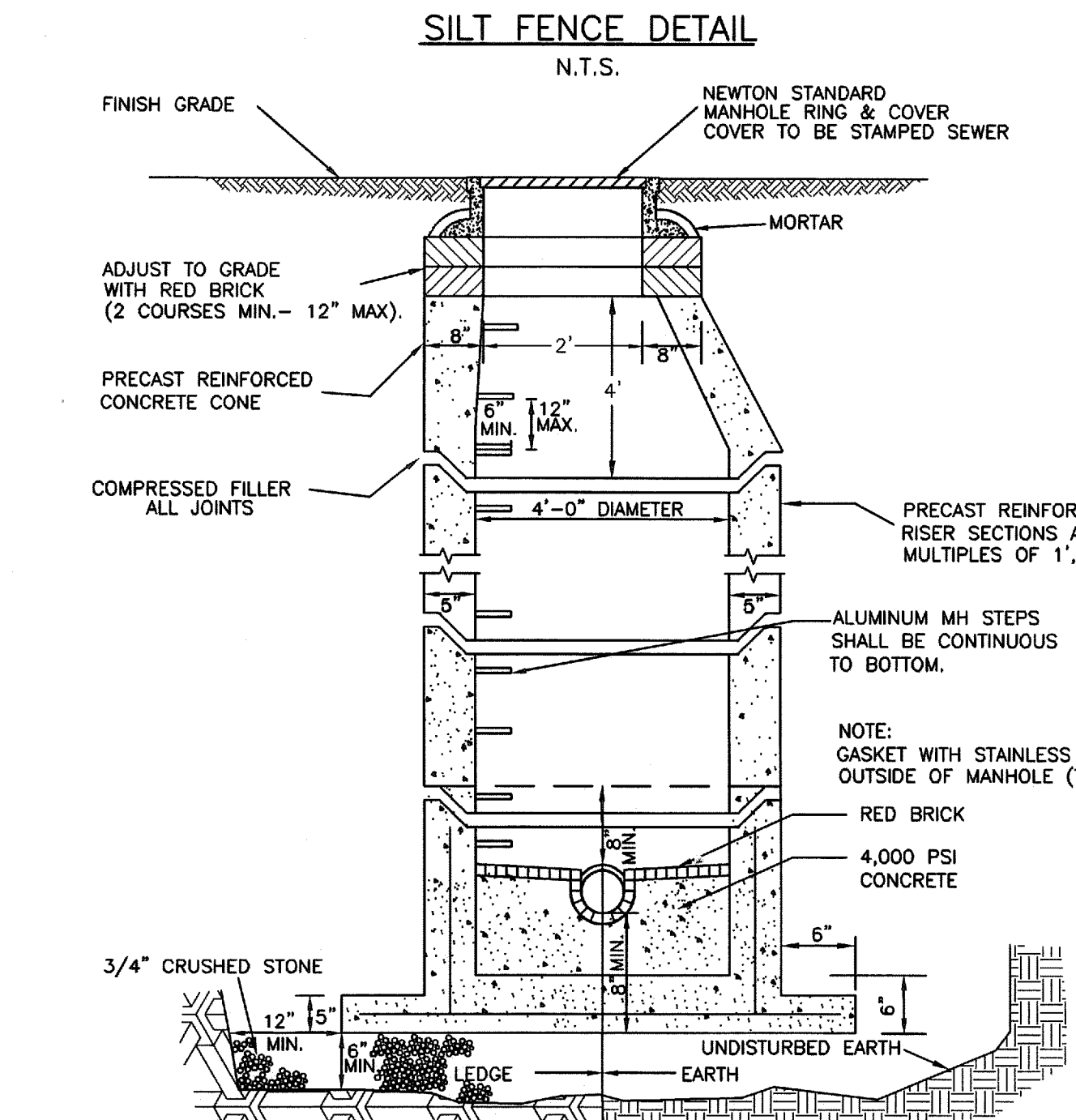
TYPICAL WATER TRENCH DETAIL
N.T.S.



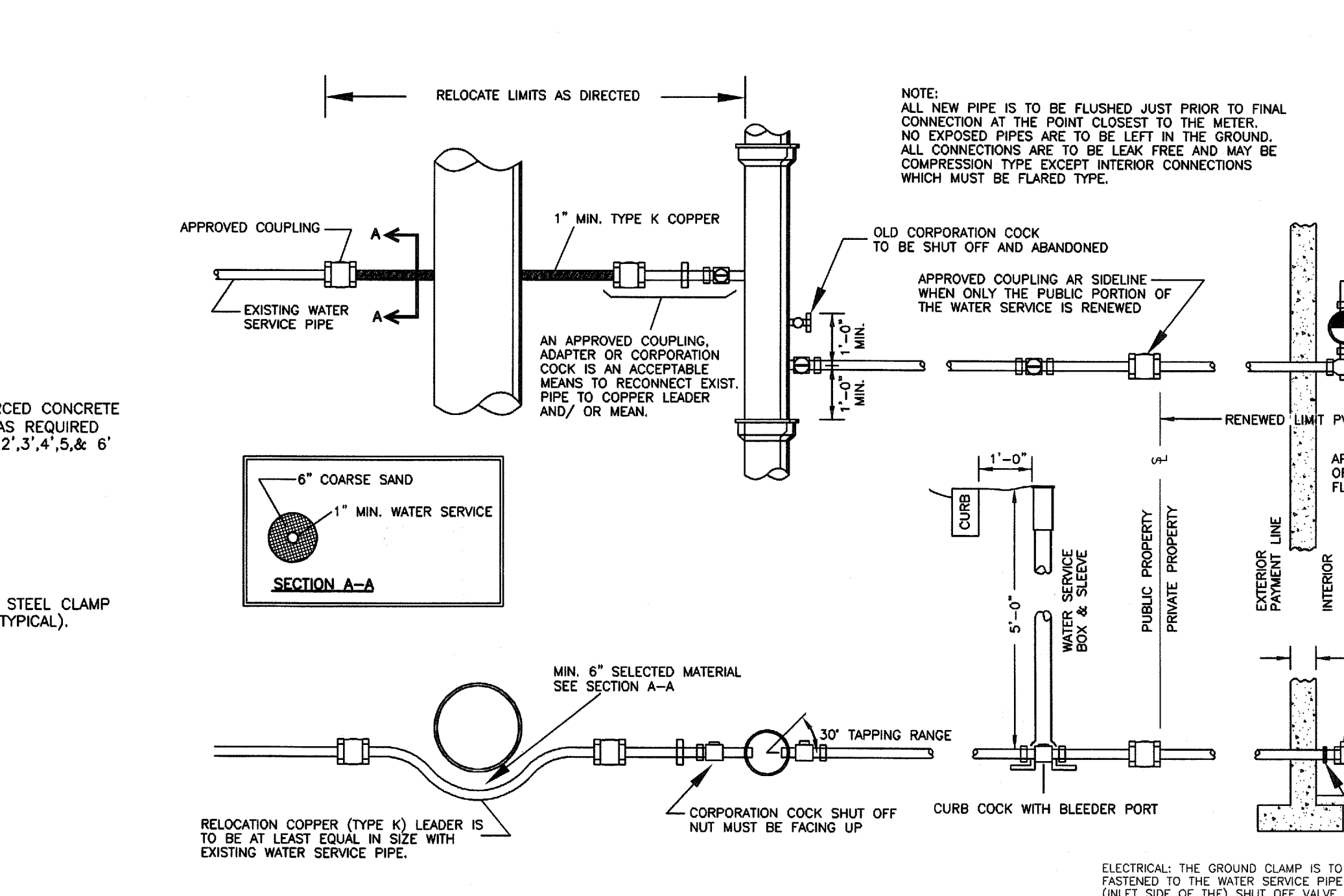
TYPICAL PRECAST CONCRETE CATCH BASIN WITH PVC GAS TRAP
N.T.S.



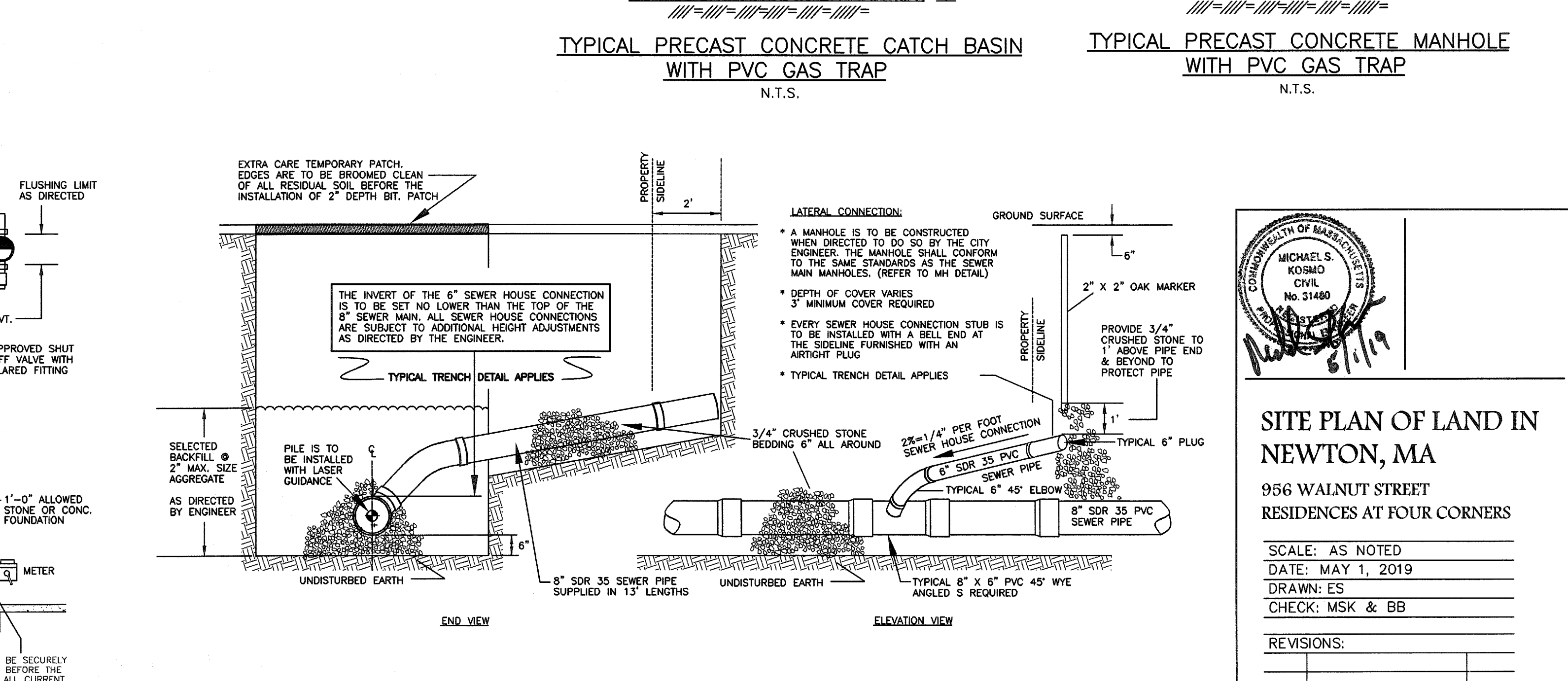
TYPICAL PRECAST CONCRETE MANHOLE WITH PVC GAS TRAP
N.T.S.



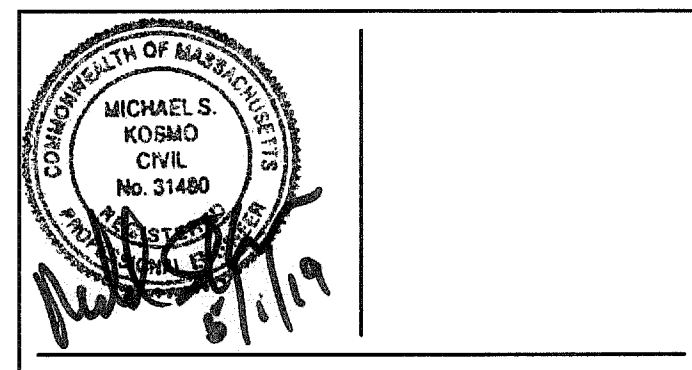
TYPICAL PRECAST CONCRETE SEWER MANHOLE
N.T.S.



TYPICAL WATER SERVICE CONFIGURATION
N.T.S.



TYPICAL PVC SEWER HOUSE CONNECTION
N.T.S.



SITE PLAN OF LAND IN NEWTON, MA
 956 WALNUT STREET
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