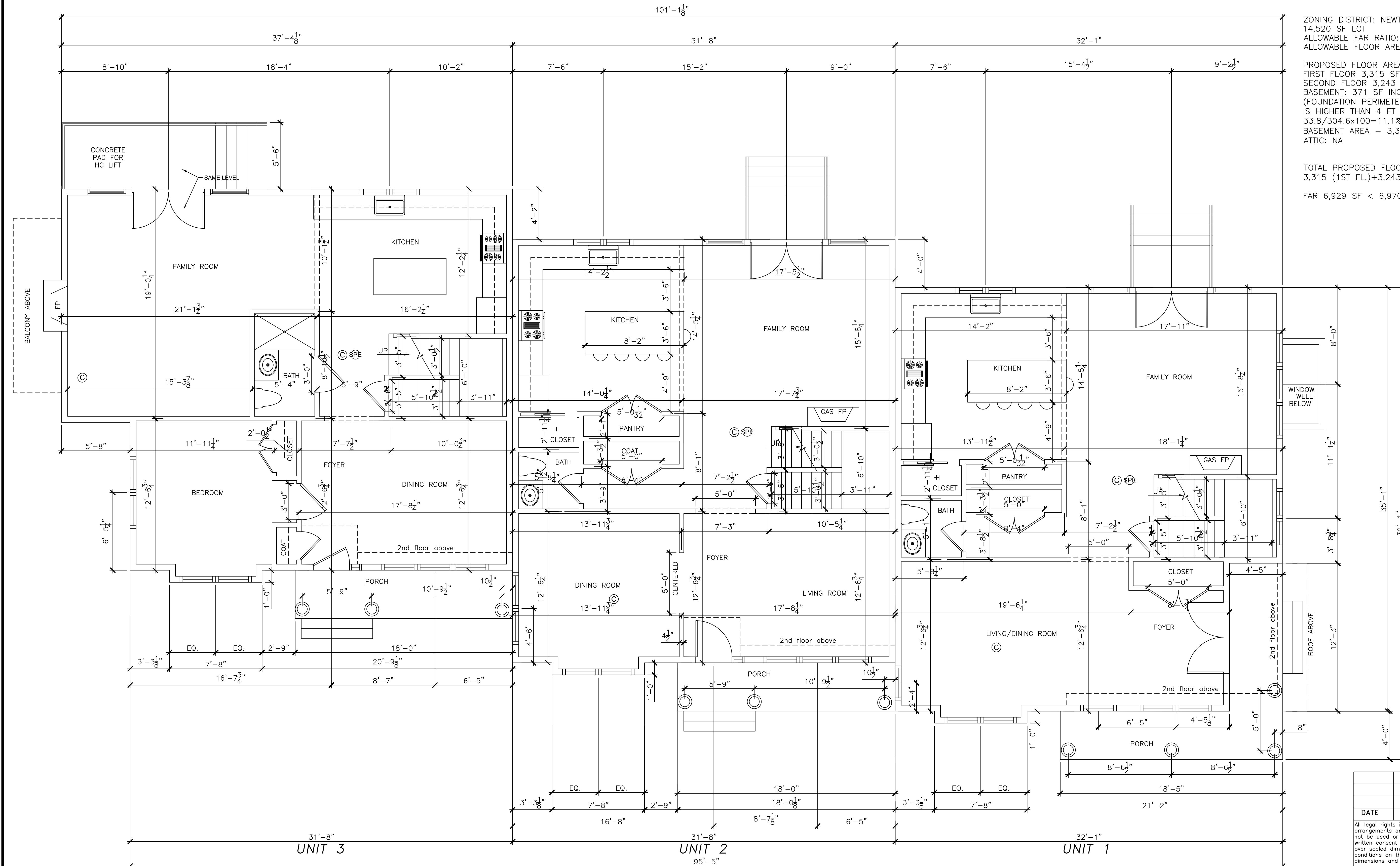


FLOOR AREA RATIO (F.A.R.) CALCULATION:

ZONING DISTRICT: NEWTON, MA – MR1
 14,520 SF LOT
 ALLOWABLE FAR RATIO: 0.48
 ALLOWABLE FLOOR AREA: 14,520 X 0.48=6,970 SF

PROPOSED FLOOR AREA OF THE BUILDING:
 FIRST FLOOR 3,315 SF
 SECOND FLOOR 3,243 SF
 BASEMENT: 371 SF INCLUDED IN FAR
 (FOUNDATION PERIMETER – 304.6 FT, LENGTH WHERE FIRST FLOOR IS HIGHER THAN 4 FT ABOVE GRADE – 33.8 FT.
 $33.8/304.6 \times 100 = 11.1\%$
 BASEMENT AREA – 3,341 SF. $3,341 \times 11.1/100 = 371$ SF)
 ATTIC: NA

TOTAL PROPOSED FLOOR AREA OF THE BUILDING:
 3,315 (1ST FL.)+3,243 (2ND FL.)+371 SF(BASEMENT)=6,929 SF
 FAR 6,929 SF < 6,970 SF



DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

- LEGEND:
- Ⓢ HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
 - ⓈPE PHOTO ELECTRIC HARD WIRED SMOKE DETECTOR WITH SECONDARY (STANDBY) POWER SUPPLIED FROM MONITORED BATTERIES
 - ☒ FAN/LIGHT TO BE VENTED DIRECTLY TO OUTSIDE
 - Ⓢ CARBON MONOXIDE DETECTOR
 - Ⓢ HEAT DETECTOR

- NOTES:
1. ALL EXTERIOR WALLS ARE 2"x6" @ 16" O.C. UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR WALLS ARE 2"x4" @ 16" O.C. UNLESS NOTED OTHERWISE.
 3. INTERIOR WALLS BETWEEN GARAGE AND THE BUILDING ARE 2"x6" @ 16" O.C.
 4. DIMENSIONS TO THE OUTSIDE WALLS ARE TO FACE OF STUDS OR EXTERIOR FACE OF THE FOUNDATION WALL.

FIRST FLOOR PLAN TOTAL – 3315 SF

FIRST FLOOR PLAN

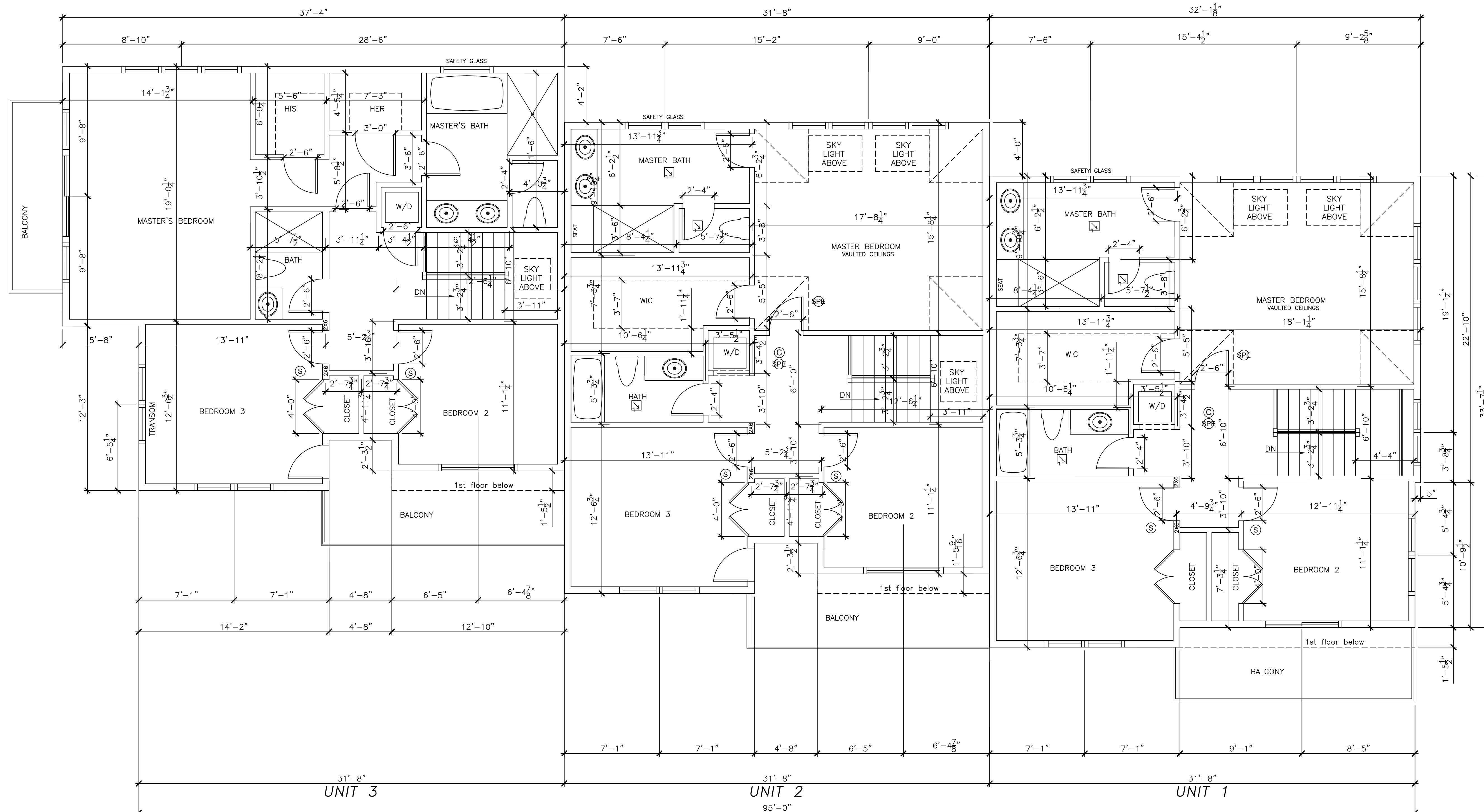
**67 WALNUT STREET,
 NEWTON, MASSACHUSETTS**

RAV & Assoc., Inc.
 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02494
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"	APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No. A-1
DATE: 02/01/2019	CHECKED BY: I.M.	DRAWN BY: E.F.	

GENERAL NOTES

1. All work shall conform to Massachusetts Building Code and all Federal, State and City of Newton laws, codes and regulations as each may apply.
2. All existing conditions must be verified in field. If discrepancies are found, they have to be reported to the Engineer prior to start of work. Omissions or conflicts between the various elements of the working drawings and/or the specifications shall be brought to the attention of the Engineer prior to the start of such work.
3. The contractor shall be responsible for coordinating the scheduling and work of all trades and shall check all dimensions. All discrepancies shall be called to the attention of the Engineer and shall be resolved prior to proceeding with the work.
4. The Contractor shall supervise and direct the work and shall be solely responsible for the construction means, methods, techniques, sequences and procedures, including but not limited to bracing and shoring.
5. The Contractor agrees that in accordance with generally accepted construction practices, the Contractor shall assume sole and complete responsibility for the job site conditions during the course of construction, including the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
6. All work shall be performed in a first class and workmanship manner. The Contractor shall be responsible for the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
7. All work shall be performed in a first class and workmanship manner. The Contractor shall be responsible for the safety of all persons and property, and that this requirement shall apply continuously and not be limited to normal working hours.
8. Prior to bidding the work the Contractor shall visit the site and thoroughly satisfy himself as to the actual conditions and quantities, if any. No claim against the Owner or Engineer will be allowed for any excess or deficiency therein, actual or relative.
10. Contractor is responsible for all demolition and relocation works, if any.

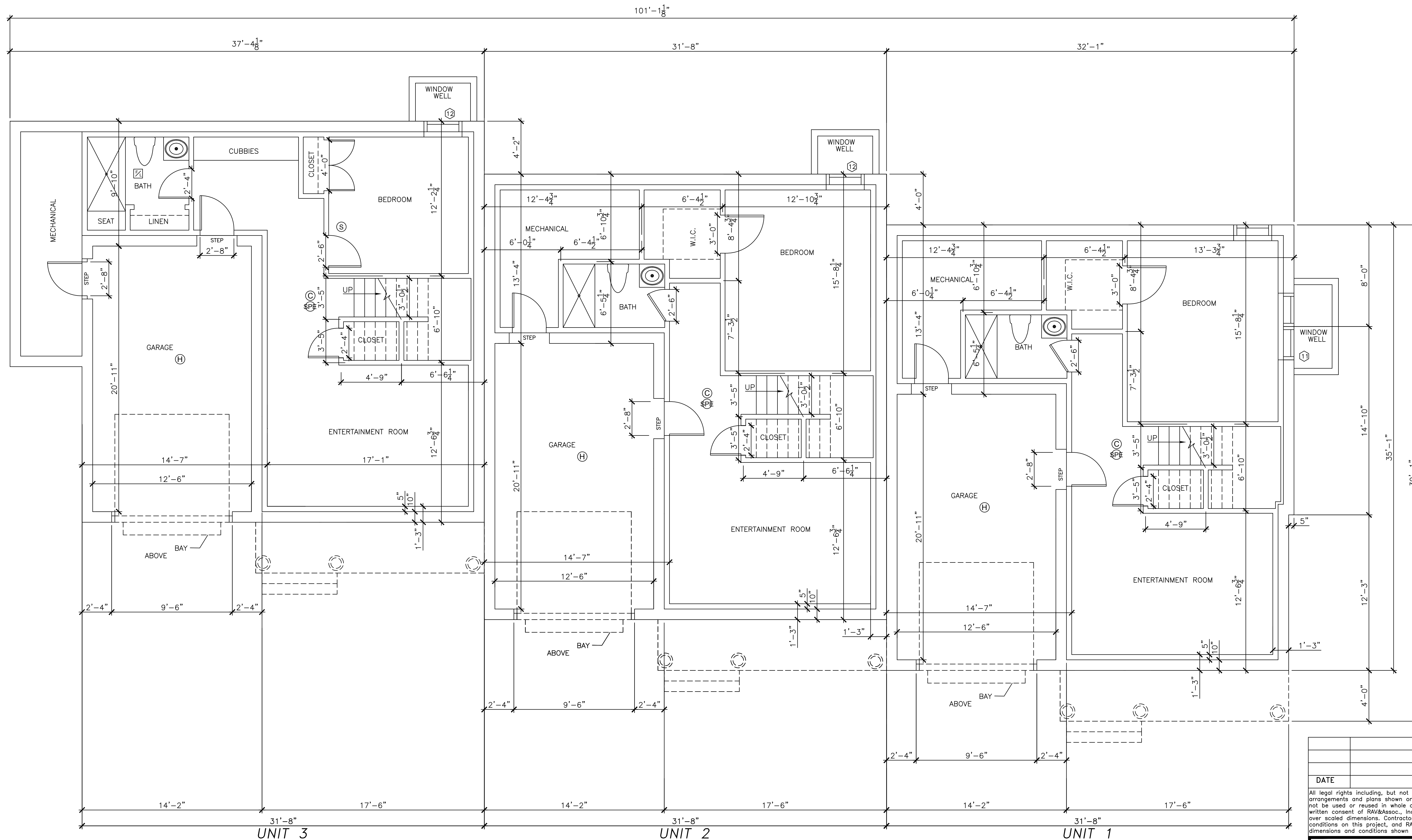


SECOND FLOOR PLAN TOTAL - 3243 SF

DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

SECOND FLOOR PLAN		
67 WALNUT STREET, NEWTON, MASSACHUSETTS		
RAV & Assoc., Inc. 21 HIGHLAND AVENUE NEEDHAM, MASSACHUSETTS 02494 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205		
SCALE: 1/4"=1'-0"	APPROVED: R.A.V.	DESIGNED BY: I.M.
DATE: 02/01/2019	DRAWN BY: E.F.	CHECKED BY: I.M.
		DRAWING No. A-2



BASEMENT PLAN

DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

BASEMENT PLAN

67 WALNUT STREET,
NEWTON, MASSACHUSETTS

RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"	DESIGNED BY: I.M.	DRAWING No.
APPROVED: R.A.V.	DRAWN BY: E.F.	A-3
DATE: 02/01/2019	CHECKED BY: I.M.	



LEFT SIDE ELEVATION

WINDOW SCHEDULE			
400 SERIES CASEMENT WINDOWS BY ANDERSEN WITH LOW-E INSULATING GLASS, UNLESS NOTED OTHERWISE			
No.	UNIT DIMENSIONS	MODEL	REMARKS
①	2'-11 15/16" x 5'-11 7/8"	CXW16	* FIRST FLOOR CASEMENTS
②	3'-0" x 8'-0" W/12" SIDELIGHT	CUSTOM	A ENTRANCE DOOR W/ SIDELIGHT, TEMPERED GLASS
③	9'-0" x 8'-0"	CUSTOM	A SINGLE GARAGE DOOR
④	5'-11 1/4" x 7'-11 1/2" W/3'-0" x 7'-11 1/2" FIXED SIDES	CUSTOM	A FRENCH DOUBLE DOOR W/ FIXED SIDE DOORS TEMPERED SAFETY GLASS
⑤	2'-4 3/8" x 5'-11 7/8"	CW15	A CASEMENT WINDOW, STAIR LANDING, TEMPERED GLASS
⑥	2'-4 3/8" x 4'-0"	CW14	A CASEMENT WINDOW, STAIR UP ABOVE, TEMPERED
⑦	2'-11 15/16" x 4'-11 7/8"	CXW15	* 2ND FLOOR CASEMENT WINDOW
⑧	2'-11 15/16" x 4'-11 7/8"	CXW15	A MASTER BATH, TEMPERED SAFETY GLASS
⑨	6'-0" x 3'-6"	SE6006	A SPRINGLINE SPECIALTY WINDOW
⑩	5'-11 1/4" x 7'-11 1/2"	FWG6080R	A FRENCHWOOD GLIDING PATIO, TEMPERED SAFETY GLASS
⑪	2'-4 3/8" x 4'-11 7/8"	CX25	* DBL. CASEMENT WINDOW IN WINDOW WELL
⑫	2'-11 15/16" x 4'-11 7/8"	CXW15	* CASEMENT WINDOW IN WINDOW WELL
⑬	2'-4 3/8" x 4'-4 15/16"	CW145	A CASEMENT WINDOW ABOVE SINK
⑭	1'-5 13/16" x 5'-11 1/4"	FWT6016	A TRANSOM
⑮	1'-5 13/16" x 3'-0 1/8"	FWT3116	A TRANSOM
⑯	1'-5 13/16" x 3'-0 1/8"	FWT3116	A TRANSOM
⑰	2'-11 15/16" x 5'-11 7/8"	CXW16	A FIRST FLOOR CASEMENT, SAFETY GLASS
⑱	1'-5" x 4'-0"	AR41	A TRANSOM

* EGRESS WINDOW MEETS OR EXCEEDS CLEAR OPENING OF 5.7 SF, CLEAR WIDTH 20" AND CLEAR HEIGHT 24"

400 SERIES CASEMENT WINDOWS BY ANDERSEN WITH LOW-E INSULATING GLASS, UNLESS NOTED OTHERWISE

A - TEMPERED GLASS

NOTES:

CONTRACTOR MUST VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO ORDERING WINDOWS. CONTACT WINDOW MANUFACTURER FOR DETAILS. CONTACT THE OWNER FOR FINAL SELECTION OF DOORS AND WINDOWS PRIOR TO ORDERING AND PRIOR TO FRAMING DOOR AND WINDOW OPENINGS. VERIFY CLEAR OPENINGS IN ALL BEDROOMS. MINIMUM CLEAR OPENING MUST BE 20 IN (W) x 24 IN (H) AND HAVE MINIMUM OF 5.7 S.F. OF CLEAR OPEN AREA. VERIFY LOCATIONS OF SAFETY GLASS WINDOWS AND DOORS PRIOR TO ORDERING WINDOWS AND DOORS.

SPECIFIC LOCATIONS:

- GLAZING IN INGRESS AND MEANS OF EGRESS DOORS;
- GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS AND SWINGING DOORS;
- GLAZING IN STORM DOORS;
- GLAZING IN UNFRAMED SWINGING DOORS;
- GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, STEAM ROOMS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPONENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL WHICH MEETS THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 S.F.;
 - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR;
 - EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR;
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.



FRONT ELEVATION FOR UNIT 1

DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

SIDE ELEVATIONS

**67 WALNUT STREET,
NEWTON, MASSACHUSETTS**

RAV & Assoc., Inc.
21 HIGHLAND AVENUE
NEEDHAM, MASSACHUSETTS 02494
TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"

APPROVED: R.A.V.	DESIGNED BY: I.M.	DRAWING No. A-4
DATE: 02/01/2019	DRAWN BY: E.F. CHECKED BY: I.M.	



DATE	REVISION

All legal rights including, but not limited to, copyright and design patent rights, in the designs, arrangements and plans shown on this document are the property of RAV&Assoc., Inc. They may not be used or reused in whole or in part, except in connection with this project, without the prior written consent of RAV&Assoc., Inc. Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this project, and RAV&Assoc., Inc. must be notified of any variation from the dimensions and conditions shown by these drawings.

FRONT AND REAR ELEVATIONS
67 WALNUT STREET,
NEWTON, MASSACHUSETTS

RAV & Assoc., Inc.
 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02494
 TELEPHONE: (781) 449-8200 FAX: (781) 449-8205

SCALE: 1/4"=1'-0"	DESIGNED BY: I.M.	DRAWING No.
APPROVED: R.A.V.	DRAWN BY: E.F.	A-5
DATE: 02/01/2019	CHECKED BY: I.M.	